



# DEPARTMENT OF CITY PLANNING

## RECOMMENDATION REPORT

### City Planning Commission

**Date:** October 12, 2023  
**Time:** After 8:30 a.m.  
**Place:** Los Angeles City Hall  
Council Chambers, Room 340  
200 North Spring Street  
Los Angeles, CA, 90012

This meeting may be available virtually, in a hybrid format. The meeting's telephone number and access code number will be provided no later than 72 hours before the meeting on the meeting agenda published at <https://planning.lacity.org/about/commission-s-boards-hearings> and/or by contacting [cpc@lacity.org](mailto:cpc@lacity.org).

**Public Hearing:** May 1, 2023

**Appeal Status:** Off-Menu Density Bonus Housing Incentives are not appealable by any party. Conditional Use and Waiver of Dedication and Improvements are appealable to City Council.

**Expiration Date:** **October 12, 2023**

**Multiple Approval:** Yes

**PROJECT LOCATION:** **4221 East Huntington Drive North, 90032**

**PROPOSED PROJECT:** The Project is the demolition of existing structures and the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building consisting of 437.6 square feet of ground floor commercial space and 22 residential dwelling units for a total of 16,215 square feet. Of the 22 residential dwelling units, four (4) are proposed for Very Low-Income Households. The proposed project will provide 13 automobile parking spaces across one level of basement parking. Four (4) short-term and 24 long-term bicycle parking spaces will be provided. The project will provide 2,257 square feet of open space, including private balconies and common open space in the rear yard.

The project will have 16,215 square-feet of floor area with a Floor Area Ratio ("FAR") of 1.971:1. The project is on the corner of Moonstone Drive and Huntington Drive North. The site is currently improved with low site walls and a parking lot. There are four (4) existing non-protected trees on-site that are proposed for removal and four (4) existing Street Trees that are proposed for removal. The proposed project is required to provide a minimum of six (6) replacement trees, but the applicant is proposing eight (8) total replacement trees including Street Trees as determined by the Urban Forestry Division of the Bureau of Street Services.

**Case No.:** CPC-2021-1601-DB-CU-WDI-HCA

**CEQA No.:** ENV-2021-1602-CE

**Incidental Cases:** N/A

**Related Cases:** N/A

**Council No.:** 14 – de León

**Plan Area:** Northeast Los Angeles

**Plan Overlay:** N/A

**Certified NC:** LA-32

**GPLU:** General Commercial

**Zone:** [Q]C2-1

**Applicant:** Brian Martin,  
4215 Huntington Drive North  
LLC

**Representative:** David Gonzalez Rojas

The project proposes the export of 2,125 cubic yards of earth materials.

**REQUESTED ACTION:**

1. Pursuant to California Exemption Quality Act (CEQA) Guidelines, Article 19, Section 15332 Class 32, an Exemption from CEQA, and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
2. Pursuant to Los Angeles Municipal Code (LAMC) Section 12.22 A.25(g)(3), a Density Bonus/Affordable Housing Incentive Program Compliance Review to permit the construction of a Housing Development Project totaling 22 dwelling units, reserving four (4) units for Very Low Income occupancy for a period of 55 years, with the following requested Off Menu Incentives:
  - a) An Off-Menu Incentive for a Floor Area Ratio (FAR) of 1.971:1 in lieu of 1.5:1 as otherwise permitted in the [Q]C2-1 Zone;
  - b) An Off-Menu Incentive to allow relief from transitional height requirements of LAMC Section 12.21.1 A.10 resulting in a height increase to 49 feet 10 inches in lieu of 45 feet; and
  - c) An Off-Menu Incentive to permit 13 automobile parking spaces in lieu of the required 22;
3. Pursuant to LAMC Section 12.24 U.26, a Conditional Use Permit to allow a 92.5 percent increase in density, in lieu of the otherwise permitted 35 percent increase in density allowable under LAMC Section 12.22 A.25; and
4. Pursuant to LAMC Section 12.37, a Waiver of Dedication and Improvements to provide a zero (0) foot dedication along Moonstone Drive in lieu of a 10 foot dedication, to provide a zero (0) foot dedication along Huntington Drive in lieu of a three (3) foot dedication, and to provide a 15 foot curved corner radius in lieu of 20 feet.

**RECOMMENDED ACTIONS:**

1. **Determine**, that based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies.
2. **Approve**, pursuant to LAMC Section 12.22 A.25(g)(3), a **Density Bonus/Affordable Housing Incentive Program Compliance Review** to permit the construction of a Housing Development Project totaling 22 dwelling units, reserving four (4) units for Very Low Income households for a period for 55 years, with the following **three (3) Off-Menu Incentives**:
  - a) An Off-Menu Incentive for a Floor Area Ratio (FAR) of 1.971:1 in lieu of 1.5:1 as otherwise permitted in the [Q]C2-1 Zone;
  - b) An Off-Menu Incentive to allow a height increase to 49 feet 10 inches in lieu of 45 feet and relief from transitional height requirements of LAMC Section 12.21.1 A.10; and
  - c) An Off-Menu Incentive to permit 13 automobile parking spaces in lieu of the required 22.
3. **Approve**, pursuant to LAMC Section 12.24 U.26, a **Conditional Use Permit** to allow a 92.5 percent increase in density, in lieu of the otherwise permitted 35 percent increase in density allowable under LAMC Section 12.22 A.25;
4. **Approve**, pursuant to LAMC Section 12.37, a **Waiver of Dedication and Improvements** to provide a zero (0) foot dedication along Moonstone Drive in lieu of a 10 foot dedication and to provide a zero (0) foot dedication along Huntington Drive in lieu of a three (3) foot dedication, and

5. **Deny**, pursuant to LAMC Section 12.37, a **Waiver of Dedication and Improvement** to provide a 15 foot curved corner radius in lieu of a 20 foot curved corner radius or 15 foot by 15 foot cut corner.
6. **Adopt** the attached Findings.

VINCENT P. BERTONI, AICP  
Director of Planning

Reviewed by:

  
\_\_\_\_\_  
Jane Choi, AICP, Principal City Planner

  
\_\_\_\_\_  
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Prepared by:

  
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**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1299) or emailed to [cpc@lacity.org](mailto:cpc@lacity.org). While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1299.

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## PROJECT ANALYSIS

### PROJECT SUMMARY

The proposed project involves the demolition of two (2) existing site walls and surface parking on two (2) lots comprising of 8,226.7 square feet, and the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story (partially submerged) mixed-use building totaling 16,215 square feet pursuant to the City's Density Bonus program. The building will include 22 dwelling units, including four (4) dwelling units set aside for Very Low-Income Households, and one (1) ground-floor commercial space measuring 437.6 square feet (Exhibit A). The building will have a maximum building height of 49 feet 10 inches. The project will include 13 automobile parking spaces and a total of 28 bicycle parking spaces, which include 24 long-term spaces and 4 short-term spaces. The project will provide 2,257 square feet of open space, including private balconies and common open space in the rear yard.

The proposed development provides a total of 22 dwelling units consisting of eight (8) studios and 14 one (1)-bedroom units. The first floor will contain the parking, lobby, trash/recycling room, mechanical equipment/utility rooms and the commercial retail space. This floor will be partially subterranean. The residential units will be located within the second through fourth floors of the proposed building.



Vehicular access to the project site will be provided via one (1) driveway along Huntington Drive North which will require a new driveway apron. A total of 13 automobile parking spaces will be provided within the parking garage. Pedestrian access to the residential lobby and commercial space will also be provided from Huntington Drive North. A total of 24 long-term bicycle spaces will be provided in the form of a locker room and repair area on the second level or first residential level. Four (4) short-term bicycle spaces will be provided along the Huntington Drive North frontage, in front of the entrance to the lobby and commercial space.

Pursuant to LAMC Section 12.21 G, the project is required to provide 2,200 square feet of open space. The project provides approximately 2,257 square feet total of open space, consisting of a 1,144 square foot rear yard that includes various seating areas. The project also includes 1,113 square-feet of private balconies/patios. Within the common open space area, 281.5 square feet of landscaped area is required, and 401 square-feet of landscaped area is provided. Additionally, there are four (4) existing non-protected trees on-site that are proposed for removal and four (4) existing Street Trees that are proposed for removal. The proposed project is required to provide a minimum of six (6) replacement trees, but the applicant is proposing eight (8) total replacement trees including Street Trees as determined by the Urban Forestry Division of the Bureau of Street Services.

Pursuant to the [Q]C2-1 Zone, the project is limited to a Floor Area Ratio ("FAR") of 1.5:1 and the applicant is requesting an Off-Menu Incentive to permit a floor area of 16,215 square-feet, which is an FAR of 1.971:1. Based on the zone, the height of the structure would be unlimited except for the transitional height requirement pursuant to the LAMC Section 12.21.1 A.10 since the site is abutting a more restrictive zone of [Q]R1-1D to the west. Additionally, the site is subject to the Commercial Corner Development height requirements found in LAMC Section 12.22 A.23(a)(1) which limits the maximum height of buildings and structures located in Height District 1 to a maximum of 45 feet. The Applicant is requesting an Off-Menu Incentive to permit a height of 49-feet 10-inches and relief from transitional height provisions. In lieu of transitional height pursuant to LAMC Section 12.21.1 A.10, the Applicant is requesting to provide transitional height that would allow the building height to be stepped back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in the R1 zone.

## **BACKGROUND**

### **Site Description**

The project site consists of two (2) rectangular lots with a street frontage of approximately 100 feet along Huntington Drive North and a street frontage of approximately 86 feet along Moonstone Drive. The project site has a lot size of approximately 8,226.7 square feet. The project site is currently vacant with existing low site wall structures and surface parking.

### **Zoning and Land Use Designation**

The project site is located within the Northeast Los Angeles Community Plan area. The adopted Community Plan designates the subject property for General Commercial land uses and the project site is zoned [Q]C2-1. Height District 1 permits an FAR of up to 1.5:1 and an unlimited height except for the CR zone. It also limits the number of stories to six (6) for the CR zone only. Furthermore, the site contains a permanent [Q] Qualified Condition ([Q] Condition) which prohibits 100 percent residential projects. Pursuant to the [Q] Condition, the proposed project must meet the Mixed-Use Project definition found in the LAMC Section 13.09 (Ordinance No. 173,070-Sub Area 7075A). That definition states:

***Mixed Use Project*** means a Project which combines one or more Commercial Uses and multiple dwelling units in a single building or in a Unified Development and which provides the following:

- (1) a separate, Ground Floor entrance to the residential component, or a lobby that serves both the residential and Commercial Uses components; and
- (2) a pedestrian entrance to the Commercial Uses component that is directly accessible from a public street, and that is open during the normal business hours posted by the business.

*A minimum of 35 percent of the Ground Floor Building Frontage abutting a public commercially zoned street, excluding driveways or pedestrian entrances, must be designed to accommodate Commercial Uses to a minimum depth of 25 feet.*

The site is located within the Local Emergency Temporary Regulations – Time Limits and Parking Relief area, East Los Angeles State Enterprise Zone, Hillside Area, is an Executive Directive (ED) 1 eligible site, Urban Agriculture Incentive Zone, Very High Fire Hazard Severity Zone, Special Grading Area (BOE Basic Grid Map A-13372), and Liquefaction Zone. The site is not located within any specific plan areas and is not within a Transit Priority Area.

### **Surrounding Uses**

The project site is located in an urbanized area surrounded by various uses. Adjoining properties are zoned [Q]C2-1, [Q]C2-1VL, and [Q]R1-1D and are designated for General Commercial and Low Residential uses.

To the north, across Moonstone Drive, and to the west are single family residential uses that measure one (1)-story in height. To the east, across Huntington Drive North, is a multi-family affordable housing development containing 70 dwelling units. This development contains multiple structures that measure four (4) stories in height. To the south of the project site are commercial and residential uses measuring one (1) to two (2)-stories in height.

### **Streets and Circulation**

Moonstone Drive, adjoining the subject property to the north, is designated as a Local Street - Standard, dedicated to a right-of-way width of 40 feet and improved with roadway, curb, gutter and sidewalks.

Huntington Drive North, adjoining the subject property to the east, is designated as a Boulevard II, dedicated to a right-of-way width of 122 feet and improved with roadway, curb, gutter, and sidewalks.

### **Public Transit**

The site is located adjacent to the intersection of Huntington Drive, Mission Road, and Soto Street, all of which are streets with heavy vehicle traffic. Metro Bus Line 78 stops along both Huntington Drive and Mission Road at various locations. This Line provides access from Downtown Los Angeles to Arcadia, passing through Lincoln Heights, El Sereno, South Pasadena, Alhambra, and Temple City.

### **Relevant Cases**

#### Subject Property:

Case No. ZA-2004-5569-CU – On February 9, 2005, the Zoning Administrator denied a Conditional Use Permit for a hand car wash facility with deviations from the Commercial Corner provisions of Section 12.22 A.23(a) of the Los Angeles Municipal Code to permit the facility without a recycling area, landscape buffer, or wall with 50 percent transparent glass along the street.

#### Surrounding Properties (500-ft radius):

Case No. CPC-2017-507-CU-DB-ZV– On February 8, 2017, an application was filed with the Department of City Planning to permit the demolition of a commercial building and surface parking lot for the construction of two, four (4)-story, 55-feet in height residential

buildings containing 85 residential units (of which 100 percent are affordable except for two market rate managers' units) and 2,500 square feet of ground floor commercial uses for a total of 91,596 square feet over one (1) subterranean parking garage containing 68 parking spaces all within the [Q]C2-1VL zoned portion of the site located at 4208 E Huntington Dr South. The project also proposed the construction of hiking trails and gardens within the [Q]RE20-1D zoned portion of the site as an additional non-required amenity to serve the residents of the development. The City Planning Commission approved the project on April 23, 2018.

Case No. APCE-2014-3178-ZCJ-HD-ZV-ZAD– On August 27, 2014, an application was filed with the Department of City Planning to permit the construction of 32 new Small Lot dwellings (with associated subdivision case VTT-72393-SL) located at 2730 N Onyx Drive. The application was subsequently withdrawn by the Applicant on October 18, 2021.

## **HOUSING REPLACEMENT**

On October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (SB 330). SB 330 creates new state laws regarding the production, preservation and planning for housing, and establishes a statewide housing emergency until January 1, 2025. During the duration of the statewide housing emergency, SB 330, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing development project replaces those units.

Pursuant to the Los Angeles Housing Department (LAHD) letter dated December 22, 2020, the project site has been a vacant lot since November 2015. The replacement provisions of SB 330 do not apply to vacant lots. Further, they have determined that this project does not require the demolition of any prohibited types of housing, therefore, no SB 330 replacement affordable units are required.

## **REQUESTED ENTITLEMENTS**

### **Density Bonus/Affordable Housing Incentives Program**

Pursuant to the State Density Bonus Law, the City must grant up to three (3) Incentives for a project that includes 15-percent of the total (base density) units for Very Low Income Households. The State Density Bonus Law further stipulates that in no case may a city apply any development standard that will have the effect of physically precluding the construction of a development and allows applicants to submit to a city a proposal for the waiver or reduction of development standards that will have the effect of physically precluding the construction of a development. The City implements the State Density Bonus Law through the Density Bonus Ordinance, which allows up to three (3) On- or Off-menu Incentives and Waivers of Development Standards.

The Applicant proposes to utilize Los Angeles Municipal Code ("LAMC") Section 12.22 A.25 (Affordable Housing Incentives – Density Bonus) to construct a total of 22 dwelling units, 4 units restricted to Very Low-Income Household occupancy for a period of 55 years and 18 market-rate units. The Density Bonus Ordinance grants various Incentives to deviate from development standards in order to facilitate the provision of affordable housing at the site. Given 34-percent of the dwelling units will be set aside as affordable from the base density of 11 units, the project is eligible for three (3) Density Bonus Incentives. The applicant is requesting three (3) Off-Menu Density Bonus Incentives.

- a) An Off-Menu Incentive for a Floor Area Ratio (FAR) of 1.971:1 in lieu of 1.5:1 as otherwise permitted in the [Q]C2-1 Zone;
- b) An Off-Menu Incentive to allow relief from the transitional height requirements of LAMC Section 12.21.1 A.10, resulting in a height increase to 49 feet 10 inches in lieu of 45 feet; and
- c) An Off-Menu Incentive to permit 13 automobile parking spaces in lieu of the required 22.

### Conditional Use

The City's Density Bonus Ordinance (Ordinance No. 179,581), codified in LAMC Section 12.22 A.25, permits a maximum density increase of up to 35-percent in exchange for setting aside 11-percent of the base density units for Very Low-Income Households in accordance with the State Density Bonus Law. The State Density Bonus Law (Government Code Section 65915(n)) also allows a city to grant a density bonus greater than 35-percent for a development, if permitted by local ordinance. The City adopted the Value Capture Ordinance, codified in LAMC Section 12.24 U.26, (Conditional Use) to permit a density increase greater than 35-percent. The Ordinance requires the project to set aside one (1) additional percent of base density units above the 11-percent for Very Low-Income Households for every additional 2.5 percent density increase above the 35-percent.

Below is a table showing the requisite percentage of affordable housing units for Very Low-Income Households based on the percentage of density increase.

<b>Percentage of Base Density to be Restricted to Very Low-Income Households</b>	<b>Percentage of Density Increase Granted</b>
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55
20	57.5
21	60
22	62.5
23	65
24	67.5
25	70
26	72.5
27	75

28	77.5
29	80
30	82.5
31	85
32	87.5
33	90
34	92.5

The project site is zoned [Q]C2-1, which allows a base density of 11 units on the subject property. The Density Bonus Ordinance allows a density bonus of up to 35 percent in exchange for setting aside 11 percent of the 11 base density units for Very Low-Income Households. With the maximum density increase of 35 percent allowed through the Density Bonus Ordinance, the project would be permitted a total of 15 units on site in exchange for setting aside two (2) units for Very Low-Income Households.

The Applicant requests a Conditional Use for a density increase in excess of 35 percent pursuant to LAMC Section 12.24 U.26, to allow a 92.5 percent increase in density for a total of 22 dwelling units in lieu of 11 base density dwelling units as otherwise permitted by-right in the [Q]C2-1 Zone. In accordance with LAMC Section 12.22 A.25(c)(7), in calculating Density Bonus and Restricted Affordable units any number resulting in a fraction shall be rounded up to the next whole number. As provided in the table above, the applicant is required to set aside 34 percent, or four (4) units, of the base density of 11 units for Very Low-Income Households in order to be granted a 92.5 percent density bonus. The applicant proposes to set aside four (4) units for Very Low-Income Households for a period of 55 years. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low-Income Households to be eligible for a 92.5 percent density increase.

### **WAIVER OF DEDICATION AND IMPROVEMENTS**

The Bureau of Engineering (BOE) has indicated required dedication and improvement requirements along Moonstone Drive and Huntington Drive North in their letter dated February 24, 2021. The BOE requirements include:

- 1) Complete the dedication process of 3' along Huntington Drive North; a 10' dedication along Moonstone Drive and a 20' curved corner radius at the intersection of Huntington Drive North and Moonstone Drive by submitting required documents and fees.
- 2) Obtain an A-permit to complete the following improvements:
- 3) Remove unused non-standard driveway approach and replace with concrete sidewalk and full height curb, obtain permit to construct or reconstruct new approaches per Standard Plan S-440-4. LADOT approval is required if driveway approaches will be built along Huntington Dr North.
- 4) Remove 80 linear feet of curb that has a height of less than 6 inches and replace it with 6-inch curb.
- 5) Reconstruct/remodel curb ramp at the intersection of Huntington Drive North and Moonstone drive per latest Bureau of Engineering (BOE) Standard Plan S-442-6.

Pursuant to LAMC Section 12.37, the Applicant has requested a Waiver of Dedication and Improvements to provide a zero (0) foot dedication along Moonstone Drive in lieu of a 10-foot dedication, to provide a zero (0) foot dedication along Huntington Drive in lieu of a three (3) foot dedication, and to provide a 15-foot curved corner radius in lieu of 20 feet.

The Planning staff recommendation to the City Planning Commission, however, is to approve the waiver requests for Moonstone Drive and Huntington Drive but to deny the curved corner radius waiver request. By providing the 10-foot dedication along Moonstone Drive, there would not be enough lot area to develop the same project and provide the number of dwelling units and parking spaces as proposed. It is also unlikely that Moonstone Drive will be fully improved along the frontages of the lots to the west because they are developed with single family homes on Hillside lots. Additionally, by providing the three (3) foot dedication along Huntington Drive, the Project would not have enough retail space and space for the project's internal circulation due to the size and configuration of the lot to comply with the [Q] Qualified Condition requiring compliance with the Mixed Use Project definition found in LAMC Section 13.09. While the proposed project provides the visibility clearance for corner properties, the required 20-foot curved corner radius also serves to meet accessibility needs. For that reason, the request to provide a 15-foot curved corner radius in lieu of a 20-foot curved corner radius is recommended to be denied.

## **PUBLIC HEARING**

The public hearing was conducted by the Hearing Officer virtually via Zoom on Monday, May 1, 2023, at approximately 10:00 a.m. The public hearing was attended by the Applicant's representative and members of the community. Seven (7) members of the public vocalized their opposition to the project and expressed the following concerns:

### Parking

It was expressed that there is already an issue with parking in the area due to narrow streets, a lot of red curb areas along Huntington Drive, and that many existing homes do not have garages so many residents have to park on the street. Therefore, the parking reduction request will make existing circumstances worse and further impact street parking.

### Density

There were concerns that this additional density was not appropriate for this area.

### Topography

There were concerns with land stability since the site is located close to the hillside community to the east.

### Commercial Space

It was expressed that similar commercial areas in other developments in the area have not been rented out so the concern is that this space would not thrive.

There was one (1) member of the public in support of the project. There were two (2) members of the public that remained neutral, however, they also expressed concerns over parking.

## **PROFESSIONAL VOLUNTEER PROGRAM (PVP)**

The proposed project was reviewed by the by the Department of City Planning's Urban Design Studio's Professional Volunteer Program (PVP) on June 20, 2023. The following issues, concerns, and recommendations were discussed:

### Pedestrian First:

- We would perhaps prefer to see the access from the parking garage taken from the side street, Moonstone and not Huntington but they have kept the parking to a half space per unit plus are dealing with the sloping site and getting everything to fit.

- Even for a small project with only 22 units, the lobby space seems small and having it open to the sidewalk will make secure parcel delivery a problem, may become a campsite.
- Just recessing the lobby entrance doesn't really give it enough emphasis or distinction; lobby entry from Moonstone is underwhelming.
- Reducing the driveway to minimum width possible could return more space to the lobby; with 25 cars or less could be reduced to shared ingress/egress of 12-feet or so— although from a Boulevard II street classification this could be difficult, LADOT may raise concerns.
- Apart from the width, the project will definitely need the 20-foot-deep reservoir space before gate.

#### 360° Design:

- The commercial space is probably too small to function well and survive, also on kind of an unfriendly stretch of Huntington but does comply with the [Q] Condition.
- Its smallness *could* be an advantage, in terms of supporting a very small business there.
- The trash room opening to the corridor may result in an unpleasant and smelly space.
- Applicant should make sure that LADWP's minimum distance between power lines and habitable spaces is maintained.
- May want to employ mu-metal shielding in unit walls facing the transformer and power lines, to protect the health of the residents and prevent interference with their electronics.

#### Climate-Adapted:

- Appreciate the taking advantage of provision for balconies to project 4-feet out over property line (once 12-feet above sidewalk level).
- Now with the dedication there should be room for significant street trees; please see the recently updated S-450-4-1 standard plan and use the largest tree well width possible, so that UFD may specify the largest-growing street tree species.
- The street trees shown on Huntington don't seem realistic, once all of UFD's minimum 45-feet from intersection, 8-feet from driveway apron and 25-feet between trees are considered.
- The renderings suggest that the open space areas will be well-programmed and used.
- Applicant opened a permit with LADBS before the first of this year, so are under the previous Energy Code from 2019 and only need to provide the solar reserve area and not install PVs.

In response to the comments made by PVP, the applicant made the following changes to the project including: showing a 20-foot reservoir space in the parking garage which they are providing by pushing the gate further back into the building; moving the doors to the trash room which are now on the side of the parking in lieu of inside the main pedestrian corridor; and the applicant is also now considering using the largest tree well that they can fit.

There were also comments that could not be incorporated into the project. For example, Moonstone Drive cannot provide the access to the parking garage because the site's frontage along Moonstone Drive is not wide enough to accommodate the driveway ramp. Either additional parking reductions or an additional increase in height to accommodate the same number of units would be needed to achieve this. The commercial space also cannot be made bigger due to the space needed for parking, stairs, elevator, trash, lobby, and mechanical spaces.

**CONCLUSION**

Based on the public hearing and information submitted to the record, staff recommends that the City Planning Commission approve the Density Bonus Off-Menu Incentives and the Conditional Use as requested. Staff also recommends partial approval of the Waiver of Dedication and Improvements request. Staff recommends approval of the request for a zero (0) foot dedication in lieu of a 10-foot dedication along Moonstone Drive; a zero (0) foot dedication in lieu of three (3) feet along Moonstone Drive; and denial of the 15-foot curved corner radius in lieu of a 20-foot curved corner radius as requested.

## CONDITIONS OF APPROVAL

Pursuant to Sections 12.22 A.25 and 12.24 U.26 of the Los Angeles Municipal Code, the following conditions are hereby imposed upon the use of the subject property:

### **Density Bonus Conditions**

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped Exhibit "A," with a date of July 31, 2023, attached to the subject case file. No change to the plans shall be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 22 residential multi-family residential dwelling units, including On-Site Restricted Affordable Units.
3. **On-Site Restricted Affordable Units.** Four (4) units shall be reserved for Very Low-Income Households, as defined by the California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Sections 12.22 A.25 and State Density Bonus Law (Government Code Section 65915).
5. **Housing Requirements.** Prior to the issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make four (4) units available to Very Low-Income Households or equal to 34 percent of the project's total proposed residential density allowed, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. (In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD, and in consideration of the project's Replacement Unit Determination. The applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD.

Unless otherwise required by state or federal law, the project shall provide an onsite building manager's unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the manager's unit.

6. **Floor Area Ratio (FAR) (Incentive).** The project shall be limited to a Floor Area of 16,215 square feet and a 1.971:1 FAR per Exhibit "A".
7. **Height (Incentive).**
  - a. No transitional height pursuant to LAMC Section 12.21.1 A.10 shall be required.

- b. The project shall be limited to a height of 49 feet 10 inches as shown in Exhibit "A".

#### 8. **Automobile Parking.**

- a. Automobile Parking for Residential Uses (Incentive). Based upon the number and type of dwelling units proposed a minimum of 13 parking spaces shall be provided for the project, which includes the 10 percent bicycle parking reduction. The project proposes to provide 13 total parking spaces.
- b. Adjustment of Parking. In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e., the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios set forth above.
- c. All vehicular parking areas shall provide electric vehicle charging spaces (EV Spaces) and electric vehicle charging stations (EVCS) in compliance with the regulations outlined in Sections 99.04.106 and 99.05.106 of Article 9, Chapter IX of the LAMC.
- d. Unbundling. Required parking may be sold or rented separately from the units, with the exception of all Restricted Affordable units which shall include any required parking in the base rent or sales price, as verified by LAHD.

#### 9. **Bicycle Parking.**

- a. Bicycle Parking. Bicycle parking shall be provided consistent with LAMC 12.21 A.16. and to the satisfaction of the Department of Building and Safety.

#### **Conditional Use Conditions**

10. **Fire.** The applicant shall submit plot plans for Fire Department approval and review prior to issuance of building permits.
11. **Mechanical Equipment.** All exterior mechanical equipment, including heating, ventilation and air conditioning (HVAC) equipment, satellite dishes, and cellular antennas, shall be screened from view of any abutting properties and the public right-of-way through the use of architectural elements such as parapets.
12. **Trash/Storage.** All trash collecting and storage areas shall be located on-site and not visible from the public right-of-way. Trash receptacles shall be enclosed and/or covered at all times. Trash/recycling containers shall be locked when not in use.
13. **Lighting.** All outdoor and parking lighting shall be shielded and down-cast within the site in a manner that prevents the illumination of adjacent public rights-of-way, adjacent properties, and the night sky (unless otherwise required by the Federal Aviation Administration (FAA) or for other public safety purposes).
14. **Lighting Design.** Areas where nighttime uses are located shall be maintained to provide sufficient illumination of the immediate environment so as to render objects or persons clearly visible for the safety of the public and emergency response personnel. All pedestrian walkways, storefront entrances, and vehicular access ways shall be illuminated with lighting fixtures. Lighting fixtures shall be harmonious with the building design. Wall mounted lighting

fixtures to accent and complement architectural details at night shall be installed on the building to provide illumination to pedestrians and motorists.

#### 15. **Trees.**

- a. **Street Trees.** Street trees shall be provided to the satisfaction of the Urban Forestry Division. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Article Section 12.21.G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units).
- b. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A." There shall be a minimum of six (6) 24-inch box, or larger, trees on site pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right of way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right of way is proven to be infeasible due to City determined physical constraints.
- c. Project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design should be considered and implemented to retain healthy mature street trees. A permit is required for the removal of any street tree and shall be replaced as approved by the Board of Public Works and Urban Forestry Division.
- d. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously been paid for tree plantings. The subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

16. **Stormwater/Irrigation.** The project shall implement on-site stormwater infiltration as feasible based on the site soils conditions, the geotechnical recommendations, and the City of Los Angeles Department of Building and Safety Guidelines for Storm Water Infiltration. If on-site infiltration is deemed infeasible, the project shall analyze the potential for stormwater capture and reuse for irrigation purposes based on the City Low Impact Development (LID) guidelines.

17. **Solar and Electric Generator.** Generators used during the construction process shall be electric or solar powered. Solar generator and electric generator equipment shall be located as far away from sensitive uses as feasible.

18. **Solar-ready Buildings.** The project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.

#### 19. **Signage.**

- a. There shall be no off-site commercial signage on construction fencing during construction.
- b. On-site signs shall comply with the Municipal Code. Signage rights are not part of this approval.

#### **Waiver of Dedication and Improvement Conditions**

Pursuant to Section 12.37-I of the LAMC, the following conditions are hereby imposed upon the use of the subject property:

20. Complete a 20-foot curved corner radius or 15-foot by 15-foot cut corner at the intersection of Huntington Drive North and Moonstone Drive, to the satisfaction of the Bureau of Engineering.
21. Complete the following Improvements:
  - a. Remove unused non-standard driveway approach and replace with concrete sidewalk and full height curb, obtain permit to construct or reconstruct new approaches per Standard Plan S-440-4. LADOT approval is required if driveway approaches will be built along Huntington Dr North.
  - b. Remove 80 linear feet of curb that has a height of less than six (6) inches and replace it with six (6) inch curb.
  - c. Reconstruct/remodel curb ramp at the intersection of Huntington Drive North and Moonstone drive per latest Bureau of Engineering (BOE) Standard Plan S-442-6.

### **Administrative Conditions**

22. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
23. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
24. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
25. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
26. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
27. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.

28. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.

29. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any

obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## FINDINGS

### DENSITY BONUS / AFFORDABLE HOUSING INCENTIVES PROGRAM FINDINGS

1. Pursuant to LAMC Section 12.22 A.25(g)(2)(i)(c) state that the Commission shall approve a density bonus and requested Incentive(s) unless the Commission finds that:

- a. The Incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested Incentives do not result in actual and identifiable cost reductions to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for Very Low-, Low-, and Moderate-Income Households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

Based on the set-aside of 34 percent of base units for Very Low Income households, the Applicant is entitled to three (3) Incentives under both the Government Code and LAMC. Therefore, the three (3) Off-Menu requests qualify as the proposed development's Incentives.

#### Floor Area Ratio (FAR)

The [Q]C2-1 Zone with a Height District No. 1 limits the floor area to one and one-half times the buildable area of the lot (also described as a Floor Area Ratio of 1.5:1). The Applicant is requesting an Off-Menu Incentive to permit an increase in Floor Area, resulting in a Floor Area Ratio (FAR) of 1.971:1 for a total building area of 16,215 square-feet. The additional floor area is requested to accommodate larger sized units. The project includes a unit mix of 14 one (1)-bedroom units and eight (8) studios. The requested increase in FAR will allow approximately 3,875 square feet of additional floor area and will enable the construction of affordable units.

FAR by-right	Buildable Lot Area (sf)	Base Floor Area (sf)
1.5:1	8,226.7	8,226.7 x 1.5 = <b>12,340</b>

FAR Requested	Requested Floor Area (sf)	Additional Floor Area (sf)
1.971:1	16,215	16,215 – 12,340 = <b>3,875</b>

The ability to develop larger units will increase the revenues from the market-rate units, which will lower the marginal cost of developing the affordable units. The additional

floor area will allow certain fixed costs involved in the construction of new residential units to be spread over more floor area thereby reducing the per square foot build cost of the development. This increased floor area will allow for the construction of the affordable residential units and to expand the building envelope so the additional units can be constructed, and the overall space dedicated to residential units is increased. Therefore, the FAR Incentive will result in identifiable and actual cost reductions to provide for affordable housing costs.

### Height

The project site is zoned [Q]C2-1 and abuts an R1 zoned lot to the west, which requires compliance with the Commercial Corner Development provisions under LAMC Section 12.22 A.23 and transitional height provisions under LAMC Section 12.21.1 A.10. The Applicant is requesting an Off-Menu Incentive to permit a height of 49 feet 10 inches in lieu of 45 feet as required by the Commercial Corner Development provisions and for relief from transitional height provisions.

Pursuant to LAMC transitional height requirements, the project would be limited to a maximum height of 25 feet at a distance of 0 to 49 feet from a lot classified in the RW1 zone or a more restrictive zone. The project as designed provides a setback at a 45 degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in the RW1 Zone or more restrictive residential zone or Specific Plan subarea. This increase in building height will allow for the construction of the affordable residential units and to expand the building envelope so the additional units can be constructed, and the overall space dedicated to residential units is increased.

### Parking

The proposed project is subject to parking requirements found in LAMC Section 12.21 A.4. The required number of off-street parking is as follows: residential – 29 spaces and commercial – two (2) spaces. The project site is not eligible for any parking reductions such as AB 2097, therefore the Applicant is requesting a residential parking reduction of 0.5 spaces per unit, requiring 11 spaces. This decrease in residential parking will allow for the construction of the affordable residential units and to expand the building envelope so the additional units can be constructed, and the overall space dedicated to residential units is increased.

- b. The Incentives will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Government Code Section 65915(d)(1)(B) and 65589.5(d)).**

There is no evidence in the record that the proposed Density Bonus Incentive(s) will have a specific adverse impact. A “specific adverse impact” is defined as, “a

significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (LAMC Section 12.22.A.25(b)).

The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. There is also no substantial evidence that the project’s proposed Incentives will have a specific adverse impact on public health and safety, or on property listed in the California Register of Historic Resources. Based on the above, there is no basis to deny the requested Incentives.

**c. The Incentives are contrary to state or federal law.**

There is no substantial evidence in the record indicating that the proposed Incentives are contrary to State or federal law.

**CONDITIONAL USE FINDINGS**

**2. The project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.**

The project site is zoned [Q]C2-1, which allows a base density of 11 units on the subject property. The Density Bonus Ordinance allows a density bonus of up to 35 percent in exchange for setting aside 11 percent of the 11 base density units for Very Low-Income Households. With the maximum density increase of 35 percent allowed through the Density Bonus Ordinance, the project would be permitted a total of 15 units on site in exchange for setting aside two (2) units for Very Low-Income Households.

The State Density Bonus Law (Government Code Section 65915(n)) also allows a city to grant a density bonus greater than 35 percent for a development, if permitted by a local ordinance. The City adopted the Value Capture Ordinance (Ordinance No. 185,373), codified in LAMC Section 12.24 U.26, to permit a density increase greater than 35 percent with the approval of a Conditional Use. In exchange for the increased density, the Value Capture Ordinance requires projects to set aside one (1) additional percent of base density units above the 11 percent for Very Low-Income Households for every additional 2.5 percent density increase above the 35 percent. Below is a table showing the requisite percentage of affordable housing units for Very Low-Income Households based on the percentage of density increase.

The applicant requests a Conditional Use for a density increase in excess of 35 percent pursuant to LAMC Section 12.24 U.26, to allow a 92.5 percent increase in density for a total of 22 dwelling units in lieu of 11 base density dwelling units as otherwise permitted by-right in the [Q]C2-1 Zone. In accordance with LAMC Section 12.22 A.25(c)(7), in calculating Density Bonus and Restricted Affordable units any number resulting in a fraction shall be rounded up to the next whole number. As provided in the table above, the

applicant is required to set aside 34 percent, or four (4) units, of the base density of 11 units for Very Low-Income Households in order to be granted a 92.5 percent density bonus. The applicant proposes to set aside four (4) units for Very Low-Income Households for a period of 55 years. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low-Income Households to be eligible for a 92.5 percent density increase.

According to the 2021-2029 Housing Element of the City of Los Angeles General Plan, 22 percent of total households in the City earn less than \$25,000 a year and 42 percent of all households make less than \$50,000 a year; therefore, almost half of the City's residents are in the Very Low or Low Income Categories. The City has determined that the shortage of affordable housing is an ongoing crisis in Los Angeles. The increased intensity and density of the proposed development will be offset by the project's ability to provide the number of affordable units required by the City's Density Bonus policy. Therefore, the proposed project would provide a service that is essential and beneficial to the community, city and region.

<b>Percentage of Base Density to be Restricted to Very Low-Income Households</b>	<b>Percentage of Density Increase Granted</b>
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55
20	57.5
21	60
22	62.5
23	65
24	67.5
25	70
26	72.5
27	75
28	77.5
29	80
30	82.5

31	85
32	87.5
33	90
34	92.5

**3. That the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.**

The proposed project is the demolition of the existing structures (low site walls) and surface parking and the construction, use, and maintenance of a new 49 foot 10 inch mixed-use building consisting of 437.6 square feet of ground floor commercial and 22 residential dwelling units, four (4) of which are proposed for Very Low-Income Households. The project will be 16,215 square feet in floor area and have a Floor Area Ratio ("FAR") of 1.971:1. The project will provide 13 automobile parking spaces across one level of basement parking. Four (4) short-term and 24 long-term bicycle parking spaces will be provided.

The first floor is partially submerged at the rear of the development abutting the R1 zoned lots. That floor contains the parking and commercial space. The residential units are located above that and will comprise 14 one (1)-bedroom units and eight (8) studios. The primary pedestrian building entrance is located along Huntington Drive. However, there is an additional resident's entrance along Moonstone Drive and at the rear of the development as well. Residential amenities are provided in the form of private balconies/patios, a common open space area in the rear yard, and a recreation room on the first floor. Vehicular access is proposed from one driveway along Huntington Drive. There are five (5) trees in the public right-of-way, which are proposed for removal and replacement according to Urban Forestry Division requirements.

The project site is located in an urbanized area surrounded by various uses. Adjoining properties are zoned [Q]R1-1D-HCR, [Q]C2-1 and [Q]C2-1VL and are designated for Low Residential and General Commercial uses. The surrounding area consists of single family, multi-family and low scale commercial uses.

The site is located approximately four (4) miles southwest of the I-110 (Arroyo Seco Parkway – Pasadena Freeway) and approximately three (3) miles north of the I-10 (San Bernardino Freeway). Huntington Drive North, which abuts the site to the east is a heavily trafficked street with local bus lines serving the area. Mission Road, Soto Street, and North Broadway are also just south of the project site and are also heavily trafficked streets with local bus lines serving the area.

The mixed-use development is permitted at this location on the subject site as an allowable use by the underlying C2-1 Zone. Further, the [Q] Condition (Ordinance No. 173,070 SA7075A) prohibits 100 percent residential uses and requires mixed-use development comply with the "Mixed Use Project" definition found in LAMC Section 13.09. As provided

under Findings above, the project's density, height, FAR, and parking are allowed by the underlying zone in combination with Density Bonus law.

The building has been designed to incorporate architectural details on all facades and the building is setback from the rear which abuts the R1 zoned lots to reduce the visual height and bulk of the building. The project will enhance the pedestrian experience by providing commercial storefront along Huntington Drive.

Given the project site's proximity to public transit, the commercial corridors of North Broadway and Mission Road, and the surrounding uses, the project's location, size, height, operations, and other significant features will be compatible with and will not adversely affect adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.

The subject site is zoned [Q]C2-1, with a Height District No. 1 that permits a maximum FAR of 1.5:1. The Applicant has requested an FAR of 1.971:1 in lieu of the maximum 1.5:1 through an Off-Menu Incentive for a maximum floor area of 16,215 square feet. While the size of the project is larger than the existing commercial buildings on Huntington Drive North, the increase in FAR granted through the Density Bonus Ordinance will be compatible with and will not degrade the surrounding built environment. In addition, there are two larger residential developments across Huntington Drive, including the 85-unit 100 percent affordable housing development at 4208 East Huntington Drive South and 70-unit apartment building at 2580 North Soto Street. The project located at 4208 East Huntington Drive South measures 91,596 square feet, consists of two (2) four (4)-story buildings each measuring 55 feet tall, with 2,500 square feet of ground floor commercial space over one (1) subterranean level of parking with 68 parking spaces. The project located at 2580 North Soto Street is a four (4) story building over one (1) subterranean level of parking, consisting of 5,000 square feet of commercial space along with the 70 affordable dwelling units.

Pursuant to LAMC Section 12.21.1, the Height District No. 1 limits the maximum height to 45 feet with a limit of three stories. The Applicant has requested an increase in height of four (4) feet 10 inches to allow for 49 feet 10 inches through an Off-Menu Incentive. The project is also required to meet transitional height requirements which the Applicant has also requested to not provide through an Off-Menu Incentive. The request for an additional four (4) feet 10 inches and to not provide transitional height is needed to construct the number of units that the requested density bonus allows. While the height of the project is taller than the existing commercial buildings on Huntington Drive North and in the neighborhood, the increase in height granted through the Density Bonus Ordinance will be compatible with and will not degrade the surrounding built environment or the public health, welfare, and safety in the neighborhood.

Pursuant to LAMC Section 12.21 A.4, the project would be required to provide 29 spaces for the residential use and two (2) spaces for the commercial use. The project site is not eligible for any parking reductions pursuant to state law or City codes. Therefore, the Applicant is requesting a reduction similar to what would be available to a project that qualifies for the City's Transit Oriented Communities (TOC) program, which is 0.5 spaces

per unit. This would require 11 spaces for the residential use in lieu of the 29 required per LAMC.

Pursuant to Department of Transportation (LADOT) communication dated August 28, 2023, the project will not generate enough daily trips to require a transportation analysis. Therefore, the project will not have any significant impacts related to traffic. The project will also provide four (4) short-term and 24 long-term bicycle parking space in compliance with LAMC Section 12.21 A.16.

The project site is not eligible for On-Menu Incentives as the project site is located within a Very High Fire Severity Zone, pursuant to LAMC Section 12.22 A.25 (e)(2)(iv). Therefore, the requested Incentives must be Off-Menu. The project site is also not eligible to utilize the TOC program as it is too far from a “Major Transit Stop”.

Therefore, as described above, the project will provide amenities and features that will enhance the surrounding neighborhood rather than further degrade or adversely affect other properties.

**4. That the project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.**

The Los Angeles General Plan sets forth goals, objectives and programs that guide both Citywide and community specific land use policies. The General Plan is comprised of a range of State-mandated elements, including, Land Use, Transportation, Noise, Safety, Housing and Conservation. The City’s Land Use Element is divided into 35 community plans that establish parameters for land use decisions within those sub-areas of the City.

The General Plan is a long-range document determining how a community will grow, reflecting community priorities and values while shaping the future. Policies and programs set forth in the General Plan are subjective in nature, as the General Plan serves as a constitution for development and foundation for land use decisions. As such, there are no objective zoning or design review standards relevant to this finding other than those objective standards, as defined by Government Code Section 65913.4(a), that the project has already been determined to be consistent with. The project substantially conforms with the following purposes and objectives of the General Plan Elements: Framework Element, Housing Element, Mobility Element and the Land Use Element – Northeast Los Angeles Community Plan. The project site is not subject to any specific plans.

**Framework Element**

The Framework Element is a strategy for long-term growth which sets a citywide context to guide the update of the Community Plan and Citywide Elements. The Framework Element is a comprehensive, long range document containing purposes, policies and programs for the development of the City of Los Angeles. The Citywide General Plan Framework text defines policies related to growth and includes policies for land use, housing, urban form/neighborhood design, open space/conservation, economic development, transportation, and infrastructure/public services.

The primary objectives of the policies in the Framework Element's Land Use Chapter are to support the viability of the City's residential neighborhoods and commercial districts, and when growth occurs, to encourage sustainable growth in a number of higher-intensity commercial and mixed-use districts, centers and boulevards and industrial districts particularly in proximity to transportation corridors and transit stations.

Huntington Boulevard is designated as a Mixed-Use Boulevard in the Framework Element and this site appears to be located within this designation. The Framework Element recommends that in these areas, mixed-use development should be encouraged, with the scale, density and height of development compatible with the surrounding areas, characterized by 1- to 2-story commercial structures and 3- to 6-story mixed use buildings, and served by a variety of transportation facilities. Chapter 3 – Land Use of the Framework Element notes that Mixed Use Boulevards should be utilized to integrate new commercial or housing developments in areas with existing or planned transit facilities, in order to improve or re-use commercial areas which may be currently low-intensity or underperforming.

The project site is located in an urbanized area surrounded by various uses. Adjoining properties are zoned [Q]R1-1D-HCR, [Q]C2-1, and [Q]C4-1VL and are designated for Low Residential and General Commercial uses. Immediately to the north of the project site are single family dwellings, to the east of the project site is a multi-family development containing 70 dwelling units, to the south of the project site are single family dwellings and low scale commercial uses, and to the west of the project site are single family dwellings.

As the project consists of the demolition of existing structures and surface parking and the construction of a 49 foot 10 inch mixed use building near local transportation facilities, the project will result in the redevelopment of an underperforming commercial use for new housing, thereby furthering the goals of the Framework Element.

### **Housing Element**

On November 24, 2021, the Los Angeles City Council adopted the 2021-2029 Housing Element, and on June 14, 2022, the full City Council adopted targeted amendments. The Housing Element will guide the creation and implementation of the City's housing policy from 2021 to 2029. On June 29, the California Department of Housing and Community Development (HCD) informed the City of Los Angeles that its 2021-2029 Housing Element was in full compliance with State law. The project site is not in the Housing Element Inventory of Sites, however, the project is consistent with the following goals, objectives, and policies of the Housing Element (2021-2029):

**GOAL 1** A City where housing production results in an ample supply of housing to create more equitable and affordable options that meet existing and projected needs

**Objective 1.2:** Facilitate the production of housing, especially projects that include Affordable Housing and/or meet Citywide Housing Priorities.

**Policy 1.2.1:** Expand rental and for-sale housing for people of all income levels. Prioritize housing developments that result in a net gain of Affordable Housing and serve those with the greatest needs

**Objective 1.3:** Promote a more equitable distribution of affordable housing opportunities throughout the city, with a focus on increasing Affordable Housing in Higher Opportunity Areas and in ways that further Citywide Housing Priorities.

**Policy 1.3.1:** Prioritize housing capacity, resources, policies and incentives to include Affordable Housing in residential development, particularly near transit, jobs, and in Higher Opportunity Areas.

**GOAL 3** A City in which housing creates healthy, livable, sustainable, and resilient communities that improve the lives of all Angelenos.

**Objective 3.2:** Promote environmentally sustainable buildings and land use patterns that support a mix of uses, housing for various income levels and provide access to jobs, amenities, services and transportation options.

**Policy 3.2.1:** Promote the integration of housing with other compatible land uses at both the building and neighborhood level.

**Policy 3.2.2:** Promote new multi-family housing, particularly Affordable and mixed income housing, in areas near transit, jobs and Higher Opportunity Areas, in order to facilitate a better jobs-housing balance, help shorten commutes, and reduce greenhouse gas emissions

This project is consistent with the Housing Element, as it is proposing the redevelopment of an older commercial site for the construction of a new mixed-use development providing retail space and new housing units, thereby increasing the City's housing supply for existing and projected needs and providing said housing units in a place which is near some of Northeast Los Angeles' commercial corridors, without displacing any current residents. As such, the proposed project substantially conforms to the purpose of the Housing Element of the General Plan.

### **Mobility Element**

The Mobility Plan 2035 includes goals that define the City's high-level mobility priorities. The Mobility Element sets forth objectives and policies to establish a citywide strategy to achieve long-term mobility and accessibility within the City of Los Angeles. Among other objectives and policies, the Mobility Plan aims to support ways to reduce vehicle miles traveled (VMT) per capita by increasing the availability of affordable housing options with proximity to transit stations and major bus stops and offering more non-vehicle alternatives, including transit, walking and bicycling.

The proposed mixed-use building is a pedestrian-oriented development that provides 22 dwelling units in proximity to local transit options and major commercial corridors. As previously mentioned, the site is located approximately four (4) miles southwest of the I-110 (Arroyo Seco Parkway – Pasadena Freeway) and approximately three (3) miles north of the I-10 (San Bernardino Freeway). Huntington Drive North, which abuts the site to the east is a heavily trafficked street with local bus lines serving the area. Mission Road, Soto Street, and North Broadway are also just south of the project site and are also heavily trafficked streets with local bus lines serving the area. These bus routes provide access to employment centers and jobs, local and regional destinations, and other neighborhood services for project residents. The availability of transit options along the commercial corridors creates a lesser need for the use of personal vehicles. The project is conditioned to provide residential parking at a rate of 0.5 spaces per dwelling unit, in conformance with California Government Code Section 65915. Additionally, the project will provide 22 long term bicycle parking spaces for the residential use and two (2) spaces for the commercial use and two (2) short term spaces for the residential and two (2) more for the commercial use. The long-term bicycle spaces are provided in a storage room located on the first floor of the residential units. The storage room will also have a locker and repair room. Short-term bicycle spaces are provided at the entrance of the building and are easily accessible from the sidewalk. The project is requesting a waiver of dedication and improvements which have been approved in part and denied in part as shown in the Findings. With compliance of proposed conditions, the project will be in compliance and will conform to the purpose of the Mobility Element of the General Plan.

### **Land Use Element – Northeast Los Angeles Community Plan**

The Northeast Los Angeles Community Plan was adopted by the City Council on June 15, 1999. One of the Community Plan’s purposes includes “Preserving and enhancing the positive characteristics of existing residential neighborhoods while providing a variety of compatible new housing opportunities.”

The project would be in conformance with the following objective of the Land Use Element as described below.

**Objective No. 1-2:** To allocate land for new housing to accommodate a growth of population that is consistent with and promotes the health, safety, welfare, convenience, and pleasant environment of those who live and work in the community based on adequate infrastructure and government services, especially schools.

The project site is located within the Northeast Los Angeles Community Plan which designates the subject property for General Commercial uses with corresponding zones of C1, CR, C1.5, C2, C4, P, and RAS3. The subject site is zoned [Q]C2-1, which is a corresponding zone. The subject property is not located within the boundaries of and is not subject to any specific plan or community design overlay. The C2 Zone in the Northeast Los Angeles Community Plan allows for commercial uses and R3 residential uses such as multi-family developments, as well as a variety of community serving uses such as childcare facilities, senior housing, and assisted living care housing. Height District 1 permits a buildable floor area ratio (FAR) of up to 1.5 with a maximum height

limitation of 45 feet. The project site contains approximately 8,226.7 square feet of lot area and is permitted a base density of 11 dwelling units. The project utilizes the State Density Bonus Law (California Government Code Section 65915) and the City's Ordinance No. 179,681 (Density Bonus Ordinance), codified in LAMC Section 12.22 A.25, and Ordinance No. 185,373 (Value Capture Ordinance), codified in LAMC Section 12.24 U.26 (Conditional Use Section of LAMC) to increase the maximum density from 11 to 22 dwelling units, four (4) of which will be set aside for Very Low Income Households. The project is also requesting various Incentives to request relief from FAR, height, and parking for the residential use. With utilization of the State Density Bonus Law, the City's Density Bonus Ordinance, and the City's Value Capture Ordinance, the project will conform to the purpose of the Northeast Los Angeles Community Plan by providing much need housing near job centers and transit and providing housing which supplements the needs of both market rate and affordable housing.

**5. The project is consistent with and implements the affordable housing provisions of the Housing Element of the General Plan.**

On November 24, 2021, the Los Angeles City Council adopted the 2021-2029 Housing Element, and on June 14, 2022, the City Council adopted targeted amendments. The Housing Element will guide the creation and implementation of the City's housing policy from 2021 to 2029. On June 29, 2022, the California Department of Housing and Community Development (HCD) informed the City of Los Angeles that its 2021-2029 Housing Element was in full compliance with State law. The Housing Element identifies the City's housing conditions and needs, evaluates the City's ability to meet its Regional Housing Needs Assessment (RHNA), establishes the goals, objectives, and policies that are the foundation of the City's housing and growth strategy, and provides an array of programs the City intends to implement to create sustainable, mixed-income neighborhoods across the City. The Housing Element aims to provide affordable housing and amenity-rich, sustainable neighborhoods for its residents, answering the variety of housing needs of its growing population. Specifically, the Housing Element encourages affordable units to accommodate all income groups that need assistance.

There are no objective zoning or design review standards relevant to this finding other than those objective standards, as defined by Government Code Section 65913.4(a), that the project has already been determined to be consistent with. The project is consistent with and implements the affordable housing provisions of the Housing Element. The proposed project will replace existing structures and surface parking with a mixed-use development consisting of 437.6 square-feet of retail on the ground floor and 22 residential dwelling units, which reserves 34-percent of the 11 base units, that is four (4) units, for Very Low-Income Households, in a new mixed-use development. As such, the proposed project substantially conforms to the purpose of the Housing Element of the General Plan.

**6. The project contains the requisite number of Restricted Affordable Units for the requested density, based on the number of units permitted by the maximum allowable density on the date of application, as follows:**

- a. 11% Very Low Income Units for a 35% density increase; or
- b. 20% Low Income Units for a 35% density increase; or

- c. **40% Moderate Income Units for a 35% density increase in for-sale projects.**

The project may then be granted additional density increases beyond 35% by providing additional affordable housing units in the following manner:

- d. **For every additional 1% set aside of Very Low Income Units, the project is granted an additional 2.5% density increase; or**  
 e. **For every additional 1% set aside of Low Income Units, the project is granted an additional 1.5% density increase; or**  
 f. **For every additional 1% set aside of Moderate Income Units in for-sale projects, the project is granted an additional 1% density increase; or**  
 g. **In calculating the density increase and Restricted Affordable Units, each component of any density calculation, including base density and bonus density, resulting in fractional units shall be separately rounded up to the next whole number.**

The City's Density Bonus Ordinance permits a maximum density increase of up to 35 percent in exchange for setting aside 11-percent of the base density units for Very Low-Income Households in accordance with the State Density Bonus Law. The State Density Bonus Law (Government Code Section 65915(n)) also allows a city to grant a density bonus greater than 35 percent for a development, if permitted by local ordinance. The City adopted Ordinance No. 185,373 (Value Capture Ordinance), codified in LAMC Section 12.24 U.26, to permit a density increase greater than 35 percent. The Ordinance requires the project to set aside one (1) additional percent of base density units above the 11 percent for Very Low-Income Households for every additional 2.5 percent density increase above the 35 percent.

Below is a table showing the requisite percentage of affordable housing units for Very Low-Income Households based on the percentage of density increase.

<b>Percentage of Base Density to be Restricted to Very Low-Income Households</b>	<b>Percentage of Density Increase Granted</b>
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55
20	57.5

21	60
22	62.5
23	65
24	67.5
25	70
26	72.5
27	75
28	77.5
29	80
30	82.5
31	85
32	87.5
33	90
34	92.5

The applicant requests a Conditional Use for a density increase in excess of 34 percent pursuant to LAMC Section 12.24 U.26, to allow a 92.5-percent increase in density for a total of 22 dwelling units in lieu of 11 dwelling units as otherwise permitted by-right in the [Q]C2-1 Zone. The Applicant is required to set aside at least 34-percent, or four (4) units, of 11 by-right density units for the 92.5-percent density increase, as shown in the above table. The project totals 22 dwelling units, four (4) of which will be restricted to Very Low-Income Households for a period of 55 years, which is 34-percent of the 11 base density units. As such, the project contains the requisite number of Restricted Affordable Units to increase the density by 92.5-percent.

**7. The project meets any applicable dwelling unit replacement requirements of California Government Code Section 65915(c)(3).**

The project site does not contain existing residential dwelling units and will not be demolishing any existing residential dwelling units. As a result, the Applicant has submitted a No Net Loss Declaration dated June 14, 2023. Additionally, according to their letter dated December 22, 2020, the Housing Department has determined that the project is not required to provide replacement units pursuant to SB 330.

**8. The project's Restricted Affordable Units are subject to a recorded affordability restriction of 55 years from the issuance of the Certificate of Occupancy, recorded in a covenant acceptable to the Housing and Community Investment Department, and subject to fees as set forth in Section 19.14 of the Los Angeles Municipal Code.**

Per the Conditions of Approval, the owner is required to execute a covenant to the satisfaction of LAHD to make four (4) units available for Very Low-Income Household occupancy defined by the State Density Bonus Law 65915 (c)(1) or (c)(2) as determined by the California Department of Housing and Community Development ("HCD") for a

period of 55 years. The applicant is required to present a copy of the recorded covenant to the Department of City Planning and the proposed project shall comply with any monitoring requirements established by LAHD. Therefore, as conditioned, the project satisfies this finding in regard to subjected restricted affordable units to recorded affordability per LAHD.

**9. The project addresses the policies and standards contained in the City Planning Commission's Affordable Housing Incentives Guidelines.**

The project requests a 92.5-percent density increase above the 11 base density units to permit a total of 22 dwelling units. The project will set aside four (4) units for Very Low-Income Households, which is 34-percent of the 11 base density units. As such, the project is consistent with the State Density Bonus Law and the local Density Bonus Ordinance. Furthermore, the project is required to record a Covenant and Agreement with the LAHD to make the four (4) units affordable to Very Low-Income Households per the Conditions of Approval. Therefore, the project complies with the City Planning Commission's Affordable Housing Incentives Guidelines.

**WAIVER OF DEDICATION AND IMPROVEMENTS FINDINGS**

Pursuant to LAMC Section 12.37, the City Planning Commission may waive, reduce, or modify the required dedication(s) or improvement(s) as appropriate after making any of the following findings, based on substantial evidence in the record that:

- i) the dedication or improvement requirement does not bear a reasonable relationship to any project impact;
- ii) the dedication or improvement is not necessary to meet the City's mobility needs for the next 20 years based on the guidelines the Street Standards Committee has established; or
- iii) the dedication or improvement requirement is physically impractical.

**10. The dedication or improvement requirement is physically impractical.**

The Bureau of Engineering (BOE) has indicated required dedication and improvement requirements along Moonstone Drive and Huntington Drive North in their letter dated February 24, 2021. The BOE requirements include:

- 1) Complete the dedication process of three (3) feet along Huntington Drive North; a 10-foot dedication along Moonstone Drive and a 20 foot curved corner radius at the intersection of Huntington Drive North and Moonstone Drive by submitting required documents and fees.
- 2) Obtain an A-permit to complete the following improvements:
  - a. Remove unused non-standard driveway approach and replace with concrete sidewalk and full height curb, obtain permit to construct or reconstruct new approaches per Standard Plan S-440-4. LADOT approval is required if driveway approaches will be built along Huntington Drive North.

- b. Remove 80 linear feet of curb that has a height of less than 6 inches and replace it with 6-inch curb.
- c. Reconstruct/remodel curb ramp at the intersection of Huntington Drive North and Moonstone drive per latest Bureau of Engineering (BOE) Standard Plan S-442-6.

The Applicant has requested to provide a zero (0)-foot dedication, in lieu of the otherwise required 10-foot dedication along Moonstone Drive, a zero (0)-foot dedication in lieu of the otherwise required three (3) foot dedication along Huntington Drive North, and a 15-foot curved corner radius in lieu of a 20-foot curved corner radius.

The proposed project is the demolition of the existing low site walls and surface parking and the construction, use and maintenance of a new 49-foot 10-inch mixed-use building with 22 residential dwelling units (four of which will be reserved for Very Low Income households) and 437.6 square feet of commercial space for a total square footage of 16,215 square feet (FAR of 1.971:1). The proposed project will provide 13 automobile parking spaces across one level of basement parking. Four (4) short-term and 24 long-term bicycle parking spaces will be provided. There are four (4) existing non-protected trees on-site that are proposed for removal and four (4) existing Street Trees that are proposed for removal. The proposed project is required to provide a minimum of six (6) replacement trees, but the applicant is proposing eight (8) total replacement trees including Street Trees as determined by the Urban Forestry Division of the Bureau of Street Services. The project proposes the export of 2,125 cubic yards of earth materials and therefore requires a haul route.

**Moonstone Drive**, abutting the property to the north, is designated by the Mobility Plan as a Local Street – Standard, with a designated half right-of-way width of 30 feet and half roadway width of 18 feet. It is currently dedicated to a 20-foot half right-of-way and a 14-foot half roadway. In addition, while the minimum required width for the sidewalk in this location is five (5) feet pursuant to BOE, the Local Street standard requires a 12-foot-wide sidewalk. The portion of Moonstone Drive abutting the subject site has an existing sidewalk with variable width of four (4) feet six (6) inches to five (5) feet nine (9) inches at its widest. Therefore, Moonstone Drive is not dedicated or improved to the required width of the Local Street standards.

The dedication requirement is physically impractical. To meet Local Street standards, the project would be required to dedicate 10 feet to complete a 30-foot designated half right-of-way and 18-foot designated half roadway width. By providing the 10-foot dedication, the site would be left with a depth of about 78 feet along the Moonstone Drive frontage, thereby not providing enough lot area to develop the same project and provide the number of dwelling units and parking spaces as proposed. Further, directly abutting the project site along Moonstone Drive and to the west, the lots are zoned for single family uses and are developed with such uses. Those lots are limited to the uses and density allowed by the R1 Zone, LAMC Hillside Regulations, and Northeast Hillside Ordinance regulations. It is unlikely that Moonstone Drive will be fully improved along the frontages of those lots for that reason. Therefore, it is an unreasonable expectation that the street will be fully widened up to its terminus to the west, and the improvement is physically impractical.

**Huntington Drive North**, abutting the property to the east, is designated by the Mobility Plan as a Boulevard II, with a designated half right-of-way width of 15 feet and half roadway width of 15 feet. It is currently dedicated to a 12-foot half right-of-way and 12-foot

half roadway width, with a curb, gutter, and sidewalk. In addition, the Boulevard II standard requires a 15-foot-wide sidewalk, however the portion of Huntington Drive North abutting the subject site has an existing variable width from eight (8) feet seven (7) inches to 10 feet three (3) inches at its widest. Therefore, Huntington Drive North is not dedicated or improved to the required width of the Boulevard II standards.

The dedication requirement on Huntington Drive is physically impractical. In order to meet Boulevard II standards, the project would be required to dedicate three (3) feet to complete a 15-foot designated half right-of-way and 15-foot designated half roadway width. The proposed project will replace previously commercial, now vacant land (low site walls exist on-site) with a new mixed-use building that will contain 22 residential dwelling units and commercial space on the ground floor. Developments immediately surrounding the project site include low scale single family residential uses, low scale commercial uses, and multi-family dwellings across the street (70-unit development). The Applicant will repair and or/replace any damaged/cracked or off-grade concrete curb, gutter, sidewalk and AC pavement along the property frontage to the satisfaction of the City Engineer, as conditioned. The sidewalk along the property's frontage on Huntington Drive will be increased in size due to the proposed demolition of encroaching structures on the project site. Additionally, because the proposed project has to comply with the [Q] Qualified Condition requiring compliance with the Mixed Use Project definition found in LAMC Section 13.09, the proposed project must have commercial space and that commercial space must measure 25 feet in depth and have a minimum of 35 percent of the Ground Floor Building Frontage (defined in LAMC Section 13.09) abutting a public commercially zoned street, excluding driveways or pedestrian entrances. Due to this requirement and the size and configuration of the lot, the corner of Huntington Drive North and Moonstone Drive is the only feasible location for the proposed commercial use. Therefore, the required three (3) foot dedication along Huntington Drive North will require the commercial space to be pushed back, creating difficulty for the project to comply with the 25 foot depth requirement and will affect the layout of the stairs, elevators and the proposed parking spaces. In order to accommodate the required dedication, the project would lose at least two (2) parking spaces and some of the one (1) bedroom units would lose habitable areas thereby turning them into studios.

**Corner Dedication.** In order to meet the corner dedication requirement, the Applicant has the option to provide either a 15 foot by 15 foot cut corner or a 20-foot curved corner radius at the intersection of Huntington Drive North and Moonstone Drive. The Applicant chose the curved corner radius option, however, is requesting a 15-foot curved corner radius in lieu of 20-feet. The proposed project provides the visibility clearance for corner properties, however, the required 20-foot curved corner radius also serves to meet accessibility needs. For that reason, the request to provide a 15-foot curved corner radius in lieu of a 20-foot curved corner radius is denied.

### **ADDITIONAL MANDATORY FINDINGS**

11. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located outside of a flood zone.

- 12.** CEQA. It has been determined based on the whole of the administrative record that the project is exempt from CEQA pursuant to State CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2, applies.

The proposed project qualifies for a Class 32 Categorical Exemption because it conforms to the definition of "In-fill Projects". The project can be characterized as in-fill development within urban areas for the purpose of qualifying for Class 32 Categorical Exemption and its five established qualifiers and if it is not subject to an Exception that would disqualify it. The Categorical Exception document found in Case No. ENV-2021-1602-CE and attached to the subject case file provides the full analysis and justification for project conformance with the definition of a Class 32 Categorical Exemption.

## **PUBLIC HEARING AND COMMUNICATIONS**

### **PUBLIC HEARING**

The public hearing was held on May 1, 2023 at approximately 10:00 a.m. in a virtual format. The hearing was conducted by the Hearing Officer, Nicole Sánchez, on behalf of the City Planning Commission in taking testimony for Case No. CPC-2021-1601-DB-CU-WDI-HCA and ENV-2021-1602-CE. All interested parties were invited to attend the public hearing at which they could listen, ask questions, or present testimony regarding the project. The purpose of the hearing was to obtain testimony from affected and/or interested parties regarding this application. Interested parties are also invited to submit written comments regarding the request prior to the hearing. The environmental analysis was among the matters to be considered at the hearing.

The public hearing was attended by the applicant's representative (David Gonzalez Rojas) and approximately 11 other members from the community. There were 10 speakers who provided comments at the hearing.

#### **Applicant Presentation:**

The applicant's representative described the site location, project description, and requested entitlements.

#### **Public Comment:**

As mentioned above, there were 10 public comments provided. There were seven (7) members of the public in opposition, one (1) member of the public in support, and two (2) that shared concerns but remained neutral. The issues raised by the 11 members of the public include: not enough parking, too much density, commercial space won't survive, concern over stability, and that the project does not benefit existing residents.

Community members are concerned that the project is not providing enough parking spaces in an area already dealing with parking issues. According to community members there are multiple reasons why there are parking issues including: Moonstone drive is narrow, there is a lot of red curbs "No Parking" areas along Huntington drive, residents of the development across the street also use this area to park, many existing residences don't have garages, and surrounding streets are no parking areas on red flag days.

Some members of the community are also concerned with the amount of density this project is introducing both with the residential units and commercial space. Some were concerned that with the size of the commercial space and the location in general would make for a space that will go vacant for a long time like the development across the street. There were a couple of members of the community concerned over the stability of the site being so close to the hillside area. There were also a few that stated the project did not offer anything to existing residents.

For those that were in support or remained neutral, they expressed a desire for this to be open space, a couple expressed their general support of the project but still had concerns over parking.

Additionally, at the time of preparation of this staff report, Planning staff has received five (5) emails from community members. Those community members express concerns over the same issues discussed above.

# HUNTINGTON APARTMENT

**EXHIBIT-A**

PROJECT-PLANS  
CPC-2021-1601-DB-CU-WDI-HCA



### DRAWING SYMBOLS

CENTER LINE	---
PROPERTY LINE	----
HIDDEN/CONCEALED LINE	----
ELEVATION CONTROL	
WORK POINT	
SPOT ELEVATION	
DIMENSIONS	
GRIDLINES	
ELEVATION	
BUILDING SECTION	
DETAIL/WALL SECTION	
DETAIL ENLARGEMENT	
INTERIOR ELEVATION	
DOOR NUMBER	
WINDOW NUMBER	
NEW CONSTRUCTION	=====
1 HOUR CONSTRUCTION	-----

### ABBREVIATIONS:

A	at	L	LPG Liquefied Petroleum Gas
abv	above	M	Mfg. Manufactur(er)
A.D.	Area Drain	Mtl.	Metal
avg.	Average	Min.	Minimum
B		N	
Bd.	Board		
Bel.	Below		
Bldg.	Building		
Bm.	Beam		
BOW	Bottom of Wall		
BTU	British Thermal Unit		
C		O	Over
CFM	Cubic Feet per Minute	OD	Outside Diameter
CIP	Cast in place	ODU	Out Door Unit
CMU	Concrete masonry Unit	OSB	Oriented Strand Board
Conc.	Concrete	P	Plywood
D		PW	
Dn	Down	R	Req. Required
DWV	Drain/Waste Vent	RJ	Roof Joist
E		RR	Roof Rafter
Elasto.	Elastomeric	Rm	Riserm.
F		S	S.D. Storm Drain
FAU	Forced Air Unit	SF	Square Feet
F.J.	Floor Joist		
F.G.	Finish Grade	T	Typ. Typical
G		TC	Top of Grote
Gu.	Guage	TOP	Top of Parapet
Galv.	Galvanized	TOW	Top of Wall
gyp.	Gypsum	TPS	Top of Plywood Sheathing
H		U	Underwriters Laboratories
HVAC	Heating, Ventilation and Air Conditioning Unit	UL	
I		V	
Inv.	Invert	W	Wood
J		w/	With
K		X	
		Y	
		Z	

### CONTACT INFORMATION

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### PROJECT DATA

NEW 3 - STORY OVER 1 BASEMENT STORY MIXED USE BUILDING TOTALING 16,215 SF ON AN EXISTING VACANT UNDEVELOPED LOT TO INCLUDE 22 RESIDENTIAL UNITS, 4 OF WHICH WILL BE RESERVED FOR VERY LOW INCOME HOUSING, AND 1 COMMERCIAL SPACE USED FOR RETAIL OFF-MENU INCENTIVES REQUESTED PER LAMC 12.22 A.25 SEE BELOW.	
PROJECT ADDRESS:	4221 HUNTINGTON DR LOS ANGELES, CA 90032
AGENCY JURISDICTION:	CITY OF LOS ANGELES
REFERENCE CODE:	CBC 2019
ZONING	
ZONE:	(Q)C2-1 Q = CANNOT BE 100% RESIDENTIAL ENTERPRISE ZONE (REDUCED COMMERCIAL PARKING)
LOT AREA:	8,226.7 SF
BASE DENSITY:	8,226.7 SF / 800 SF = 10.2 UNITS = 11 UNITS (R3 BASE DENSITY)
PROPOSED DENSITY:	22 UNITS
PROPOSED UNIT TYPES:	(14) 1 BEDROOMS & (8) STUDIOS
COMMERCIAL AREA:	1 COMMERCIAL SPACE = 437.6 SF
F.A.R. REQUIRED:	1.5 x 8,226.7 SF = 12,340 SF
F.A.R. PROPOSED:	1.971 x 8,226.7 SF = 16,215 SF
REQUIRED PARKING FOR RESIDENTIAL:	21 (1 BEDROOMS @ 1.5/UNIT) + 8 (STUDIOS @ 1/UNIT) = 29 SPACES PER LAMC
REQUIRED PARKING FOR COMMERCIAL:	2 SPACES
PROPOSED PARKING FOR RESIDENTIAL:	11 SPACES @ .5/UNIT LIKE T.O.C.
PROPOSED PARKING FOR COMMERCIAL:	2 SPACES PER ENTERPRISE ZONE
REQUIRED LONG TERM BICYCLE PARKING:	22 FOR RESIDENTIAL & 2 FOR COMMERCIAL: RETAIL USE
REQUIRED SHORT TERM BICYCLE PARKING:	2 FOR RESIDENTIAL & 2 FOR COMMERCIAL: RETAIL USE
PROPOSED LONG TERM BICYCLE PARKING:	22 FOR RESIDENTIAL & 2 FOR COMMERCIAL: RETAIL USE
PROPOSED SHORT TERM BICYCLE PARKING:	2 FOR RESIDENTIAL & 2 FOR COMMERCIAL: RETAIL USE
REQUIRED HEIGHT LIMIT:	TRANSITIONAL HEIGHT PER LAMC
PROPOSED HEIGHT LIMIT:	49'-10" AND THE BUILDING HEIGHT LIMIT SHALL BE STEPPED-BACK AT A 45 DEGREE ANGLE AS MEASURED FROM A HORIZONTAL PLANE ORIGINATING 25 FEET ABOVE GRADE AT THE PROPERTY LINE OF THE ADJOINING LOT IN THE RW1 ZONE OR MORE RESTRICTIVE ZONE OR SPECIFIC PLAN SUB AREA.
REQUIRED FRONT YARD SETBACK:	0'-0"
PROPOSED FRONT YARD SETBACK:	0'-0"
REQUIRED SIDE YARD SETBACK:	0'-0" FOR COMMERCIAL & 5'-0" + 1'-0" FOR EVERY STORY OVER 2 FOR RESIDENTIAL = 6'-0"
PROPOSED SIDE YARD SETBACK:	0'-0" FOR COMMERCIAL & 7'-0" FOR RESIDENTIAL
REQUIRED REAR YARD SETBACK:	0'-0" FOR COMMERCIAL & 15'-0" FOR RESIDENTIAL
PROPOSED REAR YARD SETBACK:	1'-0" FOR COMMERCIAL & 18'-0" FOR RESIDENTIAL
REQUIRED OPEN SPACE:	2,200 SF TOTAL, 1,100 SF COMMON OPEN SPACE & 1,100 SF PRIVATE OPEN SPACE
PROPOSED OPEN SPACE:	2,257 SF TOTAL, 1,144 SF COMMON OPEN SPACE & 1,113 SF PRIVATE OPEN SPACE SEE A0.9
DESCRIPTION OF OFF-MENU INCENTIVES REQUESTED PER LAMC 12.22 A.25 :	DENSITY: 22 UNITS INCLUDING 4 VERY LOW INCOME UNITS (BASE ZONE DENSITY IS 11 UNITS) (LOT SIZE = 8,226 SF) REQUIRES A 92.5% DENSITY BONUS. OFF MENU INCENTIVES: PARKING: 0.5 SPACES PER BEDROOM (WHICH IS A TIER 1 TOC GUIDELINE). F.A.R.: 1.97:1 TYPICALLY AN ON-MENU INCENTIVE (32.5% BONUS) WHEN NOT IN VHFHSZ. HEIGHT: 49'-10" MAX & THE BUILDING HEIGHT LIMIT SHALL BE STEPPED-BACK AT A 45 DEGREE ANGLE AS MEASURED FROM A HORIZONTAL PLANE ORIGINATING 25 FEET ABOVE GRADE AT THE PROPERTY LINE OF THE ADJOINING LOT IN THE RW1 ZONE OR MORE RESTRICTIVE ZONE OR SPECIFIC PLAN SUBAREA.

### VICINITY MAP



DATE	SCALE
07/26/23	

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
5301 MONTE VISTA STREET  
LOS ANGELES, CA 90042  
DG@WAREXUS.COM  
626.318.2719

**OWNER**  
4215 Huntington Dr North LLC  
2013 Workman St  
Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
TRACT: 5843  
LOT: FR & B 7  
ASSESSOR PARCEL#: 5209032029

**RECEIVED**  
CITY OF LOS ANGELES

**JUL 31 2023**

**CITY PLANNING  
PROJECT PLANNING**

**NOT FOR  
CONSTRUCTION**



SHEET TITLE  
**COVER SHEET**

SHEET NUMBER  
**A0.0**

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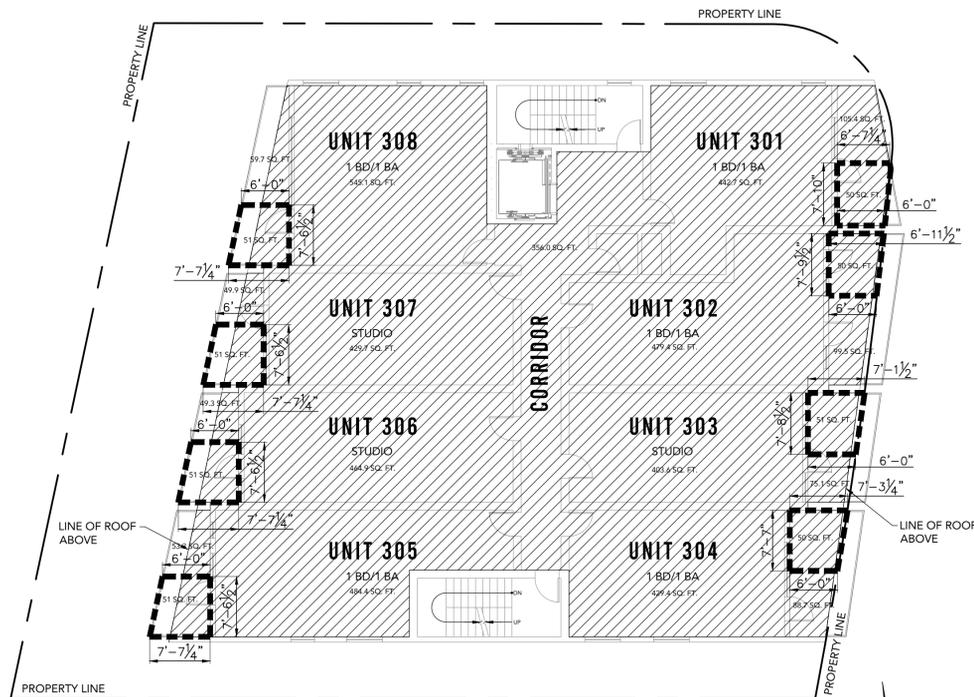
**EXHIBIT "A"**  
Page No. 1 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA



**OPEN SPACE TABULATION**

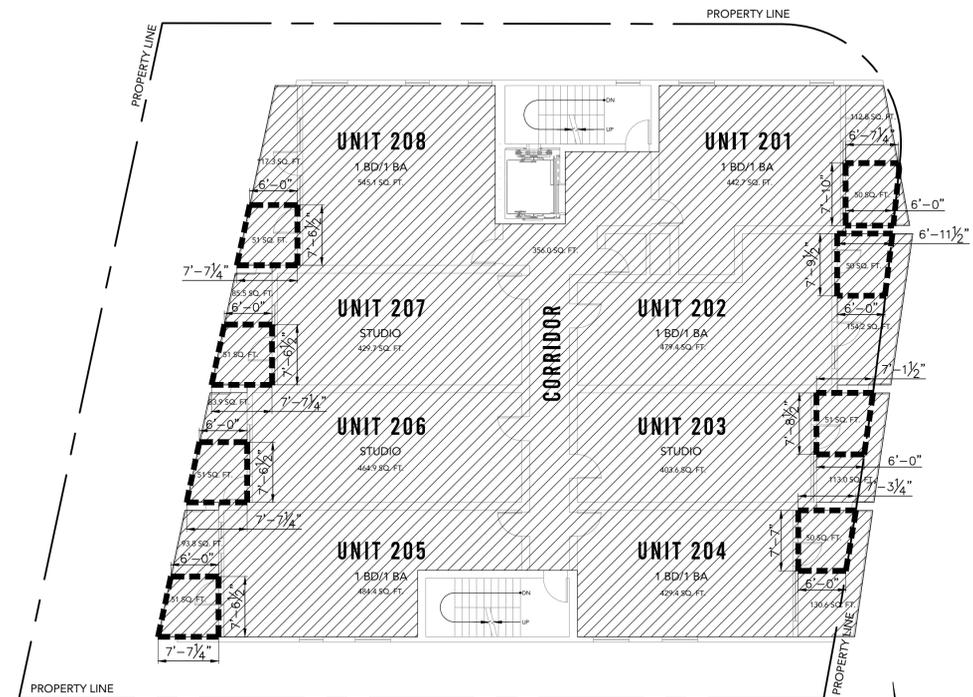
Unit Type	QUANTITY	RATIO	SQ. FT.
1 BEDROOM	14	100	1400
STUDIO	8	100	800
Total Required:			2200
Common Open Space and Private Open Space are split 50/50. For 2,200 SF total required Open Space, 1,100 SF is Common and 1,100 SF is Private (50 SF per unit).			
<b>PROVIDED</b>			
Private Balconies/Patios (50 SF min)			1,113
Common Open Space - Rear Yard			1,144
Total Provided:			2257

NOTE: SEE LANDSCAPE PLANS FOR TREES & PLANTING



8 BALCONIES @ 50 SQ. FT. MIN. = 405 SQ. FT.

**SCHEMATIC 3RD RESIDENTIAL LEVEL PLAN**  
SCALE: 3/32"=1'-0"



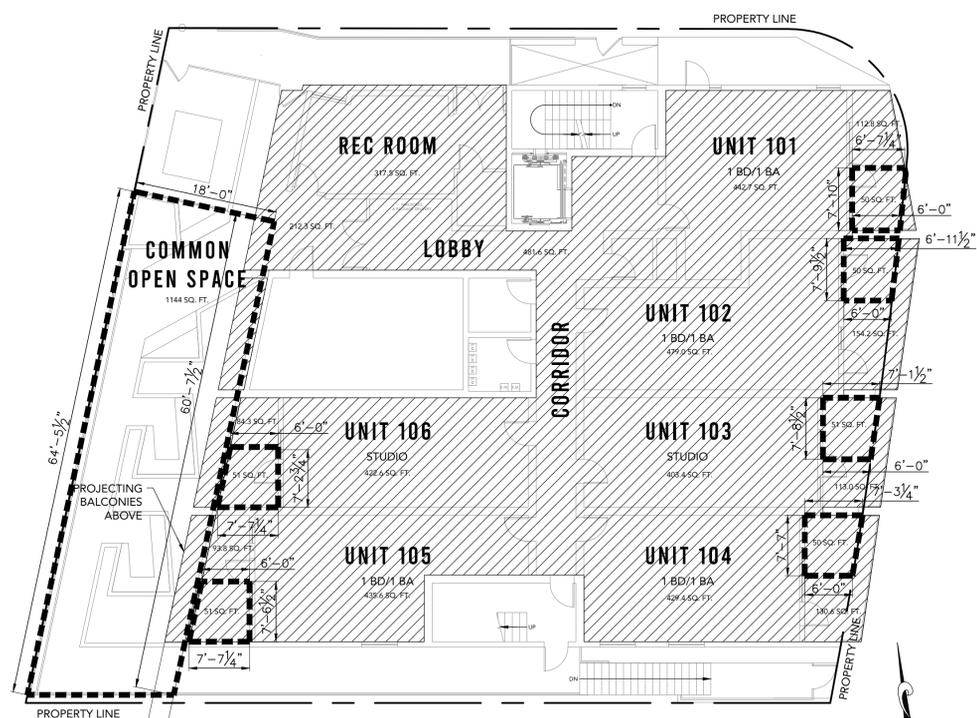
8 BALCONIES @ 50 SQ. FT. MIN. = 405 SQ. FT.

**SCHEMATIC 2ND RESIDENTIAL LEVEL PLAN**  
SCALE: 3/32"=1'-0"



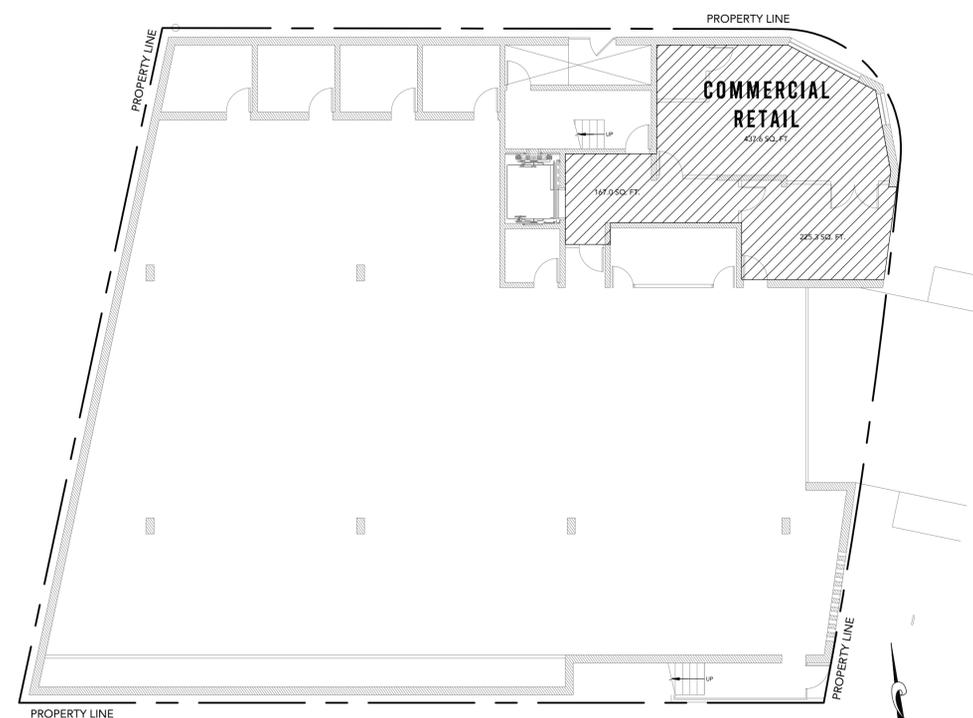
**ZONING CODE FLOOR AREA**

TOTAL	16,215 SF
PARKING/COMMERCIAL LEVEL	875 SF
1ST RESIDENTIAL LEVEL	4,860 SF
2ND RESIDENTIAL LEVEL	5,395 SF
3RD RESIDENTIAL LEVEL	5,085 SF



6 BALCONIES/PATIOS @ 50 SQ. FT. MIN. = 303 SQ. FT.  
COMMON OPEN SPACE - REAR YARD = 1144 SQ. FT.

**SCHEMATIC 1ST RESIDENTIAL LEVEL PLAN**  
SCALE: 3/32"=1'-0"



**SCHEMATIC PARKING LEVEL PLAN**  
SCALE: 3/32"=1'-0"

DATE: 07/26/23 SCALE: 3/32"=1'-0"

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DAVID GONZALEZ ROJAS ARCHITECT  
5201 MONTE VISTA STREET  
LOS ANGELES, CA 90042  
DC@WAREXLAUS.COM  
626.318.2719

OWNER  
4215 Huntington Dr North LLC  
2013 Workman St  
Los Angeles, CA 90031

LEGAL DESCRIPTION  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCEL#: 5209032029

**NOT FOR CONSTRUCTION**



SHEET TITLE  
**OPEN SPACE  
DIAGRAMS & CALCS  
+ FLOOR AREA  
BREAKDOWN**

SHEET NUMBER  
**A0.9**

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**EXHIBIT "A"**  
Page No. 2 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

DATE 07/26/23 SCALE 3/16"=1'-0"

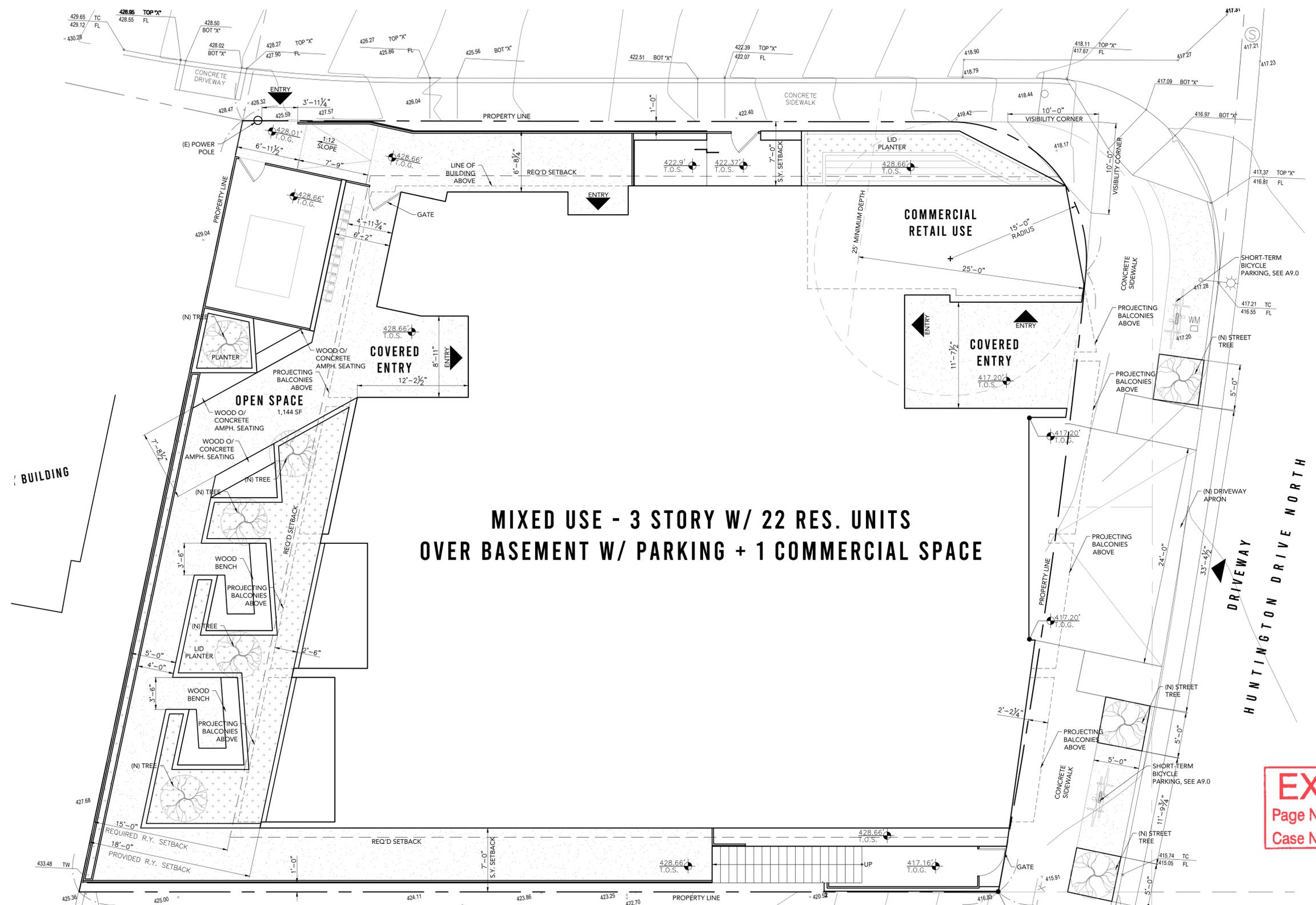
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DAVID GONZALEZ ROJAS ARCHITECT  
 5201 MONTE VISTA STREET  
 LOS ANGELES, CA 90042  
 DGR@DGRARCH.COM  
 626.318.2719

OWNER  
 4215 Huntington Dr North LLC  
 2013 Workman St  
 Los Angeles, CA 90031

LEGAL DESCRIPTION  
 TRACT: 5243  
 LOT: FR 6 & 7  
 ASSESSOR PARCELS: 5209032029

MOONSTONE DRIVE



**MIXED USE - 3 STORY W/ 22 RES. UNITS  
 OVER BASEMENT W/ PARKING + 1 COMMERCIAL SPACE**

**NOT FOR CONSTRUCTION**

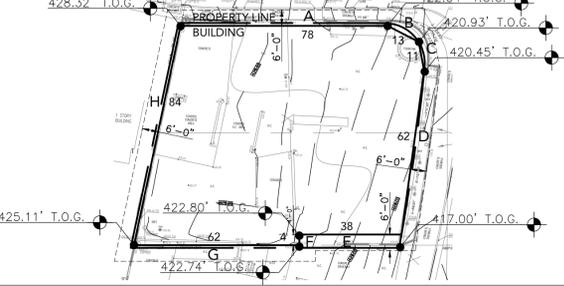
**EXHIBIT "A"**  
 Page No. 3 of 17  
 Case No. CPC-2021-1601-DB-CU-WDI-HCA

SEAL  
 STATE OF CALIFORNIA LICENSED ARCHITECT  
 DAVID GONZALEZ ROJAS  
 C-34529  
 6-30-25

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**A1.0**

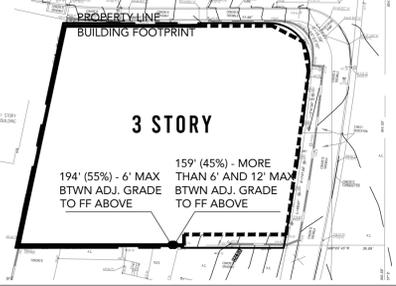
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A - (428.32+422.04)/2 \* 78 = 33,164  
 B - (422.04+420.93)/2 \* 13 = 5,479  
 C - (420.93+420.45)/2 \* 11 = 4,627  
 D - (420.45+417.00)/2 \* 62 = 25,960  
 E - (417.00+422.80)/2 \* 38 = 15,956  
 F - (422.80+422.74)/2 \* 4 = 1,691  
 G - (422.74+425.11)/2 \* 62 = 26,283  
 H - (425.11+428.32)/2 \* 84 = 35,844

TOTAL PERIMETER 352 149,004  
 149,004/352 = 423.30" GRADE PLANE ELEVATION

**GRADE PLANE CALCULATIONS**  
 SCALE: N.T.S.



**STORY DETERMINATION**  
 SCALE: N.T.S.

**SITE PLAN**  
 SCALE: 3/16"=1'-0"



**EXTERIOR**

- 1 Roofing: Soprema Sopraslar Built Up Bituminous Class A LARR# 26062. See A0.8A, A0.8B.
- 2A Exterior Wall: Cast In Place Concrete, Exposed & Sealed
- 2B Exterior Wall: Cement Plaster w/ Color #1, Smooth Troweled o/ Wood Framing
- 2C Exterior Wall: Cement Plaster w/ Color #1, Rough Troweled o/ Wood Framing
- 2D Exterior Wall: Cement Plaster w/ Color #2, Smooth Troweled o/ Wood Framing
- 2E Exterior Wall: Cement Plaster w/ Color #3, Smooth Troweled o/ Wood Framing
- 2F Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Wood Framing
- 2G Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Concrete
- 3A Exterior Tiles o/ Concrete Slab
- 3B Exterior Tiles o/ Dex-O-Tex Weatherwear Roof Decking ICC# ESR-1757, See A0.8A
- 3C Conc. Slab, Cast In Place, Top Cast Finish
- 4 Stairs, Cast In Place Concrete, Top Cast Finish
- 5 Door, See Door Schedule
- 6 Window, See Window Schedule
- 7 Metal Guardrail/Handrail
- 8 Retaining Wall: Cast In Place Concrete
- 9 Line of Building Above
- 10 Line of Building Below
- 11 Line of Existing Grade
- 12 Line of New Grade, See Civil
- 13 Gutter/Drain, Route to L.I.D., Planter
- 14 Slough Wall
- 15 Fencing/Gate, Metal
- 16 Control Joint
- 17 Openings for Natural Ventilation
- 18 Corten Steel Soffit

DATE SCALE  
07/26/23 3/16"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
5201 MONTE VISTA STREET  
LOS ANGELES, CA 90042  
DC@WAREXLAUS.COM  
626.318.2719

**OWNER**  
4215 Huntington Dr North LLC  
2013 Workman St  
Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCEL#: 5209032029

**INTERIOR**

- 31A Finish Flooring o/ Framing
- 31B Finish Flooring o/ Sleepers o/ Slab
- 31C Exposed Concrete Slab
- 31D Tile Flooring o/ Framing, Match Wood Flooring Level
- 31E Tile Flooring o/ Slab, Match Wood Flooring Level
- 31F Corridor Finish Flooring o/ Framing
- 31G Corridor Finish Flooring o/ Slab
- 32A Gyp. Board Ceiling, Painted
- 32B Exposed Concrete Ceiling
- 33 Gyp. Board Interior Wall, Painted
- 34 Ceramic Tile Wall o/ Cement Backer
- 35 Door: See Door Schedule
- 36 Kitchen Cabinets
- 37 Custom Built Millwork
- 38 Bicycle Storage
- 39 Line of Ceiling Height change Above
- 40 Locker

**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
- E1 Transformer
- E2 Electric Meters
- P1 Gas Meters
- T1 Insulation

- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

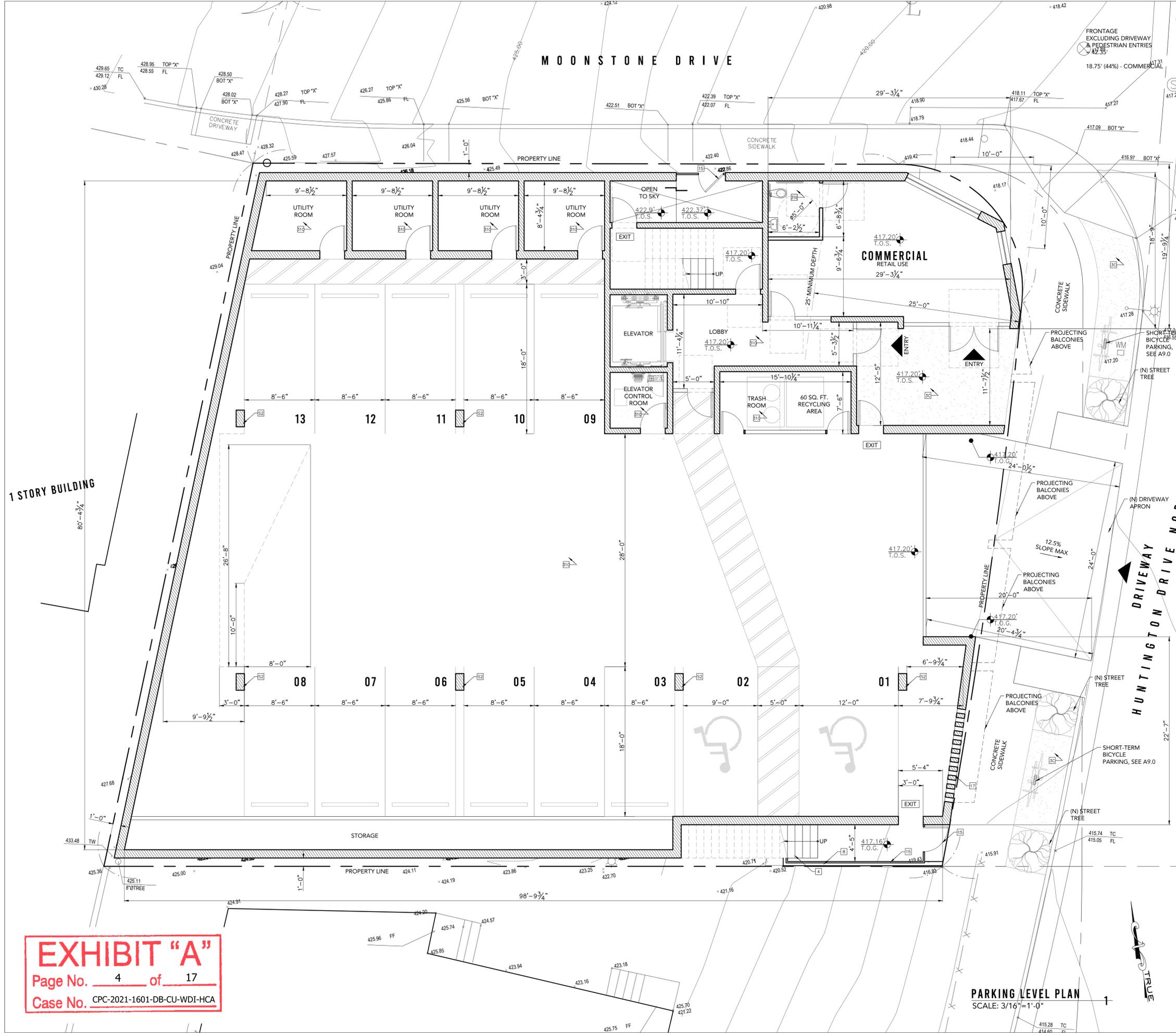
**NOT FOR CONSTRUCTION**



SHEET TITLE  
**PARKING LEVEL PLAN**

SHEET NUMBER  
**A1.1**

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**PARKING LEVEL PLAN**  
SCALE: 3/16"=1'-0"

**EXHIBIT "A"**  
Page No. 4 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

EXTERIOR

- 1 Roofing: Soprema Sopraslar Built Up Bituminous Class A LARR# 26062. See A0.8A, A0.8B.
- 2A Exterior Wall: Cast In Place Concrete, Exposed & Sealed
- 2B Exterior Wall: Cement Plaster w/ Color #1, Smooth Troweled of Wood Framing
- 2C Exterior Wall: Cement Plaster w/ Color #1, Rough Troweled of Wood Framing
- 2D Exterior Wall: Cement Plaster w/ Color #2, Smooth Troweled of Wood Framing
- 2E Exterior Wall: Cement Plaster w/ Color #3, Smooth Troweled of Wood Framing
- 2F Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled of Wood Framing
- 2G Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled of Concrete
- 3A Exterior Tiles of Concrete Slab
- 3B Exterior Tiles of Dex-O-Tex Weatherwear Roof Decking ICC# ESR-1757, See A0.8A
- 3C Conc. Slab, Cast In Place, Top Cast Finish
- 4 Stairs, Cast In Place Concrete, Top Cast Finish
- 5 Door, See Door Schedule
- 6 Window, See Window Schedule
- 7 Metal Guardrail/Handrail
- 8 Retaining Wall: Cast In Place Concrete
- 9 Line of Building Above
- 10 Line of Building Below
- 11 Line of Existing Grade
- 12 Line of New Grade, See Civil
- 13 Gutter/Drain, Route to L.I.D. Planter
- 14 Slough Wall
- 15 Fencing/Gate, Metal
- 16 Control Joint
- 17 Openings for Natural Ventilation
- 18 Corten Steel Soffit

DATE 07/26/23 SCALE 3/16"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

DAVID GONZALEZ ROJAS ARCHITECT  
5201 MONTE VISTA STREET  
LOS ANGELES, CA 90042  
DC@DAVIDGONZALEZ.COM  
626.318.2719

OWNER  
4215 Huntington Dr North LLC  
2013 Workman St  
Los Angeles, CA 90031

LEGAL DESCRIPTION  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCEL#: 5209032029

INTERIOR

- 31A Finish Flooring of Framing
- 31B Finish Flooring of Sleepers of Slab
- 31C Exposed Concrete Slab
- 31D Tile Flooring of Framing, Match Wood Flooring Level
- 31E Tile Flooring of Slab, Match Wood Flooring Level
- 31F Corridor Finish Flooring of Framing
- 31G Corridor Finish Flooring of Slab
- 32A Gyp. Board Ceiling, Painted
- 32B Exposed Concrete Ceiling
- 33 Gyp. Board Interior Wall, Painted
- 34 Ceramic Tile Wall of Cement Backer
- 35 Door: See Door Schedule
- 36 Kitchen Cabinets
- 37 Custom Built Millwork
- 38 Bicycle Storage
- 39 Line of Ceiling Height change Above
- 40 Locker

STRUCTURAL

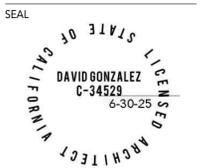
- S1 Foundation
- S2 Concrete Columns, See Structural

MECHANICAL/ELECTRICAL/PLUMBING

- M1 Condensers
- E1 Transformer
- E2 Electric Meters
- P1 Gas Meters
- T1 Insulation

- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

NOT FOR CONSTRUCTION



SHEET TITLE  
**1ST RESIDENTIAL LEVEL PLAN**

SHEET NUMBER  
**A1.2**

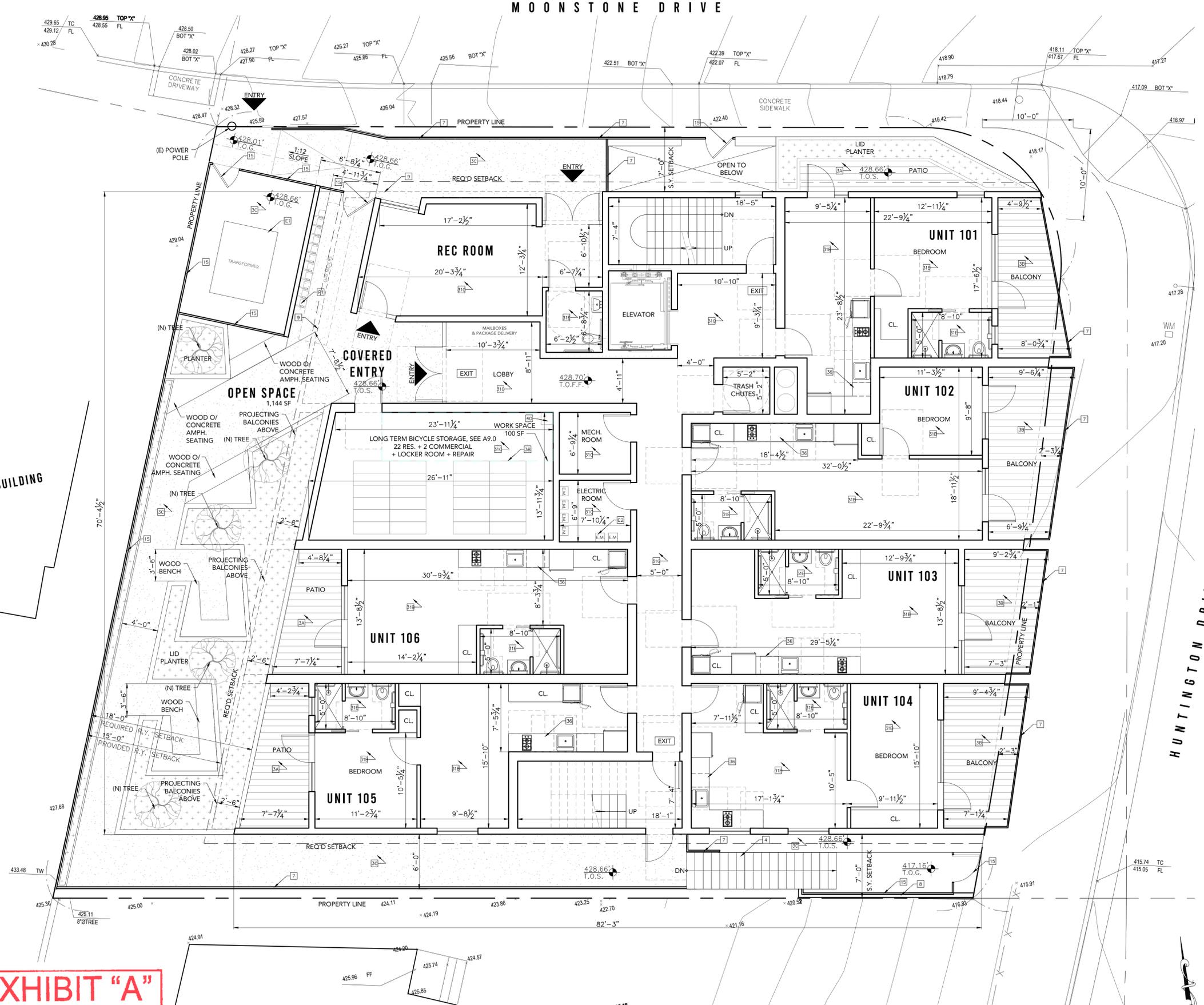
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MOONSTONE DRIVE

HUNTINGTON DRIVE NORTH

**EXHIBIT "A"**  
Page No. 5 of 17  
Case No. CPC-2021-1601-DB-CJ-WDI-HCA

1ST RESIDENTIAL LEVEL PLAN  
SCALE: 3/16"=1'-0"



**EXTERIOR**

- 1 Roofing: Soprema Soprarstar Built Up Bituminous Class A LARR# 26062. See A0.8A, A0.8B.
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- 3A Exterior Tiles o/ Concrete Slab
- 3B Exterior Tiles o/ Dex-O-Tex Weatherwear Roof Decking ICC# ESR-1757, See A0.8A
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- 14 Slough Wall
- 15 Fencing/Gate, Metal
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- 17 Openings for Natural Ventilation
- 18 Corten Steel Soffit

DATE SCALE  
 07/26/23 3/16"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
 5201 MONTE VISTA STREET  
 LOS ANGELES, CA 90042  
 DGR@DGRARCHITECTS.COM  
 626.318.2719

**OWNER**  
 4215 Huntington Dr North LLC  
 2013 Workman St  
 Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
 TRACT: 5243  
 LOT: FR 6 & 7  
 ASSESSOR PARCEL#: 5209032029

**INTERIOR**

- 31A Finish Flooring o/ Framing
- 31B Finish Flooring o/ Sleepers o/ Slab
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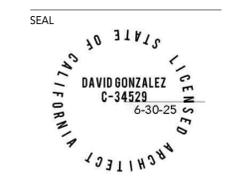
**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
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- P1 Gas Meters
- T1 Insulation

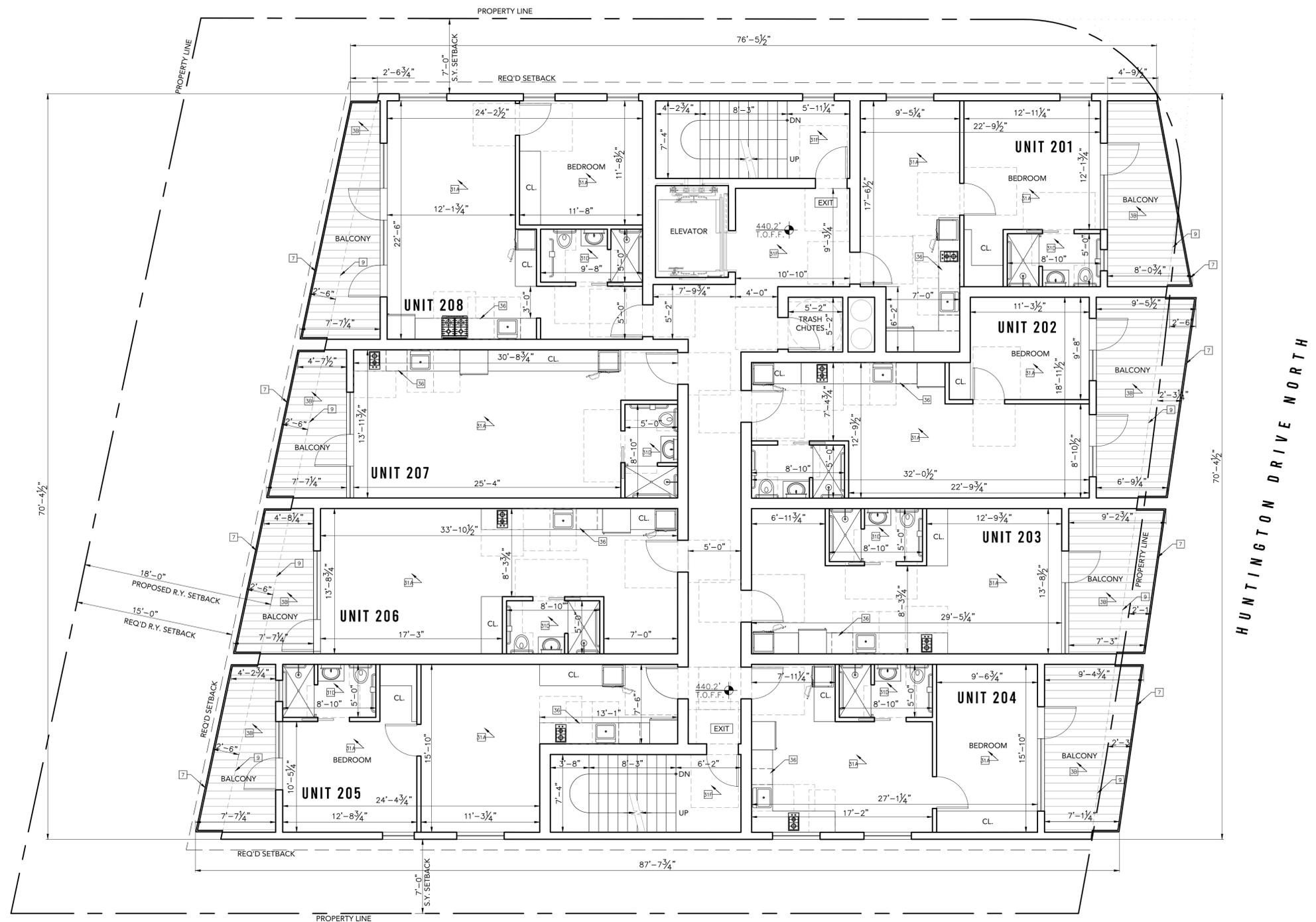
- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP



SHEET TITLE  
**2ND RESIDENTIAL LEVEL PLAN**

SHEET NUMBER  
**A1.3**

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HUNTINGTON DRIVE NORTH

**EXHIBIT "A"**  
 Page No. 6 of 17  
 Case No. CPC-2021-1601-DB-CU-WDI-HCA

**2ND RESIDENTIAL LEVEL PLAN**  
 SCALE: 3/16"=1'-0"



**EXTERIOR**

- 1 Roofing: Soprema Sopraslar Built Up Bituminous Class A LARR# 26062. See A0.8A, A0.8B.
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- 2E Exterior Wall: Cement Plaster w/ Color #3, Smooth Troweled o/ Wood Framing
- 2F Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Wood Framing
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DATE SCALE  
07/26/23 3/16"=1'-0"

#	DATE	ISSUE
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**LEGAL DESCRIPTION**  
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LOT: FR 6 & 7  
ASSESSOR PARCEL#: 5209032029

**INTERIOR**

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- 33 Gyp. Board Interior Wall, Painted
- 34 Ceramic Tile Wall o/ Cement Backer
- 35 Door: See Door Schedule
- 36 Kitchen Cabinets
- 37 Custom Built Millwork
- 38 Bicycle Storage
- 39 Line of Ceiling Height change Above
- 40 Locker

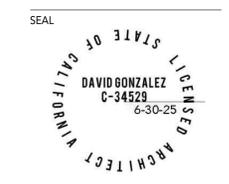
**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
- E1 Transformer
- E2 Electric Meters
- P1 Gas Meters
- T1 Insulation

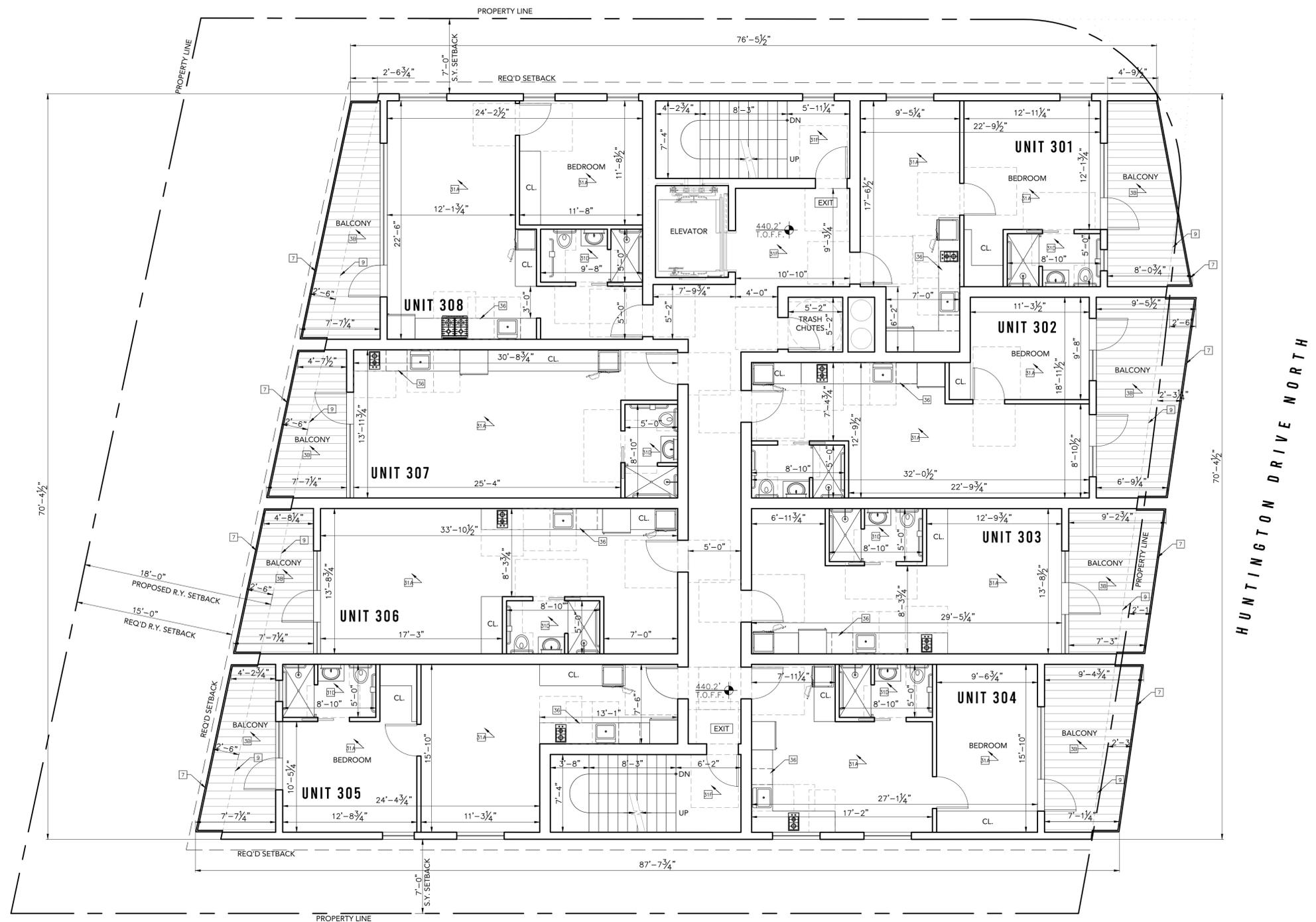
- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP



SHEET TITLE  
**3RD RESIDENTIAL LEVEL PLAN**

SHEET NUMBER  
**A1.4**

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**EXHIBIT "A"**  
Page No. 7 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

**3RD RESIDENTIAL LEVEL PLAN**  
SCALE: 3/16"=1'-0"



**EXTERIOR**

- 1 Roofing: Soprema Soprarstar Built Up Bituminous Class A LARR# 26062. See A0.8A, A0.8B.
- 2A Exterior Wall: Cast In Place Concrete, Exposed & Sealed
- 2B Exterior Wall: Cement Plaster w/ Color #1, Smooth Troweled o/ Wood Framing
- 2C Exterior Wall: Cement Plaster w/ Color #1, Rough Troweled o/ Wood Framing
- 2D Exterior Wall: Cement Plaster w/ Color #2, Smooth Troweled o/ Wood Framing
- 2E Exterior Wall: Cement Plaster w/ Color #3, Smooth Troweled o/ Wood Framing
- 2F Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Wood Framing
- 2G Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Concrete
- 3A Exterior Tiles o/ Concrete Slab
- 3B Exterior Tiles o/ Dex-O-Tex Weatherwear Roof Decking ICC# ESR-1757, See A0.8A
- 3C Conc. Slab, Cast In Place, Top Cast Finish
- 4 Stairs, Cast In Place Concrete, Top Cast Finish
- 5 Door, See Door Schedule
- 6 Window, See Window Schedule
- 7 Metal Guardrail/Handrail
- 8 Retaining Wall: Cast in Place Concrete
- 9 Line of Building Above
- 10 Line of Building Below
- 11 Line of Existing Grade
- 12 Line of New Grade, See Civil
- 13 Gutter/Drain, Route to L.I.D. Planter
- 14 Slough Wall
- 15 Fencing/Gate, Metal
- 16 Control Joint
- 17 Openings for Natural Ventilation
- 18 Corten Steel Soffit

DATE SCALE  
 07/26/23 3/16"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
 5201 MONTE VISTA STREET  
 LOS ANGELES, CA 90042  
 DCGWAREHOUSE.US.COM  
 626.318.2719

**OWNER**  
 4215 Huntington Dr North LLC  
 2013 Workman St  
 Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
 TRACT: 5243  
 LOT: FR 6 & 7  
 ASSESSOR PARCELS: 5209032029

**INTERIOR**

- 31A Finish Flooring o/ Framing
- 31B Finish Flooring o/ Sleepers o/ Slab
- 31C Exposed Concrete Slab
- 31D Tile Flooring o/ Framing, Match Wood Flooring Level
- 31E Tile Flooring o/ Slab, Match Wood Flooring Level
- 31F Corridor Finish Flooring o/ Framing
- 31G Corridor Finish Flooring o/ Slab
- 32A Gyp. Board Ceiling, Painted
- 32B Exposed Concrete Ceiling
- 33 Gyp. Board Interior Wall, Painted
- 34 Ceramic Tile Wall o/ Cement Backer
- 35 Door: See Door Schedule
- 36 Kitchen Cabinets
- 37 Custom Built Millwork
- 38 Bicycle Storage
- 39 Line of Ceiling Height change Above
- 40 Locker

**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
- E1 Transformer
- E2 Electric Meters
- P1 Gas Meters
- T1 Insulation

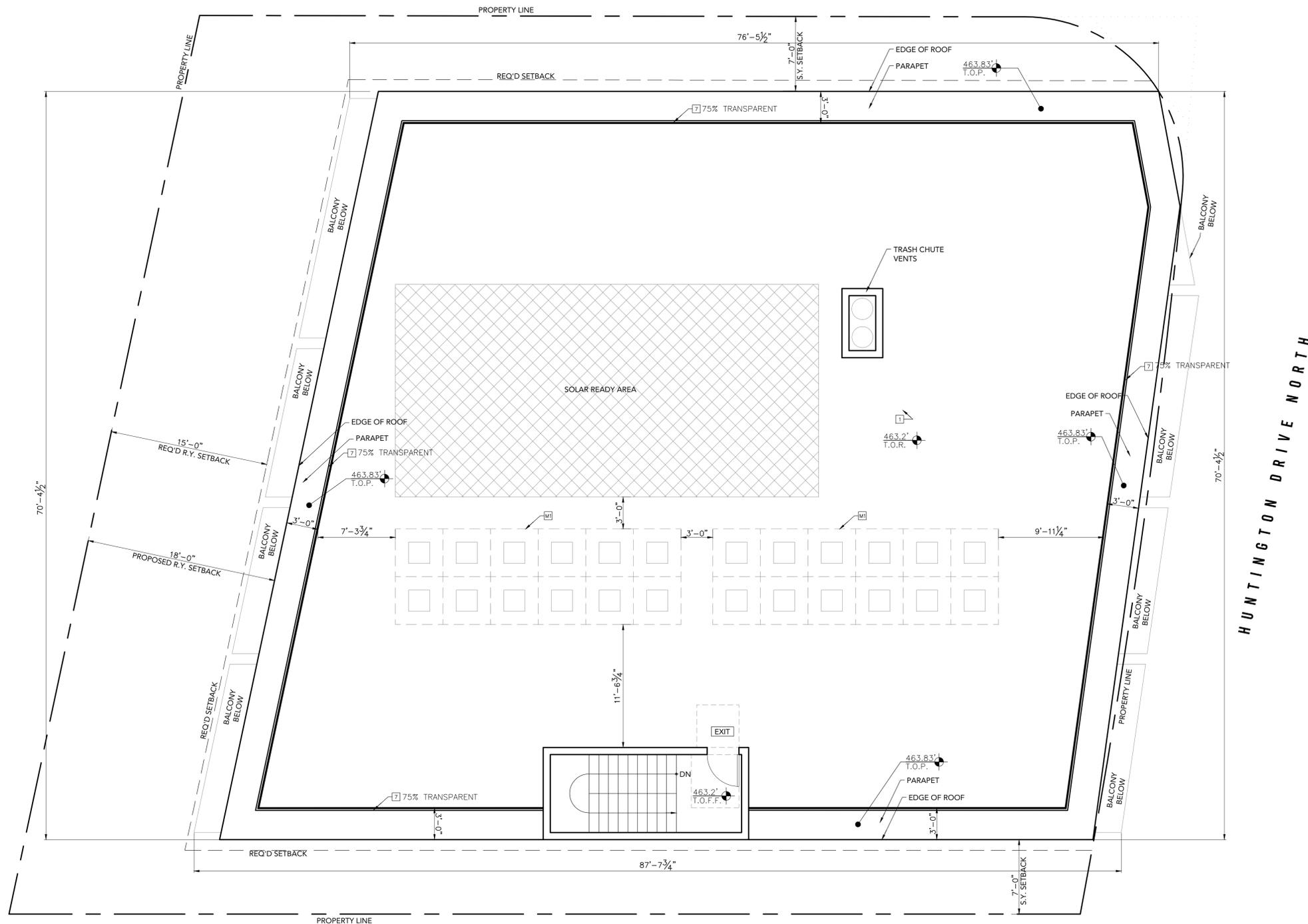
- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP



SHEET TITLE  
**ROOF LEVEL PLAN**

SHEET NUMBER  
**A1.5**

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HUNTINGTON DRIVE NORTH



**ROOF LEVEL PLAN**  
 SCALE: 3/16"=1'-0"

1

**EXHIBIT "A"**  
 Page No. 8 of 17  
 Case No. CPC-2021-1601-DB-CU-WDI-HCA

**EXTERIOR**

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- 2D Exterior Wall: Cement Plaster w/ Color #2, Smooth Troweled o/ Wood Framing
- 2E Exterior Wall: Cement Plaster w/ Color #3, Smooth Troweled o/ Wood Framing
- 2F Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Wood Framing
- 2G Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Concrete
- 3A Exterior Tiles o/ Concrete Slab
- 3B Exterior Tiles o/ Dex-O-Tex Weatherwear Roof Decking ICC# ESR-1757, See A0.8A
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- 17 Openings for Natural Ventilation
- 18 Corten Steel Soffit

DATE SCALE  
07/26/23 3/16"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
5201 MONTE VISTA STREET  
LOS ANGELES, CA 90042  
DC@WAREHOUSE.COM  
626.318.2719

**OWNER**  
4215 Huntington Dr North LLC  
2013 Workman St  
Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCEL#: 5209032029

**INTERIOR**

- 31A Finish Flooring o/Framing
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- 39 Line of Ceiling Height change Above
- 40 Locker

**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
- E1 Transformer
- E2 Electric Meters
- P1 Gas Meters
- T1 Insulation

- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

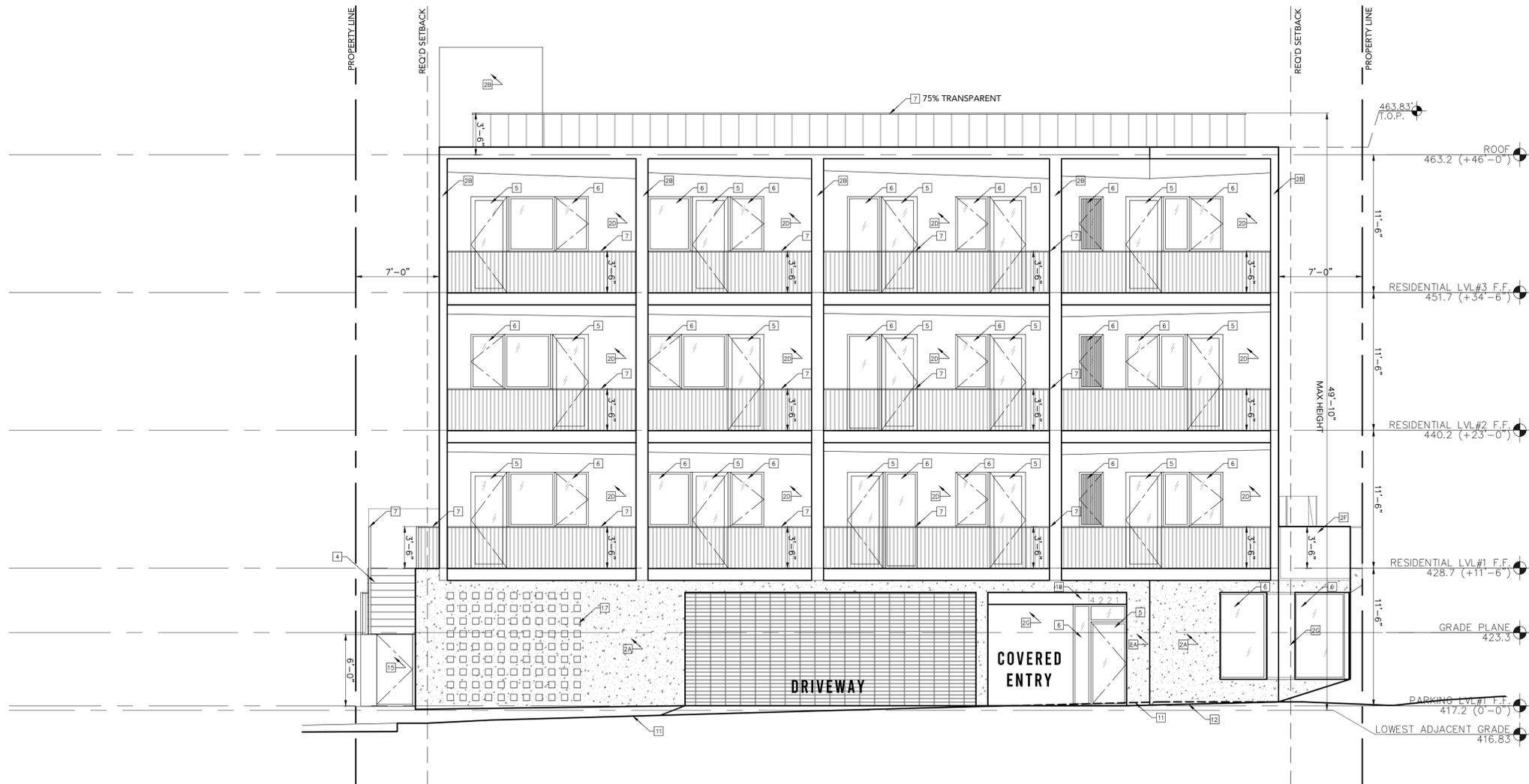
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SHEET TITLE  
**EAST ELEVATION**

SHEET NUMBER  
**A2.1**

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**EAST ELEVATION**  
SCALE: 3/16"=1'-0"

**EXHIBIT "A"**  
Page No. 9 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

#	DATE	ISSUE
1	10/30/20	PLANNING

DAVID GONZALEZ ROJAS ARCHITECT  
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LOS ANGELES, CA 90042  
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LEGAL DESCRIPTION  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCEL#: 5209032029

**EXTERIOR**

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- 5 Door, See Door Schedule
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- 17 Openings for Natural Ventilation
- 18 Corten Steel Soffit

**INTERIOR**

- 31A Finish Flooring o/Framing
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- 40 Locker

**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
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- T1 Insulation

- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

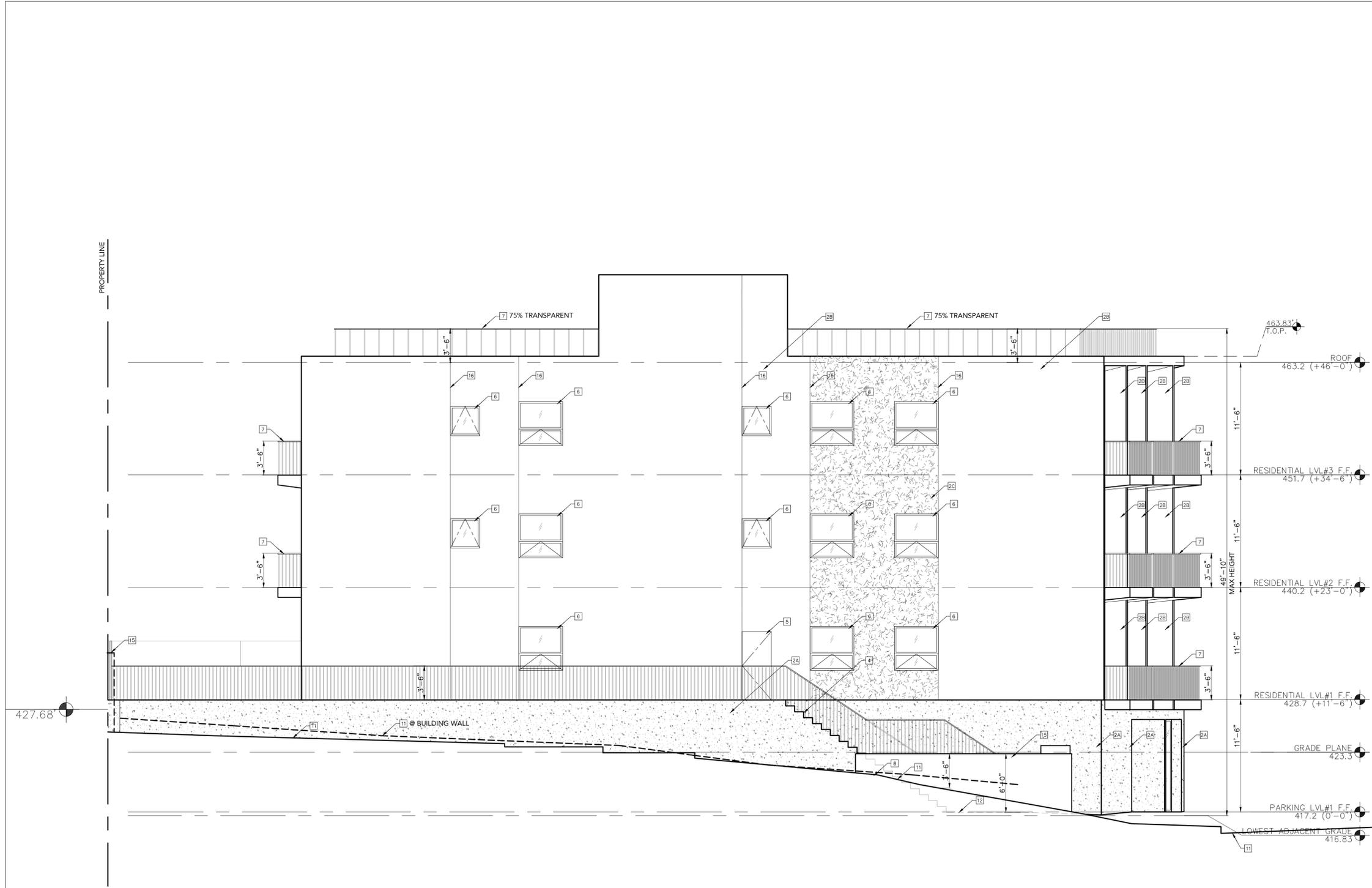
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SHEET TITLE  
**SOUTH ELEVATION**

SHEET NUMBER  
**A2.2**

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**EXHIBIT "A"**  
Page No. 10 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

**SOUTH ELEVATION**  
SCALE: 3/16"=1'-0" 1

**EXTERIOR**

- 1 Roofing: Soprema Soprarstar Built Up Bituminous Class A LARR# 26062. See A0.8A, A0.8B.
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- 7 Metal Guardrail/Handrail
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- 14 Slough Wall
- 15 Fencing/Gate, Metal
- 16 Control Joint
- 17 Openings for Natural Ventilation
- 18 Corten Steel Soffit

DATE SCALE  
07/26/23 3/16"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
5201 MONTE VISTA STREET  
LOS ANGELES, CA 90042  
DC@WAREXLAUS.COM  
626.318.2719

**OWNER**  
4215 Huntington Dr North LLC  
2013 Workman St  
Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCELA: 5209032029

**INTERIOR**

- 31A Finish Flooring o/Framing
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- 40 Locker

**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
- E1 Transformer
- E2 Electric Meters
- P1 Gas Meters
- T1 Insulation

- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

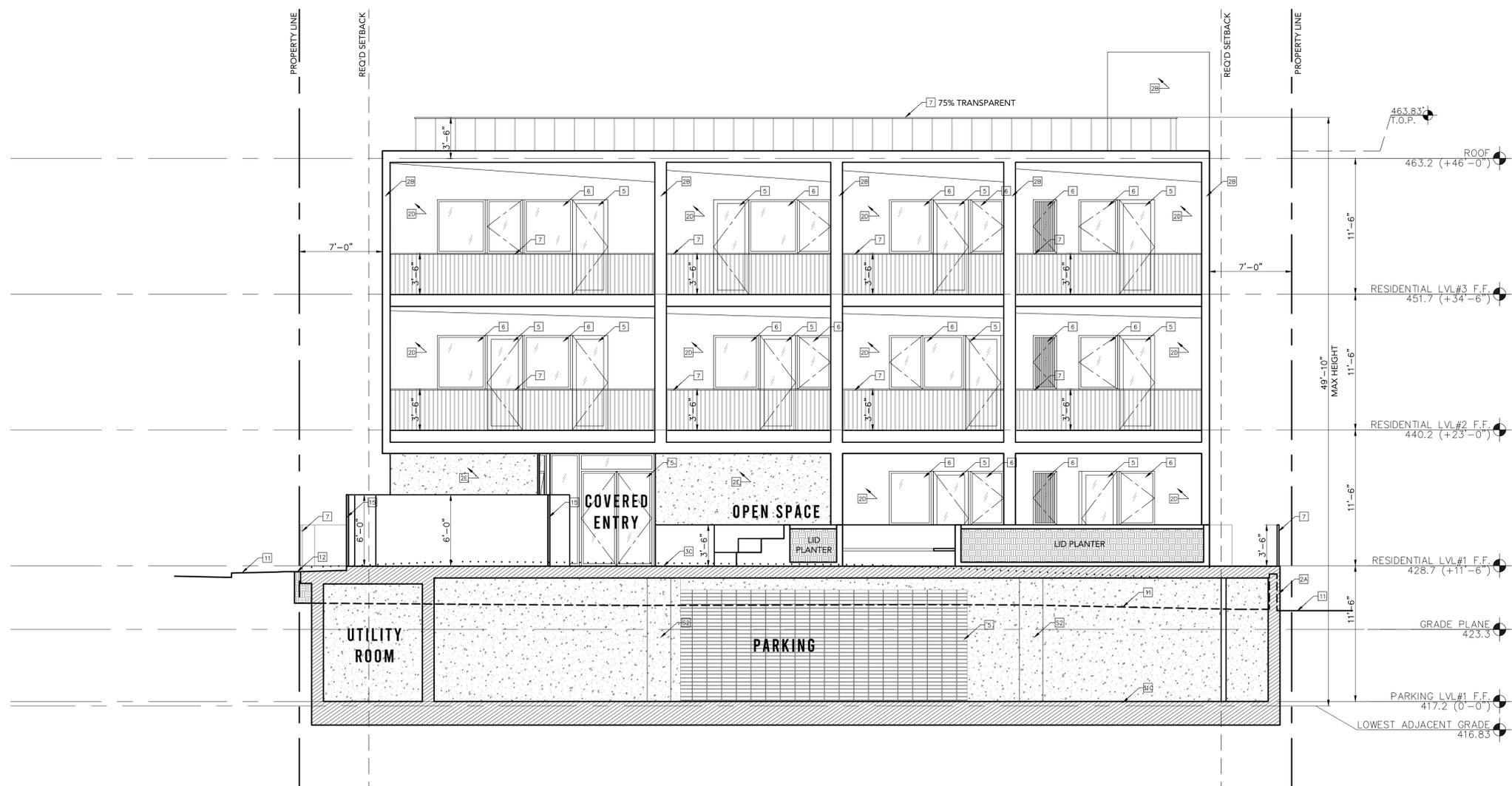
**NOT FOR CONSTRUCTION**



SHEET TITLE  
**WEST ELEVATION**

SHEET NUMBER  
**A2.3**

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**WEST ELEVATION**  
SCALE: 3/16"=1'-0"

**EXHIBIT "A"**  
Page No. 11 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

DATE SCALE  
 07/26/23 3/16"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

DAVID GONZALEZ ROJAS ARCHITECT  
 5201 MONTE VISTA STREET  
 LOS ANGELES, CA 90042  
 DCGWAREHOUSE.COM  
 626.318.2719

OWNER  
 4215 Huntington Dr North LLC  
 2013 Workman St  
 Los Angeles, CA 90031

LEGAL DESCRIPTION  
 TRACT: 5243  
 LOT: FR 6 & 7  
 ASSESSOR PARCEL#: 5209032029

**EXTERIOR**

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- 2E Exterior Wall: Cement Plaster w/ Color #3, Smooth Troweled o/ Wood Framing
- 2F Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Wood Framing
- 2G Exterior Wall: Cement Plaster w/ Color #4 Glossy Finish, Smooth Troweled o/ Concrete
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**INTERIOR**

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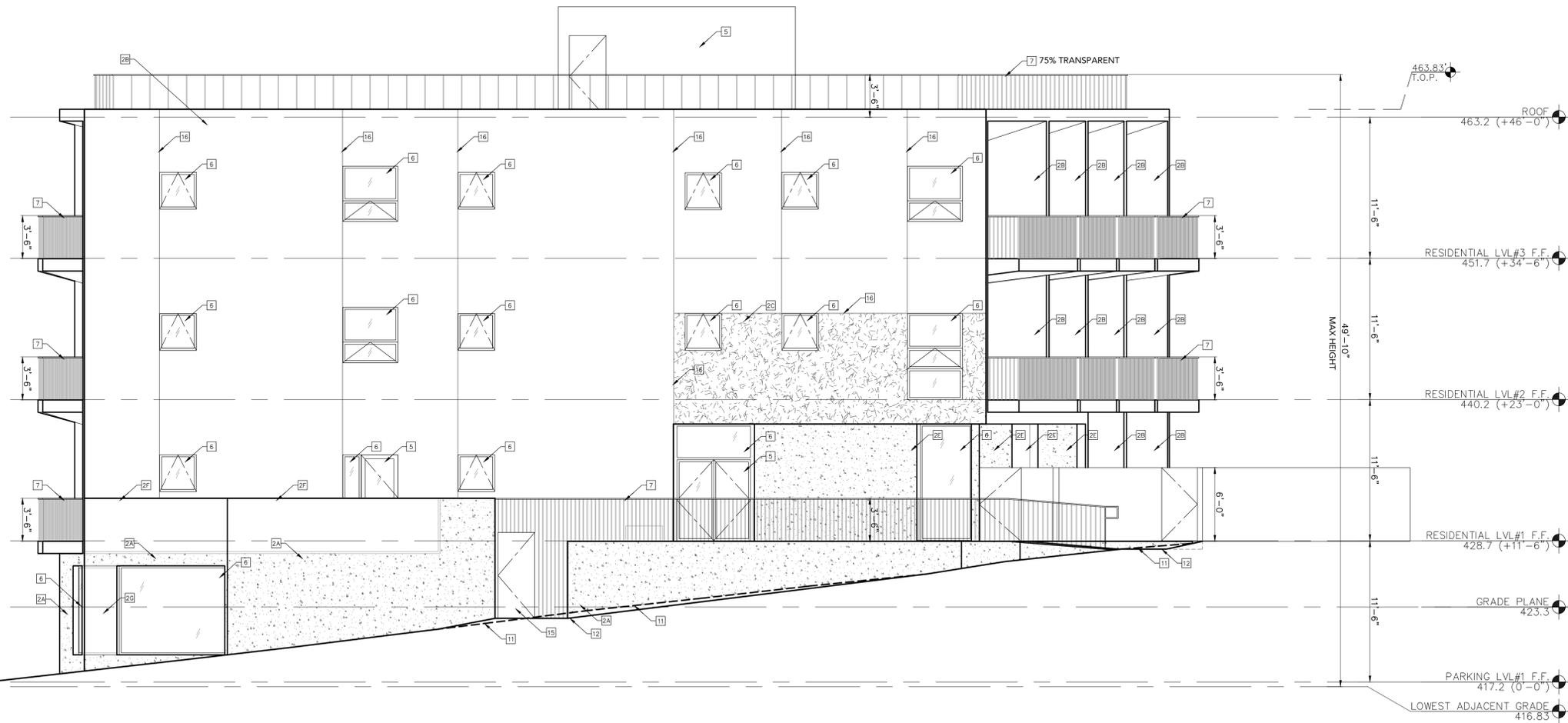
**STRUCTURAL**

- S1 Foundation
- S2 Concrete Columns, See Structural

**MECHANICAL/ELECTRICAL/PLUMBING**

- M1 Condensers
- E1 Transformer
- E2 Electric Meters
- P1 Gas Meters
- T1 Insulation

- SD CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP



**NORTH ELEVATION**  
 SCALE: 3/16"=1'-0"

**NOT FOR CONSTRUCTION**



SHEET TITLE  
**NORTH ELEVATION**

SHEET NUMBER  
**A2.4**

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**EXHIBIT "A"**  
 Page No. 12 of 17  
 Case No. CPC-2021-1601-DB-CU-WDI-HCA

#	DATE	ISSUE
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LOS ANGELES, CA 90042  
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626.318.2719

OWNER  
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Los Angeles, CA 90031

LEGAL DESCRIPTION  
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LOT: FR 6 & 7  
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**EXTERIOR**

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**INTERIOR**

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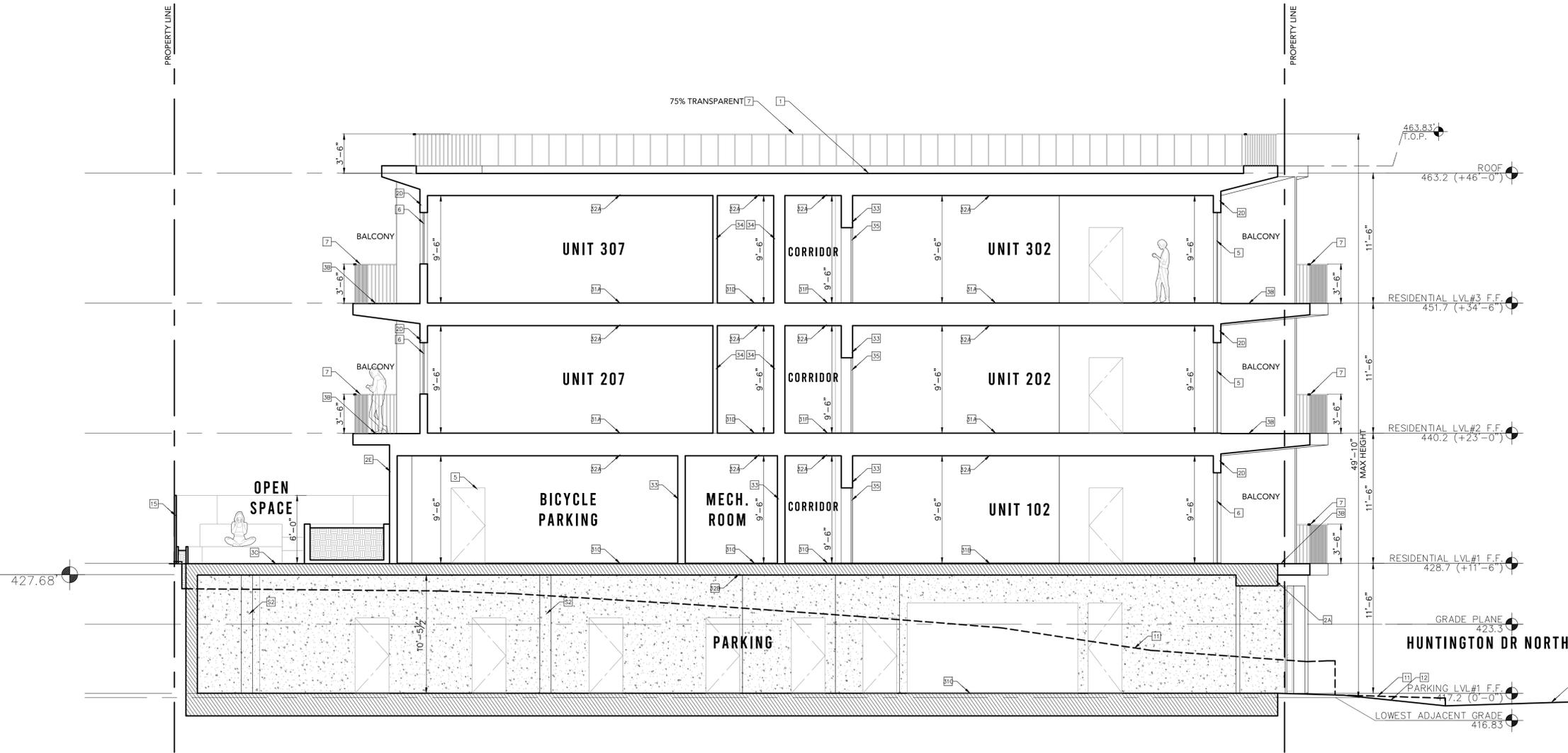
**NOT FOR CONSTRUCTION**



SHEET TITLE  
**BUILDING SECTION**

SHEET NUMBER  
**A3.1**

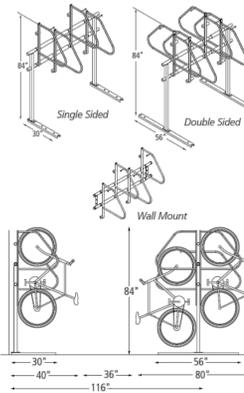
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**BUILDING SECTION**  
SCALE: 3/16"=1'-0" 1

**EXHIBIT "A"**  
Page No. 13 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

# Ultra Space Saver

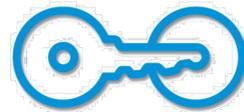


**Height Requirement: 87"**

**Product** Ultra Space Saver  
**Capacity** Modular Construction  
1 Bike per arm  
**Materials** Hanger is 1" diameter tube with 1/2" steel rod and retaining disk at each end.  
Upright is 2" square tube.  
Feet are AISI C3 x 4.1 galvanized steel channel.  
Crossbeams are 1.25" sched. 40 galvanized pipe (1.660" OD)  
Spacers are 2.375" OD plastic tubes with .215" wall thickness.  
**Finishes** Black powder coat  
Cross bars: hot dipped galvanized  
Hanger rods: rubber coated  
Spacers: plastic  
**Installation Methods** **Floor mounted** Ultra Space Savers have steel channel feet (30" for single sided and 56" for double sided units) which must be anchored to the floor. A **wall mounted** unit which contains special brackets is also available.  
**Space Use & Setbacks** See Diagram  
**Estimating your Bicycle Capacity** Estimating the maximum number of bikes you can park using an Ultra Space Saver in a typical rectangular space is usually fairly straight forward.  
 The Ultra Space Saver parks one bike every 16" with a typical bike extending out 40" from the wall. Imagine a 16"x40" block of floor space as representing each bike that can be parked. Arrange the blocks in rows, leaving a 36" aisle between rows.  
 If you have a large space, you may be able to fit in double rows of Ultra Space Savers. In this case you could fit 2 bikes in a 16"x80" space.  
**\*Let us Help!**  
 As a free service, American Bicycle Security will provide a complete CAD layout of your space. Just send us the dimensions of your room, being sure to note the location of doors, columns, etc. and let us maximize your bike storage capacity.



Example of rack in use



**American Bicycle Security Company**  
P.O. Box 7359  
Ventura, CA 93006  
Ph: (800) 245-3723 or (805) 933-3688  
Fax: (805) 933-1865  
[www.ameribike.com](http://www.ameribike.com)  
Email: [turtle@ameribike.com](mailto:turtle@ameribike.com)

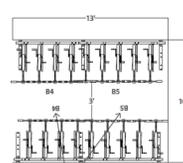
# Ultra Space Saver Installation



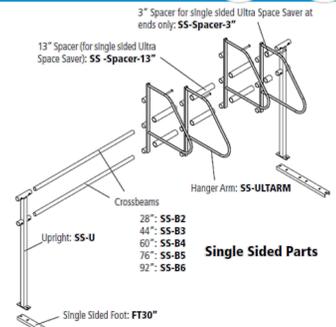
**\*The Ultra Space Saver has several steps for installation. Note that the single and double sided setups and parts are different. Make sure you follow the instructions according to the model you ordered.**

**Recommended Base materials:**  
Solid concrete is the best base material for installation. Make sure nothing is underneath the base material that could be damaged by drilling (i.e. post-tension cable). Use the 3.75" wedge anchors that are included to install the rack into the concrete (wall anchors are 3").

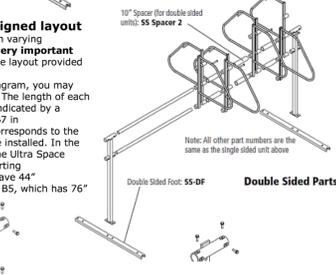
**Installation:**  
Sort out the parts to the rack and identify each of them accordingly. The 1" carriage bolts are for assembly of the rack and the 3.75" wedge anchors are for mounting the rack to the floor.



**Reading your designed layout**  
Ultra Space Savers come in varying configurations, making it **very important** that you carefully follow the layout provided when installing the racks.  
If you do not follow the diagram, you may well end up short of parts. The length of each Ultra Space Saver unit is indicated by a number ranging from B2-B7 in the layout. This number corresponds to the length of crossbeams to be installed. In the example provided below the Ultra Space Saver is to be installed starting with two B4 units, which have 44" crossbeams, followed by a B5, which has 76" crossbeams.

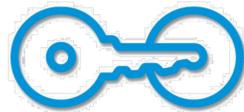


## Single Sided Parts



## Double Sided Parts

## Wall Mounting Bracket



**American Bicycle Security Company**  
P.O. Box 7359  
Ventura, CA 93006  
Ph: (800) 245-3723 or (805) 933-3688  
Fax: (805) 933-1865  
[www.ameribike.com](http://www.ameribike.com)  
Email: [turtle@ameribike.com](mailto:turtle@ameribike.com)

ULINE 1-800-295-5510

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Home > All Products > Facilities Maintenance > Bike Racks > Wave Bike Racks

**1-Loop Wave Style Bike Rack - 3 Bike Capacity, Black**



Upscale stylish look for downtown shopping and business districts.

- For stadiums, parks and athletic fields.
- 10-gauge steel with attractive powder coating.
- 2 3/8" diameter bar.
- Bike rack mounting hardware included.

Model No. H-28928L Description 1-Loop Size L x W x H 22 x 2 1/2 x 34" Bike Cap. 3 Wt. (lbs.) 27 Price Each \$190 \$180 Color Black In Stock 1 Ships Today

**DIMENSIONS:**  
• Base Plate (Diameter): 7"  
• Mounting Holes: 9/16"

Availability: In Stock  
Unit Weight: 32 lbs.  
Instructions  
Catalog Page #03  
Email Item  
Country of Origin: USA

SAME DAY SHIPPING | HUGE SELECTION IN STOCK | SHIPS FROM 12 LOCATIONS

**EXHIBIT "A"**  
Page No. 14 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

DATE	SCALE
07/26/23	3/32" = 1' - 0"

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
5201 MONTE VISTA STREET  
LOS ANGELES, CA 90042  
DC@WAREXALS.COM  
626.318.2719

**OWNER**  
4215 Huntington Dr North LLC  
2013 Workman St  
Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCELS: 5209032029

**NOT FOR CONSTRUCTION**



SHEET TITLE

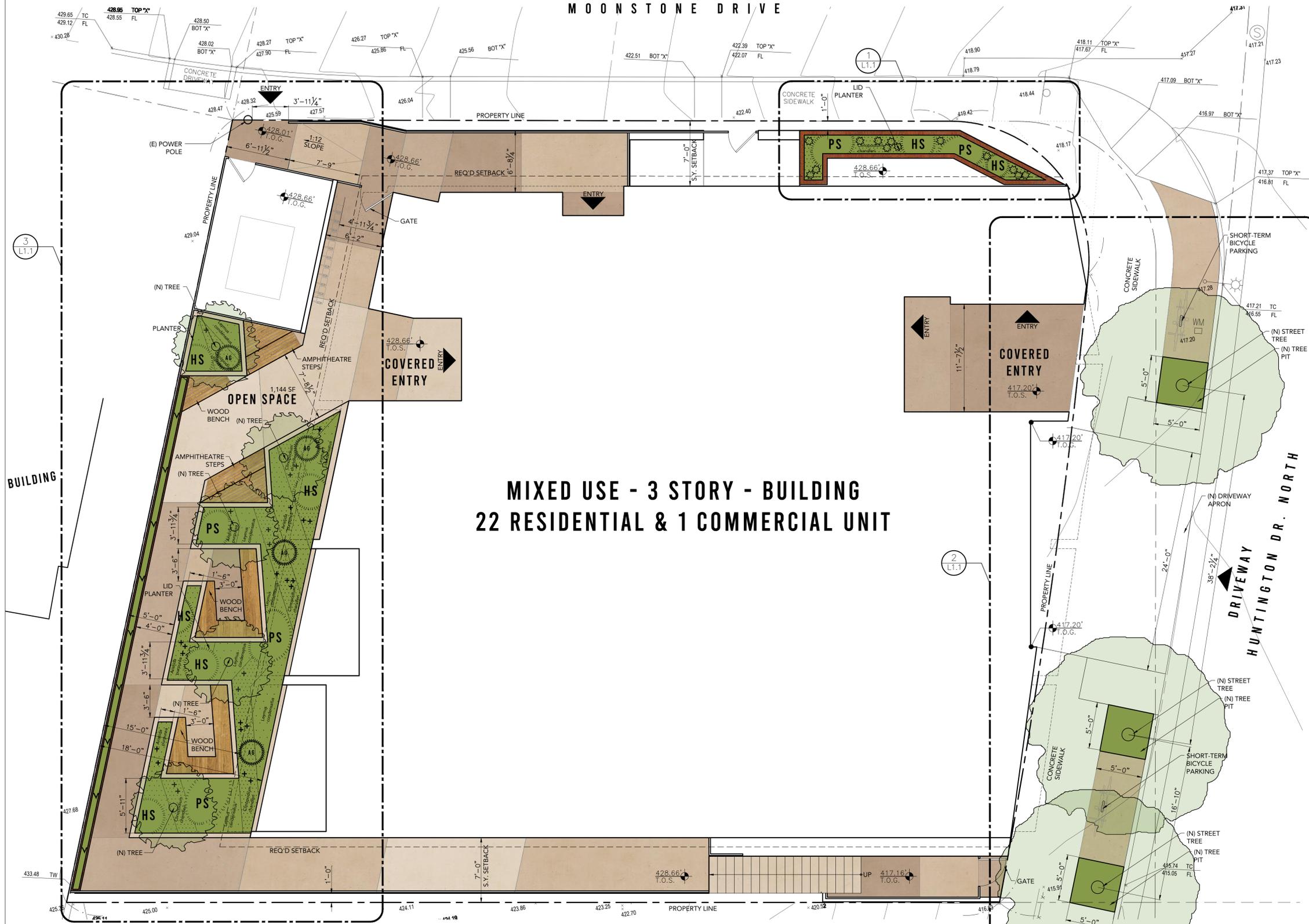
**BIKE RACK DETAILS**

SHEET NUMBER

**A9.0**

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MOONSTONE DRIVE



MIXED USE - 3 STORY - BUILDING  
22 RESIDENTIAL & 1 COMMERCIAL UNIT

LANDSCAPE POINT SYSTEM

Total Square Feet of Lot:	8,226.7 SF
Total Number of Points Required:	15
Total number of points claimed:	15

DETAIL OF POINTS

FEATURES/ TECHNIQUES	POINTS CLAIMED	SHEET #
----------------------	----------------	---------

Street Trees to shade the street:		
Large tree (per tree)	6	L1.1
40' on center maximum (per tree)	3	L1.1

Walls/Fences:		
Vines or espaliered plants on walls/fences (per 50 linear feet of wall/fence)	2	L1.1

Site Design:		
Use of Class III or Class IV compost in a majority of landscaped areas	1	

Bonus Points:		
Planting of any tree, of a tree taxon that does not exist within a 1000-foot radius of the project boundaries (per tree, up to 25% of required landscape points, for non-Los Angeles area native plants)	3	

WATER MANAGEMENT POINT SYSTEM

Total Square Feet of Lot:	8,226.7 SF
Total Number of Points Required:	200
Total number of points claimed:	200

DETAIL OF POINTS

FEATURES/ TECHNIQUES	POINTS CLAIMED	SHEET #
----------------------	----------------	---------

All plants on site those that will, in the designed location, and properly established for 3 years, remain in good health on natural rainfall (100% of required water management point)	200	L1.1
---	-----	------

DATE	SCALE
07/26/23	3/16"=1'-0"

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1	10/30/20	PLANNING

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5201 MONTE VISTA STREET  
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Los Angeles, CA 90031

LEGAL DESCRIPTION  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCELS: 5209032029

NOT FOR CONSTRUCTION

SEAL  
STATE OF CALIFORNIA  
DAVID GONZALEZ  
C-34529  
6-30-25  
REGISTERED ARCHITECT

SHEET TITLE  
LANDSCAPE PLAN

SHEET NUMBER  
L1.0

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- PLANTING NOTES
- BEFORE THE DEMOLITION OR START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE ARCHITECT, CIVIL ENGINEER AND CLIENT REPRESENTATIVE TO SCHEDULE A PRE-CONSTRUCTION MEETING. DURING THIS MEETING, ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE REVIEWED. ALL EXISTING TREES SHALL BE PRESERVED. FAILURE TO CALL FOR SAID MEETING IMPLIES ACCEPTANCE BY THE CONTRACTOR OF TREES TO BE PRESERVED IN THEIR EXISTING CONDITION AS WELL AS ANY LIABILITY FOR REMOVING TREES THAT ARE DESIGNATED "PROTECT IN PLACE".
  - LANDSCAPE CONTRACTOR SHALL PROCURE AND RESERVE PLANT MATERIAL AT START OF CONTRACT TO ENSURE AVAILABILITY AND QUALITY.
  - PLANTS ARE SHOWN DIAGRAMMATICALLY ON PLAN THEREFORE PLANT SPACING IN PLANTING NOTES TAKES PRECEDENCE TO PLANTS SHOWN ON THE PLAN. CONTRACTOR IS TO CALCULATE QUANTITY OF PLANTS CALLED FOR AND INSTALL ALL THAT ARE SHOWN ON PLAN AT THE SPACING IN THE LEGEND, SEE L1.1.

- NURSERY IMAGES OF ALL TREES, SHRUBS AND GROUNDCOVER SHALL BE SUBMITTED AS PART OF THE LANDSCAPE SUBMITTAL. IMAGES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO PLANTING. IMAGES SHALL INCLUDE HEIGHT OF PLANT AND WIDTH. SUBMITTAL MUST BE SUBMITTED (3) THREE WEEKS PRIOR TO ANY LANDSCAPE OR IRRIGATION WORK COMMENCES.
- ALL LANDSCAPE PLANTING, IRRIGATION AND PAVING DAMAGED BY CONTRACTOR SHALL BE REPAIRED AND APPROVED BY OWNER'S REPRESENTATIVE BEFORE 100% COMPLETION OF CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- FINISH GRADE SHALL BE 2" BELOW ALL WALKS/CURBS FOR AREAS TO RECEIVE SHRUB AND/OR GROUNDCOVER AND MULCH.
- IN ORDER TO ACHIEVE A SMOOTH, EVEN FINISH GRADE, ADDITIONAL SOIL MAY NEED TO BE ADDED TO THE PLANTING AREAS.
- FINISH GRADE SHALL BE 1" BELOW ALL WALKS/CURBS FOR AREAS TO RECEIVE TURF.
- ALL TRENCHES, HOLES, AND DIVOTS FROM CONSTRUCTION WORK IN AREAS OF EXISTING TURF/SHRUB AREAS TO REMAIN SHALL BE PATCHED/REPAIRED AND RE-SEEDED/RE-MULCHED.

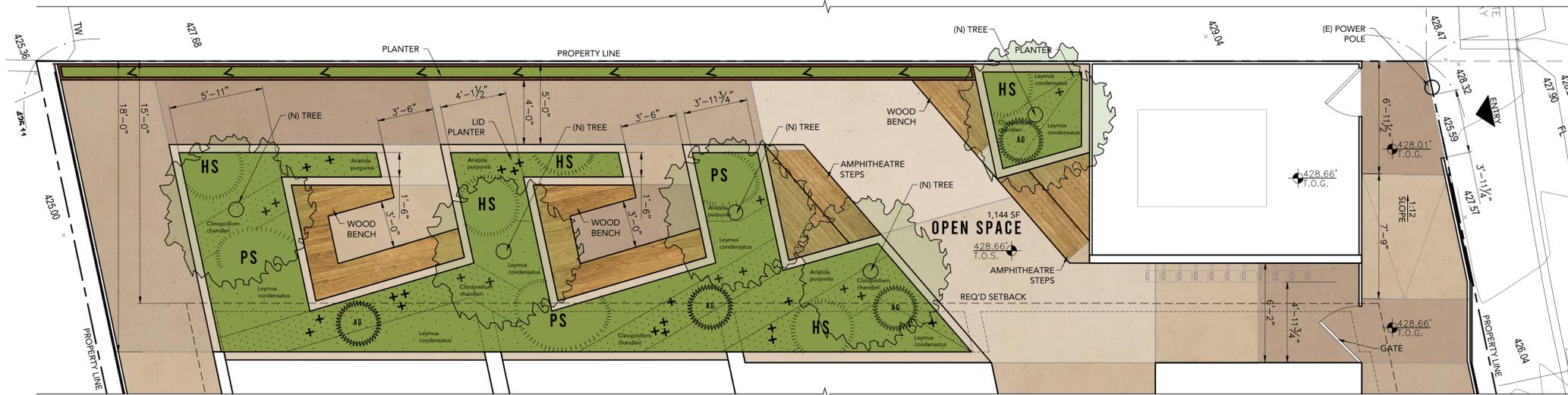
- INFILL SOIL SHALL BE INSTALLED TO ALL TRENCHES, HOLES AND DIVOTS AS TO RE-ESTABLISH UNIFORM FINISH GRADE. SOIL SHALL BE COMPACTED TO 85% PRIOR TO RE-SEEDING/RE-MULCHING.
- FINISH GRADE SHALL SLOPE 2% AWAY FROM STRUCTURES AND TOWARDS SWALES (WHEN APPLICABLE).
  - SPREAD 3" LAYER OF "WALK ON BARK" AS SUPPLIED BY WICKES FOREST INDUSTRIES, KELLOGG SUPPLY, SEQUOIA FOREST PRODUCTS, OR EQUAL APPROVED BY THE OWNER'S REPRESENTATIVE. MULCH SHALL BE INSTALLED UNDER AND IN BETWEEN ALL NEW TREES, SHRUBS, GROUND COVER SO AS TO LEAVE SOIL COMPLETELY COVERED WITH MULCH. PULL MULCH AWAY FROM BASE OF TREES AND PLANTS. A PHYSICAL SAMPLE OF THE MULCH SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
  - WATER PERCOLATION - CONTRACTOR TO DIG A TEST PLANTING PIT, 3'-0" SQUARE AND 3'-0" DEEP; FILL PIT WITH WATER UP TO 2'-0" FROM BOTTOM AND MARK LOCATION AND CHECK LEVEL IN 24 HOURS. IF STANDING WATER IS PRESENT, CONTRACTOR TO CONTACT COLLEGE'S REPRESENTATIVE AND ARCHITECT AND IT WILL BE DETERMINED IF A SUMP PUMP MUST BE IMPLEMENTED.

- CONDUCT TWO (2) SOIL TESTS PER EACH OF THE SOIL TEST LOCATIONS MARKED ON THE PLANTING PLAN. THE FIRST TWO (2) TESTS ON SITE SHALL BE CONDUCTED AFTER ROUGH GRADING IS COMPLETE AND THE SECOND TWO (2) TESTS BEFORE PLANTING COMMENCES, BUT AFTER IRRIGATION INSTALLMENT AND SOIL AMENDMENTS HAVE BEEN APPLIED. THESE TESTS ARE TO DETERMINE RECOMMENDED AMOUNTS OF FERTILIZER AND HARMFUL SUBSTANCES, IF ANY.
- DURING SOIL PREPARATION AMEND WITH GYPSUM (AGRICULTURAL CALCIUM SULFATE CA S04) PER AMOUNT RECOMMENDED BY THE SOIL TEST RESULTS.
- ALL NEW AND EXISTING PLANTING AREAS SHALL BE FREE OF CONSTRUCTION DEBRIS, ROCKS, FORM BOARDS, WEEDS ETC.
- ALL NEW TREES TO BE INSTALLED ADJACENT TO ANY HARDCAPE AREAS (STREET CURBS, DRIVEWAYS, AND SIDEWALKS) SHALL INCLUDE LINEAR ROOT BARRIERS. THE ROOT BARRIER SHOULD EXTEND 5' ON EITHER SIDE OF THE TREE TRUNK FOR A TOTAL LENGTH OF 10'.

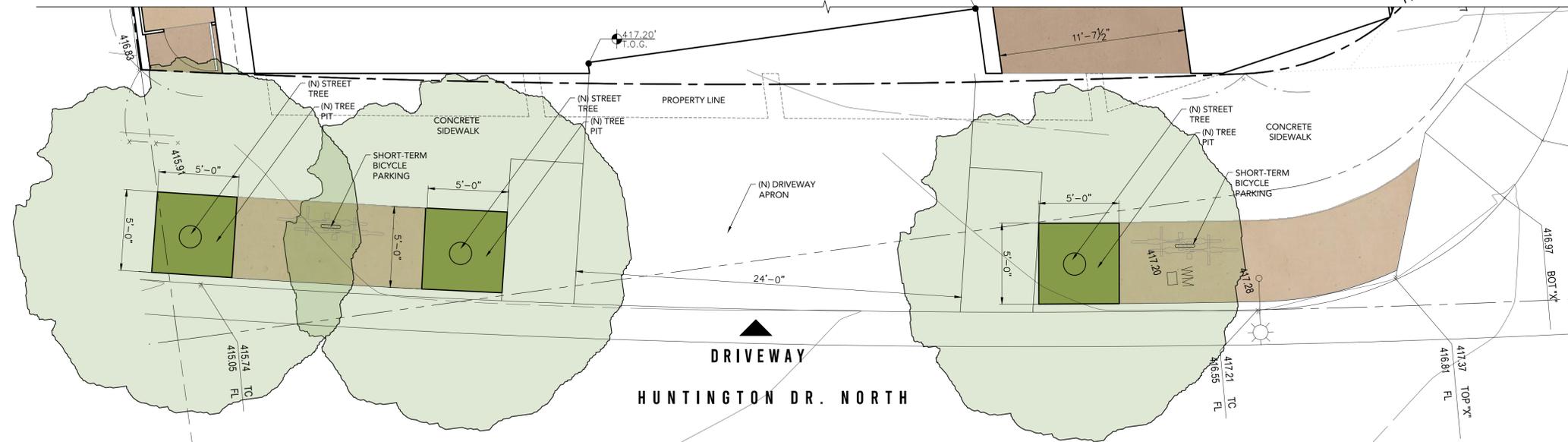
LANDSCAPE PLAN  
SCALE: 3/16"=1'-0"

EXHIBIT "A"  
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Case No. CPC-2021-1601-DB-CU-WDI-HCA





**ENLARGED OPEN SPACE PLANTING PLAN**  
SCALE: 1/4"=1'-0"



**ENLARGED OFF SITE PLANTING PLAN**  
SCALE: 1/4"=1'-0"

**LANDSCAPE SUMMARY**  
PLANTING REQUIRED  
25% OF COMMON OPEN SPACE = 25% x 1126 SQ. FT.  
= 281.5 SQ. FT.  
PLANTING PROVIDED IN THE COMMON OPEN SPACE  
401 SQ. FT.  
TREES REQUIRED  
22 UNITS / 4 = 5.5 = 6 TREES  
TREES PROVIDED  
STREET 3 TREES  
OPEN SPACE 5 TREES  
TOTAL 8 TREES

**EXISTING TREE REPORT NOTE:**  
THERE ARE NO PROTECTED TREES ON SITE.

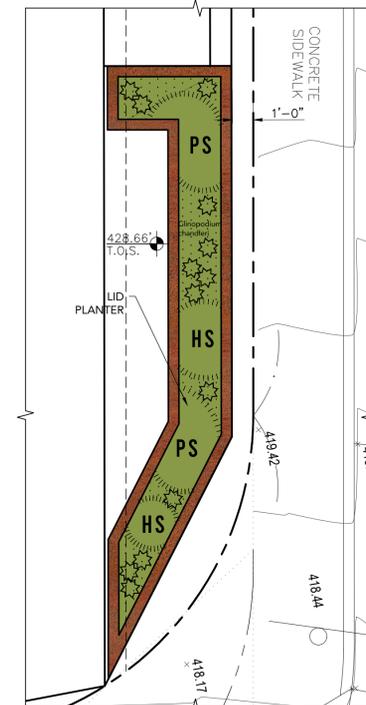
DATE 07/26/23 SCALE 1/4"=1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

**DAVID GONZALEZ ROJAS ARCHITECT**  
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2013 Workman St  
Los Angeles, CA 90031

**LEGAL DESCRIPTION**  
TRACT: 5243  
LOT: FR 6 & 7  
ASSESSOR PARCEL#: 5209032029



**ENLARGED LID PLANTER PLAN**  
SCALE: 1/4"=1'-0"

**PLANTING LEGEND**  
TREES - OFF SITE

PHOTO	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	QUANTITY	NATIVE PLANT	NOTES
		Jacaranda mimosifolia	Jacaranda	Moderate/Medium	3	No (Native to Brazil)	
		Chilopsis linearis	Desert willow	Very Low	5	Yes	
		Vitis californica	California wild grape	Low	9	Yes	

**MATRIX PLANTS**

PHOTO	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	QUANTITY	NATIVE PLANT	NOTES
		Leymus condensatus	Giant wild rye	Low	105 SQ. FT.	Yes	
		Aristida purpurea	Purple three-awn	Very Low	70 SQ. FT.	Yes	
		Clinopodium chandleri (Satureja chandleri)	San Miguel savory	Low	132 SQ. FT.	Yes	
		Iris Pacific Coast hybrids	Iris Pacific Coast snow	Low	28	Yes	

**SCATTER PLANTS**

**PRIMARY PLANTS**

PHOTO	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	QUANTITY	NATIVE PLANT	NOTES
		Salvia spathacea	Hummingbird / pitcher sage	Low	7	Yes	
		Salvia leucophylla	Purple sage	Very Low	5	Yes	
		Agave desmetiana 'Joe Hoak'	Agave	Low	4	No (Native to Mexico)	
		Cereus peruvianus	Peruvian apple cactus	Very Low	13	No (Native to Brazil, Paraguay, Uruguay, Argentina)	

**NOT FOR CONSTRUCTION**

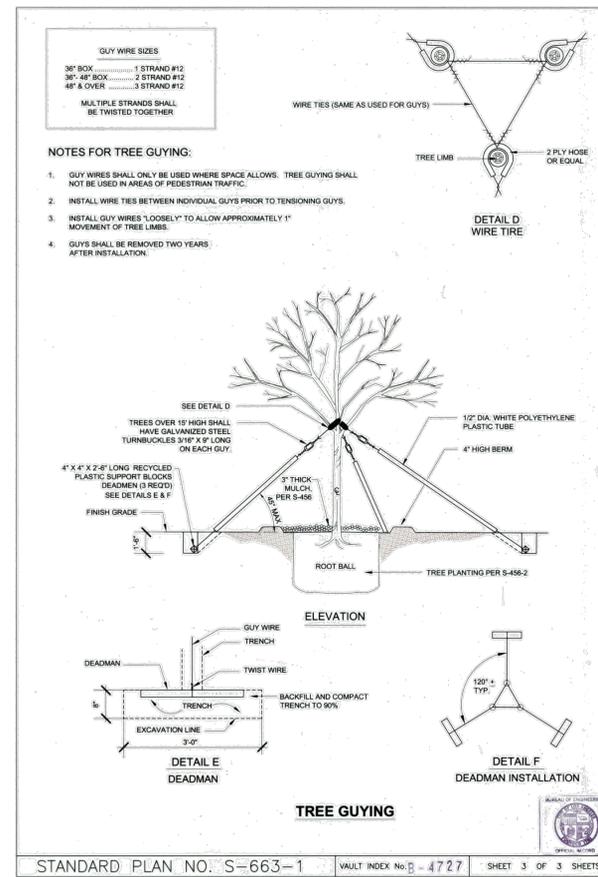
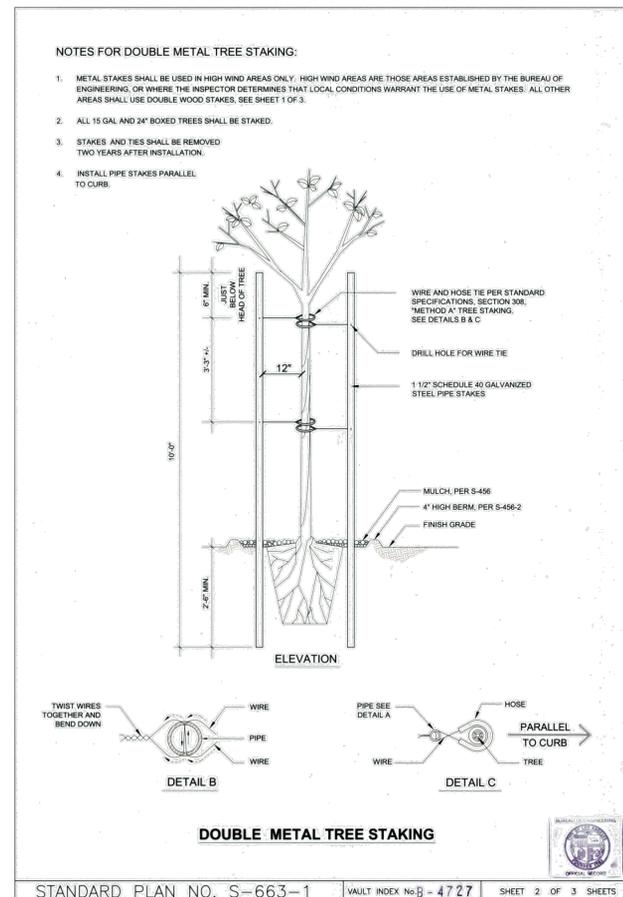
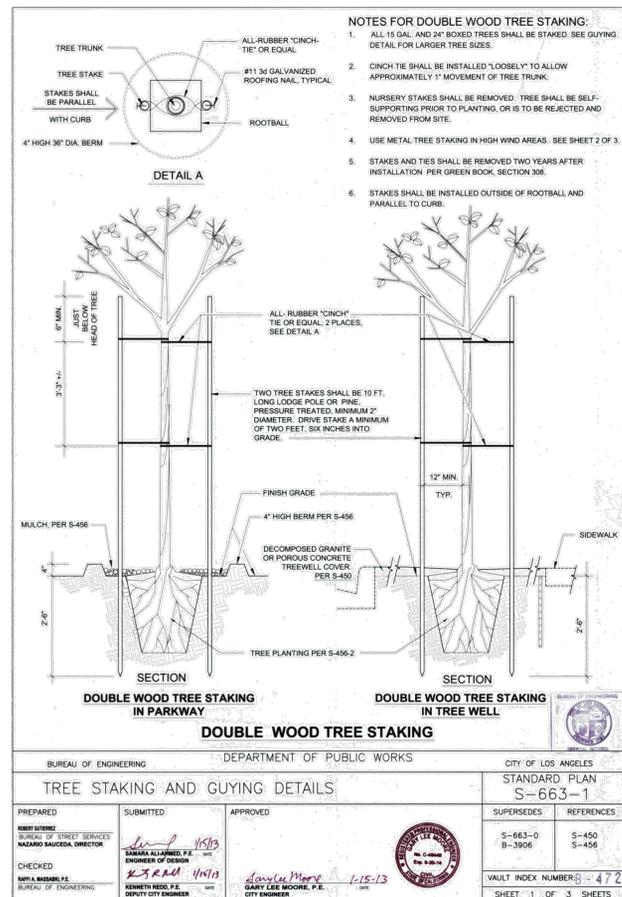
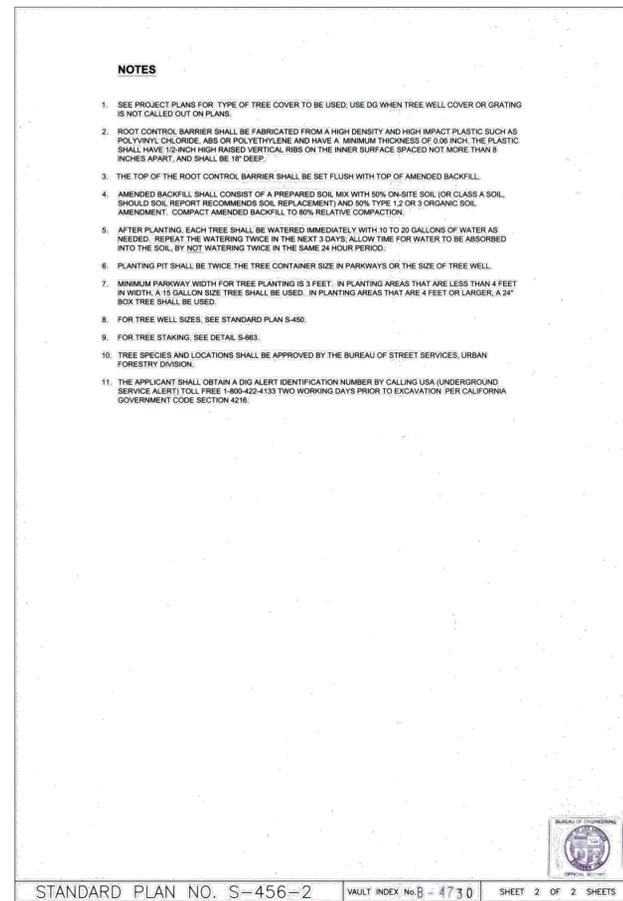
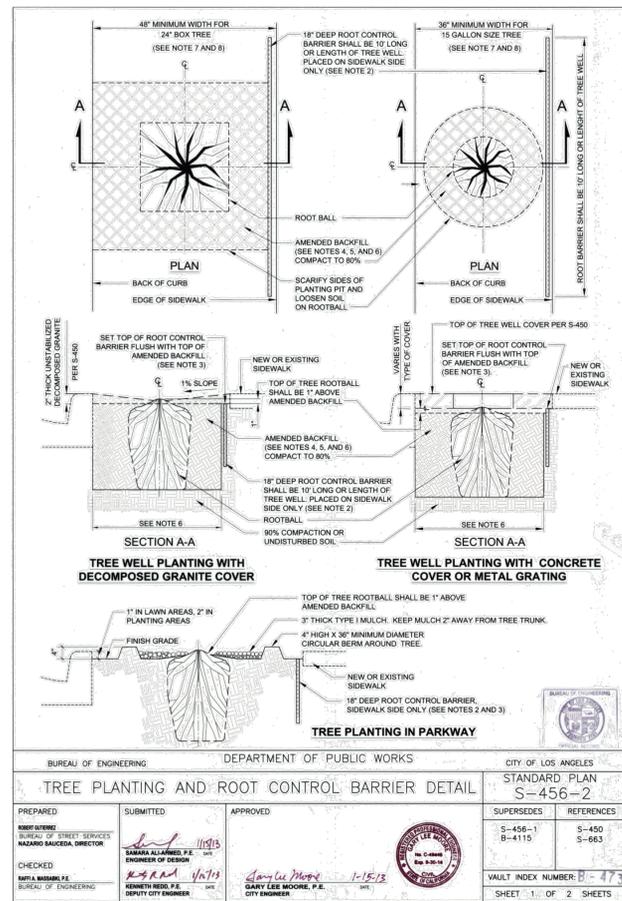
SEAL  
STATE OF CALIFORNIA  
DAVID GONZALEZ  
C-34529  
6-30-25  
LICENSED ARCHITECT

SHEET TITLE  
**ENLARGED PLANTING PLAN**

SHEET NUMBER  
**L1.1**

**EXHIBIT "A"**  
Page No. 16 of 17  
Case No. CPC-2021-1601-DB-CU-WDI-HCA

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BUREAU OF STREET SERVICES NOTES

FINAL DETERMINATION OF TREE PLANTING LOCATIONS IS SUBJECT TO APPROVAL BY BUREAU OF STREET SERVICES, URBAN FORESTRY DIVISION.

THE BUREAU OF STREET SERVICES, URBAN FORESTRY DIVISION SHALL INSPECT AND TAG TREES UPON DELIVERY TO THE JOB SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE TREES ARE THE PROPER SPECIES APPROVED BY AN AUTHORIZED REPRESENTATIVE OF URBAN FORESTRY DIVISION. THE STREET TREES SHALL MEET OR EXCEED THE CRITERIA OF GOOD QUALITY TREE STOCK SET FORTH BY THE URBAN TREE FOUNDATION'S HTTP://WWW.URBANTREE.ORG/ AND THE WESTERN CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE'S (WCISA) GUIDELINE SPECIFICATIONS FOR NURSERY TREE QUALITY. HTTP://WWW.WCISA.NET/DOWNLOAD/NURSERYTREESPECS.PDF

CONTACT URBAN FORESTRY DIVISION (213) 847-3077 AT LEAST FIVE WORKING DAYS BEFORE DELIVERY TO ARRANGE AN APPOINTMENT WITH THE INSPECTOR. INSPECTOR SHALL REVIEW THE PROPOSED TREE LOCATIONS PRIOR TO THE CONSTRUCTION OF THE SIDEWALK. URBAN FORESTRY DIVISION ACCEPTS NO RESPONSIBILITY FOR ANY PURCHASING AND/OR DELIVERY ARRANGEMENTS AND SHALL REJECT ANY TREES FAILING TO MEET THE SPECIFICATIONS SET FORTH IN THE URBAN TREE FOUNDATION'S AND WCISA'S GUIDELINES SPECIFICATIONS FOR NURSERY TREE QUALITY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PERMIT REQUIREMENTS OR FEES.

HUNTINGTON APTS  
 4221 HUNTINGTON DR  
 LOS ANGELES  
 90032

DATE	SCALE
07/26/23	3/32" = 1'-0"

#	DATE	ISSUE
1	10/30/20	PLANNING

DAVID GONZALEZ ROJAS ARCHITECT  
 5201 MONTE VISTA STREET  
 LOS ANGELES, CA 90042  
 DCR@DWARXLAIS.COM  
 626.318.2719

OWNER  
 4215 Huntington Dr North LLC  
 2013 Workman St  
 Los Angeles, CA 90031

LEGAL DESCRIPTION  
 TRACT: 5243  
 LOT: FR 6 & 7  
 ASSESSOR PARCEL#: 5209032029

**NOT FOR CONSTRUCTION**

SEAL  
 STATE OF CALIFORNIA  
 LICENSED ARCHITECT  
 DAVID GONZALEZ  
 C-34529  
 6-30-25

SHEET TITLE  
**STREET TREE PLANTING DETAILS**

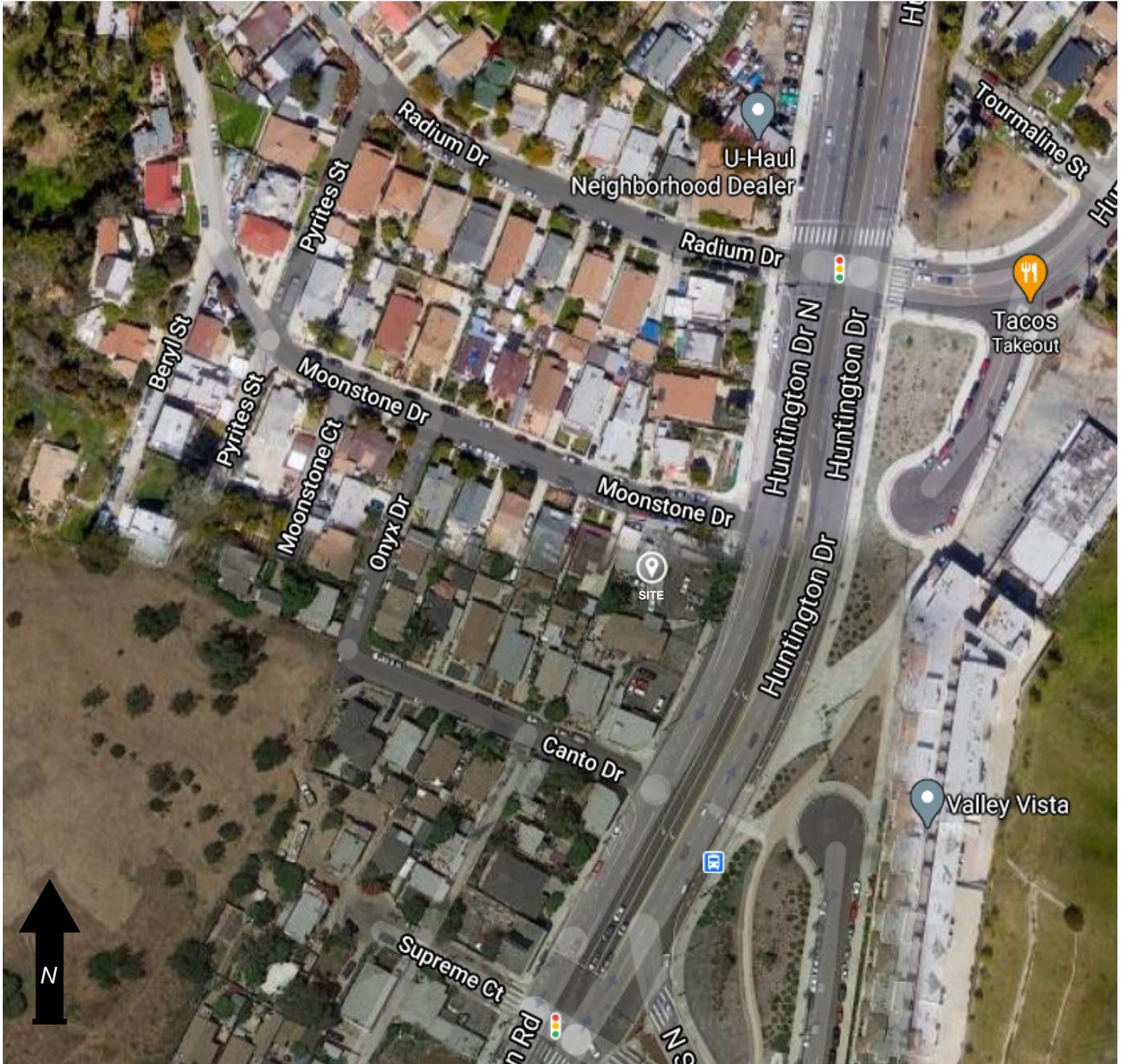
SHEET NUMBER  
**L1.2**

**EXHIBIT "A"**  
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 Case No. CPC-2021-1601-DB-CU-WDI-HCA

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# AERIAL PHOTO MAP

4221 E. HUNTINGTON DR. NORTH



# VICINITY MAP

4221 E. HUNTINGTON DR. NORTH

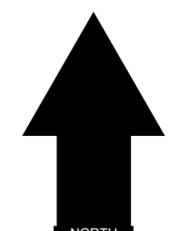




- SITE - CASE NUMBERS:**  
 CPC 1989-22490  
 CPC 1989-177  
 CPC 1986-826-GPC  
 ORD 86634  
 ORD 86506  
 ORD 68466  
 ORD 173070-SA7075A  
 ORD 172316  
 ORD 166216-SA3516  
 ORD 129279  
 ORD 105641  
 ZA 2004-5569-CU  
 ENV 2013-3392-CE  
 ENV 2004-5570-CE  
 AFF 53895

# CONDITIONAL USE PERMIT - AFFORDABLE HOUSING DENSITY BONUS

**500' FT RADIUS MAP**

<p><b>LEGAL DESCRIPTION:</b></p> <p><b>LOTS:</b> FR 6 &amp; FR 7  <b>BLK:</b> NONE  <b>TRACT:</b> TR 5243</p> <p><b>M.R.:</b> M B 57-25  <b>T.B.:</b> Page: 595 Grid: C7  <b>ZONE:</b> [Q]C2-1</p> <p><b>P.A.:</b> NORTHEAST LOS ANGELES  <b>C.D.:</b> 14</p>	<p><b>SUBJECT SITE</b></p> <p><b>4221 E. HUNTINGTON DR NORTH</b>  <b>LOS ANGELES, CA 90032</b></p> <p><i>A.P.N.: 5209-032-029</i></p> <p><b>REPRESENTATIVE:</b>  <b>ROJAS ARCHITECT</b></p>	<p><b>CASE:</b></p> <p><b>DATE:</b> 09-23-2020  <b>UPDATE:</b></p> <p><b>D.M.:</b> 139-5A229  <b>C.T.:</b> 1991.10  <b>AC:</b> 0.186</p>
		 <b>AG MAPPING SERVICES</b>



# City of Los Angeles Department of City Planning

## 10/22/2020 PARCEL PROFILE REPORT

### PROPERTY ADDRESSES

4221 E HUNTINGTON DR NORTH

### ZIP CODES

90032

### RECENT ACTIVITY

None

### CASE NUMBERS

CPC-1989-22490

CPC-1989-177

CPC-1986-826-GPC

ORD-86634

ORD-86506

ORD-68466

ORD-173070-SA7075A

ORD-172316

ORD-166216-SA3516

ORD-129279

ORD-105641

ZA-2004-5569-CU

ENV-2013-3392-CE

ENV-2004-5570-CE

AFF-53895

### Address/Legal Information

PIN Number	139-5A229 18
Lot/Parcel Area (Calculated)	4,012.3 (sq ft)
Thomas Brothers Grid	PAGE 595 - GRID C7
Assessor Parcel No. (APN)	5209032029
Tract	TR 5243
Map Reference	M B 57-25
Block	None
Lot	FR 6
Arb (Lot Cut Reference)	None
Map Sheet	139-5A229

### Jurisdictional Information

Community Plan Area	Northeast Los Angeles
Area Planning Commission	East Los Angeles
Neighborhood Council	LA-32
Council District	CD 14 - Kevin de León
Census Tract #	1991.10
LADBS District Office	Los Angeles Metro

### Planning and Zoning Information

Special Notes	None
Zoning	[Q]C2-1
Zoning Information (ZI)	ZI-2129 State Enterprise Zone: East Los Angeles
General Plan Land Use	General Commercial
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	Yes
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](http://zimas.lacity.org)  
(\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Non-Residential Market Area	Medium
Transit Oriented Communities (TOC)	Tier 1
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

#### Assessor Information

Assessor Parcel No. (APN)	5209032029
APN Area (Co. Public Works)*	0.186 (ac)
Use Code	100V - Commercial - Commercial - Vacant Land
Assessed Land Val.	\$33,948
Assessed Improvement Val.	\$0
Last Owner Change	12/31/2019
Last Sale Amount	\$550,005
Tax Rate Area	4
Deed Ref No. (City Clerk)	978243
	843807
	6-28
	4775
	1464677
	1356178
	1356177
	1356176
	1356175
	0-151
Building 1	No data for building 1
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 5209032029]

#### Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	Yes
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	Yes
Wells	None

#### Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	0.96856296
Nearest Fault (Name)	Upper Elysian Park
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	1.30000000

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 (\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Slip Geometry	Reverse
Slip Type	Poorly Constrained
Down Dip Width (km)	13.00000000
Rupture Top	3.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	50.00000000
Maximum Magnitude	6.40000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No
<b>Economic Development Areas</b>	
Business Improvement District	None
Hubzone	Redesignated until Dec 2021
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	EAST LOS ANGELES STATE ENTERPRISE ZONE
<b>Housing</b>	
Direct all Inquiries to	Housing+Community Investment Department
Telephone	(866) 557-7368
Website	<a href="http://hcidla.lacity.org">http://hcidla.lacity.org</a>
Rent Stabilization Ordinance (RSO)	No [APN: 5209032029]
Ellis Act Property	No
AB 1482: Tenant Protection Act	No
<b>Public Safety</b>	
Police Information	
Bureau	Central
Division / Station	Hollenbeck
Reporting District	417
Fire Information	
Bureau	Central
Batallion	2
District / Fire Station	47
Red Flag Restricted Parking	No

## CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-1989-22490
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	CPC-1989-177
Required Action(s):	Data Not Available
Project Descriptions(s):	INTERIM CONTROL ORDINANCE FOR THE ENTIRE NORTHEAST LOS ANGELES DISTRICT PLAN CONTINUATION OF CPC-89-0177. SEE GENERAL COMMENTS FOR CONTINUATION.
Case Number:	CPC-1986-826-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	GENERAL PLAN/ZONING CONSISTENCY - ZONE CHANGES - HEIGHT DISTRICT CHANGES AND PLAN AMENDMENTS - VARIOUS LOCATIONS
Case Number:	ZA-2004-5569-CU
Required Action(s):	CU-CONDITIONAL USE
Project Descriptions(s):	CAR WASH IN COMMERCIAL CORNER, NO 50% GLAZING OF BUILDING, NO 5' LANDSCAPE BUFFER
Case Number:	ENV-2013-3392-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	THE PROPOSED ORDINANCE MODIFIES SECTION 22.119 OF THE LOS ANGELES ADMINISTRATIVE CODE TO ALLOW ORIGINAL ART MURALS ON LOTS DEVELOPED WITH ONLY ONE SINGLE-FAMILY RESIDENTIAL STRUCTURE AND THAT ARE LOCATED WITHIN COUNCIL DISTRICTS 1, 9, AND 14.
Case Number:	ENV-2004-5570-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CAR WASH IN COMMERCIAL CORNER, NO 50% GLAZING OF BUILDING, NO 5' LANDSCAPE BUFFER

## DATA NOT AVAILABLE

ORD-86634  
ORD-86506  
ORD-68466  
ORD-173070-SA7075A  
ORD-172316  
ORD-166216-SA3516  
ORD-129279  
ORD-105641  
AFF-53895



# LEGEND

## GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF

## GENERAL PLAN LAND USE

### LAND USE

#### RESIDENTIAL

-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

#### COMMERCIAL

-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

### FRAMEWORK

#### COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial

#### INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial

#### PARKING

-  Parking Buffer

#### PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site

#### LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

#### OPEN SPACE / PUBLIC FACILITIES

-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

#### INDUSTRIAL

-  Limited Industrial
-  Light Industrial

# CIRCULATION

## STREET

-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

## FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway

## MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

## POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	<b>HW</b> House of Worship	 Public Golf Course (Proposed)
 Bridge	<b>e</b> Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
<b>HW</b> Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	<b>MWD</b> MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	<b>P</b> Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	<b>RPD</b> Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
<b>DMV</b> DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
<b>DWP</b> DWP	 Police Training site	 Skill Center
 DWP Pumping Station	<b>PO</b> Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	<b>C</b> Private College	 Steam Plant
 Fire Supply & Maintenance	<b>E</b> Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	<b>JH</b> Private Junior High School	<b>UTL</b> Utility Yard
 Helistop	<b>PS</b> Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	<b>SH</b> Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	<b>SF</b> Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

## SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

## COASTAL ZONE

 Coastal Zone Commission Authority
 Calvo Exclusion Area
 Not in Coastal Zone
 Dual Jurisdictional Coastal Zone

## TRANSIT ORIENTED COMMUNITIES (TOC)

 Tier 1	 Tier 3
 Tier 2	 Tier 4

**Note:** TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

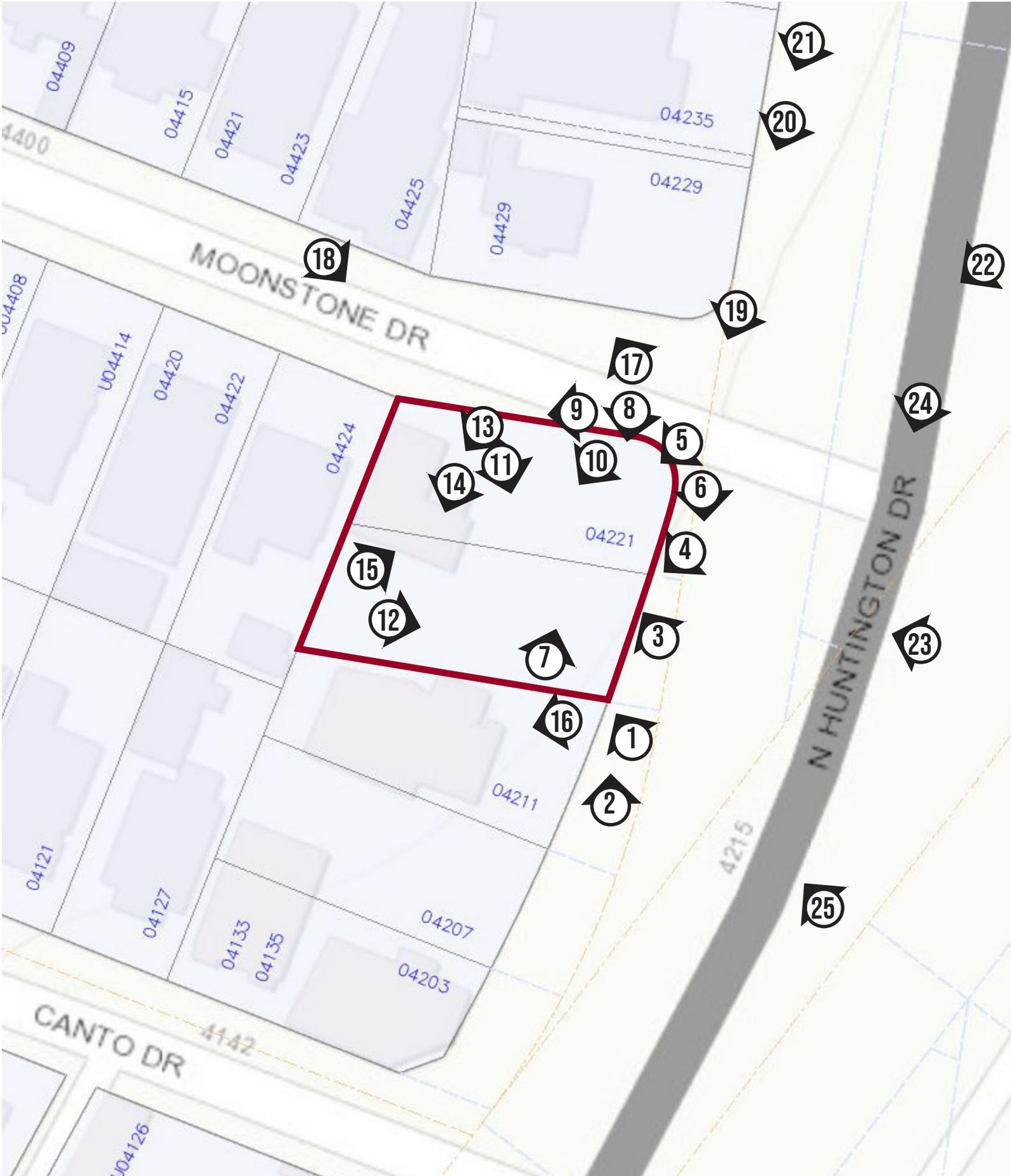
## WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

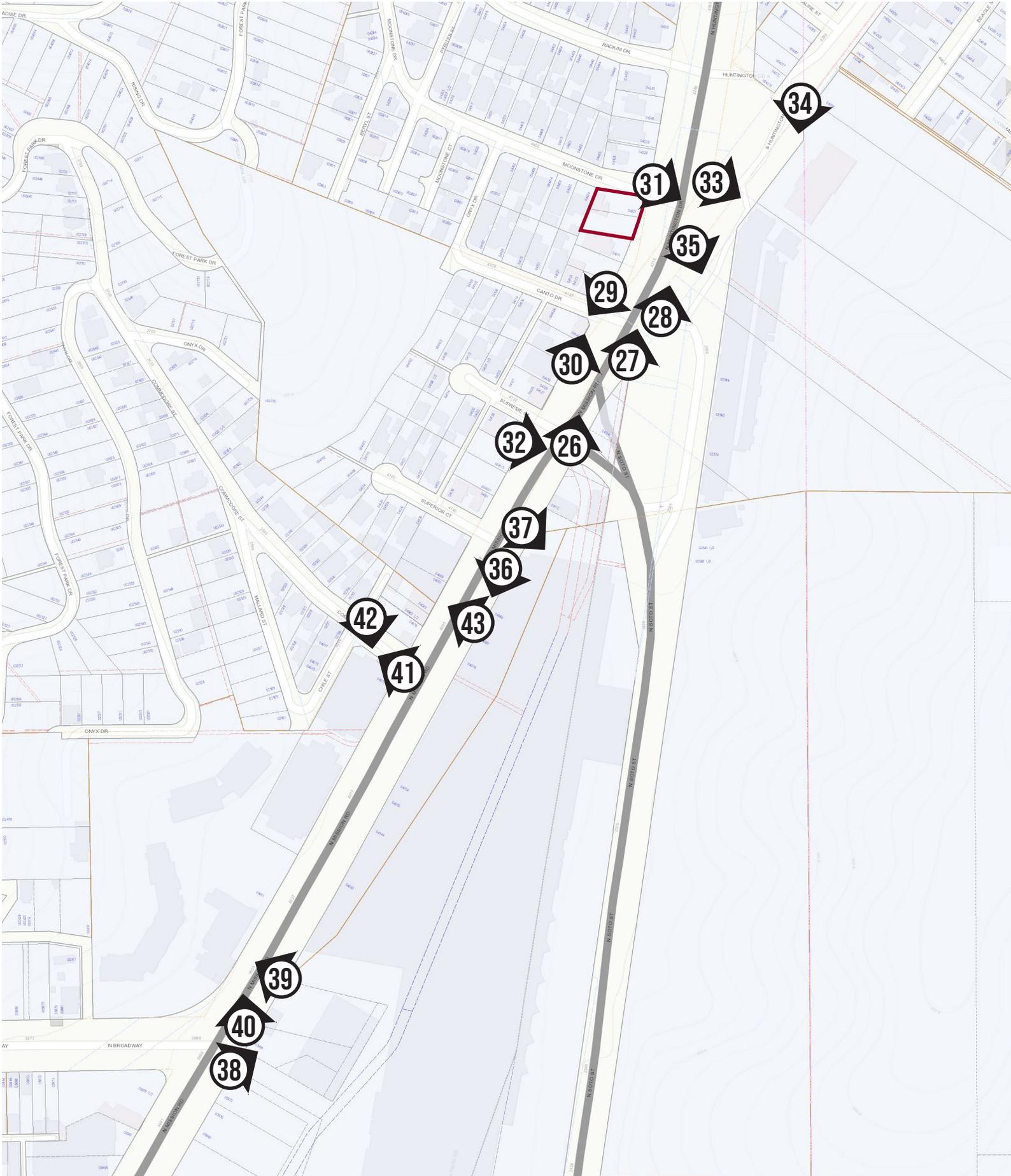
## OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells
 Building Outlines 2014	 Tract Map	
 Building Outlines 2008	 Parcel Map	

4221 HUNTINGTON DR  
LOS ANGELES, CA 90032  
**INDEX MAP**



4221 HUNTINGTON DR  
LOS ANGELES, CA 90032  
**INDEX MAP**



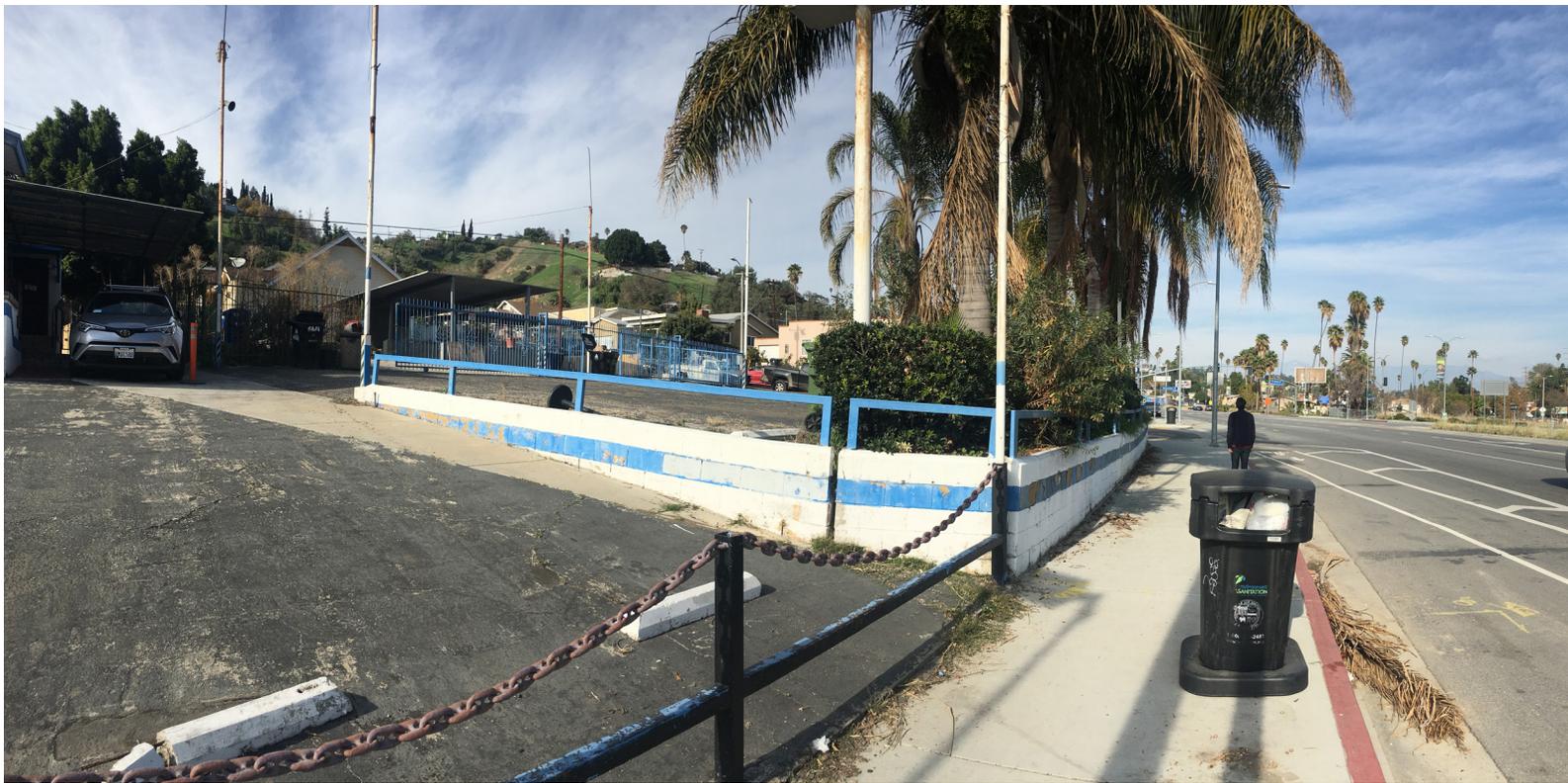
4221 HUNTINGTON DR  
LOS ANGELES, CA 90032  
**AERIAL VIEW**



4221 E. HUNTINGTON DR  
LOS ANGELES, CA 90032  
**PHOTOGRAPHS**



1. South East Corner of Subject Lot showing (E) Low Wall



2. South East Corner of Subject Lot



3. Low Concrete Wall at Street Property Line



4. Low Concrete Wall at Street Property Line



5. Low Concrete Wall at Subject Property Line



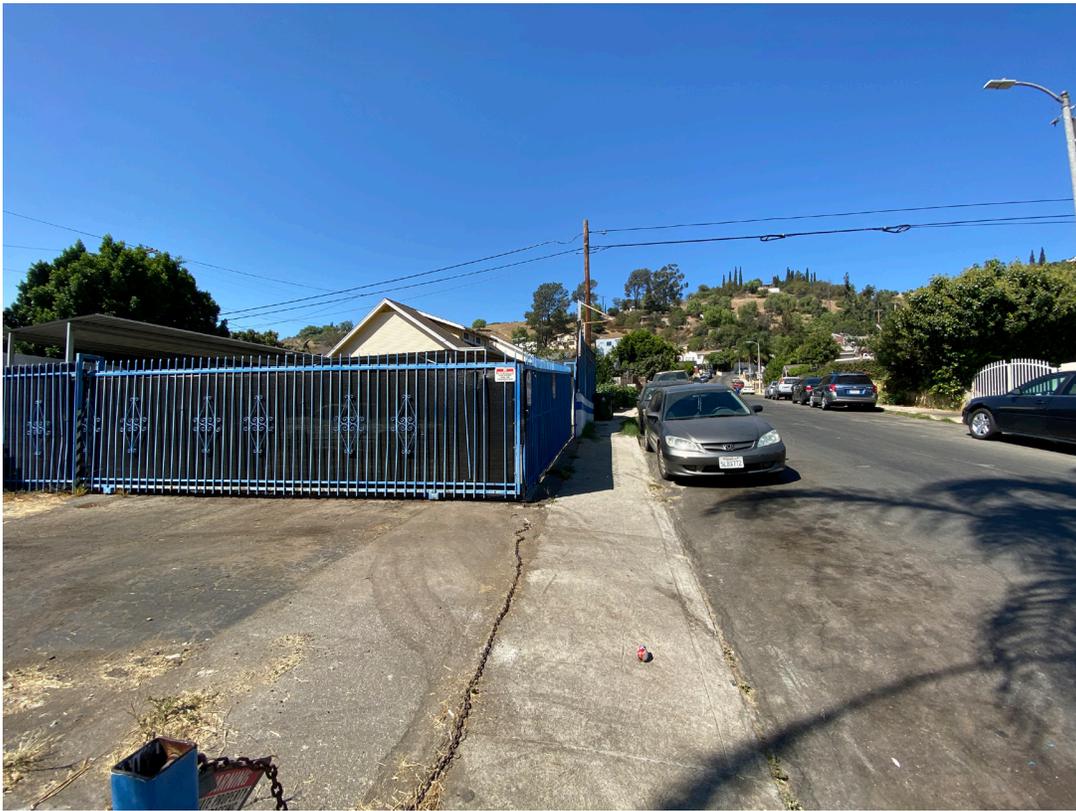
6. Bicycle Lane & Sidewalk at Street Intersection in front of Lot



7. Inside Subject Property Looking North



8. Inside Subject Property Looking South



9. Moonstone Sidewalk Looking West



10. At Subject Lot Looking South



11. Inside Subject Lot Looking East



12. Inside Subject Lot Looking East



13. Inside Subject Lot Looking towards West



14. Inside Subject Lot Looking South



15. Inside Subject Lot Looking North East



16. Commercial Neighbor to the South



17. Moonstone at Subject Property Looking North



18. On Moonstone Looking Towards Subject Property



19. Across the Street on Moonstone Looking towards Subject Property



20. On Huntington Looking South towards the Subject Property



21. On Huntington Looking South towards the Subject Property



22. Across the Street and to the North on Huntington, Looking South West Towards the Property



23. Directly across the street on Huntington Looking towards the Property



24. The median on Huntington, the property is on the left side



25. Across the street on Huntington Looking towards the Property



26. Nearby Intersection



27. Bus stop across the street



28. Intersection of Huntington and Soto



29. Nearby Building 1 Block South on Huntington



30. Nearby Building 1 Block South on Huntington



31. Looking across Huntington from the Subject Property



32. Neighboring Mixed Use Project



33. Neighboring Project Under Construction



34. Neighboring Project Under Construction



35. Development across the Street



36. Warehouse Building Nearby



37. Warehouse Building Nearby



38. Storage Building Nearby



39. Residential Building at Intersection of Mission & Broadway



40. Residential Building at Intersection of Mission & Broadway



41. Nearby Building



42. Nearby Building



43. Nearby Building

**REFERRAL FORMS:**

**AFFORDABLE HOUSING REFERRAL FORM**  
LOS ANGELES CITY PLANNING DEPARTMENT

This form is to serve as a referral to the Department of City Planning Development Services Center for affordable housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation) and as a referral to HCIDLA, CRA, LA County, or other City agency for project status and entitlement need purposes. This form shall be completed by the applicant and reviewed and signed by Department of City Planning staff prior to case filing. Any modifications to the content(s) of this form after its authorization by the Department of City Planning staff is prohibited.

**CITY STAFF USE ONLY**

Referral To:

Planning DSC - Filing    HCIDLA Funding    CRA    LA County    Other: \_\_\_\_\_

NOTES: *Density Bonus off menu [CPC case] and CU.*

Planning Staff Name and Title

*Ulises A Gonzalez, City Planner*

Planning Staff Signature

*Ulises A Gonzalez*

Date

*11/12/2020*

(The Department of City Planning reserves the right to require an updated AHRF for the project if more than 180 days have transpired since the above date, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.)

**I. PROPOSED PROJECT**

**1. PROJECT LOCATION/ ZONING**

Project Address: 4221 HUNTINGTON DRIVE ✓

Project Name: HUNTINGTON MIXED USE AFFORDABLE APARTMENTS

Applicant Name and Phone/Email: DAVID GONZALEZ ROJAS (ARCHITECT) 626-318-2719 DGNZLZ@GMAIL.COM

Assessor Parcel Number(s): 5209 03 2029 ✓

Community Plan: NORTH EAST LOS ANGELES   Number of Lots: 2 ✓   Lot Size: 8,226.7 ✓   s.f.

Existing Zone: [Q]C2-1   Land Use Designation: GENERAL COMMERCIAL

Specific Plan    HPOZ    DRB    Enterprise Zone    CRA

Q-condition/ D-limitation/ T-classification (please specify): CANNOT BE 100% RESIDENTIAL, PER 173 030

Other pertinent zoning information (please specify): \_\_\_\_\_

Location of Major Transportation Stop or Intersection (please specify):<sup>1</sup> \_\_\_\_\_

**2. DESCRIPTION OF PROPOSED PROJECT**

NEW 3 - STORY OVER 1 BASEMENT STORY MIXED USE BUILDING ON VACANT LOT TO INCLUDE ✓

22 RESIDENTIAL UNITS, 4 OF WHICH WILL BE RESERVED FOR VERY LOW INCOME TENANTS,

AND 1 COMMERCIAL SPACE.

<sup>1</sup> Per AB 744, A Major Transit Stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan. Per Sec 12.22.A.25(b) of LAMC, the definition of Transit Stop/Major Employment Center includes: (1) a station stop for a fixed transit guideway or fixed rail system, (2) a Metro Rapid Bus stop or route, (3) the boundaries of three major economic activity areas, and (4) the boundaries of a college or university campus with an enrollment exceeding 10,000 students.

**3. EXISTING USE**

A. Describe Existing Development: UNDEVELOPED PROPERTY

Characteristic of existing use Dwelling Unit (DU), Commercial/ Industrial, or Other	Existing		To Be Demolished	Proposed <sup>2</sup>	
	No. of DU or Guest Rooms	Approximate sq. ft./ea.		No. of DU or Guest Rooms	Approximate sq. ft./ea.
Guest Rooms	NA				
Studio	NA			8	549
One Bedroom	NA			14	572
Two Bedrooms	NA				
Three Bedrooms	NA				
_____ Bedroom	NA				
Commercial / Industrial	NA				
Other:					

**B. Previous Cases Filed**

	(1)	(2)	(3)
Case Number(s):	<u>ZA 2004-5569(CU)</u>	_____	_____
Date Filed:	<u>9/3/2004</u>	_____	_____
Date Approved:	<u>NA</u>	_____	_____
End of Appeal Period:	_____	_____	_____
Environmental No.	_____	_____	_____

**4. TYPE OF APPLICATION**

- Density Bonus (per LAMC Sec. 12.22.A.25) with **no** incentives filed in conjunction with a discretionary approval. If no entitlement case is requested, please contact the Los Angeles Department of Building and Safety (LADBS) at ladbs.org or call 3-1-1 within the City of Los Angeles or (213) 473-3231 outside of the City of Los Angeles.
- Density Bonus per LAMC Sec. 12.22.A.25 **with incentives on the menu** (please specify): \_\_\_\_\_
- Density Bonus per LAMC Sec. 12.22.A.25 **with incentives off menu** (please specify): 92.5% DENSITY BONUS  
3 OFF MENU INCENTIVES RE: PARKING, F.A.R., & HEIGHT
- Density Bonus per LAMC Sec. 12.22.A.25 **with on and off menu incentives** (please specify): \_\_\_\_\_
- Greater Downtown Housing Incentive Area per LAMC Sec. 12.22.A.29, Ordinance 179,076 (Sections 7 and 9 through 11 of this form do not apply)
- Public Benefit Project per LAMC Sec. 14.00.A.2
- Unapproved Dwelling Unit per LAMC Sec. 14.00.A.10
- Agreement for Partnered Housing Between Commercial and Housing Developer:
  - 30% or more of total units provided for low income housing
  - 15% or more of total units provided for very low income housing
- General Plan Amendment per LAMC Sec. 11.5.6. Request: \_\_\_\_\_
- Zone/Height District Change per LAMC Sec. 12.32. Request: \_\_\_\_\_
- Conditional Use per LAMC Sec. 12.22.U.26 92.5% DENSITY BONUS
- Site Plan Review per LAMC Sec. 16.05
- Specific Plan Project Permit Compliance per LAMC Sec. 11.5.7.C
- Community Design Overlay per LAMC Sec. 13.08
- Coastal Development Permit per LAMC Sec. 12.20.2 or 12.20.2.1
- Tract or Parcel Map per LAMC Sec. 17.00 or 17.50
- Other discretionary incentives requested (please specify): \_\_\_\_\_

<sup>2</sup> Replacement units, per AB 2556, shall be equivalent to the number of units, size, and number of bedrooms of the existing development.

**5. ENVIRONMENTAL REVIEW**

- Environmental Review Not Required – Project is Ministerial.<sup>3</sup> Please explain: WILL FILE EAF AND SHOW INTEREST IN CLASS 32 EXEMPTION.
- Not filed (please contact the Department of City Planning Development Services Center for more information)
- Filed (indicate case number): \_\_\_\_\_

**6. HOUSING DEVELOPMENT PROJECT TYPE** (please check all that apply):

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> For Sale                   | <input type="checkbox"/> Moderate Income   | <input type="checkbox"/> Transitional Foster Youth              |
| <input type="checkbox"/> For Rent                   | <input type="checkbox"/> Market Rate       | <input type="checkbox"/> Disabled Veteran                       |
| <input type="checkbox"/> Extremely Low Income       | <input type="checkbox"/> Mixed Use Project | <input type="checkbox"/> Homeless                               |
| <input checked="" type="checkbox"/> Very Low Income | <input type="checkbox"/> Senior            | <input type="checkbox"/> Special Needs (please describe): _____ |
| <input type="checkbox"/> Low Income                 | <input type="checkbox"/> Residential Hotel |   |

**7. DENSITY CALCULATION**

**A. Base Density: Maximum density allowable per zoning**

Lot size	<u>8,226.7</u>	s.f. (a)
Density allowable by zone	<u>800</u>	units/s.f. of lot area (b)
Units allowed by right (Base Density)	<u>11</u>	units (c) [c = a/b, Including fraction and round up to the next whole number]

**B. Maximum Allowable Density Bonus:** 15 units (d) [d = c x 1.35, include fraction and round up to whole number]

**C. Proposed Project:** Please indicate total number of Units requested as well as breakdown by levels of affordability set by each category (HCD or HUD). For information on HCD and HUD levels of affordability please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or [hcidla.lacity.org](http://hcidla.lacity.org).<sup>4</sup>

	<u>Total</u>	<u>HCD (State)</u>	<u>HUD (TCAC)</u>
Market Rate	<u>18</u>	<u>N/A</u>	<u>N/A</u>
Managers Unit(s) - Market Rate	<u>          </u>	<u>N/A</u>	<u>N/A</u>
Extremely Low Income	<u>          </u>	<u>          </u>	<u>          </u>
Very Low Income	<u>4</u> ✓	<u>4</u> ✓	<u>          </u>
Low Income	<u>          </u>	<u>          </u>	<u>          </u>
Moderate Income	<u>          </u>	<u>          </u>	<u>N/A</u>
Seniors- Market Rate	<u>          </u>	<u>N/A</u>	<u>N/A</u>
Seniors- Very Low Income	<u>          </u>	<u>          </u>	<u>          </u>
Seniors- Low Income	<u>          </u>	<u>          </u>	<u>          </u>
Seniors – Moderate Income	<u>          </u>	<u>          </u>	<u>          </u>
Transitional Foster Youth–Very Low Income*	<u>          </u>	<u>          </u>	<u>          </u>
Disabled Veterans – Very Low Income*	<u>          </u>	<u>          </u>	<u>          </u>
Homeless – Very Low Income*	<u>          </u>	<u>          </u>	<u>          </u>
Total # of Units per Category	<u>          </u>	<u>          </u> (e)	<u>          </u> (f)
Percent of Affordable Units by Category	<u>          </u>	<u>          </u> (g)	<u>          </u> (h)
		[g = e/c or e/i, whichever is less, c or i] [h = f/c or f/i, whichever is less, c or i]	
TOTAL # of Units Proposed	<u>22</u> (i)		
Number of Density Bonus Units	<u>12</u> ✓		
Percent Density Bonus Requested	<u>92.5%</u> ✓	(j) [If i>c, then j=i-c; if i<c, then j= 0]	
Percent of Affordable Set Aside	<u>34%</u> ✓	(k) [k= j/c]	
		(c) x % of affordable housing units provided	

\* Per AB 2442, a 10% setaside with Very Low Income units at 20% Density Bonus.

<sup>3</sup> Ministerial Projects (aka, "By-Right") do not require any discretionary Planning approvals. Developers of such housing file building plans with the Department of Building & Safety. Plans are checked for compliance with the Building Code and, when in compliance, permits are issued to begin construction.

<sup>4</sup> HCD (State) = Published affordability levels per California Department of Housing and Community Development. HUD (TCAC) = Published affordability levels per the United States Department of Housing and Urban Development.

8. **SITE PLAN REVIEW CALCULATION** An application for Site Plan Review may be required for projects that meet any of the Site Plan Review thresholds as outlined in LAMC Section 16.05.C. unless otherwise exempted per Section 16.05.D. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the Site Plan Review threshold for unit count. If project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05.D please confirm exemption with Department of City Planning's DSC Housing Unit.

11 units allowed by right (permitted by LAMC) – 0 existing units = 11 units ✓

- YES, Site Plan Review is required, if Proposed Base Density units minus existing units is equal to or greater than 50<sup>5</sup>
- NO, Site Plan Review is not required, if Base Density units minus existing units is less than 50
- NO, Site Plan Review is not required if Proposed Project is not utilizing a Density Bonus and total Project is less than 50
- Exempt (please specify): \_\_\_\_\_

**II. DENSITY BONUS (LAMC Sec.12.22.A.25, Ordinance 179,681)**

9. **DENSITY BONUS OPTIONS** (Please check all that apply)

- Land Donation
- Child Care
- Restricted Affordable Units Located Near Transit Stop/ Major Employment Center
- Common Interest Development with Low or Very Low Income Restricted Affordable Units for Rent
- Condominium Conversion

**Parking (Please choose only one of the following options):**

**Parking Option 1:** Based on # of bedrooms, inclusive of Handicapped and Guest parking. Fractional numbers are rounded down.

	# of Units	Spaces/Unit	Parking Required	Parking Provided
0-1 Bedroom		1		
2-3 Bedrooms		2		
4 or more Bedrooms		2.5		
<b>TOTALS</b>				

**Parking Option 2:** Reduced only for Restricted Affordable Units: up to 40% of required parking for Restricted Affordable Units may be compact stalls. Fractional numbers are rounded down.

	# of Units	Spaces/Unit	Parking Required	Parking Provided
Market Rate (Including Senior Market Rate)		Per code		
Restricted Affordable		1		
Very Low/ Low Income Senior or Disabled		.5		
Restricted Affordable in Residential Hotel		.25		
<b>TOTALS</b>				

**Parking Option 3:** AB 744 - Applies to two types of projects: (A) 100% affordable developments consisting solely of rental units, exclusive of a manager's unit or units, with an affordable housing cost to lower income families; or (B) mixed-income developments consisting of the maximum number of very low- or low income units, which is 11% and 20% set aside, respectively.

<sup>5</sup> Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in Sec. 16.05 of the LAMC.

**A) 100% Affordable Rental Projects**

	# of Units	Spaces/Unit	Parking Required	Parking Provided
Located within 1/2 mile of major transit stop		0.5		
Senior having either paratransit service or unobstructed access within 1/2 mile to fixed bus route service that operates at least 8 times/day		0.5		
Special needs having either paratransit service or unobstructed access within 1/2 mile to fixed bus route service that operates at least 8 times/day		0.3		

**B) Mixed Income Projects consisting of the maximum number of very low- or low income units, which is 11% and 20% set aside, respectively**

	# of Bedrooms	Spaces/Bedroom	Parking Required	Parking Provided
Located within 1/2 mile of major transit stop with unobstructed access to project		0.5		

APPLICABLE TO PARKING OPTION 3 – AB744 ONLY: (1) **Major transit stop** means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan. (2) The maximum 1/2 mile distance to a major transit stop is measured in a straight line (“as the crow flies”). (3) Tandem or uncovered parking is permitted. (4) Fractional numbers are rounded up.

**10. INCENTIVES**

Please check if you are requesting an incentive from AB 2501 "Development Bonuses From a Mixed Use Development".

**A. Project Zoning Compliance & Incentives** (Please check all that apply)

	<u>Required/ Allowable</u>	<u>Proposed</u>	<u>ON Menu</u>	<u>OFF Menu</u>
<input type="checkbox"/> (1) Yard/Setback (each yard counts as 1 incentive)				
<input type="checkbox"/> Front	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Rear	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Side(s)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> (2) Lot Coverage	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> (3) Lot Width	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> (4) Floor Area Ratio <sup>6</sup>	1.5 : 1	1.99 : 1 (32.5% increase) ✓	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> (5) Height/ # of Stories <sup>7</sup>	Transitional per LAMC	Transitional like T.O.C. + 47' MAX ✓	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> (6) Open Space	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> (7) Density Calculation	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> (8) Averaging (all count as 1 incentive)			<input type="checkbox"/>	<input type="checkbox"/>
FAR	_____	_____	—	—
Density	_____	_____	—	—
Parking	_____	_____	—	—
OS	_____	_____	—	—
Vehicular Access	_____	_____	—	—
<input checked="" type="checkbox"/> Other (please specify):	Parking: 22 Spaces	11 like T.O.C.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	_____	(1/2 per bedroom)	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>

**TOTAL # of Incentives Requested:**

3

<sup>6</sup> If applicable, provide vicinity map showing 50% of commercially zoned parcel is within 1,500 feet from Transit Stop or Major Employment Center.

<sup>7</sup> See Sec. 12.22.A.25(f) 5 for additional requirements.

**B. Qualification for Incentives On the Menu:** *(Please check only one)*

Incentives	% Very Low Income	% Low Income	% Moderate Income
One	<input type="checkbox"/> 5% to <10%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 10% to <20%
Two	<input type="checkbox"/> 10% to <15%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 20% to <30%
Three	<input type="checkbox"/> 15% or greater	<input type="checkbox"/> 30% or greater	<input type="checkbox"/> 30% or greater
3+	<input type="checkbox"/> <i>(Specify):</i>	<input type="checkbox"/> <i>(Specify):</i>	<input type="checkbox"/> <i>(Specify):</i>

**11. COVENANT:**

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the Los Angeles Housing Department's Occupancy Monitoring Unit **before** a building permit can be issued. Please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or [hcidla.lacity.org](http://hcidla.lacity.org)

**12. REPLACEMENT UNITS:**

AB 2222 requires that density bonus eligible projects replace any pre-existing affordable housing units on the project site. Replacement units include the following: *(Answer the following with yes or no.)*

- A. Units subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income? no
- B. Units occupied by lower or very low income households below 80% AMI per California Department of Housing and Community Development Department levels not already listed above? no
- C. Units subject to the Rent Stabilization Ordinance not already listed above? no
- D. Units that have been vacated or demolished in the last 5 years? no
- E. Per AB 2556, are the number of replacement units, size and number of bedrooms equivalent to that being demolished (as shown on Existing Development Table on page 2 above)? n/a

**III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)**

**13. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SEC. 12.22.A.29, Ordinance 179,076)**

**A. ELIGIBILITY FOR FLOOR AREA BONUS**

*NOTE: Published affordability levels per the United States Department of Housing and Urban Development (HUD/TCAC). Please consult with Los Angeles Housing Department's Occupancy Monitoring Unit for additional information.*

- (1) 5% of the total number of dwelling units provided for Very Low Income households; and
- (2) One of the following shall be provided:
  - 10% of the total number of dwelling units for Low Income households; or
  - 15% of the total number of dwelling units for Moderate Income households; or
  - 20% of the total number of dwelling units for Workforce Income households, and
- (3) Any dwelling unit or guest room occupied by a household earning less than 50% of the Area Median Income that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan Area in which it is located.

**B. INCENTIVES** *(Please check all that apply)*

*NOTE: Must meet all 3 eligibility requirements from above and provide a Covenant & Agreement (#11).*

- (1) A 35% increase in total floor area.
- (2) Open Space requirement pursuant to Section 12.21.G reduced by one-half, provided fee is paid.
- (3) No parking required for units for households earning less than 50% AMI.
- (4) No more than one parking space required for each dwelling unit.

**C. ADDITIONAL INCENTIVES TO PRODUCE HOUSING IN THE GREATER DOWNTOWN HOUSING INCENTIVE AREA**

- (a) No yard requirements except as required by the Urban Design Standards and Guidelines
- (b) Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)
- (c) Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units.
- (d) No prescribed percentage of the required open space that must be provided as either common open space or private open space.

**REFERRAL FORMS:**

**Preliminary Zoning Assessment Referral**

Department of City Planning (DCP) and Department of Building & Safety (DBS)

This form is to serve as an inter-agency referral for City Planning applications associated with a Housing Development Project. As a part of a City Planning application, this completed form shall be accompanied by architectural plans stamped and signed by DBS Plan Check staff following the completion of a zoning Plan Check. Review of the referral form by City staff is intended to identify and determine compliance with City zoning and land use requirements necessary to achieve the proposed project and to ascertain if any zoning issues or necessary approvals are associated with the project and site that need to be resolved through a discretionary City Planning action.

**INSTRUCTIONS: Preliminary Zoning Assessment Referral**

**1. Complete the Preliminary Zoning Assessment:**

- a. **Section I: Project Information:** This section is to be completed by a member of the project team and verified by City staff.
- b. **Section II: Housing Development Project Determination:** Projects proposing the development of two or more units are screened to determine whether a project is a Housing Development Project and therefore qualifies for completion of Section III of this form and verified plans through a zoning Plan Check with DBS. The determination on Section II will be made by City Planning staff in the PARP unit prior to completion of a zoning Plan Check with DBS. A set of architectural plans, including a site plan and floor plans, are required to complete the determination.
- c. **Section III: Zoning Plan Check:** Applicants will submit for a zoning Plan Check with DBS to ascertain if any zoning issues or necessary approvals associated with the project and site need to be resolved through a discretionary City Planning action. This completed form shall be accompanied by architectural plans stamped and signed by a DBS Plan Check staff following the completion of a zoning Plan Check. DBS Plan Check staff will sign Section III of the Preliminary Zoning Assessment Form once the zoning plan check verifications are complete.

2. **File application with City Planning:** Following the completion of the Preliminary Zoning Assessment Referral Form and receipt of architectural plans stamped and signed by DBS Plan Check staff, a City Planning application may be filed. Filing appointments may be made online: <https://planning.lacity.org/development-services/appointment/form>.

**3. Contact Information:**

<b><u>DOWNTOWN OFFICES:</u></b>	<p><b>Department of Building and Safety, Affordable Housing Section</b> 201 N. Figueroa St., Ste 830 Los Angeles, CA 90012 Phone: (213) 482-0455 Web: <a href="https://ladbs.org/services/special-assistance/affordable-housing">https://ladbs.org/services/special-assistance/affordable-housing</a> Email: <a href="mailto:LADBS.AHS@lacity.org">LADBS.AHS@lacity.org</a></p>	<p><b>Department of City Planning, Preliminary Application Review Program</b> 201 N. Figueroa St., 5<sup>th</sup> Floor Los Angeles, CA 90012 Web: <a href="https://planning.lacity.org/development-services/preliminary-application-review-program">https://planning.lacity.org/development-services/preliminary-application-review-program</a> Email: <a href="mailto:Planning.PARP@lacity.org">Planning.PARP@lacity.org</a></p>
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**Section I. Project Information - To be completed by applicant<sup>1</sup>**

**1. PROJECT LOCATION, ZONING & LAND USE JURISDICTION**

Project Address: 4221 HUNTINGTON DRIVE  
Project Name (if applicable): HUNTINGTON MIXED USE AFFORDABLE APARTMENTS  
Assessor Parcel Number(s): 5209032029  
Legal Description (Lot, Block, Tract): Lots: FR6 & FR 7, Block: None, Tract: 5243  
Community Plan: North East LA Number of Parcels: 2 Site Area: 8,226.7 s.f.  
Current Zone(s) & Height District(s): [Q]C2-1 Land Use Designation: GENERAL COMMERCIAL  
Alley in rear.....Yes No  
Coastal Zone.....Yes No  
Downtown Design Guide Area.....Yes No  
Enterprise Zone.....Yes No  
Greater Downtown Housing Incentive Area.....Yes No  
Hillside Area (Zoning).....Yes No  
Site contains Historical features.....Yes No  
Special Grading Area (BOE) Area.....Yes No  
Very High Fire Hazard Severity Zone .....Yes No  
 Specific Plan: N/A  
 Historic Preservation Overlay Zone (HPOZ): N/A  
 Design Review Board (DRB): N/A  
 Redevelopment Project Area: N/A  
 Overlay Zone (CPIO/CDO/POD/NSO/RIO/CUGU/etc.): N/A  
 Q-condition/ D-limitation/ T-classification (*ordinance + subarea*): cannot be 100% residential per 173030  
 Legal (Lot Cut Date) N/A  
 Related City Planning Cases N/A  
 ZIs ZI-2129 State Enterprise Zone: East Los Angeles  
 Affidavits AFF-53895  
 Easements N/A  
 TOC Tier<sup>2</sup> (if applicable to project) N/A

**2. PROJECT DESCRIPTION**

Project Description/Proposed Use NEW 3 - STORY OVER 1 BASEMENT STORY MIXED USE BUILDING ON VACANT LOT TO INCLUDE 22 RESIDENTIAL UNITS, 4 OF WHICH WILL BE RESERVED FOR VERY LOW INCOME TENANTS, AND 1 COMMERCIAL SPACE.

No. of Stories: 3 OVER BASEMENT No. of Dwelling Units: 22 Floor Area (Zoning): 15,630 SF  
Existing Use/No. of Units: undeveloped vacant lot

**3. APPLICANT INFORMATION<sup>3</sup>**

Name: Brian Martin (company: 4215 HUNTINGTON DRIVE NORTH LLC)  
Phone: 419-283-1909  
Email: bsmartin12@gmail.com

**4. REPRESENTATIVE INFORMATION**

Name: David Gonzalez Rojas Architect  
Phone: 626-318-2719  
Email: DGNZLZ@GMAIL.COM

<sup>1</sup> All fields in this form must be completed. If an item is not applicable, write N/A.

<sup>2</sup> Must be verified by City Planning, Housing Services Unit

<sup>3</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing a case on behalf of a client (i.e. usually not the agent/representative)

**Section II. Housing Development Project determination - To be completed by DCP staff**

If a project meets any one (1) of the following categories, then the project is a Housing Development Project. Therefore, completion of Section III of this form and receipt of architectural plans stamped and signed by DBS Plan Check staff would be required for filing a City Planning application. If none of the criteria below applies, then the project is not a Housing Development Project and is not required to continue beyond this section in the Preliminary Zoning Assessment process prior to filing a City Planning application.

Housing Development Project categories (to be determined by DCP staff)	Determination: Yes or No
(a) A residential-only housing development project that creates two units or more	No
(b) A mixed-use development consisting of residential and nonresidential uses with at least two-thirds of the Building Area designated for residential use <sup>1</sup>	Yes
(c) Transitional Housing <sup>2</sup>	No
(d) Supportive Housing <sup>3</sup>	No

<p><b>NOTES:</b> 4221 Huntington Dr. Plans reviewed sent via email on 12/10/20 @ 7:48 AM</p>		
DCP Staff Name and Title	DCP Staff Signature	Date
Justin Bilow, City Planner	<i>Justin Bilow</i>	12/10/20

<sup>1</sup> "Building Area" as defined in California Building Code. Mixed-use projects may be subject to an analysis to determine whether two-thirds of the Building Area is residential.

<sup>2</sup> "Transitional Housing" as defined in California Government Code Section 65582(j)  
<sup>3</sup> "Supportive Housing" as defined in California Government Code Section 65582(g)

**Section III. Preliminary Zoning Assessment - To be completed by DBS Plan Check Staff<sup>4</sup>**

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No. <sup>5</sup>	Comments and Additional Information
1	Use			<input type="checkbox"/> YES  <input type="checkbox"/> NO		<input type="checkbox"/> Conditional Use (LAMC Sec. 12.24) for _____
2	Height			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1(A)10	<input type="checkbox"/> Transitional Height applies (12.21.1-A.10)  <input type="checkbox"/> Commercial Corner Development/Mini-Shopping Center height applies (12.22-A.23(a)(1))  OFF-MENU INCENTIVE REQUESTED FOR THE HEIGHT LIMIT TO BE STEPPED-BACK AT A 45 DEGREE ANGLE AS MEASURED FROM A HORIZONTAL PLANE ORIGINATING 25 FEET ABOVE GRADE AT THE PROPERTY LINE OF THE ADJOINING LOT AT THE REAR IN THE R1 ZONE.
3	No. of Stories			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1 (if code prevails)	
4	FAR (Floor Area Ratio)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		OFF-MENU INCENTIVE REQUESTED TO ALLOW A 32.5% BONUS WHICH WOULD BE AN ON-MENU INCENTIVE (UP TO 35%) EXCEPT THE PROJECT IS WITHIN A VHFHS ZONE
5	RFAR (Residential Floor Area Ratio)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		

4 DBS Plan Check staff will sign Section III of the Preliminary Zoning Assessment form and provide stamped and signed architectural plans once the zoning Plan Check verifications are complete.

5 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No. <sup>6</sup>	Comments and Additional Information
6	Density			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		Density Ratio:  <input type="checkbox"/> Site Plan Review (16.05) / Major Project CUP (12.24-U.14)
7	Setback (Front)			<input type="checkbox"/> YES  <input type="checkbox"/> NO		Lot Line Location (Street):  Lot Line Location (Street):
8	Setback (Side)			<input type="checkbox"/> YES  <input type="checkbox"/> NO		<input type="checkbox"/> Offset/plane break met (if applicable)
9	Setback (Rear)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
10	Building Line			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	Ordinance No.:	

<sup>6</sup> Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No. <sup>7</sup>	Comments and Additional Information
11	<b>Parking (automobile)</b>	Residential:  Non-Residential:	Residential:  Non-Residential:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		Design standards met: <input type="checkbox"/> YES <input type="checkbox"/> NO
12	<b>Parking (bicycle)</b>	Long-term:  Short-term:	Long-term:  Short-term:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		Facility standards met: <input type="checkbox"/> YES <input type="checkbox"/> NO  Location standards met: <input type="checkbox"/> YES <input type="checkbox"/> NO
13	<b>Open Space</b>	Total (s.f.):  Common (s.f.):  Private (s.f.):	Total:  Common:  Private:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-G (if code prevails)	Units/Habitable Room <3: =3: >3:  Dimensions met: <input type="checkbox"/> YES <input type="checkbox"/> NO
14	<b>Retaining Walls in Special Grading Areas</b>	Max Height:  Max Quantity:	Max Height:  Max Quantity:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-C.8 (if code prevails)	

<sup>7</sup> Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No. <sup>8</sup>	Comments and Additional Information
15	<b>Grading</b> (Zoning & Planning limitations)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
16	<b>Lot Coverage</b>			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
17	<b>Lot Width</b>			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
18	<b>Space between Buildings</b>			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-C.2(a) (if code prevails)	
19	<b>Passageway</b>			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-C.2(b) (if code prevails)	
20	<b>Location of Accessory Buildings</b>			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-C.5 (if code prevails)	

<sup>8</sup> Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No. <sup>9</sup>	Comments and Additional Information	
21	Loading Area			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A			
22	Trash & Recycling			<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A			
23	Landscape	Conformance determined by Los Angeles City Planning					
24	Private Street	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A			
	<b>Other</b> (e.g. ground floor transparency, lighting, utilities, signage, walls, lot area, minimum frontage, etc.)	See additional sheets, if applicable					Additional Sheet(s) attached: <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>Plan Check Application No.</b> <sup>10</sup> 20010-10001-04865				<b>Notes</b> CANNOT APPLY FOR ON-MENU INCENTIVES PER 12.22(A)25 SINCE PROJECT IS LOCATED IN A VHFHSZ. OFF-MENU INCENTIVES REQUESTED.			
<b>DBS Plan Check Staff Name and Title</b> KEVIN MORALES SEA II			<b>DBS Plan Check Staff Signature</b> <sup>11</sup> 		<b>Date</b> 02.19.21		

<sup>9</sup> Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

<sup>10</sup> This completed form shall be accompanied by plans stamped and signed by a DBS Plan Check staff following the completion of a zoning Plan Check.

<sup>11</sup> LADBS Plan Check staff will sign Section III of the Preliminary Zoning Assessment Form once the zoning plan check verifications are complete.

**ADDITIONAL ZONING AND LAND USE STANDARDS REVIEWED - to be completed by DBS Plan Check Staff**

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comments and Additional Information
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		

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**ERIC GARCETTI**  
MAYOR

**EXHIBIT-E**

¶

BOE-letter¶

CPC-2021-1601-DB-CU-WDI-HCA¶

**BUREAU OF  
ENGINEERING**

**GARY LEE MOORE, PE, ENV SP**  
CITY ENGINEER

1149 S BROADWAY, SUITE 700  
LOS ANGELES, CA 90015-2213

<http://eng.lacity.org>

February 24, 2022

**DAVID ROJAS**  
**5201 MONTE VISTA STREET**  
**LOS ANGELES, CA 90042**

PCIS:

Address: **4221 E HUNTINGTON DR NORTH**

Highway Dedication Reference No.: **202100279**

R/W NO.:

Greetings:

Your building permit application has been referred to my office for review as required under Section 12.37 of the Los Angeles Municipal Code. Since the building site adjoins **Huntington Drive North**, designated as a **Boulevard II** and **Moonstone Drive** designated as a **Local Street - Standard** on the City's General Plan, it is subject to the provisions of this section. Per Los Angeles Municipal Code Section 91.109.3, your Certificate of Occupancy will not be cleared by the City Engineer until the following public improvements and/or dedications are completed, and all the required fees are paid. Any improvements to be done are listed below and to be performed as described in the public right-of-way fronting your property. If you have already complied with the following requirements, please accept this letter for your record.

1. Complete the dedication process of 3' along Huntington Drive North; a 10' dedication along Moonstone Drive and a 20' curved corner radius at the intersection of Huntington Drive North and Moonstone Drive by submitting required documents and fees.
2. Obtain an A-permit to complete the following improvements:
3. Remove unused non-standard driveway approach and replace with concrete sidewalk and full height curb, obtain permit to construct or reconstruct new approaches per Standard Plan S-440-4. LADOT approval is required if driveway approaches will be built along Huntington Dr North.
4. Remove and replace 80 LF of curb with curb height less than 6
5. Reconstruct/remodel curb ramp at the intersection of Huntington Drive North and Moonstone Drive per latest Bureau of Engineering (BOE) Standard Plan S-442-6.

Enclosed is information pertaining to dedication and improvements. If you have any questions you may contact **Wallie Jong** of the Highway Dedication Section at **213-320-7832**.

**Section 12.37 L.A.M.C., provides for minimum dedication and improvement requirements which do not preclude conditions established by the City Planning actions.**

Sincerely,



Digitally signed by Than Win  
DN: cn=Than Win, o=BOE, ou,  
email=than.win@lacity.org,  
c=US  
Date: 2022.02.24 10:55:55  
-08'00'

Than Win  
Civil Engineer

**PLANNING CASE REFERRAL FORM (PCRF)**

City of Los Angeles, Bureau of Engineering (BOE) / Department of City Planning (DCP)

Reference Number: 202000470

**Part I. To be Completed by Applicant**

DCP Case Number

Applicant	DAVID ROJAS	Address	935 WALL ST, #201 LA, CA 90015
Phone	626 318 2719	Email	DGNZLZ@GMAIL.COM
Owner	4215 HUNTINGTON DRIVE N LLC	Address	185 BOMBERGER RD Lititz, PA 17543
Project Address	4221 Huntington	APN	5209032029
Engineering District	Central		

Project description (attach ZIMAS map with highlighted parcel(s))  
Mixed Use Affordable Housing Project with 22 residential units + 1 commercial unit and Parking. 3 Stories of Residential with 1 Story of Parking + Commercial Space.

Is there a tract or parcel map being filed in conjunction with this: [ ] Yes [ **X** ] No

If yes, Tract Map No. \_\_\_\_\_ Parcel Map No. \_\_\_\_\_

Has the Tract/Parcel report been prepared and submitted to DCP by BOE [ ] Yes [ ] No

If yes, please refer to the Tract or Parcel map conditions, if not, then

Is any part of this project on a corner lot? [ **X** ] Yes [ ] No

**Part II. To be Completed by BOE Staff**

What is/are the street classification(s) for the adjacent streets (list all)?

MOONSTONE DR (LOCAL STREET - STANDARD, W=60')

HUNTINGTON BLVD (BOULEVARD II, W=110')

Does the project front an intersection of two major or secondary highways?  Yes  No

If yes, additional dedication may be required for dual left-turn pockets. If no, how far is the project from the nearest major/secondary intersection? Additional dedication may be required if within the standard flare section. Dedication and improvements are to be consistent with Standard Street Dimensions. See [Standard Plan S-470-1](#).

Apparent width of existing half right of way (street centerline to property line):  
MOONSTONE DR - 20 FT.  
HUNTINGTON DR - 12 FT  
SIDEWALK ft

Standard dimension for half right of way (from S-470-1), (street centerline to property line):  
MOONSTONE DR - 30 FT.  
HUNTINGTON DR - 15 FT  
SIDEWALK ft

Apparent width of existing half roadway (street centerline to curb face):  
MOONSTONE DR - 14 FT.  
HUNTINGTON DR - 12 FT  
SIDEWALK ft

Standard street dimension for half roadway (street centerline to curb face):  
MOONSTONE DR - 18 FT.  
HUNTINGTON DR - 15 FT  
SIDEWALK ft

Is the lot connected to the sewer?  Yes  No

Distance from subject lot to nearest main line sewer 30 ft

Is the subject lot(s) within the hillside ordinance boundary?  Yes  No

**Preliminary Required Improvements:**

Planning Case Referral Form Recommendation:

Dedication Required:  Yes  No

Street Widening Required:  Yes  No

Other Improvements Required:  Yes  No

If yes, please list preliminary required improvements:  
10 FT DEDICATION  
ALONG MOONSTONE DR  
TO PROVIDE HALF RIGHT  
OF WIDTH LEGNTH OF 30  
FT.  
3 FT DEDICATION ALONG  
HUNTINGTON DR TO  
PROVIDE STANDARD 15  
FT WIDE SIDEWALK.  
15' X 15' CORNER CUT  
DEDICATION OR 20'  
RADIUS DEDICATION ON  
THE CORNER OF  
MOONSTONE DR AND  
HUNTINGTON DR.  
4 FT WIDENING ALONG  
MOONSTONE DR TO

PROVIDE HALF ROAD  
WAY WIDTH LEGNTH OF  
18 FT.

NOTE: The information on this PCRf is only a "preliminary recommendation" by BOE, which provides the applicant with a general understanding of what **may** be required by BOE. If the PCRf Recommendations for Dedication or Street Widening is marked "Yes", a formal investigation and engineering report will be required. The engineering report will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the engineering report.

Street Trees: If the PCRf Recommendation for Street Widening is marked "Yes", Street tree removals may be required. All street tree removals must be approved by the Board of Public Works. Applicant shall contact the Urban Forestry Division at (213) 847-3077 before proceeding with the Master Land Use Application.

In all cases, the Applicant will be required to close any unused driveways; remove and reconstruct broken, off-grade, or bad order concrete curb, gutter, driveways or sidewalk,; and install/replace public improvements, such as driveway aprons and access ramps, to meet ADA requirements.

Applicants with PCRf Recommendation of "Yes" for Dedication or Street Widening are advised to submit the following documents and pay the BOE investigation fee.

1. BOE investigation fee.
2. Two (2) copies of the Planning Master Land Use Application.
3. Two (2) copies of the project site plan.
4. Two (2) copies of the radius map.
5. Picture of the existing building, sidewalk, curb, and gutter.

Due to the possible implications that dedications and improvements may have on the development of a project, applicants that do not pay the BOE investigation fee for the preparation of a detailed engineering report may have their application placed on hold until such information is provided. Questions and concerns regarding the engineering report may be presented at the hearing.

Prepared by: Thomas Lang

Date: 10/01/2020



## APPLICATIONS

SB 8 NO NET LOSS DECLARATION  
Supplemental ApplicationPROPERTY OWNER DECLARATION TO NO NET LOSS OF HOUSING UNITS  
PURSUANT TO THE HOUSING CRISIS ACT OF 2019

## NOTICE TO OWNER

Pursuant to California Government Code Section 66300, a Housing Development Project<sup>1</sup>, must include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., “no net loss”). Projects subject to the Housing Crisis Act of 2019 (HCA) that result in a net loss of housing are prohibited.

Before a City Planning application can be accepted or a building permit issued, the owner of each property involved must provide a signature to verify the No Net Loss Declaration is being filed with their knowledge.

**All new Housing Development Projects<sup>1</sup> meeting the following criteria may qualify to use this declaration:**

- (1) a residential unit that does not involve the removal of more than one unit;**
- (2) new Accessory Dwelling Units (ADU), Junior ADUs (JADU), or Movable Tiny Homes (MTH) that do not involve the removal of any number of units;**
- (3) a new SB 9 Two Unit Development pursuant to Government Code Section 65852.21 that does not involve the alteration or removal of any number of units; or**
- (4) a new SB 9 Urban Lot Split, pursuant to Government Code Section 66411.7, that does not involve the alteration or removal of any units, and is not on a site that has removed any units within the past five years.**
- (5) A Housing Development Project that does not involve the removal of any number of units, is not on a site that has removed any units within the past five years<sup>2</sup>, and where no units were subject to an Ellis Act withdrawal within the past 10 years.<sup>3</sup>**

If the Housing Development Project results in fewer legal units than existed in the past five years, then the project must provide additional units so as not to result in a net loss (e.g., a duplex must be replaced by at least two units), and an SB 8 Replacement Unit Determination (RUD) letter must be obtained from the Los Angeles Housing Department (LAHD).

Where residential dwelling units were withdrawn from rent or lease in accordance with Government Code Chapter 12.75 (commencing with Section 7060) of Division 7 of Title 1 (the “Ellis Act”) within the past 10

<sup>1</sup> Housing Development Projects within a Very High Fire Hazard Severity Zone (VHFHSZ), as determined by the State Fire Marshal, are not subject to HCA housing replacement review. For additional housing replacement information on specific sites, go to the “Housing” tab on [www.zimas.lacity.org](http://www.zimas.lacity.org).

<sup>2</sup> For site specific information on whether any units have been removed within the past five years go to the “Housing Use Within Prior 5 Years” tab on [www.zimas.lacity.org](http://www.zimas.lacity.org).

<sup>3</sup> For site specific information on whether dwelling units were withdrawn from rent or lease within the past 10 years go to the “Ellis Act Property” tab on [www.zimas.lacity.org](http://www.zimas.lacity.org).

years, a Housing Development Project must obtain an SB 8 RUD letter from LAHD.

The project must also be in compliance with Government Code Sections 66300(d)(2)(C) and 66300(d)(2)(D) (i), which require the developer to allow existing occupants to occupy their units until six months before the start of construction activities and to provide relocation benefits to lower income occupants of those affordable residential rental units.

In lieu of signing this declaration, an SB 8 RUD letter may be obtained from LAHD.

## CITY CONTACTS

For specific questions regarding replacement requirements and occupant protections or the RUD process, contact LAHD at LAHD-Landuse@lacity.org.

For general questions regarding the implementation of no net loss procedures related to Housing Development Projects that are not associated with a City Planning application, contact the Department of Building and Safety at LADBS.AHS@lacity.org.

For general questions regarding the implementation of no net loss procedures related to Housing Development Projects associated with a City Planning application, contact Los Angeles City Planning at planning.HCA@lacity.org.

## PROJECT INFORMATION

**Permit Application or Case No.:** CPC-2021-1601-DB-CU-WDI-HCA

**Street Address:** 4221 HUNTINGTON

**Legal Description (Lot, Block, Tract):** Lots: FR6 & FR 7, Block: None, Tract: 5243

**Assessor's Parcel Number:** 5209032029

**Site Zoning:** [Q]C2-1

**Project Description:** NEW 3 - STORY OVER 1 BASEMENT STORY MIXED USE BUILDING ON VACANT LOT TO INCLUDE 22 RESIDENTIAL UNITS, 4 OF WHICH WILL BE RESERVED FOR VERY LOW INCOME TENANTS, AND 1 COMMERCIAL SPACE.

**Maximum number of housing units that existed on the site within the past five years:** 0

**Maximum number of housing units subject to an Ellis Act withdrawal within the past 10 years:** 0

**Number of housing units proposed to be removed:** 0

**Number of housing units proposed to be constructed:** 22

**Net number of housing units created<sup>4</sup>:** +22

Attach proof of existing units, uses, or vacant land within the past five years, such as Certificates of Occupancy, building permits and demolition permits. If the foregoing documentation is not available, other legal documentation may be submitted for review. On a separate sheet, please list and describe the documentation provided.

<sup>4</sup> To calculate the net number of housing units created, subtract the total units proposed to be constructed and the maximum number of units that existed on the site within the past five years.

## PROPERTY OWNER DECLARATION

PROPERTY OWNER DECLARATION. Before a City Planning application can be accepted or a building permit issued, the owner of each property involved must provide a signature to verify the no net loss declaration is being filed with their knowledge. Staff will confirm ownership based on the records from the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts an officer of the ownership entity so authorized may sign as stipulated below.

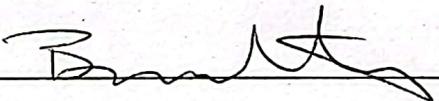
- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
  - **Letter of Authorization (LOA).** An LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items a-e below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
  - **Grant Deed.** Provide a Copy of the Grant Deed if the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
  - **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) signatures are required of all owners.
- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this development proposal or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. The proposed Housing Development Project consist of (1) one residential unit; (2) one or more new Accessory Dwelling Units (ADU), Junior ADUs (JADU), or Movable Tiny Homes (MTH) that do not involve the removal of any number of units; (3) a new SB 9 Two-Unit Development pursuant to Government Code Section 65852.21 that does not involve the alteration or removal of any number of units; (4) a new SB 9 Urban Lot Split, pursuant to Government Code Section 66411.7, that does not involve the alteration or removal of any units; or 5) A Housing Development Project that does not involve the removal of any number of units, is not on a site that has removed any units within the past five years, and where no units were subject to an Ellis Act withdrawal within the past 10 years.

BM (initials)

*Continued on Next Page*

- c. The proposed project will not result in fewer units than existed in the past five years. Nor have residential dwelling units been withdrawn from rent or lease in accordance with Government Code Chapter 12.75 (commencing with Section 7060) of Division 7 of Title 1 (the "Ellis Act") within the past 10 years.
- d. I acknowledge and understand that the project must include at least as many units as the maximum number or units that existed on the site in the past five years and that any Protected Units withdrawn from rent or lease in accordance with Government Code Chapter 12.75 (commencing with Section 7060) of Division 7 of Title 1 (the "Ellis Act") within the past 10 years must also be replaced.
- e. The project is in compliance with Government Code Section 66300(d)(2)(C) and 66300(d)(2)(D) (i), which require the developer to allow existing occupants to occupy their units until six months before the start of construction activities and to provide relocation benefits to lower income occupants of those affordable residential rental units.
- f. Violations of this Declaration may result in a revocation or denial (including Parcel Maps and building permits) as well as any other penalties that may be applicable. I have read the above "Notice to Property Owner" and declare that the information provided in section III "Project Information" is true and correct.

g. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct. Executed on 14<sup>th</sup> (day) June (month), 2023 (year) at Los Angeles (city), CA (state/province), US (country).

Signature:  Print Name: Brian Martin

Signature: \_\_\_\_\_ Print Name: \_\_\_\_\_



Eric Garcetti, Mayor  
Ann Sewell, General Manager

DATE: December 22, 2020  
TO: 4215 Huntington Drive N, LLC, a Pennsylvania Limited Liability Company, Owner  
FROM: Marites Cunanan, Senior Management Analyst II  
Los Angeles Housing and Community Investment Department  
SUBJECT: Housing Crisis Act of 2019 (SB 330)  
Replacement Unit Determination (DB)  
RE: 4215-4221 E. Huntington Drive North., Los Angeles, CA 90032

Based on the Application for a Replacement Unit Determination (RUD) submitted by 4215 Huntington Drive N, LLC, a Pennsylvania Limited Liability Company (Owner) for the above referenced property located at 4215-4221 E. Huntington Drive North (APN # 5209-032-029) (Property), the Los Angeles Housing and Community Investment Department (HCIDLA) has determined that no units are subject to replacement pursuant to the requirements of the Housing Crisis Act of 2019 (SB 330).

**PROJECT SITE REQUIREMENTS:**

SB 330 prohibits the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing development project replaces those units as specified below. The replacement requirements below are applicable only to those proposed housing development projects that submit a complete application pursuant to California Government Code Section 65943 to the Department of City Planning on or after January 1, 2020.

**Replacement of Existing Residential Dwelling Units.**

The proposed housing development project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the past 5 years.

**Replacement of Existing or Demolished Protected Units.**

The proposed housing development project must also replace all existing or demolished "Protected Units." Protected Units are those residential dwelling units that are or were within the 5 years prior to the owner's application for a Replacement Unit Determination: (1) subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, (2) subject to any form of rent or price control through a public entity's valid exercise of its police power within the 5 past years, (3) occupied by lower or very low income households (an affordable Protected Unit), or (4) that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the income level of the occupants (i.e. W-2 forms, tax return, pay stubs etc.). In the absence of occupant income documentation, affordability will default to the percentage of extremely low, very low, and low income renters in the jurisdiction as shown in the latest HUD Comprehensive Housing Affordability Strategy (CHAS) database, which is presently at 30% extremely low income, 19% very low income and 18% low income for Transit Oriented communities (TOC) projects and 49% very low income and 18% low income for Density Bonus projects. The remaining 33% of the units are presumed above-low income and if subject to the Rent Stabilization Ordinance ("RSO"), must be replaced in accordance with the RSO. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

**Relocation, Right of Return, Right to Remain for Occupants of Protected Units.**

SB 330 also provides the right of first refusal for comparable units (i.e. same bedroom type) in the owner's proposed new housing development to occupants of Protected Units. Therefore, for occupied units, the replacement units must be of the same bedroom type of the units demolished. The comparable replacement units must be provided at a rent or sales price affordable to the same or lower income category. Occupants of Protected Units also are entitled to receive relocation to state or local law, whichever provides greater assistance and the right to remain in their unit until 6 months before the start of construction.

**THE PROPOSED HOUSING DEVELOPMENT PROJECT:**

Per the statement received by HCIDLA on November 11, 2020, the Owner plans to construct a new mixed-use building with 22 residential units with four (4) reserved for Affordable Housing.

**STATUS OF PROJECT SITE/PROPERTY:**

Owner submitted an Application for a RUD for the Property on November 11, 2020. In order to comply with the required 5 year look back period, HCIDLA collected and reviewed data from November 2015 to November 2020.

**Review of Documents:**

Pursuant to the Owner's Grant Deed, the Property was acquired on or around October 28, 2020 by the Owner from Bollinger Associates, LLC, a Pennsylvania Limited Liability Company.

Google Earth, Google Street View, and an internet search on the Property show, under the commonly known address: 4221 E. Huntington Drive North (APN# 5209-032-029), what appears to be a vacant lot.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database for the Property indicate a use code of "100V - Commercial - Commercial - Vacant Land."

The Owner has not filed for a new building permit or demolition permit with the Los Angeles Department of Building and Safety (LADBS).

[Remainder of this page left intentionally blank]

**REPLACEMENT UNIT DETERMINATION:**

HCIDLA has determined that since November 2015, the Property is a vacant lot. The replacement provisions of SB 330 do not apply to vacant lot properties. Further, this development does not require the demolition of any prohibited types of housing, therefore, no SB 330 replacement affordable units are required.

Please note that this SB330 determination will also apply if the proposed project is using the Density Bonus or the TOC.

If you have any questions about this RUD, please contact Richard Truong at (213) 808-8846, or richard.s.truong@lacity.org.

**NOTE: This determination is provisional and is subject to verification by HCIDLA's Rent Division.**

cc: Los Angeles Housing and Community Investment Department File  
4215 Huntington Drive N, LLC, a Pennsylvania Limited Liability Company, Owner  
Planning.PARP@lacity.org, Department of City Planning

MAC:rt

**CALIFORNIA ENVIRONMENTAL QUALITY ACT**

**NOTICE OF EXEMPTION**

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS  
 CPC-2021-1601-DB-CU-WDI-HCA / Density Bonus, Conditional Use, Waiver of Street Dedication and Improvements, Housing Crisis Act

LEAD CITY AGENCY <b>City of Los Angeles (Department of City Planning)</b>	CASE NUMBER ENV-2021-1602-CE
--	---------------------------------

PROJECT TITLE 4221 E Huntington Dr North	COUNCIL DISTRICT 14
---	------------------------

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map) 4221 E Huntington Dr North	<input type="checkbox"/> Map attached.
---	--

PROJECT DESCRIPTION:  Additional page(s) attached.

The demolition of two (2) existing site walls and surface parking, commercial uses, and surface parking on two (2) lots comprising of 8,226.7 square feet, and the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 16,215 square feet pursuant to the City's Density Bonus program. The building will include 22 dwelling units, including four (4) dwelling units set aside for Very Low Income Households, and one (1) ground-floor commercial space measuring 437.6 square feet. The building will have a maximum building height of 49 feet, 10 inches. The project will include 13 automobile parking spaces and a total of 28 bicycle parking spaces (24 long-term spaces and 4 short-term spaces). The project will provide 2,277 square feet of open space, including private balconies and common open space in the rear yard. There are four (4) existing non-protected trees on-site that are proposed for removal and four (4) existing Street Trees that are proposed for removal. The proposed project is required to provide a minimum of six (6) replacement trees, but the applicant is proposing eight (8) total replacement trees including Street Trees as determined by the Urban Forestry Division of the Bureau of Street Services. The proposed project will also require a Haul Route for the proposed export of 2,125 cubic yards of earth materials.

NAME OF APPLICANT / OWNER:  
**Brian Martin, 4215 Huntington Drive North LLC**

CONTACT PERSON (If different from Applicant/Owner above) <b>David Gonzalez Rojas, David Gonzalez Rojas Architect</b>	(AREA CODE) TELEPHONE NUMBER   EXT. (626) 318-2719
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EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

STATUTORY EXEMPTION(S)  
 Public Resources Code Section(s) \_\_\_\_\_

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)  
 CEQA Guideline Section(s) / Class(es) Section 15332 Class 32

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )

JUSTIFICATION FOR PROJECT EXEMPTION:  Additional page(s) attached

In-fill development meeting the conditions described in CEQA Guidelines 15332: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.  
 The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.  
 If different from the applicant, the identity of the person undertaking the project.

**CITY STAFF USE ONLY:**

CITY STAFF NAME AND SIGNATURE

Nicole Sánchez

*Nicole Sanchez*

STAFF TITLE

City Planner

ENTITLEMENTS APPROVED

Density Bonus, Conditional Use, Waiver of Street Dedication and Improvements

DISTRIBUTION: County Clerk, Agency Record

Rev. 6-22-2021

**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

CITY PLANNING COMMISSION

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PRESIDENT

CAROLINE CHOE  
VICE-PRESIDENT

MARIA CABILDO  
ILISSA GOLD  
MONIQUE LAWSHE  
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KAREN MACK  
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**CITY OF LOS ANGELES  
CALIFORNIA**



KAREN BASS  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
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SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

# JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2021-1602-CE

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The Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject project as Categorical Exempt under Article 19, Section 15332, Class 32. The proposed project is located at 4221 East Huntington Drive North.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- 1) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- 2) The proposed developed occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- 3) The project site has no value as habitat for endangered, rare or threatened species;
- 4) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- 5) The site can be adequately served by all required utilities and public services.

## **Project Description:**

The subject property is comprised of two (2) lots measuring approximately 8,226.7 square feet. The subject property is a corner lot and bounded by Moonstone Drive to the north, and Huntington Drive North to the east. The project site is currently undeveloped with existing low site wall structures.

The proposed project involves the demolition of two (2) existing site walls and surface parking on two (2) lots comprising of 8,226.7 square feet, and the construction, use, and maintenance of a new, three (3)-story over one (1) basement story mixed-use building totaling 16,215 square feet, including 22 residential units with four (4) units set aside for Very Low Income Households, one (1) commercial space measuring 437.6 square feet, and 13 automobile parking spaces across one level of basement parking.

The project includes 14 one (1)-bedroom units and eight (8) studio units, and a total of 2,277 square feet of open space. The project will provide a total of 13 automobile parking spaces, four (4) short-term and 24 long-term bicycle parking spaces. The proposed project will include 16,215 square feet with a maximum floor area ratio (FAR) of 1.971:1. There are four (4) existing non-protected trees on-site that are proposed for removal and four (4) existing Street Trees that are proposed for removal. The proposed project is required to provide a minimum of six (6) replacement trees, but the applicant is proposing eight (8) total replacement trees including Street Trees as determined by the Urban Forestry Division of the Bureau of Street Services. The

proposed project will also require a Haul Route for the proposed export of 2,125 cubic yards of earth materials.

The project requires the following:

1. Pursuant to Los Angeles Municipal Code (LAMC) Section 12.22 A.25(g)(3), a Density Bonus/Affordable Housing Incentive Program Compliance Review to permit the construction of a Housing Development Project totaling 22 dwelling units, reserving four (4) units for Very Low Income occupancy for a period of 55 years, with the following requested Off Menu Incentives:
  - a) An Off-Menu Incentive for a Floor Area Ratio (FAR) of 1.971:1 in lieu of 1.5:1 as otherwise permitted in the [Q]C2-1 Zone;
  - b) An Off-Menu Incentive to allow a height increase to 49 feet 10 inches in lieu of 45 feet and relief from transitional height requirements of LAMC Section 12.21.1 A.10; and
  - c) An Off-Menu Incentive to permit 13 automobile parking spaces in lieu of the required 22;
2. Pursuant to LAMC Section 12.24 U.26, a Conditional Use Permit to allow a 92.5 percent increase in density, in lieu of the otherwise permitted 35 percent increase in density allowable under LAMC Section 12.22 A.25;
3. Pursuant to LAMC Section 12.37, a Waiver of Dedication and Improvements to provide a zero (0) foot dedication along Moonstone Drive in lieu of a 10 foot dedication, to provide a zero (0) foot dedication along Huntington Drive in lieu of a three (3) foot dedication, and to provide a 15 foot curved corner radius in lieu of 20 feet.

The project is located within the Northeast Los Angeles Community Plan which designates the subject property for General Commercial land uses with corresponding zones of C1, CR, C1.5, C2, C4, and RAS3. The project site is zoned [Q]C2-1. The project is consistent with the applicable general plan land use designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.

The project site is wholly within the City of Los Angeles, on a site that is approximately 0.19 acres in size. Lots adjacent to the subject properties are developed with the following urban uses: commercial, single-family, and multi-family developments. The site is currently paved with existing low site walls and is surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. In addition, there are zero (0) Protected Trees on site.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a transportation study. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

A Phase I Environmental Site Assessment Report dated October 23, 2019 was prepared by RSB Environmental for the proposed project and found that significant staining was observed and evidence of discharge of petroleum products were on site. The Phase I Report recommended that a limited surface and subsurface investigation be performed in order to determine if the identified Recognized Environmental Condition areas have adversely impacted the soil and/or groundwater conditions at the project site. A Limited Phase 2 Environmental Site Assessment Report dated December 2, 2019 was prepared by Geo Forward, Inc. to assess the Recognized Environmental Condition areas from the Phase I Report. Based on the investigation and soil and soil-gas samples collected, no further subsurface environmental investigation was recommended as the results did not exceed background and/or screening levels. Additionally, a Soil Management Plan and Screening Level Health Risk Assessment dated May 16, 2022 was prepared by Antea Group to evaluate the potential risk to construction workers and residents. A Memorandum dated August 24, 2022 was submitted by Antea Group to clarify that arsenic concentrations at the project site are indicative of normal background concentration in Southern California. Based on the investigation and the results from the samples collected, all constituent concentrations were below their applicable risk assessment standard or California developed regional background levels for arsenic in soil.

The project site will be adequately served by all public utilities and services given that the construction of a three (3)-story over one (1) basement-story mixed-use building totaling 16,215 square feet, including 22 residential units, one (1) ground-floor commercial space, and 13 automobile parking spaces across one level of basement parking will be on a site that has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

#### Exceptions to Class 32 Categorical Exemption

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

There is not a succession of known projects of the same type and in the same place as the subject project. As mentioned, the project proposes a new, three (3)-story over one (1) basement story mixed-use building totaling 16,215 square feet, including 22 residential units with four (4) units set aside for Very Low Income Households, one (1) ground floor commercial space measuring 437.6 square feet, and 13 automobile parking spaces across one level of basement parking, in an area zoned and designated for such development. All adjacent lots are developed with commercial, single-family, and multi-family structures, and the subject site is of a similar size and slope to nearby properties. Thus, there are no unusual circumstances which may lead to a significant effect on the environment. Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The proposed project is located over 26.7 miles away from Topanga State Park. Therefore, the subject site will not create any impacts within a designated as a state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site. The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.



## 22 Unit Building Concerns

2 messages

**Maxie Days** <davidmaxmendoza@gmail.com>  
To: "nicole.sanchez@lacity.org" <nicole.sanchez@lacity.org>

Mon, Jul 31, 2023 at 7:11 PM

Hello Ms. Sanchez this is David M Mendoza from the rose hills community neighborhood. I'm contacting you in regards to the construction of the 22 unit building on 4221 East Huntington.

The building itself would bring loads of new cars that would lack parking space and cause traffic in our neighborhood. Also the neighborhood itself is unsafe with a local gang and police officers speeding through the neighborhood once a week. The people inside would be in danger of the crimes that happen within the area and none of us want that.

Please reconsider building this new complex for the safety of our community.

Sincerely  
David M Mendoza

**Nicole Sanchez** <nicole.sanchez@lacity.org>  
To: Maxie Days <davidmaxmendoza@gmail.com>

Tue, Aug 8, 2023 at 11:00 AM

Hi David,

Thank you for your email. I will make sure to include it in the record for consideration.

Best,  
[Quoted text hidden]

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LOS ANGELES  
CITY PLANNING

**Nicole Sanchez**  
Pronouns: She, Her, Hers  
City Planner  
**Los Angeles City Planning**  
200 N. Spring St., Room 621  
Los Angeles, CA 90012  
T: (213) 978-3034 | Planning4LA.org



*\*Please note, I am out of the office every other Friday\**



Nicole Sanchez <nicole.sanchez@lacity.org>

## Comment regarding 4221 E. Huntington (Case CPC-2021-1601-DB-CU-WDI-HCA)

2 messages

**Conzuelo Rodriguez** <conzuelod.rodriguez@gmail.com>  
To: nicole.sanchez@lacity.org

Mon, Jun 19, 2023 at 3:35 PM

Good afternoon Ms. Sanchez,

I am one of the residents on Moonstone Dr/ Hungtington Dr and I am hear showing my concern on the matter. Building a new apartment building with only 13 parking spaces will only make public parking even worse. People are even changing the color of curbs from red to white/gray in order to park there, which is illegal. Please do not make it more of a challenge for those of us who have been living here for decades. Please reconsider Ms. Sanchez, we already struggle to find parking because the tenants pink buidling at [4208 Huntington Dr, Los Angeles, CA 90032](#) and [2580 N Soto St, Los Angeles, CA 90032](#) already cross Hungtington to come and take spots because they don't seem to have enough parking spaces. Please Ms. Sanchez we need your help. Thank you for your time. Have a lovely week.

Sincerely,

Conzuelo Rodriguez

**Nicole Sanchez** <nicole.sanchez@lacity.org>  
To: Conzuelo Rodriguez <conzuelod.rodriguez@gmail.com>

Tue, Jun 20, 2023 at 11:23 AM

Hi Conzuelo,

I am in receipt of your email and thank you for your feedback.

I will be sure to include it in the record for consideration.

Best,

[Quoted text hidden]

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LOS ANGELES  
CITY PLANNING

**Nicole Sanchez**

Pronouns: She, Her, Hers

City Planner

**Los Angeles City Planning**

200 N. Spring St., Room 621

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Nicole Sanchez &lt;nicole.sanchez@lacity.org&gt;

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**Comments regarding 4215 S Huntington (Case #CPC-2021-1601-DB-CU-WDI-HCA)**

1 message

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**Katie McMahon** <katie.d.mcmahon@gmail.com>  
To: nicole.sanchez@lacity.org

Mon, Jul 17, 2023 at 8:46 AM

Good morning,

I am writing to express my deep concerns regarding the proposed housing project at 4215 S Huntington. While I understand the importance of urban development and progress, there are some critical issues that need to be addressed before granting any exemptions to the project.

Firstly, affordable housing is a pressing need in our community, and it is disheartening to learn that the developers are not fulfilling their responsibility in this regard.

Additionally, I am troubled by the fact that the developers are requesting exemptions for the number of affordable housing units. Such exemptions would only exacerbate the already dire housing crisis in our city, further excluding low-income families from finding suitable living arrangements.

The request for exemptions on parking spaces and building height raises serious concerns about the impact on the surrounding area. The standard requirement for 22 parking spaces serves to mitigate traffic congestion and ensure the convenience and safety of both residents and visitors. Granting an exemption without proper justification could lead to unforeseen issues and disturbances for the neighborhood.

Additionally, it has come to light that the architect representing the developers intentionally misled the planner and the committee by falsely claiming to have the neighborhood's approval. Such dishonesty raises serious ethical concerns and casts doubt on the transparency of the project's intentions.

As a concerned member of the community, I urge you to thoroughly reevaluate the proposed housing project and the developers' requests for exemptions. I implore the planning department to uphold the values of fairness, affordability, and community well-being when making any decisions related to this project.

I appreciate your attention to these matters and hope that you will take the necessary steps to safeguard the interests of the community and preserve the integrity of our city's planning process. Please keep me informed about any developments or decisions made in relation to this project.

Thank you,

Katie McMahon

Sent from my iPhone



Nicole Sanchez &lt;nicole.sanchez@lacity.org&gt;

## Proposed Project at 4221 E. Huntington

2 messages

**Jorge Garcia** <jgarcia202045@gmail.com>  
To: "nicole.sanchez@lacity.org" <nicole.sanchez@lacity.org>

Mon, May 1, 2023 at 11:05 AM

Good morning Nicole,

I was just in the planning meeting for the proposed project at 4221 E. Huntington Drive in El Sereno. Thank you for having this informative meeting. I was listening to all the comments from residents and stakeholders. There were a lot of concerns and questions. I know today was only an informative meeting and this item will go on to the planning commission on August 10, 2023. El Sereno has a Neighborhood Council (LA-32) with a Land Use Committee that hears these sorts of projects and takes input from both sides, which is then voted on by the general board. Then, depending on the outcome, the LA-32 General Board writes a letter in either support or opposition to this proposed project. This letter is then added to the project file.

Has the developer been informed that this item needs to be brought up to the Neighborhood Council serving El Sereno? If not, please advise them to schedule a meeting with the Land Use Committee. I have served on this committee, both as a stakeholder and the committee chair. Today's meeting was good, but we need to give others who could not make it today a chance to voice their opinions. I know residents would like another chance to hear this information.

Kind regards,

Jorge Garcia

**Nicole Sanchez** <nicole.sanchez@lacity.org>  
To: Jorge Garcia <jgarcia202045@gmail.com>

Mon, May 1, 2023 at 11:46 AM

Hi Jorge,

Thank you for bringing this to my attention.

I do not believe the applicant has presented to LA-32 but I will definitely encourage them to do so. Please feel free to keep me updated.

Best,

[Quoted text hidden]

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LOS ANGELES  
CITY PLANNING

**Nicole Sanchez**

Pronouns: She, Her, Hers

City Planner

**Los Angeles City Planning**

200 N. Spring St., Room 621

Los Angeles, CA 90012

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*\*Please note, I am out of the office every other Friday\**



Nicole Sanchez &lt;nicole.sanchez@lacity.org&gt;

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**Interested Parties: CPC-2021-1601-DB-CU-WDI-HCA**

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**Diana Barraza** <diana.lauren@gmail.com>

Tue, Sep 19, 2023 at 10:25 AM

Reply-To: diana.lauren@gmail.com

To: Nicole Sanchez &lt;nicole.sanchez@lacity.org&gt;

Thank you for the information, Nicole. Here is my additional comment:

Building a 22-unit apartment building in a neighborhood already struggling with parking congestion is a misguided decision. The neighborhood council's recommendation against this project reflects our viewpoint: this project is not in the best interest of residents. The increase of people and cars would undoubtedly exacerbate the already dire parking situation. In an emergency, our narrow streets would jam. The other day, an ambulance on Radium Drive stopped traffic in both directions. The proposed building site, most formerly a small plant nursery, should be utilized to address the community's needs (i.e. a neighborhood grocer or small duplex) rather than worsening existing problems. This development should be reconsidered citing its impact on neighbors and the well-being of the community.

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Diana L. Barraza

[diana.lauren@gmail.com](mailto:diana.lauren@gmail.com)

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