



DEPARTMENT OF CITY PLANNING RECOMMENDATION REPORT

City Planning Commission

Date: October 10, 2024
Time: After 8:30 a.m.
Place: Los Angeles City Hall
Council Chambers, Room 340
200 North Spring Street
Los Angeles, CA, 90012

This meeting may be available virtually, in a hybrid format. The meeting's telephone number and access code number will be provided no later than 72 hours before the meeting on the meeting agenda published at <https://planning.lacity.org/about/commission-s-boards-hearings> and/or by contacting cpc@lacity.org.

Public Hearing: August 26, 2024 and
September 30, 2024

Appeal Status: Off-Menu Density Bonus Housing Incentives are not appealable by any party. Community Design Overlay is appealable to City Council.

Expiration Date: **August 30, 2024**

Multiple Approval: Yes

PROJECT LOCATION: **4002-4006 North Verdugo Road/3067 North Delevan Drive, 90065**

PROPOSED PROJECT:

The project site is located on the corner of Verdugo Road and Delevan Drive and consists of three (3) lots that were previously developed with a church, garage, and one (1) dwelling unit. All structures on-site have been demolished. The project includes the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet pursuant to the City's Density Bonus program. The building will include 14 dwelling units, including two (2) dwelling units set aside for Very Low Income Households, and one (1) ground-floor commercial space measuring 1,071 square feet. The building will have a maximum building height of 44 feet, 6 inches. The project will provide a total of 24 automobile parking spaces (21 residential parking spaces and three (3) commercial parking spaces), 20 bicycle parking spaces (16 long-term spaces and 4 short-term spaces), and 2,188 square feet of common open space on the roof deck level. There are no Protected Trees on-site, and the project does not require any tree removals. The

Case No.: CPC-2023-7708-DB-CDO-HCA

CEQA No.: ENV-2023-7709-CE

Incidental N/A

Cases:

Related Cases: N/A

Council No.: 13 – Soto-Martinez

Plan Area: Northeast Los Angeles

Plan Overlay: Cypress Park and Glassell Park Community Design Overlay

Certified NC: Glassell Park

GPLU: Neighborhood Commercial

Zone: [Q]C1.5-1VL-CDO

Applicant: Khajak Harootun – KAS Verdugo, LLC

Representative: Chris Manasserian – Gonzales Law Group

proposed project will also require a Haul Route for the proposed export of 2,965 cubic yards of earth materials.

REQUESTED ACTION:

1. Pursuant to California Exemption Quality Act (CEQA) Guidelines, Article 19, Section 15332 Class 32, an Exemption from CEQA, and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
2. Pursuant to Los Angeles Municipal Code (LAMC) Section 12.22 A.25(g), a Density Bonus for a housing development project consisting of 14 dwelling units (of which two (2) units will be set aside for Very Low Income households) in lieu of the base density of 35 units, and requesting the two (2) Off-Menu Incentives and (2) Waivers of Development Standards:
 - a) An Off-Menu Incentive to permit a 12-foot building height increase in lieu of the transitional height limitations pursuant to LAMC 12.21.1.A.10;
 - b) An Off-Menu Incentive to permit a 26.7 percent increase in FAR to allow a 1.9:1 FAR in lieu of the 1.5:1 FAR permitted in the [Q]C1.5-1VL-CDO Zone;
 - c) A Waiver of Development Standard to permit a front yard setback of one and one-half (1.5) feet in lieu of the 10 feet as required in the [Q]C1.5-1VL-CDO Zone; and
 - d) A Waiver of Development Standard to permit a southerly side yard setback of five and one-half (5.5) feet in lieu of the six (6) feet as required in the [Q]C1.5-1VL-CDO Zone.
3. Pursuant to LAMC Section 13.08 and the Cypress Park and Glassell Park Community Design Overlay (CDO), a CDO Plan Approval for the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet.

RECOMMENDED ACTIONS:

1. **Determine**, that based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies.
2. **Approve**, pursuant to LAMC Section 12.22 A.25(g), a **Density Bonus** to permit the construction of a Housing Development Project totaling 14 dwelling units, reserving two (2) units for Very Low Income households for a period for 55 years, with the following **two (2) Off-Menu Incentives and two (2) Waivers of Development Standards**:
 - a) An Off-Menu Incentive to permit a 12-foot building height increase in lieu of the transitional height limitations pursuant to LAMC 12.21.1.A.10;
 - b) An Off-Menu Incentive to permit a 26.7 percent increase in FAR to allow a 1.9:1 FAR in lieu of the 1.5:1 FAR permitted in the [Q]C1.5-1VL-CDO Zone;
 - c) A Waiver of Development Standard to permit a front yard setback of one and one-half (1.5) feet in lieu of the 10 feet as required in the [Q]C1.5-1VL-CDO Zone;
 - d) A Waiver of Development Standard to permit a southerly side yard setback of five and one-half (5.5) feet in lieu of the six (6) feet as required in the [Q]C1.5-1VL-CDO Zone; and
3. **Approve**, pursuant to LAMC Section 13.08 and the Cypress Park and Glassell Park CDO, a **CDO Plan Approval** for the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet.

VINCENT P. BERTONI, AICP
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ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1299) or emailed to cpc@lacity.org. While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendaized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1299.

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| Exhibit A – Project Plans | |
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| Exhibit C – DCP Housing Services Unit – Affordable Housing Referral Form | |
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| Exhibit E – SB 8 Replacement Requirements: Eligibility Criteria Checklist | |
| Exhibit F – Environmental Clearance: ENV-2023-7709-CE | |

PROJECT ANALYSIS

PROJECT SUMMARY

The project site consists of three (3) lots that were previously developed with a church, garage, and one dwelling unit. All structures on-site have been demolished. The project includes the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet pursuant to State Density Bonus Law and the City's Density Bonus program. The building will include 14 dwelling units, including two (2) dwelling units set aside for Very Low Income Households, and one (1) ground-floor commercial space measuring 1,071 square feet. The building will have a maximum building height of 44 feet, 6 inches. The project will provide a total of 24 automobile parking spaces (21 residential parking spaces and three (3) commercial parking spaces), 20 bicycle parking spaces (16 long-term spaces and 4 short-term spaces), and 2,188 square feet of common open space on the roof deck level. There are no Protected Trees on site, and the project does not require any tree removals. The proposed project will also require a Haul Route for the proposed export of 2,965 cubic yards of earth materials.

The proposed development provides a total of 14 dwelling units consisting of one (1) studio, seven (7) one (1)-bedroom units, and six (6) two (2)-bedroom units. The partially subterranean basement level will consist of the parking and mechanical room. The first floor level will consist of the lobby, trash/recycling room, three (3) commercial parking spaces, commercial retail space, and four (4) residential units. The remaining 10 residential units will be located within the second through third floors of the proposed building.



Vehicular access to the project site will be provided via one (1) driveway along Delevan Drive which will require a new driveway apron. The driveway along Delevan Drive will lead to the semi-subterranean basement/garage level where the 21 residential parking spaces and 14 long-term bicycle spaces will be located. Another new driveway apron will be provided along Verdugo Road to access the three (3) commercial parking spaces and two (2) long-term bicycle spaces located on the first floor level. Pedestrian access to the residential lobby and commercial space will also

be provided from Verdugo Road. Four (4) short-term bicycle spaces will be provided along the Verdugo Road frontage, in front of the entrance to the lobby and commercial space.

Pursuant to LAMC Section 12.21 G, the project is required to provide 1,550 square feet of open space. The project provides approximately 2,188 square feet total of open space on the roof deck level, consisting of landscaping and various seating areas. The project also includes 976 square-feet of private balconies/terraces. Within the common open space area, 388 square feet of landscaped area is required, and 604 square-feet of landscaped area is provided. Additionally, there is one (1) existing non-protected tree on-site that will remain. The proposed project is required to provide a minimum of four (4) trees, but the applicant is proposing 12 new trees including Street Trees as determined by the Urban Forestry Division of the Bureau of Street Services.

PROJECT BACKGROUND

Site Description

The project site consists of three (3) irregular lots with a street frontage of approximately 128 feet along Verdugo Road and a street frontage of approximately 128 feet along Delevan Drive. The project site has a lot size of approximately 13,696.2 square feet and is currently vacant.

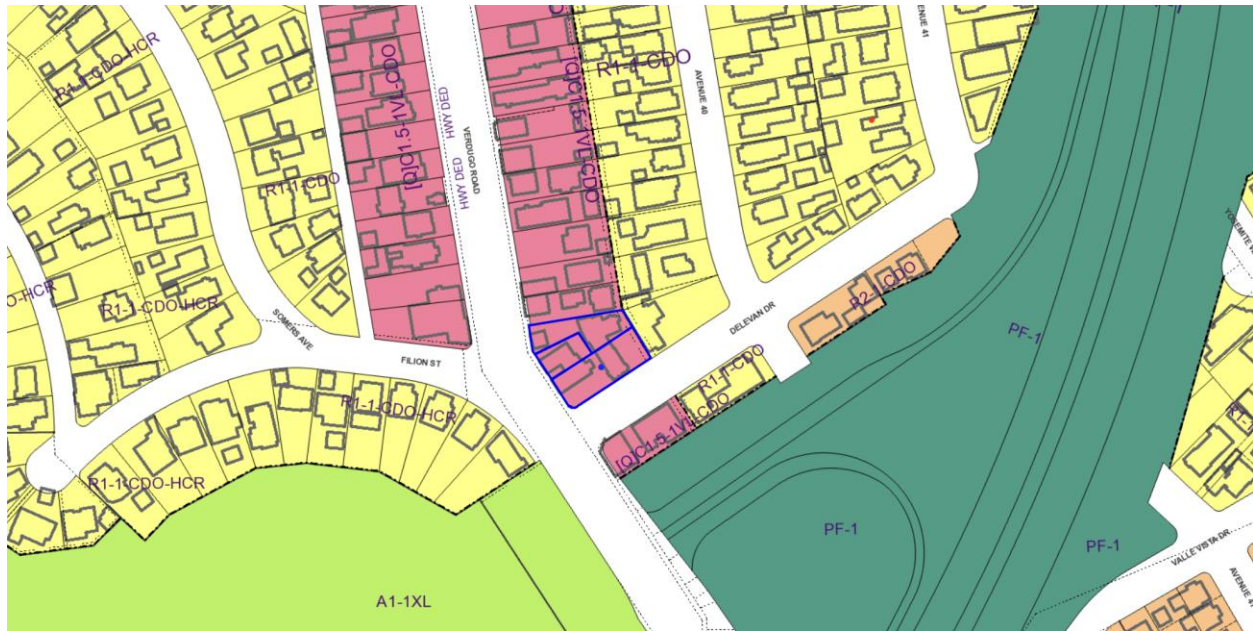


Zoning and Land Use Designation

The project site is located within the Northeast Los Angeles Community Plan area. The adopted Community Plan designates the subject property for Neighborhood Commercial land uses and the project site is zoned [Q]C1.5-1VL-CDO. Height District 1VL permits an FAR of up to 1.5:1 and a height of 45 feet. It also limits the number of stories to three (3). Furthermore, the site contains a permanent [Q] Qualified Condition ([Q] Condition) which prohibits 100 percent residential projects. Pursuant to the [Q] Condition found in the Northeast LA Community Plan Implementation Ordinance No. 181,062-Subarea 25, the proposed project must comply with the existing Q Conditions from Ordinance Nos. 172,916 and 173,540-Subarea 1085 that states: *One hundred percent residential development prohibited. Residential density limited to the RD1.5 zone.* The project must also comply with LAMC Section 13.09 for Mixed-Use Project: a Project which

combines one or more Commercial Uses and multiple dwelling units in a single building or in a Unified Development.

The site is located within the Cypress Park and Glassell Park Community Design Overlay, Local Emergency Temporary Regulations – Time Limits and Parking Relief area, East Los Angeles State Enterprise Zone, Freeway Adjacent Advisory Notice for Sensitive Uses, Al Fresco Ordinance within Planning Overlay, Urban Agriculture Incentive Zone, Very High Fire Hazard Severity Zone, Special Grading Area (BOE Basic Grid Map A-13372), the Hollywood Fault Zone, and Liquefaction Zone. The site is not within a Transit Priority Area.



Surrounding Properties

The project site is located in an urbanized area surrounded by various uses. Adjoining properties are zoned [Q]C1.5-1VL-CDO and R1-1-CDO and are designated for Neighborhood Commercial and Low Residential uses.

Properties to the north of the project site consist of commercial buildings and multi-family buildings. Properties to the west, across Verdugo Road, consist of commercial buildings and two (2)-story single-family buildings. Properties to the east and south of the project site consist of single and multi-family buildings measuring one (1) to two (2)-stories in height.

Streets and Circulation

Verdugo Road, adjoining the subject property to the west, is designated as an Avenue II, designated to a right-of-way width of 86 feet and improved with roadway, curb, gutter and sidewalks.

Delevan Drive, adjoining the subject property to the south, is designated as a Local Street – Standard, designated to a right-of-way width of 60 feet and improved with roadway, curb, gutter, and sidewalks.

Public Transit

The site is located adjacent to the intersection of Verdugo Road and Delevan Drive. There are no Metro Bus lines adjacent to the project site along Verdugo Road. The nearest Metro Bus Stop

Line 251 is approximately 0.3 miles south of the project site, at the intersection of Verdugo Road and Eagle Rock Boulevard. Metro Bus Line 251 stops along both Verdugo Road and Eagle Rock Boulevard at various locations. This Line provides access from Eagle Rock to Cypress Park.

Relevant Cases

Subject Property:

There are no relevant cases found on the subject property.

Surrounding Properties (500-ft radius):

Case No. DIR-2018-1269-CDO – On March 5, 2019, the Director of Planning approved a CDO Plan Approval for the construction of a 1500 square-foot addition to the first floor and tenant improvements to an existing building, that includes two (2) new walls, two (2) replacement walls, an accessibility ramp, and the replacement of an existing entrance door, at 4005-4007 North Verdugo Road.

REQUESTED ENTITLEMENTS

Off-Menu Incentives:

The Applicant proposes to utilize Los Angeles Municipal Code (“LAMC”) Section 12.22 A.25 (Affordable Housing Incentives – Density Bonus) to construct a total of 14 dwelling units, two (2) units restricted to Very Low Income Household occupancy for a period of 55 years and 12 market-rate units. The Density Bonus Ordinance grants various Incentives to deviate from development standards in order to facilitate the provision of affordable housing at the site. Given 14-percent of the dwelling units will be set aside as affordable from the base density of 14 units, the project is eligible for two (2) Density Bonus Incentives. The applicant is requesting two (2) Off-Menu Incentives as follows:

- a) An Off-Menu Incentive to permit a 12-foot building height increase in lieu of the transitional height limitations pursuant to LAMC 12.21.1.A.10; and
- b) An Off-Menu Incentive to permit a 26.7 percent increase in FAR to allow a 1.9:1 FAR in lieu of the 1.5:1 FAR permitted in the [Q]C1.5-1VL-CDO Zone.

Waiver of Development Standards:

Per California Government Code Section 65915(e)(1) and Section 12.22 A.25(g) of the LAMC, a Housing Development Project may also request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]”. In addition to the Density Bonus Off-Menu Incentives, the applicant is requesting two (2) Waivers of Development Standards, as follows:

- a) A Waiver of Development Standard to permit a front yard setback of one and one-half (1.5) feet in lieu of the 10 feet as required in the [Q]C1.5-1VL-CDO Zone; and
- b) A Waiver of Development Standard to permit a southerly side yard setback of five and one-half (5.5) feet in lieu of the six (6) feet as required in the [Q]C1.5-1VL-CDO Zone.

Density Bonus/Affordable Housing Incentives Program

In accordance with California Government Code Section 65915 and LAMC Section 12.22 A.25, in exchange for setting aside a minimum percentage of the project’s units for affordable housing,

the project is eligible for a density bonus, reduction in parking, and incentives allowing for relief from development standards. The applicant has requested to utilize the provisions of City and State Density Bonus laws as follows:

Density

By setting aside 14% of its base density units for Very Low Income Households, LAMC Section 12.22 A.25 allows a maximum 35% increase in the number of permitted residential units. The C1.5 zone establishes a density ratio of one (1) dwelling unit per 400 square feet of lot area. At 13,696 square feet in size, the property has a base density of 35 units (13,696 square feet of lot area divided by 400 square feet and rounded up). The 35% density bonus entitles the project to an increase of 13 units for a total for 48 residential units. However, the applicant is not utilizing the Density Bonus Affordable Housing Incentives Program for an increased density; the project will provide a total of 14 units.

Table 1: Density Bonus Percentages

| <i>Very Low Income Units (Percentage of Base Density)</i> | <i>Maximum Density Bonus Permitted (Based on Base Density)</i> |
|---|--|
| 5% | 20% |
| 6% | 22.5% |
| 7% | 25% |
| 8% | 27.5% |
| 9% | 30% |
| 10% | 32.5% |
| 11% | 35% |

Automobile Parking

Pursuant to Assembly Bill 2097 (California Government Code Section 65863.2), no minimum parking requirement shall be enforced for the proposed residential use on the project site if it is located within one-half mile of a Major Transit Stop. As the project site is not located within one-half mile of a Major Transit Stop, vehicle parking shall be provided consistent with LAMC Section 12.22 A.25, Parking Option 1, which is based on the number of bedrooms, inclusive of Handicapped and Guest parking. Based upon the number and type of dwelling units proposed, a minimum of 17 residential parking spaces shall be provided for the project, which includes 10% bicycle parking reduction. The project proposes to provide 21 residential parking spaces, and thus meets these requirements.

Separately, the project is subject to provide commercial parking spaces and bicycle parking pursuant to LAMC 12.21 A.4, and is required to provide one (1) commercial parking space, 16 long-term bicycle parking stalls, and four (4) short-term bicycle parking stalls. The project is providing three (3) commercial parking spaces, 16 long-term bicycle parking stalls, and four (4) short-term bicycle parking stalls, and thus meets these requirements.

Incentives

Pursuant to LAMC Section 12.22 A.25 and California Government Code Section 65915, a project which reserves a minimum of 10 percent of the base density for Very Low Income Households is entitled to two (2) Incentives. The proposed project will set aside 14 percent of the base number of units (14 units) for Very Low Income Households which results in two (2) units to be restricted affordable units. Accordingly, the project has requested the following two (2) Incentives:

Transitional Height (Off-Menu Incentive) – The subject property is zoned [Q]C1.5-1VL-CDO, and abuts a more restrictive R1-1-CDO zoned lot to the east. LAMC Section 12.21.1.A.10 provides transitional height requirements within the distances specified below:

| Distance | Height |
|---------------|---------|
| 0 to 49 feet | 25 feet |
| 50 to 99 feet | 33 feet |

The applicant requests an Off-Menu Incentive to allow a 12-foot increase in building height in lieu of the transitional height limitations. The project is proposing a building height of 37 feet within 0 feet to 49 feet from the R1-1-CDO lot, and 44 feet, 6 inches building height within 50 feet to 99 feet from the R1-1-CDO lot. The increase in building height would allow for a larger construction envelope to provide the affordable units.

Floor Area Ratio (Off-Menu Incentive) – The subject property is zoned [Q]C1.5-1VL-CDO, which limits the Floor Area Ratio to 1.5:1, which is a maximum of 14,871 square feet for the project site. The project is requesting a 26.7 percent increase to allow a Floor Area Ratio of 1.9:1 and a maximum of 18,799 square feet. Accordingly, the applicant is requesting an Off-Menu Incentive to permit the additional floor area increase. The increase in FAR would allow for a larger construction envelope to provide the affordable units.

Waiver of Development Standards

Pursuant to California Government Code Section 65915(e)(1) and Section 12.22 A.25(g) of the LAMC, a Housing Development Project may also request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]”. In addition to the Density Bonus Incentives, the applicant is requesting two (2) Waivers of Developments Standards, as follows:

Waiver of Development Standard for a decrease in Front Yard Setback – The subject property is zoned [Q]C1.5-1VL-CDO, which requires a 10-foot front yard setback. The project proposes a front yard setback of one and one-half (1.5) feet along the corner portion of the front yard, and proposes a setback of seven (7) feet along the remaining portion of the front yard. Accordingly, the applicant is requesting a Waiver of Development Standard for a decrease in the required front yard setback. The requirement for the required front yard would preclude the construction of the development at the approved density or with the concessions or incentives granted as part of the project.

Waiver of Development Standard for a decrease in Southerly Side Yard Setback – The subject property is zoned [Q]C1.5-1VL-CDO, which requires a six (6)-foot side yard setback. The project proposes a southerly side yard setback of five and one-half (5.5) feet. Accordingly, the applicant is requesting a Waiver of Development Standard for a decrease in the required southerly side yard setback. The requirement for the required side yard would preclude the construction of the development at the approved density or with the concessions or incentives granted as part of the project.

HOUSING REPLACEMENT

On October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (SB 330). SB 330 creates new state laws regarding the production, preservation and planning for housing, and establishes a statewide housing emergency until January 1, 2025. During the duration of the

statewide housing emergency, SB 330, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing development project replaces those units.

According to the Housing Crisis Act Replacement Review Checklist, a Replacement Unit Determination (RUD) by the Los Angeles Housing Department would not be required. The project site was previously developed with a church, garage, and one dwelling unit. All structures on-site have since been demolished per Demolition Permit No. 20019-10000-01740. The project site has been a vacant lot since September 2023. The replacement provisions of SB 330 do not apply to vacant lots. Therefore, no SB 330 replacement affordable units are required.

PUBLIC HEARING

The public hearing was conducted by the Hearing Officer virtually via Zoom on Monday, August 26, 2024, at approximately 10:00 a.m. The public hearing was attended by the applicant's team, including the applicant's representative, and members of the community. Zero (0) members of the public vocalized their support and/or opposition to the project.

A second public hearing was conducted by the Hearing Officer virtually via Zoom on Monday, September 30, 2024 at 10:00 a.m. This hearing was scheduled due to the request for an increase in FAR that was not included for the first Hearing Officer hearing. Additionally, the hearing notice that was mailed out had a typographical error for the Waiver of Development Standard request for the southerly side yard setback (Request No. 2.d). The hearing notice stated that the required southerly side yard setback is seven (7) feet, when it should have stated that the required southerly side yard setback is six (6) feet. The requested southerly side yard setback has not changed. This typographical error was also verbally clarified at the public hearing. The public hearing was attended by the applicant's team, including the applicant's representative, and members of the community. Two (2) members of the public vocalized their opposition to the project.

Additional details are included in the Public Hearing and Communications Section, Page P-1.

PROFESSIONAL VOLUNTEER PROGRAM (PVP)

The proposed project was reviewed by the by the Department of City Planning's Urban Design Studio's Professional Volunteer Program (PVP) on March 5, 2024. The following issues, concerns, and recommendations were discussed:

Pedestrian First Design:

- Even with only 14 units, it is not acceptable to not provide a real lobby space for the residents, as for accepting mail and parcels.
- The parking spaces off Verdugo are the worst aspect of the project and is adding an unnecessary curb cut, consider removal of the three (3) parking spaces.
- Residential and commercial parking should be combined on lower level, although the layout of spaces here also needs work, e.g. to provide adequate back-up room.

360° Design:

- Exception from transitional height requirement with sloping site will result in more apparent scale difference, with project seeming to loom above R1 property.

- The retail isn't particularly celebrated and should have bigger window(s) facing Delevan.
- Checkerboard façade treatment needs some toning down, to depend more upon the window projections and recesses in planes to meet the CDO requirements than on arbitrary changes in color; the burnt-orange color palette is a harsh contrast in this context.
- The minimum 3" plan recesses need to be clearly indicated on floor plans.
- Project doesn't use the slope to best advantage, opportunity to integrate with this façade.
- The renderings may not be doing justice to the design but they convey an extremely patchy and arbitrarily striped impression; inaccurate depiction of driveway from Delevan.

Climate-Adapted Design :

- Appreciate that corridors are open to the central courtyard, which should help admit daylight and natural ventilation to enhance residents' quality of life; unclear whether wall between third level and roof deck are also open, with plan and section suggesting a railing here but elevation indicating a door or window that doesn't appear on plans.
- To help screen and soften the transition to the small-scale housing, utilize the rear setback space to add vegetation; consider green screen, larger/taller-growing species of trees wherever any pocket may be found, etc.
- Please provide landscape plan with all proposed materials in order to constitute a complete submittal, including clarification of paving materials, planting schedule with species, water use factors, etc. and of Landscape Ordinance compliance.
- Please indicate the solar PV installation on roof plan, in compliance with 2022 California Energy Code if no LADBS architectural or structural permit application was submitted pre-2023, and note that PZA/Zoning-only applications don't establish the applicable code cycle date; correct the inaccurate code references on title sheet.

The applicant provided written responses to the PVP comments, addressing how the comments were incorporated into the project design or explaining why some of them cannot be addressed. PVP recommended softening the façade treatment. The applicant did not incorporate this change as the façade articulation is required by the CDO guidelines. Details can be found in Finding No. 1 of the CDO multi-family guidelines and standards.

CONCLUSION

Based on the public hearing and information submitted to the record, staff recommends that the City Planning Commission determine that the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 and there is no substantial evidence demonstrating that any exception listed in CEQA Guidelines, Section 15300.2 applies. Staff also recommends that the City Planning Commission approve the requested two (2) Density Bonus Off-Menu Incentives and the two (2) Waivers of Development Standards pursuant to the Density Bonus/Affordable Housing Incentive Program Review, and the requested CDO Plan Approval.

CONDITIONS OF APPROVAL

Pursuant to Sections 12.22 A.25 of the Los Angeles Municipal Code, the following conditions are hereby imposed upon the use of the subject property:

Density Bonus Conditions

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped Exhibit "A," with a date of August 29, 2024, attached to the subject case file. No change to the plans shall be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 14 residential dwelling units, including On-Site Restricted Affordable Units.
3. **On-Site Restricted Affordable Units.** Two (2) units shall be reserved for Very Low Income Households, as defined by the California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Sections 12.22 A.25 and State Density Bonus Law (Government Code Section 65915).
5. **Housing Requirements.** Prior to the issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make two (2) units available to Very Low Income Households or equal to 14 percent of the project's total proposed residential density allowed, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. (In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD, and in consideration of the project's Replacement Unit Determination. The applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD.
6. **Incentives.**
 - a. **Transitional Height.** The project shall be permitted a maximum 12-foot building height increase in lieu of the transitional height limitations pursuant to LAMC 12.21.1.A.10.
 - b. **Floor Area Ratio (FAR).** The project shall be permitted a maximum FAR of 1.9:1 in lieu of the otherwise permitted 1.5:1 in the [Q]C1.5-1VL-CDO Zone.

7. Waivers of Development Standards.

- a. **Front Yard.** The project shall be permitted a one and one-half (1.5)-foot front yard setback in lieu of the required 10 feet as required in the [Q]C1.5-1VL-CDO Zone.
- b. **Southerly Side Yard.** The project shall be permitted a five and one-half (5.5)-foot southerly side yard setback in lieu of the six (6) feet as required in the [Q]C1.5-1VL-CDO Zone.

8. Automobile Parking.

- a. **Automobile Parking for Residential Uses.** Based upon the number and type of dwelling units proposed, a minimum of 17 parking spaces shall be provided for the project, which includes the 10 percent bicycle parking reduction. The project proposes to provide 21 total parking spaces.
- b. **Adjustment of Parking.** In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e., the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios set forth above.
- c. **Unbundling.** Required parking may be sold or rented separately from the units, with the exception of all Restricted Affordable units which shall include any required parking in the base rent or sales price, as verified by LAHD.
- d. All vehicular parking areas shall provide electric vehicle charging spaces (EV Spaces) and electric vehicle charging stations (EVCS) in compliance with the regulations outlined in Sections 99.04.106 and 99.05.106 of Article 9, Chapter IX of the LAMC.

9. Bicycle Parking.

- a. Residential bicycle parking shall be provided consistent with LAMC 12.21 A.16 and to the satisfaction of the Department of Building and Safety.

10. **Lighting.** All outdoor and parking lighting shall be shielded and down-cast within the site in a manner that prevents the illumination of adjacent public rights-of-way, adjacent properties, and the night sky (unless otherwise required by the Federal Aviation Administration (FAA) or for other public safety purposes).

11. **Lighting Design.** Areas where nighttime uses are located shall be maintained to provide sufficient illumination of the immediate environment so as to render objects or persons clearly visible for the safety of the public and emergency response personnel. All pedestrian walkways, storefront entrances, and vehicular access ways shall be illuminated with lighting fixtures. Lighting fixtures shall be harmonious with the building design. Wall mounted lighting fixtures to accent and complement architectural details at night shall be installed on the building to provide illumination to pedestrians and motorists.

12. Trees.

- a. **Street Trees.** Street trees shall be provided to the satisfaction of the Urban Forestry Division. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Article Section 12.21.G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units).
 - b. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A." There shall be a minimum of 13 24-inch box, or larger, trees on site pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right of way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right of way is proven to be infeasible due to City determined physical constraints.
 - c. Project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design should be considered and implemented to retain healthy mature street trees. A permit is required for the removal of any street tree and shall be replaced as approved by the Board of Public Works and Urban Forestry Division.
 - d. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously been paid for tree plantings. The subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.
13. **Stormwater/Irrigation.** The project shall implement on-site stormwater infiltration as feasible based on the site soils conditions, the geotechnical recommendations, and the City of Los Angeles Department of Building and Safety Guidelines for Storm Water Infiltration. If on-site infiltration is deemed infeasible, the project shall analyze the potential for stormwater capture and reuse for irrigation purposes based on the City Low Impact Development (LID) guidelines.
14. **Solar and Electric Generator.** Generators used during the construction process shall be electric or solar powered. Solar generator and electric generator equipment shall be located as far away from sensitive uses as feasible.
15. **Solar-ready Buildings.** The project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.

CDO Conditions

Pursuant to Section 13.08 of the LAMC and the Cypress Park and Glassell Park CDO Guidelines, the following conditions are hereby imposed upon the use of the subject property:

16. **Paved Walkway.** The project shall provide a clearly defined walkway that connects the building entrance to the parking area. This walkway shall be comprised of stamped concrete, brick, tile or some other decorative paving surface.

17. Materials.

- a. The proposed project shall not include more than 75 percent plaster or stucco.
- b. The proposed project shall not include heavily textured stucco.

18. Colors.

- a. The project shall incorporate a three (3)-color paint scheme, with all vents, gutters, downspouts, and conduits to match the color of the adjacent surface unless being used as a trim or accent element.
- b. The project shall not contain fluorescent colors.

19. **Graffiti.** The proposed project shall treat exterior walls and storefront windows with graffiti-resistant film or other specialized coatings so as to protect them from vandalism to the greatest extent feasible.

20. Landscaping.

- a. All open areas not used for approved parking, walkways or driveways shall be improved with landscape features, shall include drought-tolerant plants, and permeable pavement.
- b. The proposed project shall comply with the City's Landscape Ordinance and the accompanying Guidelines.
- c. Open space areas shall not have slopes exceeding 10 percent.

21. **Usable Public Open Space.** The paved surfaces within the outdoor public open space shall include decorative paving surfaces and shall not include asphalt.

22. **Fence.** Front yard fences shall not exceed the height permitted by the Zoning Code and should be comprised of transparent materials such as darkly colored (black or dark green) non-decorative wrought iron.

23. **Windows and Doors.** The window and door openings along the street front shall be recessed at least three (3) inches from the façade.

24. Wall Openings.

- a. Wall openings such as windows and doors shall occupy at least 70-percent of the ground floor street façade.
- b. The proposed project shall provide storefront windows with a minimum of 18-inches and a maximum of 36-inches from the sidewalk grade.

25. Storefront Windows.

- a. The storefront windows shall contain non-reflective glass that will allow a minimum of 90 percent light transmission on all street facing façades.
- b. No more than 10-percent of storefront window surfaces shall be used for internally or externally posted signage, regardless of the duration of the signage.

26. Awnings and Canopies.

- a. No plastic, vinyl or other similar material shall be used on any storefront awning.
- b. There shall be metal overhangs over all pedestrian entrances along the street facing façade.
- c. Signs on awnings or canopies shall comply with all Sign Standards of the CDO.

27. Corporate Identity. Any proposed franchise or corporate establishments shall comply fully to the CDO Design Guidelines and Development Standards.

28. Signs.

- a. Individual businesses and institutions shall not have more than one wall sign per elevation.
- b. Each sign shall not utilize more than three colors.
- c. When there are multiple businesses on a single wall sign or monument sign, the sign shall utilize a uniform background color.
- d. Fluorescent colors, spray-painted and air brushed signs shall be prohibited.
- e. If hand painted lettering is to be utilized, it shall be hand painted lettering administered by a professional sign painter and shall be comprised of typography and images that are uniform in point size, kerning and overall appearance with an identifiable font.

29. Prohibited Signs.

- a. Off-site signage, pole signs, temporary banners, streamers, flags not affixed to a flagpole, inflated devices, bubble-machines, rotating devices, and other attention-getting devices shall be prohibited.
- b. Electronic message display signs, except for time and temperature signs, internally illuminated canister signs, and illuminated architectural canopy signs shall be prohibited.

30. Mechanical Equipment.

- a. The designated loading/unloading area shall be located to the rear of the proposed building in the parking area.
- b. All service areas shall be screened and located so that they are out of view from the general public.
- c. All exterior rooftop and ground level mechanical equipment shall be screened from public view.
- d. Mechanical equipment shall not be located in window or door openings that face public streets.

31. Security Equipment.

- a. Buildings shall be designed with security features that effectively detour criminal activity while maintaining a positive image about the community.
- b. The project shall not contain permanently affixed exterior security grills or roll-down security grills that conceal storefront windows.

32. Trash and Recycling Bins.

- a. Trash and recycling bins shall be kept out of view from the public right-of-way.
- b. The trash collection area shall be enclosed with a minimum six (6)-foot high decorative wall or fence.
- c. There shall be separate enclosures for trash and recyclable materials.

Administrative Conditions

33. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
34. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
35. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
36. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
37. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
38. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.

39. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
40. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.
41. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably

cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

DENSITY BONUS / AFFORDABLE HOUSING INCENTIVES PROGRAM FINDINGS

1. Pursuant to Government Code Section 65915 and LAMC Section 12.22 A.25(g)(2)(i)(c), the Commission shall approve a density bonus and requested Incentive(s) unless the Commission finds that:
 - a. **The Incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.**

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested Incentives do not result in actual and identifiable cost reductions to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for Very Low-, Low-, and Moderate-Income Households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

Based on the set-aside of 14 percent of base units for Very Low Income households, the applicant is entitled to two (2) Incentives under both the Government Code and LAMC. Therefore, the two (2) Off-Menu requests qualify as the proposed development's Incentives.

Transitional Height

The project site is zoned [Q]C1.5-1VL-CDO. Based on the zone, the height of the structure is limited to 45-feet. The project is proposing an overall building height of 44 feet, 6 inches. The project is also subject to the transitional height requirement pursuant to the LAMC Section 12.21.1 A.10 since the site is abutting a more restrictive zone of R1-1-CDO to the east. The applicant is requesting an Off-Menu Incentive to permit a 12-foot building height increase in lieu of the transitional height limitations.

Pursuant to LAMC transitional height requirements, the project would be limited to a maximum height of 25 feet at a distance of 0 to 49 feet from a lot classified in the RW1 zone or a more restrictive zone, and a maximum height of 33 feet at a distance of 50 to 99 feet from the more restrictive R1-1-CDO zoned lot. The project as designed provides a building height of 37 feet within 0 to 49 feet from the R1-1-CDO lot, and a building height of 44 feet, 6 inches within 50 to 99 feet from the R1-1-CDO lot. This increase in building height will allow for the construction of the affordable residential units and to expand the building envelope so the additional units can be constructed, and the overall space dedicated to residential units is increased.

Floor Area Ratio (FAR)

The [Q]C1.5-1VL-CDO Zone with a Height District No. 1VL limits the floor area to one and one-half times the buildable area of the lot (also described as a Floor Area Ratio of 1.5:1). The applicant is requesting an Off-Menu Incentive to permit an increase in Floor Area, resulting in a Floor Area Ratio (FAR) of 1.9:1 for a total building area of 18,799 square feet. The additional floor area is requested to accommodate larger sized units. The project includes a unit mix of one (1) studio, seven (7) one (1)-bedroom units, and six (6) two (2)-bedroom units. The requested increase in FAR will allow

approximately 3,928 square feet of additional floor area and will enable the construction of affordable units.

| FAR by-right | Buildable Lot Area (sf) | Base Floor Area (sf) |
|--------------|-------------------------|-----------------------------|
| 1.5:1 | 9,914 | 9,914 x 1.5 = 14,871 |

| FAR Requested | Requested Floor Area (sf) | Additional Floor Area (sf) |
|---------------|---------------------------|--------------------------------|
| 1.9:1 | 18,799 | 18,799 – 14,871 = 3,928 |

The ability to develop larger units will increase the revenues from the market-rate units, which will lower the marginal cost of developing the affordable units. The additional floor area will allow certain fixed costs involved in the construction of new residential units to be spread over more floor area thereby reducing the per square foot build cost of the development. This increased floor area will allow for the construction of the affordable residential units and to expand the building envelope so the additional units can be constructed, and the overall space dedicated to residential units is increased. Therefore, the FAR Incentive will result in identifiable and actual cost reductions to provide for affordable housing costs.

- b. The Incentives will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Government Code Section 65915(d)(1)(B) and 65589.5(d)).**

There is no evidence in the record that the proposed Density Bonus Incentive(s) will have a specific adverse impact. A “specific adverse impact” is defined as, “a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (LAMC Section 12.22.A.25(b)).

The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments, and is not located on a substandard street in a Hillside area. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Therefore, there is no substantial evidence that the project’s proposed incentives or waivers will have a specific adverse impact on the physical environment, on public health and safety, or on property listed in the California Register of Historic Resources. Therefore, there is no substantial evidence that the proposed incentives or waivers will have a specific adverse impact on public health and safety. Based on the above, there is no basis to deny the requested incentives or waivers.

- c. The incentives or waivers are contrary to state or federal law.**

There is no evidence in the record that the proposed incentives or waivers are contrary to state or federal law.

- 2. The waiver[s] or reduction[s] of development standards will not have the effect of physically precluding the construction of a development meeting the [affordable**

set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]” (Government Code Section 65915(e)(1)).

A Density Bonus project may request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]” (Government Code Section 65915(e)(1)).

Pursuant to LAMC Section 12.13.5.B, the underlying zone requires the project to provide a 10-foot front yard setback. The project request includes a waiver of development standard to allow for a reduction of up to 1.5 feet in lieu of the otherwise required 10-foot front yard. The project observes a front yard setback of roughly seven (7) feet, with the exception of the corner radius area where the front yard setback is further reduced down to 1.5 feet.

Pursuant to LAMC Section 12.13.5.B, the underlying zone requires the project to provide a six (6)-foot side yard setback. The project request includes a waiver of development standard to allow for a reduction of the required southerly side yard in lieu of the otherwise required six (6)-foot side yard.

As proposed, the granting of these waivers will allow for the development of the proposed residential building with the inclusion of the affordable residential units because the quantity of units allowed under the density bonus height and floor area ratio increase granted under the Incentives allows for the development of the affordable units. As presented by the applicant, without the requested yard waivers, the floor area located within those yards would be physically precluded from the project, preventing the construction of the proposed floor area and units described in the plans.

CYPRESS PARK AND GLASSELL PARK CDO PLAN APPROVAL FINDINGS

CDO MULTI-FAMILY GUIDELINES AND STANDARDS

- 1. The project substantially complies with the adopted Community Design Overlay Guidelines and Standards.**

Site Plan:

Street Frontage

Guideline 1: Encourage an inviting pedestrian environment and provide for streetwall continuity by locating buildings with a consistent setback, orienting buildings to the street and providing pedestrian amenities along the front of buildings. Site plans that fortify individual projects rather than connect them to the street are strongly discouraged.

Standard 1a: Align the front façade of new structures with adjacent structures to the greatest extent allowed by the Zoning Code.

Standard 1b: Provide a prominent pedestrian entrance with a walkway that leads directly from the entrance to the street.

Standard 1c: Where projects have multiple residential units at ground level, individual entrances are encouraged.

The front façade of the proposed mixed-use building at the front of the property is aligned with the front façade of the adjacent structures to the greatest extent allowed by the Zoning Code. As seen in Exhibit A, the main pedestrian building entrance is well defined by a metal awning. Therefore, the proposed project complies with these Standards and Guideline.

Open Space

Guideline 2: Encourage the use of open surface area for open space, landscaping and recreation areas by minimizing surface parking and by providing adequate separation between existing and new structures.

Standard 2a: Open space yard areas and courtyards with a minimum dimension of 15 feet are encouraged between existing structures and new structures on the same parcel.

As seen in Exhibit A, the project proposes the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. The residential units will be contained within the mixed-use building and therefore, these Guidelines and Standards do not apply.

Parking and Circulation

Guideline 3: Parking areas and the driveways that accompany them can contribute to a cluttered appearance and can diminish the pedestrian liveliness of a street. Such areas should be kept out of view from the public street to the greatest extent possible.

Standard 3a: Driveways within the front yard area should be no wider than 15 feet unless additional width is needed to accommodate entry ramps into subterranean parking areas.

Standard 3b: Parking areas should be located underground, at the rear of properties or at other suitable locations that are not visible from the public street. Multiple garage bays along the front of a building should be avoided. Surface parking areas and driveway “back-up” space between a structure and the public street (regardless of setback requirements) are prohibited.

As seen in Exhibit A, the project proposes a 13-foot-wide driveway along Verdugo Road that leads to the three (3) commercial parking spaces. A new 18-foot-wide driveway is proposed towards the rear of the property along Delevan Drive, that leads to the 21 covered vehicular residential parking spaces that are within the proposed project structure and not visible from the public street. There is ample turnaround space for vehicles to leave without backing out of the driveway. Therefore, the proposed project substantially complies with these Standards and Guideline.

Building Design:

Scale

Guideline 3: The overall scale of all buildings should maintain existing height and massing patterns on streets where a consistent pattern exists. A building that is larger than its neighbors can still be in scale and be compatible with the smaller buildings in the area through facade articulations and setbacks to upper floors. In other cases, it may be necessary to reduce the height or bulk of the building.

Standard 3a: Where the height of a building would be inconsistent with the height of adjacent buildings as viewed from the street, upper-floor setbacks should be used to adequately maintain the appearance of a prevailing height. A minimum 15-foot setback of upper floors from the building front is recommended when new buildings or additions will be a full floor higher than adjacent structures.

Standard 3b: Where the massing of a building would be inconsistent with the massing of adjacent buildings as viewed from the street (for instance where a building would be two or three times the width of neighboring buildings), articulation and setbacks should be used to recreate existing massing patterns on the street to the greatest extent possible.

The project proposes a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. The proposed mixed-use building will be limited to a height of 44 feet, six (6) inches. Surrounding structures in the neighborhood consist of one- to two-story single- and multi-family buildings, as well as one- to two-story commercial buildings. While the existing surrounding structures are lower in height and scale, to the extent feasible, the project is reducing massing by providing façade articulation through changes in materials and colors. Therefore, the proposed project substantially complies with these Standards and Guideline.

Articulation and Fenestration

Guideline 4: Buildings should be composed of a rich variety of forms and contrasting shapes that will provide depth and texture and will avoid the appearance of monotonous architecture.

Standard 4a: At minimum, all exterior building elevations should provide a break in the plane every 20 feet in horizontal length and every 15 feet in vertical length, created by a change in plane, architectural detail or a change in material. Windows or doors that are flush with the plane of the building and exterior hallways and stairwells shall not constitute a change in material or break in the plane.

Standard 4b: Rooflines should include articulation that corresponds to articulation found on the building façade. At minimum rooflines that exceed 40 feet shall provide articulation in the form of vertical changes in plane or variation in roof types.

Standard 4c: Outdoor hallways and stairwells are generally discouraged and if used should be integrated into the overall structure through facades, materials and a cohesive architectural strategy.

As seen in Exhibit A, the proposed mixed-use building provides breaks in the plane and articulation, which are created by alternating colors and materials of stucco, fibercement siding, steel railings, metal clad, and vertical fins. As seen in Exhibit A, the rooflines include changes in plane that corresponds to changes in plane found on the building façade. There are no outdoor hallways or stairwells proposed as part of the project. Therefore, the proposed project complies with these Guidelines and Standards.

Guideline 5: Buildings should have meaningful fenestration that establishes a clear pattern on the façade (with special attention paid to facades that are visible from the street) and that provides depth and additional articulation. Openings such as doors and windows should not be designed as an after-thought once the floor plan of a structure has been established, but rather should serve as an integral part in how the building relates to both the public and private realm.

Standard 5a: Recess windows and doors along the street front at least three inches from the façade. Window frames and sills are strongly encouraged.

Standard 5b: Special attention should be paid to window alignment and patterns. Where appropriate, windows should be aligned along their top-line.

Standard 5c: Canopies and awnings, which provide additional façade articulation and provide shade, are encouraged, especially on facades where articulation is otherwise minimal.

As seen in Exhibit A, proposed window openings are aligned along their top-line where it is appropriate and recessed at least three (3) inches from the façade. The windows will be trimmed. The pedestrian entrance doors and residential windows along Verdugo Road and Delevan Drive are recessed three (3)-inches from the façade of the structure, and the storefront windows for the retail portion of the building are also recessed three (3)-inches from the façade of the structure which provide additional façade articulation and shade. Therefore, the proposed project complies with these Guidelines and Standards.

Guideline 6: Building materials should be varied and should reflect a high level of quality and craftsmanship. The use of varied materials adds texture and depth to a façade and assists in providing needed articulation. Where specific building materials are found in abundance on a street front, such as wood siding or river rock, such materials should be incorporated into the façade of new buildings.

Standard 6a: Plaster or stucco finishes should not comprise more than 75% of the surface area of any exterior elevation (as viewed from an elevation projection excluding window and door area). Heavily textured stucco finishes are prohibited.

Standard 6b: The exterior finish on all balconies should employ a finish material that is different, from the finish material employed on the primary body of the building.

Standard 6c: All building fixtures, awnings, security gates, etc., should complement and be architecturally integrated to the design of the building.

As seen in Exhibit A, the proposed building materials include silver gray stucco, coral stucco, wooded fiber cement siding, steel railings, bronze doors and windows, and wooded vertical fins. The elevations of the proposed project will not include more than 75 percent plaster or stucco. As conditioned, the proposed mixed-use building will not include more than 75 percent plaster or stucco, and heavily textured stucco will not be used. As seen in Exhibit A, the building fixtures including the vents, gutters, etc. are architecturally integrated to the design of the buildings. Therefore, the proposed project complies with these Guidelines and Standards.

Guideline 7: Additions and new structures within rear yards should be of a scale and style that is compatible with existing development on the site and with adjacent structures.

Standard 7a: Provide roof forms on additions and new structures that are reasonably compatible with existing on-site development.

Standard 7b: Provide fenestration on additions and new structures that is reasonably compatible with existing on-site development.

Standard 7c: Utilize building materials on additions and new structures that are reasonably compatible with existing on-site development.

Standard 7d: Modifying existing building materials (such as stuccoing over and existing structure that might otherwise have desirable exterior finish materials), fenestration or roofs so as to achieve uniformity should be avoided.

The project includes the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. Therefore, these Guidelines and Standards do not apply.

Architectural Features:

Guideline 5: Emphasize pedestrian orientation and accessibility by creating well-articulated, inviting building entrances and by orienting building entrances toward the street.

Standard 5a: Orient primary entrances toward the street. Emphasize entrances through architectural features such as front porches, awnings, columns and/or prominent walkways.

Standard 5b: Where multiple ground level entrances exist, individual building entrances should be architecturally emphasized according to Standard 5a.

As seen in Exhibit A, the proposed mixed-use building's primary entrances are oriented toward the street and are emphasized with metal awnings. Therefore, the proposed project complies with these Standards and Guidelines.

Guideline 6: Encourage architectural compatibility by designing additions and rear-yard infill projects to have compatible architectural features.

Standard 6a: Where existing structures on a site contain architectural features such as porches, bay windows, decorative roof brackets etc. such features should be repeated on additions or new infill structures. Architectural features should be repeated to a lesser degree of detail when inspired from historic structures.

Standard 6b: Where additions and rear-yard infill projects are adjacent to R1 lots the project should provide horizontal setbacks above the first 30 vertical feet (in areas where structures are permitted to exceed 30 feet) along the building façade abutting the R1 lot. The maximum setback height shall be measured from a 45 degree angle from the 30 vertical feet mark.

The project includes the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. The project is not an addition or a rear-yard infill project and therefore, these Guidelines and Standards do not apply.

Guideline 7: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved or replaced with designs and materials that match the original where modifications to an existing structure are proposed. Building modifications that diminish the architectural integrity of existing buildings should be avoided.

Standard 7a: Materials such as stone, brick, tile and natural wood finishes on existing structurally viable buildings should not be painted over, removed or otherwise obscured.

Standard 7b: Decorative features such as corbels, friezes, transom windows, pilasters and other such character defining architectural elements should be preserved and should not be painted over, removed or concealed by building additions, structural elements, signage or facades.

Standard 7c: Existing doors and windows should be retained and if needed, repaired rather than replaced. If replacement of such features is needed, in-kind materials should be used.

The alteration of existing door and window openings along facades that are visible from the street is discouraged.

Standard 7d: Where appropriate paint colors should accentuate architectural features. In many instances a three-color paint scheme for body, trim and accent pieces is preferred. Overly bright paint colors, and fluorescent paint colors shall not be used. Colors such as beige, white and gray that produce glare, should be used sparingly.

Standard 7e: All vents, gutters, down spouts, etc. should be painted to match the color of the adjacent surface, unless being used expressly as a trim or accent element.

The project includes the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. The proposed mixed-use building uses the recommended three-color paint scheme, including silver gray stucco color, morning side stucco color, coral stucco color, wooded fibercement siding, bronze doors and windows, and wooded vertical fins. Also, as conditioned, overly bright and fluorescent paint colors will not be used. All vents, downspouts, etc. will be painted to match the color of the adjacent surface unless being used expressly as a trim or accent element. Therefore, the proposed project complies with these Guidelines and Standards.

Landscaping:

Guideline 8: In addition to aesthetic benefits, landscaping provides shade, reduces glare and minimizes surface runoff during rainy periods. Projects should provide landscaping that complements existing architecture, provides shade to pedestrian areas and that provides a high level of surface permeability.

Standard 8: Projects shall comply with the City Landscape Ordinance and the accompanying Guidelines.

As conditioned, the project will comply with the City Landscape Ordinance and the accompanying guidelines. Therefore, the proposed project complies with this Guideline and Standard.

Guideline 9: Front yard and outdoor spaces such as common and private open space should be developed to an extent that encourages use and enhances the livability of residential structures.

Standard 9a: All projects shall comply with the Open Space Requirements listed in Section 12.21 G of the LAMC. All subsequent Standards shall enhance those requirements found within the LAMC.

Standard 9b: Utilize drought tolerant plant species within required open space areas to the greatest extent possible.

Standard 9c: Open space areas should not have slopes exceeding 10%.

The project includes the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. As conditioned, the project will comply with the Open Space Requirements listed in Section 12.21 G of the LAMC. The project will provide 12 new trees and one (1) existing tree on-site that will remain. The project will provide 604 square feet of landscaped area on the third floor of the development. The project proposes 2,188 square feet of common open space on the third floor. Drought tolerant plant species will be utilized within required open

space areas. The project site will not have slopes exceeding 10 percent. Therefore, the proposed project will comply with these Guidelines and Standards.

Guideline 10: Front yards provide for transition between the public right of way and the residential building. Front yard areas should remain open and used for landscaping and passive recreation space. In order to maintain a consistent streetwall, avoid the appearance of clutter and minimize excessive surface water runoff during rainy seasons massive fences, parking areas and excessive paving should be avoided in the front yard area.

Standard 9a: Develop front yards with a prominent front walkway that leads directly from the sidewalk to the pedestrian entrance. Walkways should be improved with stamped concrete, brick, tile, stone or other such decorative surfaces.

Standard 9b: Paving surfaces should be provided exclusively for driveways and walkways. Parking areas located between the front of a structure and the front property line (regardless of setback requirements) and paving of front yards not used for driveways and walkways is inappropriate.

Standard 9c: Front yard fences shall not exceed the height permitted by the Zoning Code and should be comprised of transparent materials such as darkly colored (black or dark green) non-decorative wrought iron. Where Yard Adjustment Variances have been granted by the Zoning Administrator to allow over-height fences, such fences should be constructed only of materials enumerated above.

Standard 9d: Concrete block walls, concrete block pilasters, chain link and overly decorative and/or brightly colored wrought iron should not be used for front yard fences or any fences along a public street.

As seen in Exhibit A, the front area of the proposed project will be the sidewalk that leads from the street to the entrances of the proposed mixed-use building. New street trees will be planted along the Verdugo Road frontage. Paving surfaces are provided exclusively for driveways and walkways. There is no parking area located between the front of the structure and the front property line, as seen in Exhibit A. No front yard fences are proposed. Therefore, the proposed project complies with these Guidelines and Standards.

Mechanical Equipment:

Guideline 10: Trash enclosures should be designed so that trash and recycle bins are not visible to the general public.

Standard 10a: Enclose all trash collection areas with a minimum six-foot high decorative wall or fence.

Standard 10b: Provide a separate enclose area for recyclable materials for each trash enclosure.

As conditioned, the proposed project will enclose all trash collection areas within the Trash Rooms located on each floor of the building, and will also provide an adequate recycling area or room for collection and loading of recyclable material. Therefore, the proposed project will comply with these Standards and Guideline.

Guideline 11: Wireless telecommunication facilities should be designed so as to appear compatible with or complementary to surrounding architecture and structures.

Standard 11a: Where possible, wireless telecommunication facilities should be incorporated into existing buildings and other structures and should appear unobtrusive.

Standard 11b: Roof-top wireless facilities should be located so as to be least disruptive to the primary visible façade of the building and should be screened by materials that are simple and do not compete with or attempt to replicate the architectural features of the existing building.

The proposed project does not include wireless telecommunications facilities, therefore these Guidelines and Standards do not apply.

CDO COMMERCIAL GUIDELINES AND STANDARDS

2. The project substantially complies with the adopted Community Design Overlay Guidelines and Standards.

Site Planning:

Setbacks

Guideline 1: Continuity in the streetwall creates an aesthetically pleasing environment and provides security for pedestrians by eliminating blind spots. Encourage an inviting pedestrian environment and provide for continuity in the street wall by locating storefronts, entryways and pedestrian serving uses at the street frontage (at the front property line) or by providing pedestrian amenities along the street front.

Standard 1a: Locate ground floor uses so that they are built to the front lot line except where pedestrian amenities such as patios and outdoor dining areas have been incorporated into the site design the setback may extend no more than 5 feet from the front property line.

Standard 1b: Ground floor uses along Eagle Rock Boulevard between lower Verdugo Road and York Boulevard; and along Cypress Avenue between Eagle Rock Boulevard and Pepper Avenue may be located up to 12 feet from the front lot line. This setback space should be improved with pedestrian amenities such as additional shade trees, plazas, fountains, outdoor dining areas, seating, forecourts, arcades or other active public uses.

Standard 1c: In cases where existing buildings along a street front have varied front setbacks, infill projects should act as a transition between front setbacks of varying depths and in unifying the overall rhythm of the streetscape. In designing the front setback, consider the following measures; other measures may also be appropriate depending on the circumstances of a particular project:

- *Articulate the facade with well-defined building entrances and projecting and recessed facade features that will establish a rhythm and add visual interest to the block face.*
- *Articulate the front facade in “steps” to create a transition between adjacent buildings.*
- *Avoid creating blank walls along the side property lines that will be visible from the street.*

The proposed project is the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. The proposed commercial/retail component of the project is oriented towards Verdugo Road to the west and Delevan Drive to the south, with its main pedestrian

and vehicular entrance along Verdugo Road. As evident in Exhibit A, the proposed building is set back one and one-half (1.5) feet from the property line. This setback is compatible with the existing development on Verdugo Road. The subject site is not located on Eagle Rock Boulevard or Cypress Avenue; therefore, Standard 1b would not apply. There is one (1) existing tree along the northeast end of the property, and 12 new trees will be planted along Verdugo Road and Delevan Drive that will create a landscape buffer between the street and the new building. As evident in Exhibit A, the façade facing both Verdugo Road and Delevan Drive are well articulated with windows, overhangs and changes in color and materials. The storefront windows on the ground floor are recessed three (3)-inches. The main pedestrian building entrance is also well defined by a metal awning. Therefore, the proposed project complies with this Guideline and Standards.

Storefront Orientation

Guideline 2: Promote ease of pedestrian movement between stores and enhance the level of pedestrian activity by placing pedestrian entrances along the street for each business that fronts the public right of way.

Standard 2a: Provide a pedestrian entrance for each business that fronts a public street. Where multiple building entrances might create operational issues or security concerns for building tenants, a single building entrance should be located fronting the public street.

Standard 2b: Provide a clearly defined pedestrian walkway for any new project that connects building entrances to parking areas. Walkways should be comprised of stamped concrete, brick, tile or some other decorative paving surface.

The proposed project is the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. As evident in Exhibit A, the proposed retail space will have its own pedestrian entrance fronting and facing Verdugo Road. The on-site vehicular parking will be located along Verdugo Road. The project is being conditioned to provide a clearly defined walkway that connects the building entrance to the parking area. This walkway will be conditioned to comprise of stamped concrete, brick, tile or some other decorative paving surface.

Automobile Ingress/Egress

Guideline 3: Minimize conflicts between pedestrians on the sidewalk and automotive traffic by providing vehicular access to parking areas along side streets or alleys wherever possible.

Standard 3a: Locate curb cuts and driveways at alleys or side streets to the greatest extent possible.

Standard 3b: Limit curb cuts along major and secondary highways to one per 100 feet of street frontage to the greatest extent possible.

There is one (1) existing curb cut along Verdugo Road, and one (1) existing curb cut along Delevan Drive. These curb cuts will be removed, and a new curb cut will be proposed along both Verdugo Road and Delevan Drive that will be utilized for the ingress and egress to the parking areas for the project. Therefore, the proposed project substantially complies with this Guideline and Standards.

Usable Outdoor Public Space

Guideline 4: Public gathering spaces, plazas and outdoor dining areas can energize a commercial environment, and encourage pedestrian activity. Large commercial projects

should provide usable outdoor public space in the form of plazas, courtyards and outdoor eating areas to encourage pedestrian activity with the CDO.

Standard 4a: Incorporate usable outdoor public open space for commercial or mixed-use projects that exceed 50,000 square feet of floor area, including rehabilitation of existing buildings as defined in LAMC 13.08 C 2. Useable outdoor public open space should be constructed in the form of plazas, courtyards and outdoor eating areas at a ratio of at least 2% of the overall floor area of the structure.

Standard 4b: Locate seventy five-percent of all required usable outdoor public space at ground level and should be directly accessible to the general public from a public street.

Standard 4c: Develop usable outdoor public space in conformance with the Glassell Park CDO Landscape Design Guidelines.

The proposed project is the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. The project will provide 12 new trees and one (1) existing tree on-site that will remain. The project will provide 604 square feet of landscaped area on the third floor of the development. The project proposes 2,188 square feet of common open space on the third floor. Drought tolerant plant species will be utilized within required open space areas. Therefore, the proposed project will comply with these Guidelines and Standards.

Parking Structures

Guideline 5: Parking structures should be an unobtrusive part of the pedestrian environment and should be located out of view whenever possible; they should be architecturally compatible with the design of the buildings that they are serving.

Standard 5a: Construct parking structures with materials and architectural elements that are compatible with surrounding structures.

Standard 5b: Wherever parking structures are to be located along a street frontage, the structure should be designed with ground floor commercial uses integrated into the design along the entirety of the commercial street frontage except those portions which accommodate for automobile ingress and egress. Commercial uses should be designed with a minimum depth of 25 feet.

As evident in the Exhibit A, the proposed project does not include a stand-alone parking structure. The project includes parking that is located on the one (1)-level subterranean parking accessible along Delevan Drive, and a covered parking area for the three (3) covered commercial parking spaces on the first floor accessible from Verdugo Road. Therefore, the proposed project substantially complies with this Guideline.

Building Design:

Facades

Guideline 6: The design of all buildings should be of a quality and character that improves community appearance and should be representative of an overall architectural theme. Buildings should be composed of a variety of forms, contrasting shapes and should employ attractive and complementary buildings materials and architectural features. The massing and proportion of buildings at ground level along the public right of way should be at a pedestrian scale.

Standard 6a: Provide a break in plane for every 20 feet in horizontal length and every 15 feet in vertical length on all exterior building elevations. Breaks in plane should be created by a change in plane, incorporation of an architectural detail or a change in material. Windows or doors that are flush with the plane of the building shall not be included as a change in material or break in the plane.

Standard 6b: Provide articulation in the form of vertical changes in plane or variation in gables for all rooflines that exceed 40 linear feet.

Standard 6c: Provide structural bays at a minimum of 20-foot intervals for all ground floor storefronts on projects that are greater than 30 feet in width. Structural bays, at minimum, should be demarcated by a 3-inch recess.

As evident in Exhibit A, the proposed project incorporates sufficient breaks in plane both horizontally and vertically by incorporating windows, changes in materials, and changes in color on the street-facing façade. The proposed windows are recessed three (3)-inches along the front façade as well. The front façade also incorporates metal awnings over the pedestrian entrance doors along the street-facing façade, which also contributes to the breaks in plane. There is also articulation in the roof line of the proposed structure due to the varying height of the structure. Therefore, the proposed project complies with this Guideline and Standards.

Wall Openings

Guideline 7: Encourage window-shopping and an active pedestrian environment by providing a significant level of storefront transparency at ground floor building facades along public streets.

Standard 7a: Wall openings such as windows and doors should occupy at least 70-percent of the ground floor street façade and 25-percent of the ground floor street façade for secondary facades on corner-lot buildings.

Standard 7b: The bottom of storefront windows should be a minimum of 18-inches and a maximum of 36-inches from the sidewalk grade to accommodate a traditional bulkhead.

Standard 7c: Storefronts on existing buildings that have been enclosed or have had windows removed or replaced with smaller windows should be restored to their original appearance to the greatest extent possible.

The proposed project will contain wall openings that occupy at least 70-percent of the ground floor street façade and storefront windows will be a minimum of 18-inches and a maximum of 36-inches from the sidewalk grade, as evident in the Exhibit A. The project does not include any existing storefronts. Therefore, the proposed project complies with this Guideline.

Corporate Identity Architecture

Guideline 8: Buildings in the District should contribute to the architectural integrity of the surrounding area. Buildings used for franchise-type restaurants, retail space or other commercial uses that traditionally have a pre-determined corporate architectural identity should be designed so as to be consistent with the CDO Design Guidelines and Development Standards.

Standard 8: All projects, including those related to franchise or corporate establishments shall be designed to comply fully with the Design Guidelines and Development Standards.

It has not yet been determined whether the proposed project will incorporate any franchise or corporate establishments. However, the project has been conditioned to comply with this Guideline once it has been determined.

Architectural Features:

Exterior Surface Materials & Colors

Guideline 9: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved or replaced with designs and materials that match the original where modifications to an existing structure are proposed. Building modifications that diminish the architectural integrity of existing buildings should be avoided.

Standard 9a: Materials such as stone, brick, tile and natural wood finishes on existing structurally viable buildings should not be painted over, removed or otherwise obscured.

Standard 9b: Decorative features such as corbels, friezes, transom windows, pilasters and other such character defining architectural elements shall be preserved and should not be painted over, removed or concealed by building additions, structural elements, signage or facades.

There are no existing structures on-site and therefore, this Guideline is not applicable.

Guideline 10: Building façades should be constructed of high-quality materials that communicate a sense of permanence within the area and that are complementary to surrounding buildings and features.

Standard 10a: Plywood siding and heavily textured stucco should not be used on building exteriors.

Standard 10b: Stucco should not comprise more than 80% of a building façade (as viewed from an elevation façade projection, not counting door and window area). Projects that propose the use of stucco should integrate additional building materials into the façade and/or shall utilize more than a single color of stucco.

Standard 10c: Conjectural decorative features, such as foam plant-ons should be avoided.

As evident in Exhibit A, the proposed building will be composed of silver gray stucco, coral stucco, wooded fibercement siding, steel railings, bronze doors and windows, wooded vertical fins, and metal awnings. There is no heavily textured stucco or plywood siding proposed. Further, the project has been conditioned so that it does not contain more than 80 percent stucco on the building façade, not counting door and window areas. Conjectural decorative features are not proposed as part of the building design. Therefore, the proposed project complies with this Guideline and Standards.

Guideline 11: Building material and paint colors should be attractive and complementary to the surrounding buildings and features.

Standard 11a: A three-color paint scheme is generally encouraged; applying harmonious colors to the body, trim and any accent features on the structure.

Standard 11b: Colors such as white and light shades of gray and tan, as well as overly bright colors, when applied to the body of a structure, can produce glare and should be used sparingly. Fluorescent colors are considered inappropriate for all exterior applications.

Standard 11c: Paint all vents, gutters, downspouts, flashing, electrical conduits etc. to match the color of the adjacent surface unless being used expressly as a trim or accent element.

As evident in Exhibit A and as conditioned, the proposed project will incorporate a three (3) color paint scheme, with all vents, gutters, downspouts, and conduits to match the color of the adjacent surface unless being used as a trim or accent element. The project is conditioned to not contain fluorescent colors. Therefore, as proposed and conditioned, the proposed project will comply with this Guideline and Standards.

Storefront Entrances

Guideline 12: Storefront entrances should be designed so that they are a predominant architectural feature on the building façade and so that they create an inviting entrance to the building. Entrances should be enhanced through architectural treatments such as tile on the floor around the doorway, individual awnings or placements of appropriate signage above the entryway.

Standard 12a: Provide the primary building entrance for all buildings from the public street.

Standard 12b: Maintain the primary building entrance for all buildings along the public street so that they remain unlocked and unobstructed during normal business hours.

As evident in Exhibit A, the primary pedestrian building entrance for the commercial/retail component of the project will be provided for along Verdugo Road. There is a total of one (1) pedestrian entrance for the commercial/retail component of the project along this frontage. This entrance will be recessed and will be unblocked and unobstructed during normal business hours. The storefront entrance will have metal awning clearly identifying them. Therefore, the proposed project complies with this Guideline and Standards.

Storefront Windows

Guideline 13: Storefront windows should allow maximum visibility from the sidewalk areas into the interior of all commercial uses and should maintain their transparency through the choice of glass material and careful placement of window signs.

Standard 13a: Use non-reflective glass that allows a minimum of 90-percent light transmission on all street-fronting facades.

Standard 13b: Recess new storefront windows at least 3 inches from the front plane of the building.

Standard 13c: Use no more than 10% of storefront window surfaces for internally or externally posted signage regardless of the duration of the signage.

As conditioned, the project will incorporate non-reflective glass on all street-fronting façades that will allow a minimum of 90 percent light transmission. As evident in the Exhibit A, the storefront windows will be recessed a minimum of three (3)-inches. Also as conditioned, no more than 10-percent of storefront window surfaces for internally or externally posted signage will be used. Therefore, the proposed project complies with this Guideline.

Awnings and Canopies

Guideline 14: Add visual interest to storefronts through the use of high-quality awnings and canopies that provide articulation in the street wall. Awnings should be designed to complement buildings and individual structural bays.

Standard 14a: *Plastic, vinyl and other similar materials should be not be used on storefront awnings.*

Standard 14b: *On storefronts that are greater than 25 feet in length, provide one awning or canopy where for each structural bay where such bays exist. Avoid single awnings or canopies for buildings that are greater than 25 feet in length.*

Standard 14c: *Signs on awnings and canopies should be permitted only on the valance. The valance should be a maximum of 8 inches with lettering and logos being a maximum of 6 inches high.*

Standard 14d: *Awnings or canopies should not conceal architectural features such as decorative grille work or transom windows and should be designed so as to be architecturally compatible with the structure on which they are to be attached.*

As evident in Exhibit A, the proposed project incorporates overhangs along the main street facing façade. The overhang will be composed of metal. As conditioned, no plastic, vinyl or other similar material will be used on a storefront awning. The Verdugo Road facing façade is approximately 87-feet in length. There are two (2) pedestrian entrances along this frontage, one (1) for the commercial/retail component and one (1) for the residential component. Above those two (2) entrances there are metal awning overhangs proposed contributing to the visual interest of this façade. There are no proposed signs on awnings or canopies. Therefore, the proposed project complies with this Guideline and Standards.

Rooflines

Guideline 15: Rooflines should be designed so as to add interest to the building façade and to complement the surrounding area. Monotonous rooflines should be avoided.

Standard 15: *Provide architectural relief for all rooflines that exceed 40 linear feet either through a change in depth or height, the application of gables, dormers, and changes of material or other types of articulation.*

As evident in Exhibit A, the proposed building has a Verdugo Road facing façade that measures approximately 87-feet in length. There is architectural relief provided after every 10-15 feet. That relief is provided for by a change in color and materials. There are also changes to the height of the building along the Verdugo Road facing façade. Therefore, the proposed project complies with this Guideline and Standard.

Graffiti

Guideline 16: Use exterior surface materials that will reduce the incidence and appearance of graffiti.

Standard 16a: *Treat exterior walls with graffiti resistant surfaces. Such treatment may include specialized coatings and the installation of vegetation.*

Standard 16b: *Treat storefront windows on new structures with graffiti resistant film or other specialized coatings so as to protect them from vandalism.*

The proposed project is conditioned to treat exterior walls and storefront windows with graffiti resistant surfaces. Therefore, as conditioned, the proposed project will comply with this Guideline and Standards.

Free Standing Walls & Fences

Guideline 17: Freestanding walls should contribute to the architectural integrity of the surrounding area and should be compatible with surrounding structures. Walls should provide security and enclosure to the extent necessary but should not create impermeable compounds as viewed from the street and should not communicate a general lack of security about the district.

Standard 17a: Provide a break in plane for all free standing walls using an architectural detail such as pilasters, patterned block or other articulation in 20-foot intervals.

Standard 17b: Construct all freestanding walls of materials that are compatible with surrounding buildings.

Standard 17c: Chain link, barbed wire, corrugated metal and other similar materials should not be used for fences along public streets.

Standard 17d: Free standing walls or fences should not use barbed or razor wire to adorn the tops of walls within view of public streets. Pointed wrought iron is encouraged where fencing is needed to provide security to a site.

Standard 17e: Fences along public rights of way may only be constructed of highly transparent materials such as non-decorative/darkly colored wrought iron. Block walls and fences with block pilasters should be avoided.

As evident in the Exhibit A, there are no free standing walls or fences proposed as part of the project. Therefore, this Guideline is not applicable.

Landscaping:**General Landscaping**

Guideline 18: In addition to aesthetic benefits, landscaping provides shade, reduces glare and minimizes surface runoff during rainy periods. Projects should provide landscaping that complements existing architecture, provides shade to pedestrian areas and that provides a high level of surface permeability.

Standard 18: Projects shall comply with the City Landscape Ordinance and the accompanying Guidelines.

As evident in the Exhibit A and as conditioned, the proposed project will comply with the City Landscape Ordinance and the accompanying Guidelines. Therefore, the proposed project complies with this Guideline.

Pedestrian Connectivity

Guideline 19: Surface-parking areas should provide for an ease of pedestrian movement and should encourage pedestrian movement through the subject parking area from the public street to the building.

Standard 19: All surface parking areas should include a pedestrian walkway that extends up to 50 feet from the primary structure served by the parking area. The pedestrian walkway should be paved with stamped concrete or another decorative surface in keeping with the architectural style of the surrounding structures. Where parking areas exist adjacent to public streets the pedestrian paved surface should provide a direct link from the street to those structures served by the parking area, even if such distances exceed 50 feet.

Standard 19: Pedestrian walkways through surface parking lots should be accompanied by decorative landscaping including but not limited to shade trees, arbors and other plant features.

As evident in the Exhibit A, the proposed parking is located on the subterranean level, as well as the three (3) covered commercial parking spaces on the first floor accessible from Verdugo Road. The project does not include separate surface parking areas or lots. Therefore, this Guideline does not apply to the proposed project.

Usable Public Space

Guideline 20: Projects that are required or proposing to provide usable public space should be developed with landscape and hardscape improvements, seating and other attractions that encourage public gathering, outdoor dining and create a lively pedestrian environment.

Standard 20a: Usable public spaces, including plazas and courtyards should contain a minimum of 15% planted area which can include trees, shrubs, and/or ground covering. Planters, planter boxes and similar planting containers may be counted toward this requirement.

Standard 20b: Paved surfaces within usable public spaces should be comprised of stamped concrete, tile or other decorative paving surfaces. Asphalt is prohibited as a paving surface within usable public spaces.

The proposed project is the construction of a new three (3)-story, mixed-use building containing 14 residential units, ground floor commercial/retail space, and one (1) level subterranean parking. The project is proposing 12 new trees and one (1) existing tree on-site that will remain. The project will provide 604 square feet of landscaped area on the third floor of the development. The project proposes 2,188 square feet of common open space on the third floor. Drought tolerant plant species will be utilized within required open space areas. Therefore, the proposed project will comply with these Guidelines and Standards.

Signs:

Simplicity and Quality

Guideline 21: Signage should be simple, expressive and of high quality with regard to construction, typography and artistic images. Signage that contributes to a cluttered, non-cohesive or unprofessional appearance diminishes the quality and commercial viability of the District and should be avoided.

Standard 21a: Individual businesses and institutions should have no more than one wall sign per elevation unless a special circumstance exists whereby a single wall sign would not be universally visible from the public right of way.

Standard 21b: Individual signs should utilize a consistent and thoughtful color scheme. Generally business signs should not utilize more than three colors.

Standard 21c: Wherever multiple business signs exist on a single wall or monument sign the sign should utilize a uniform background color.

Standard 21d: The use of fluorescent colors in signs is prohibited.

Standard 21e: Hand-painted lettering should be administered by a professional sign painter and should be comprised of typography and images that are uniform in point size, kerning

and overall appearance and are produced from an identifiable font. Lettering and iconography produced by spray-on paint or air brushes is prohibited.

As conditioned, individual businesses and institutions will not have more than one wall sign per elevation. Additionally, as conditioned, each sign will not utilize more than three colors, when there are multiple businesses on a single wall sign or monument sign, the sign will utilize a uniform background color. As conditioned, fluorescent colors and spray paint and air brushed signs will be prohibited. If hand painted lettering is to be utilized, it will be conditioned to be hand painted lettering administered by a professional sign painter and will be comprised of typography and images that are uniform in point size, kerning and overall appearance with an identifiable font. Therefore, the proposed project is conditioned to be in compliance with this Guideline as the project doesn't currently propose signage.

Mural Signs

Guideline 22: Mural signs can contribute to the appearance of individual buildings, street frontages and the District as a whole. Furthermore, such signage can be an important expression of the unique artistic and cultural identity of the District. Mural signs should be allowed when they are created with a high level of artistic quality and do not diminish the architectural integrity of a historic building.

Standard 22a: Murals that are not intended as part of business signage (and are not defined as Mural Signs in Section 3 of this document) must be approved by the Department of Cultural Affairs and may in no way include onsite or offsite commercial advertising or imagery.

Standard 22b: Mural signs may cover up to 30% of a building façade, however such area shall include the permitted wall sign area. Mural sign area that exceeds the square footage allowed for wall signs may not include signage text, logos or other such commercial renderings such as drawings of individual products sold within a store.

Standard 22c: Mural signs should not cover or obscure unique architectural features such as corbels, transoms, pilasters, un-painted masonry, windows or other such character defining features of an historic building.

The proposed project does not include any Mural Signs. Therefore, this Guideline and Standards do not apply.

Prohibited and Restricted Signs

Guideline 23: Signs that contribute to the appearance of clutter along a street frontage or on a building; that draw unnecessary attention to a single use at the expense of the district as a whole or that communicate a lack of permanence to the District should not be used.

Standard 23a: Off-site signage, including, billboards and signs advertising off-site activities, is prohibited.

Standard 23b: Pole signs are prohibited. This includes the structural modification of existing signs that increase the height, massing or fascia of existing signs or the addition of poles to existing pole signs. The re-use of pole signs is strongly discouraged and project proponents are encouraged to consider pedestrian oriented signage options such as monument signs.

Standard 23c: Temporary banners, streamers, flags not affixed to a flagpole, inflated devices, bubble-machines, rotating devices, and other attention-getting devices are prohibited.

As conditioned, the proposed project will not include off-site signage, pole signs, temporary banners, streamers, flags not affixed to a flagpole, inflated devices, bubble-machines, rotating devices, and other attention-getting devices.

Guideline 24: Signage illumination should be used sparingly and at a pedestrian scale. Overly-bright illumination, digital signage and internally light signage that is intended to capture the attention of motorists generally does not invite pedestrian use or prolonged visits to the district outside of immediate car trips. External illumination for signage is encouraged in lieu of internally light signage.

Standard 24a: Electronic message display signs, except for time and temperature signs are prohibited.

Standard 24b: Internally illuminated canister signs, except for channel letters or logos, and illuminated architectural canopy signs are prohibited. Reverse channel letters or externally light individually cut letters are encouraged in lieu of internally light channel letters.

Standard 24c: Any time and temperature sign that is not placed on a building roof, shall be permitted, provided it has no blinking lights, includes no advertising, sign content consists exclusively of time and temperature information and the face of the sign is no larger than 16 square feet in area.

As conditioned, electronic message display signs, except for time and temperature signs, internally illuminated canister signs, and illuminated architectural canopy signs will not be included as part of the scope of work. Therefore, as conditioned, the proposed project will be in compliance with this Guideline and Standards.

Mechanical Equipment:

Mechanical Equipment & Loading

Guideline 25: Utilities, storage areas, loading docks, mechanical equipment and other service areas should be screened from the adjacent public right of way. Equipment can be screened from public view through the use of building parapets, landscaping walls and other similar architectural treatments. Plywood and wood lattice screens should be avoided.

Standard 25a: Locate all service areas and loading docks at the rear of structures or at the location that is most out of view to the general public.

Standard 25b: Screen all exterior rooftop and ground level mechanical equipment, including HVAC equipment, exhaust fans and satellite dishes from public view.

Standard 25c: No mechanical equipment shall be permitted in window or door openings facing public streets.

Standard 25d: Service areas, such as those used for automobile repair facilities, should be enclosed within a building.

As evident in Exhibit A, the project is not proposing any loading/unloading docks or service areas. Further, the project is conditioned to screen all services areas and locate them so that they are out of view from the general public. The project is conditioned to screen all exterior rooftop and ground level mechanical equipment from public view and mechanical equipment is conditioned to not be located in window or door openings that face public streets. Therefore, the project as proposed and conditioned complies with this Guideline and Standards.

Security Equipment

Guideline 26: Buildings should be designed with security features that effectively detour criminal activity while maintaining a positive image about the community. When used, security grills should be screened from view during business hours and should be integrated into the design of the building.

Standard 26a: *Permanently affixed exterior security grills or bars are prohibited.*

Standard 26b: *Security grills should be retractable and should recess completely into pockets that completely conceal the grill when it is retracted. Such pockets should be integrated into the design of the building.*

Standard 26c: *Roll-down security grills that conceal storefront windows are prohibited.*

Standard 26d: *Existing security grills and bars, whether retractable or permanently affixed should be painted black or another color that diminishes the appearance of such devices as viewed against the window.*

The proposed project does not include security grills or bars. Therefore, this Guideline does not apply.

Trash Equipment

Guideline 27: Trash enclosures should be designed so that trash and recycle bins are not visible to the general public.

Standard 27a: *Enclose all trash collection areas with a minimum six-foot high decorative wall or fence.*

Standard 27b: *Provide a separate enclosure for trash and recyclable materials.*

As conditioned, trash collection areas will be screened with a minimum six (6)-foot high fence. Also as conditioned, trash and recycling will be stored in separate enclosures. The proposed project will enclose all trash collection areas within the Trash Rooms located on each floor of the building, and will also provide an adequate recycling area or room for collection and loading of recyclable material. Therefore, the proposed project complies with this Guideline.

Wireless Telecommunication Facilities

Guideline 28: Wireless telecommunication facilities should be designed so as to appear compatible with or complementary to surrounding architecture and structures.

Standard 28a: *Where possible, wireless telecommunication facilities should be incorporated into existing buildings and other structures and should appear unobtrusive.*

Standard 28b: *Roof-top wireless facilities should be located so as to be least disruptive to the primary visible façade of the building and should be screened by materials that are simple and do not compete with or attempt to replicate the architectural features of the existing building.*

The project is not proposing any new wireless telecommunications facilities. Therefore, this Guideline and Standards do not apply.

3. The structures, site plan and landscaping are harmonious in scale and design with existing development and any cultural, scenic or environmental resources adjacent to the site and the vicinity.

The project site consists of three (3) lots that were previously developed with a church, garage, and one dwelling unit. All structures on-site have been demolished. The project includes the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet pursuant to State Density Bonus Law and the City's Density Bonus program. The building will include 14 dwelling units, including two (2) dwelling units set aside for Very Low Income Households, and one (1) ground-floor commercial space measuring 1,071 square feet. The building will have a maximum building height of 44 feet, 6 inches. The project will provide a total of 24 automobile parking spaces (21 residential parking spaces and three (3) commercial parking spaces), 20 bicycle parking spaces (16 long-term spaces and 4 short-term spaces), and 2,188 square feet of common open space on the roof deck level. There are no Protected Trees on site, and the project does not require any tree removals. The proposed project will also require a Haul Route for the proposed export of 2,965 cubic yards of earth materials. The proposed building is oriented towards the street, facing Verdugo Road and Delevan Drive. The proposed vehicular parking is located at the rear of the site away from the public right-of-way. The proposed structure is similar in height to the surrounding structures. The perimeter of the lot will contain landscaping buffers that will contribute to the transition between the commercial/residential uses along Verdugo Road and Delevan Drive. There are no identified cultural, scenic or environmental resources in the vicinity.

ADDITIONAL MANDATORY FINDINGS

1. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located outside of a flood zone.
2. CEQA. It has been determined based on the whole of the administrative record that the project is exempt from CEQA pursuant to State CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2, applies.

The proposed project qualifies for a Class 32 Categorical Exemption because it conforms to the definition of "In-fill Projects". The project can be characterized as in-fill development within urban areas for the purpose of qualifying for Class 32 Categorical Exemption and its five established qualifiers and if it is not subject to an Exception that would disqualify it. The Categorical Exception document found in Case No. ENV-2023-7709-CE and attached to the subject case file provides the full analysis and justification for project conformance with the definition of a Class 32 Categorical Exemption.

PUBLIC HEARING AND COMMUNICATIONS

PUBLIC HEARING

The public hearing was held on Monday, August 26, 2024 at approximately 10:00 a.m. in a virtual format. The hearing was conducted by the Hearing Officer, Nashya Sadono-Jensen, on behalf of the City Planning Commission in taking testimony for Case No. CPC-2023-7708-DB-CDO-HCA and ENV-2023-7709-CE. All interested parties were invited to attend the public hearing at which they could listen, ask questions, or present testimony regarding the project. The purpose of the hearing was to obtain testimony from affected and/or interested parties regarding this application. Interested parties were also invited to submit written comments regarding the request prior to the hearing.

A second public hearing was conducted by the Hearing Officer virtually via Zoom on Monday, September 30, 2024 at 10:00 a.m. This hearing was scheduled due to the request for an increase in FAR that was not included for the first Hearing Officer hearing. Additionally, the hearing notice that was mailed out had a typographical error for the Waiver of Development Standard request for the southerly side yard setback (Request No. 2.d). The hearing notice stated that the required southerly side yard setback is seven (7) feet, when it should have stated that the required southerly side yard setback is six (6) feet. The requested southerly side yard setback has not changed. This typographical error was also verbally clarified at the public hearing. All interested parties were invited to attend the public hearing at which they could listen, ask questions, or present testimony regarding the project. The purpose of the hearing was to obtain testimony from affected and/or interested parties regarding this application. Interested parties were also invited to submit written comments regarding the request prior to the hearing.

Summary of Initial Public Hearing

1. The public hearing was attended by approximately 10 people, consisting of the applicant's team, including the representative. The remaining attendees were members of the public.
2. The Hearing Officer began the hearing by discussing format and logistics and introduced the project.
3. The applicant's representative, Chris Manasserian, provided an overview of the project, explained the requested density bonus incentives and waivers, and walked through the project plans in detail.
4. No members of the public wished to present testimony, comment, or ask questions.
5. With no other questions or speakers, the Hearing Officer closed the hearing and informed the audience that the project would be considered by the City Planning Commission on Thursday, October 10, 2024.

Summary of Second Public Hearing

1. The public hearing was attended by approximately eight (8) people, consisting of the applicant's team, including the representative. The remaining attendees were members of the public.
2. The Hearing Officer began the hearing by discussing format and logistics and introduced the project.
3. The applicant's representative, Chris Manasserian, provided an overview of the project, explained the requested density bonus incentives and waivers, and walked through the project plans in detail.

4. There were two (2) members of the public who vocalized opposition of the project. The issues raised by the members of the public included: which units would be assigned to the two (2) set-aside Very Low Income units, concerns about increased parking needs in the neighborhood, and that the project and its proposed height would take away from existing views in the neighborhood.
5. With no other questions or speakers, the Hearing Officer closed the hearing and informed the audience that the project would be considered by the City Planning Commission on Thursday, October 10, 2024 and that they could also submit more comments to staff directly.

PROJECT ADDRESS
4006 N VERDUGO ROAD,
4002 N VERDUGO ROAD (3067 N DELEVAN DR),
LOS ANGELES CA 90065

ENGINEER
RCB ENGINEERING
450 NORTH BRAND BLVD. # 600
GLENDALE, CA 91203
TEL: (818) 813-1852

SHEET INDEX
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A-0.1 CODE ANALYSIS
C-1 SURVEY MAP
A-1 SITE PLAN
A-2 BASEMENT GARAGE PLAN
A-3 FIRST FLOOR PLAN
A-3.1 FRONTAGE CALCULATION
A-4 SECOND FLOOR PLAN
A-5 THIRD FLOOR PLAN
A-6 ROOF PLAN
A-6.1 FLOOR AREA CALCULATION DIAGRAM
A-7 A & B SECTIONS
A-8 C & D SECTIONS
A-9 ELEVATIONS
A-9.1 CDO STUCCO REQUIREMENT DIAGRAM
A-10 UNITS ENLARGED PLANS
A-11 UNITS ENLARGED PLANS
A-12 UNITS ENLARGED PLANS
A-13 UNITS ENLARGED PLANS
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A-16 STAIR "A" ENLARGED PLANS & SECTIONS
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R-1 PROJECT RENDERINGS
AD-1 ARCHITECTURAL DETAILS
AD-2 ARCHITECTURAL DETAILS
HC-1 ACCESSIBILITY DETAILS
HC-2 ACCESSIBILITY DETAILS
GB-1 GREEN BUILDING REQUIREMENTS
GB-2 GREEN BUILDING REQUIREMENTS
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T-3 TITLE 24 REPORT
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S-5 SECOND FLOOR FRAMING PLAN
S-6 FIRST FLOOR HOLDOWN LAYOUT
S-7 CONCRETE DECK REINFORCEMENT PLAN
S-8 FOUNDATION PLAN
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SD-2 STRUCTURAL DETAILS
SD-3 STRUCTURAL DETAILS
SD-4 STRUCTURAL DETAILS
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SD-6 STRUCTURAL DETAILS
SD-7 STRUCTURAL DETAILS
SD-8 STRUCTURAL DETAILS

PROJECT DATA
ZONING [Q]C1.5-1VL-CDO
LOT SIZE IRREGULAR
ZIMAS LOT/PARCEL AREA (CALCULATED) 13696.2 SQ.FT = 0.314 ACRE
BUILDABLE AREA (SEE DIAGRAM ON SHEET A-1) 9914 SQ.FT.
NUMBER OF UNITS PROVIDED: 14
MAX. ALLOW. RES. DENSITY PER AB 2334 13696.2 / 400 = 34.24 = 35
OCCUPANCY GROUP M- R-2 / S2
TYPE OF CONSTRUCTION V-A
NUMBER OF STORIES 3+ BASEMENT
SPRIKLERED YES
VERY HIGH FIRE HAZARD SEVERITY ZONE YES
SPECIAL GRADING AREA YES
CALIFORNIA CLIMATE ZONE 9

EXHIBIT A

Project Plans
CPC-2023-7708-DB-CDO-HCA

PROJECT DESCRIPTION
1. MIXED USE 3 - STORY BUILDING W/ 14 RESIDENTIAL UNITS (INCLUDING 2 VERY LOW INCOME UNIT) WITH SEMI-SUBTERRANEAN PARKING AND 1071 S.F. RETAIL SPACE ON GROUND FLOOR
2. REMOVE TWO EXISTING DRIVEWAY APRONS AND ADD TWO NEW APRONS (PER SEPARATE A PERMIT)

SURVEYOR
RAY LOMBERA & ASSOCIATES. INC.
135 S. JACKSON ST., STE. 202 , GLENDALE, CALIFORNIA 91205
TEL: (323) 257-9771
FAX: (323) 257-9865
WWW.RAYLOMBERA.COM

SOIL ENGINEER
APPLIED EARTH SCIENCES
4742 SAN FERNANDO RD.
GLENDALE, CA 91204
TEL: (818) 552-6000

PROPERTY OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

LEGAL DESCRIPTION
APN: 5459-027-035
*TR=5943*LOT 32 AND LOT COM AT MOST S COR OF LOT 1 TH N 56°50'29" E 66 FT TH NW AT R/A 33 FT TH SW TO A PT N 33°08' 55" W 41 FT FROM BEG TH S 33°08'55" E 41 FT TO BEG POR OF LOT 1 BLK 7
APN: 5459-027-002
TRACT NO 5943 LOT COM N 33° 08' 55" W 41 FT FROM MOST S COR OF LOT 1 BLK 7 TH NW ON SW LINE OF SD LOT 41.01 FT TO NW COR OF SD LOT TH N 80° 34' 05" E 130 FT ... SEE MAPBOOK FOR MISSING PORTION ... LOT 1 BLK 7

DESIGNER

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

APPLICABLE CODES
CBC 2019, CEC 2019, CMC 2019, 2019 CPC, 2019 CEC, 2019 CFC, 2019 GBSC, 2020 LAMC

VICINITY MAP



ZONING INFORMATION

| | |
|--|------------------------------|
| LOT COVERAGE (BUILDING FOOTPRINT) | 9524 = 70% |
| FIRST FLOOR AREA (SQ.FT.) | 6435 SQ.FT. |
| SECOND FLOOR | 7791 SQ.FT. |
| THIRD FLOOR | 4573 SQ.FT. |
| TOTAL BUILDING AREA | 18799 SQ.FT. |
| LANDSCAPING | 1408 SQ.FT. = 10.2% |
| PARKING REQUIRED | 17 RESIDENTIAL, 1 COMMERCIAL |
| PARKING PROVIDED | 21 RESIDENTIAL, 3 COMMERCIAL |
| PROVIDED COMMON OPEN SPACE | ROOF DECK LEVEL = 2188 SQ.FT |
| 24" BOX TREES REQUIRED | 4 |
| 24" BOX TREES PROVIDED | 6 |
| ALLOWABLE BUILDING HEIGHT (MAX.) | 45' |
| PROPOSED BUILDING HEIGHT | 44'-6" |
| ALLOWABLE BUILDING HEIGHT WITHIN 50FT FROM R-1 | 25' |
| WITH INCENTIVES | 25'-12'=37' |
| PROPOSED BUILDING HEIGHT WITHIN 50FT FROM R-1 | 37' |
| ALLOWABLE BUILDING HEIGHT FROM 50FT TO 99FT FROM R-1 | 33' |
| WITH INCENTIVES | 33'-12'=45' |
| PROPOSED BUILDING HEIGHT FROM 50FT TO 99FT FROM R-1 | 44'-6" |
| HARDSCAPING | 2764 SQ.FT. = 19.8% |
| ALLOWABLE FAR C-1.5 - 1VL = 1.5:1 | 1.5: 1 = 14,871 |
| PROJECT FAR = 18799 / 9914 = 1.9 | 1.9 :1 = 18,799 |

SETBACKS CALCULATION

| ELEVATION | MIN. / REQUIRED | PROJECT / PROVIDED |
|-------------------|-----------------|--------------------|
| NORTH (SIDE YARD) | 5' + 1' = 6' | 7'-8" |
| WEST (FRONT YARD) | 10'-0" | 1'-6" |
| SOUTH (SIDE YARD) | 5' + 1' = 6' | 5'-6" |
| EAST (REAR YARD) | 15'-0" | 15'-0" |

TREE SCHEDULE

| LOCATOINS | (E) TREES TO REMAIN | (E) TREES TO BE REMOVED | (N) TREES |
|------------------|---------------------|-------------------------|-----------|
| NORTHEAST CORNER | 1 | 0 | 1 |
| SOUTH SIDE YARD | 0 | 0 | 3 |
| FRONT YARD | 0 | 0 | 4 |
| NORTH SIDE YARD | 0 | 0 | 2 |
| ROOF DECK | 0 | 0 | 3 |
| TOTAL | 1 | 0 | 13 |

UNIT SUMMARY

| UNIT | STUDIO | 1 BED. | 2 BED. | # OF BATH | FLOOR AREA S.F. | CONTRIB. PRIVATE OPEN SPACE | HABITABLE ROOMS FOR OPEN SPACE | REQUIRED COMMON OPEN SPACE | # OF PARKING |
|--------------|----------|----------|----------|-----------|-----------------|-----------------------------|--------------------------------|----------------------------|--------------|
| 101 | | | 2 | 2.5 | 1469 | 50 | 3 | 125 | 2.0 |
| 102 | | 1 | | 1.5 | 1270 | 50 | 2 | 100 | 1.0 |
| 103 | | 1 | | 1.5 | 1009 | 0 | 2 | 100 | 1.0 |
| 104 | | 1 | | 1.5 | 837 | 0 | 2 | 100 | 1.0 |
| 201 | | | 2 | 2.5 | 1469 | 50 | 3 | 125 | 2.0 |
| 202 | | 1 | | 1.5 | 1270 | 50 | 2 | 100 | 1.0 |
| 203 | | 1 | | 1.5 | 1009 | 0 | 2 | 100 | 1.0 |
| 204 | | 1 | | 1.5 | 837 | 0 | 2 | 100 | 1.0 |
| 205 | 1 | | | 1 | 493 | 0 | 2 | 100 | 1.0 |
| 206 | | 1 | | 1 | 710 | 0 | 2 | 100 | 1.0 |
| 207 | | | 2 | 2.5 | 1115 | 0 | 3 | 125 | 2.0 |
| 301 | | | 2 | 2.5 | 1380 | 50 | 3 | 125 | 2.0 |
| 302 | | | 2 | 2 | 1155 | 0 | 3 | 125 | 2.0 |
| 303 | | | 2 | 2.5 | 1098 | 0 | 3 | 125 | 2.0 |
| GUEST PARK. | | | | | | | | | 1.0 |
| HALLWAY | | | | | 2146 | | | | |
| LOBBY/TRASH | | | | | 461 | | | | |
| RESIDENTIAL | | | | | 17728 | | | | 21.0 |
| RETAIL | | | | | 1071 | | | | 3.0 |
| TOTAL | 1 | 7 | 6 | | 18799 | 250.0 | | 1550 | 24.0 |

EARTHWORK VOLUME
Fill: 0.0 CY
Cut: 80050 CF = 2965 CY
IMPORT: 0.0 CY
EXPORT: 2965 CY

GENERAL NOTES
1. THIS PROJECT IS PRIVATELY FUNDED NOT RECEIVING TAX CREDIT INCENTIVE.
2. THE FOLLOWING USES SHALL BE PROHIBITED:
A. ELECTRONIC MESSAGE DISPLAY SIGNS OR OTHER SIMILAR SIGNS WERE CONTENT IS DISPLAYED ELECTRONICALLY,
B. POLE AND PYLON SIGNS PER Q CONDITION,
ORDINANCE NO. 181062.

PROJECT REQUESTS
1. OFF-MENU INCENTIVE TO ALLOW INCREASE 12 FOOT TRANSITIONALHEIGHT INCREASE.
2. OFF-MENU INCENTIVE TO INCREASE FAR 27% TO ALLOW 1.9:1 FAR IN LIEU OF 1.5:1 REQUIREMENT.
3. WAIVER OF DEVELOPMENT STANDARD TO ALLOW 1.5-FOOT IN LIEU OF 10-FOOT FRONTYARD SETBACK. RELIEF OF 8.5 FEET.
4. WAIVER OF DEVELOPMENT STANDARD TO ALLOW 5.5 FOOT SOUTH SIDEYARD SETBACK IN LIEU OF 7 FOOT REQUIREMENT. RELIEF OF 1.5 FEET.

BA-VA
BAYA LLC.
info@ba-va.com

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

DRAWN:

APPROVED:

JOB: 2020-04

SHEET: **A-0**

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF BAYA-VA LLC.

PROJECT ADDRESS:

3067 N. Delevan Drive
 4002 N. Verdugo Road
 4006 N. Verdugo Road

APN# 5459027035
 APN# 5459027002

Zoning [Q] C1.5 -1VL CDO

Lot Size Irregular 13696.2 sq.ft. = 0.315 Acre

Mixed Use Project:
 Maximum Allowable Residential Density per AB2334 One Unit x 400 sq.ft. lot Area
 13696.2 sq.ft. / 400 = 34.24 units = 35 unit

Proposed Number of Units 14
 Units set aside Very Low Income Family Affordable Units Percentage = 7.14%

Units set Aside 7.14 % of total units 2

Parking Option 1 Pursuant to LAMC 12.22A25D1
 0-1 Bedroom 1 space 8 Units - 8 Parking Spaces Required
 2-3 Bedroom 1.5 spaces 6 Units - 9 Parking Spaces Required

| REQUIRED BICYCLE PARKING: | Long Term | Short Term |
|---------------------------|-----------|------------|
| For Residential: | 14 | 2 |
| For Commercial: | 2 | 2 |

| PROVIDED BICYCLE PARKING: | Long Term | Short Term |
|---------------------------|-----------|------------|
| For Residential: | 14 | 2 |
| For Commercial: | 2 | 2 |

- SEC. 12.13.5. "C1.5" LIMITED COMMERCIAL ZONE**
- Any use permitted in the C1 Limited Commercial Zone, provided that all regulations and limitations of said C1 zone are complied with except as provided in this section. Any single-family dwelling, two-family dwelling or apartment house use permitted in the R4 Multiple Dwelling Zone provided that all regulations of said R4 zone are complied with except as provided in this section.
- SED. Area**
- Front Yard. There shall be a front yard of not less than 10 feet in depth.
 - Side and Rear Yards. Same as required in the C1 Zone. (Section 12.13 C.2. and 3.)

LADBS PROJECT DATA

Mixed use Project.

Occupancy Group: R-2 / S-2/ M

| Occupancy Classification | See Footnotes | Type of Construction | Allowable height |
|--------------------------|------------------------------|----------------------|------------------|
| M | S = Sprinkler | V-A | 70 |
| R-2 | S13R ,In Accordance 903.2.8. | V-A | 70 |
| S-2 | S = Sprinkler | V-A | 70 |

| Occupancy Classification | See Footnotes | Type of Construction | Allowable Stories |
|--------------------------|------------------------------|----------------------|-------------------|
| M | S = Sprinkler | V-A | 4 |
| R-2 | S13R ,In Accordance 903.2.8. | V-A | 4 |
| S-2 | S = Sprinkler | V-A | 5 |

| Occupancy Classification | See Footnotes | Type of Construction | Allowable Area Factor |
|--------------------------|---------------|----------------------|-----------------------|
| M | SM | V-A | 42,000 |
| R-2 | SM | V-A | 36,000 |
| S-2 | SM | V-A | 63,000 |

Required Separation of Occupancies (Hours) Table 508.4

| Occupancy | Hours |
|-----------|-------|
| R-2 / M | 1 hr. |
| R-2 / S2 | 1 hr. |
| M / S2 | 1 hr. |

Project Data:

P-1 Level 9251 Sq.Ft, 21 Parking Space, 1 Van Accessible , 13 Standard, 2 Tandem, 5 small Car , 14 Long Term Bicycle Parking

First floor 1071 Sq.Ft. Commercial(Retail), 4 Residential Units, 1 Van Accessible Parking, 2 standard Parking, 4 Short term Bicycle Parking, 2 Long term Bicycle Parking

Second floor 7 residential Units

Third Floor 3 Residential Units, 2792 Sq.ft. Rooftop Common Open Space and Landscaping

Building Height within 50' From R-1 Zone (east side of building) 2 story, 36'-6" West Side of the Building, 3 story, 37'-4"

Exit Analysis
 First Floor
 1071 sq.ft Retail , Occupant Load Factor = 60, Occupant Load = 18
 Commercial Parking = 2145 sq.ft., Occupant Load Factor = 200, Occupant Load 11

TABLE 1004.5
 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

| Function of Space | Occupant load Factor |
|-------------------|----------------------|
| Mercantile | 60 gross |
| Parking Garages | 200 gross |
| Residential | 200 gross |

TABLE 1006.3.2
 MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY

| Occupant Load x Story | Min. Number of Exit x Story |
|-----------------------|-----------------------------|
| 1-500 | 2 |

1011.2 Width and capacity. The required capacity of stairways shall be determined as specified in Section 1005.1, but the minimum width shall be not less than 44 inches (1118 mm). See Section 1009.3 for accessible means of egress stairways.

1005.3.1 Stairways. The capacity, in inches, of means of egress stairways shall be calculated by multiplying the occupant load served by such stairways by a means of egress capacity factor of 0.3 inch (7.6 mm) per occupant. Where stairways serve more than one story, only the occupant load of each story considered individually shall be used in calculating the required capacity of the stairways serving that story.

1009.3.2 Stairway width. Stairways shall have a clear width of 48 inches (1219 mm) minimum between handrails..

Exceptions:
 1. The clear width of 48 inches (1219 mm) between handrails is not required in buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2



| REVISION | BY |
|----------|----|
| 12/09/20 | |

OWNER
 KAS VERDUGO LLC
 2147 HAVEN STREET
 GLENDALE CA 91208

PROJECT
 MIXED USE PROJECT
 14 RESIDENTIAL UNITS
 4006 & 4002 VERDUGO ROAD
 LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

DRAWN:

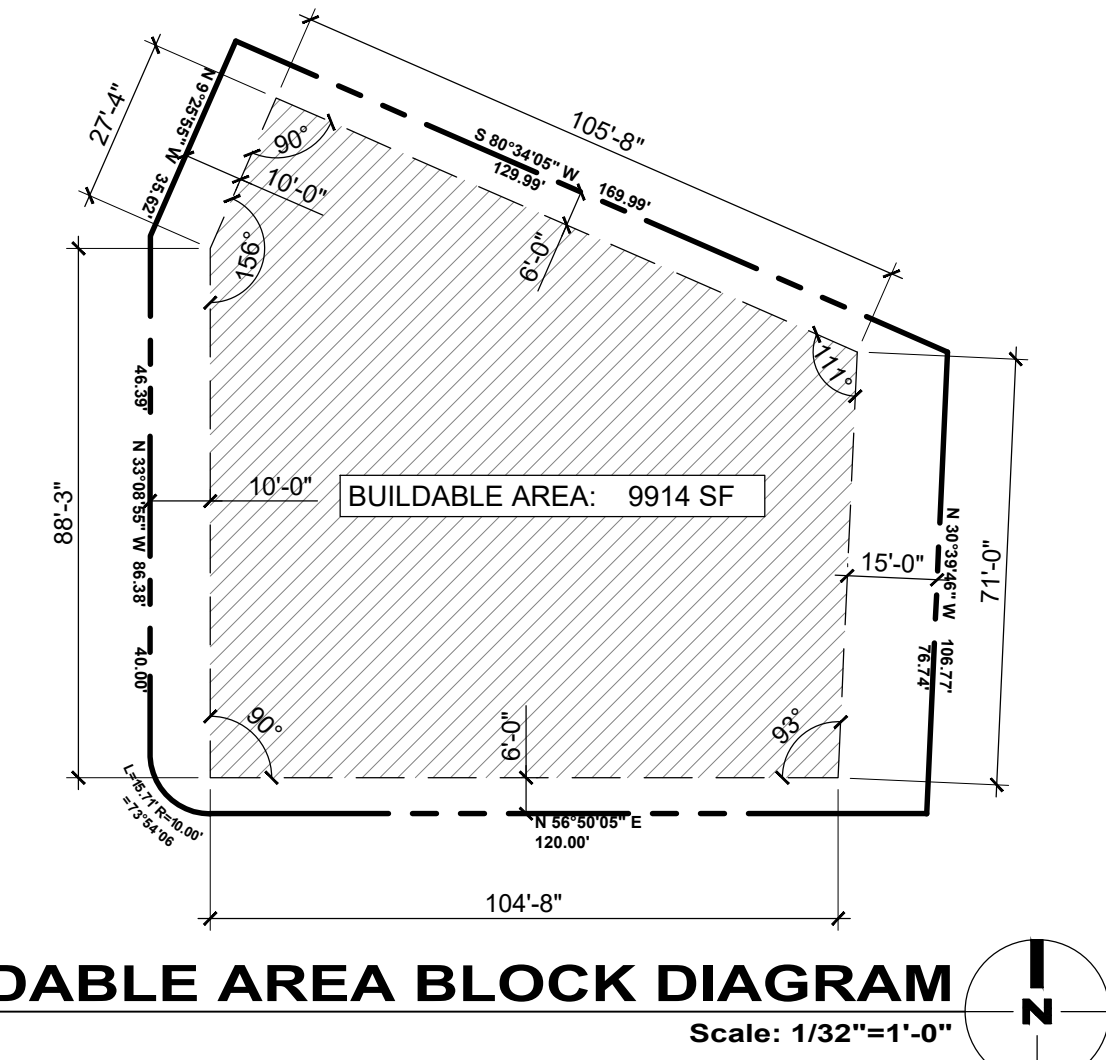
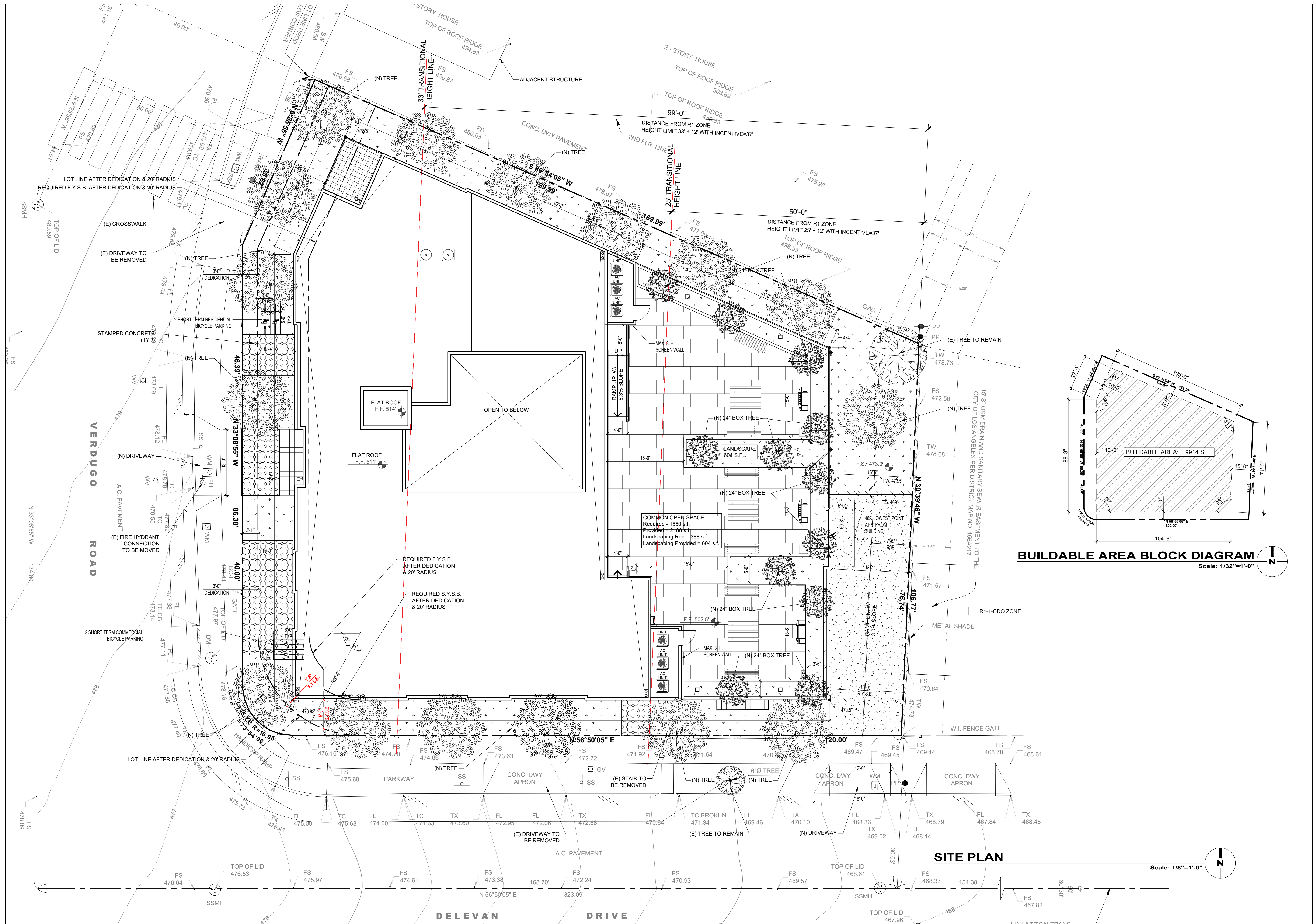
APPROVED:

JOB: 2020-04

SHEET:

A-0.1

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITHIN ARE AND SHALL REMAIN THE PROPERTY OF BAVA-VA LLC

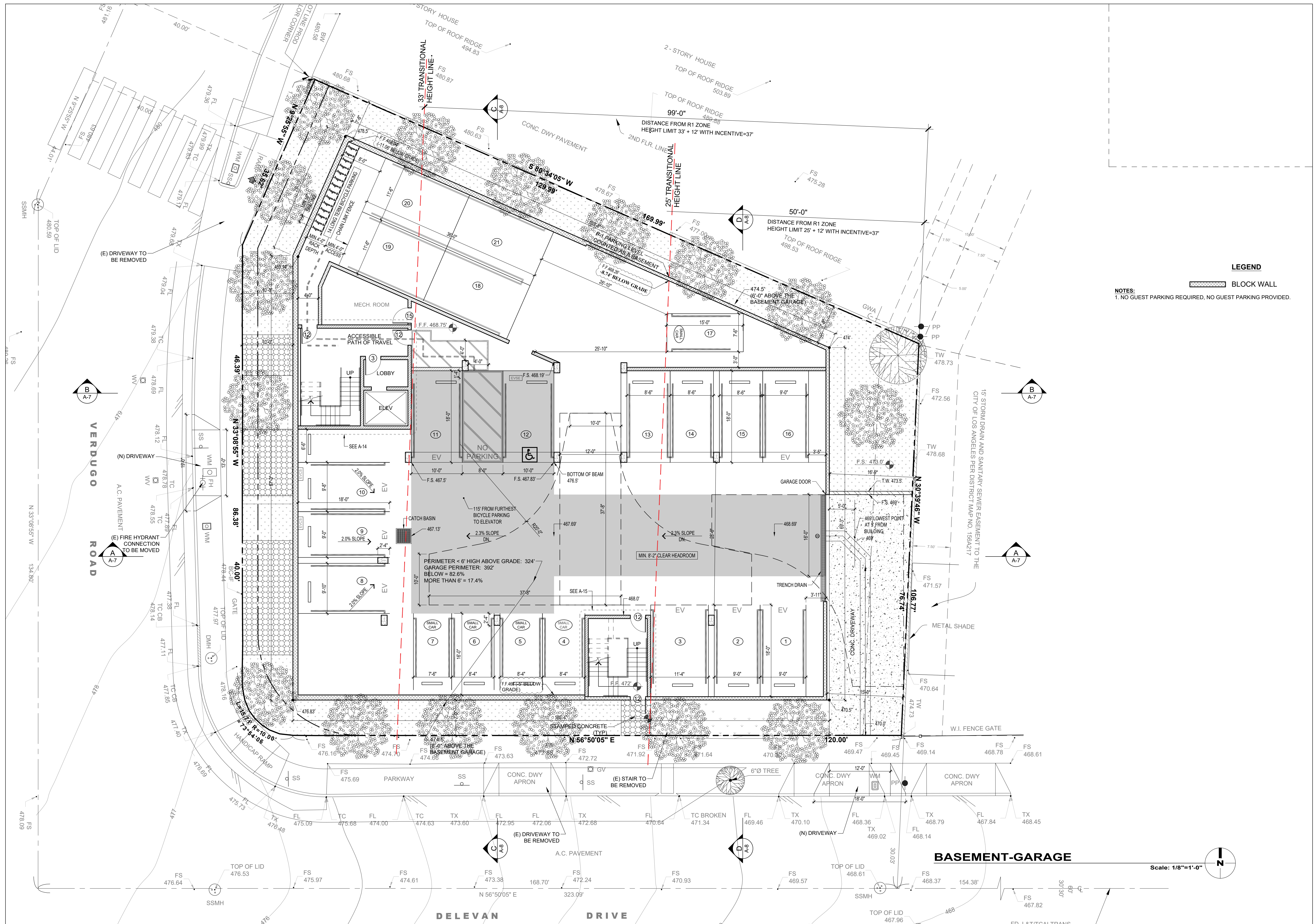


SITE PLAN

Scale: 1/8"=1'-0"

| | |
|---|----|
| BA-VA BAYA LLC. info@ba-va.com | |
| REVISION | BY |
| 12/09/20 | |
| OWNER | |
| KAS VERDUGO LLC 2147 HAVEN STREET GLENDALE CA 91208 | |
| PROJECT | |
| MIXED USE PROJECT 14 RESIDENTIAL UNITS 4006 & 4002 VERDUGO ROAD LOS ANGELES CA 90065 | |
| DRAWING TITLE | |
| DATE: 8/29/2024 | |
| DRAWN: | |
| APPROVED: | |
| JOB: 2020-04 | |
| SHEET: | |
| A-1 | |

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREPARING ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF BA-VA LLC.

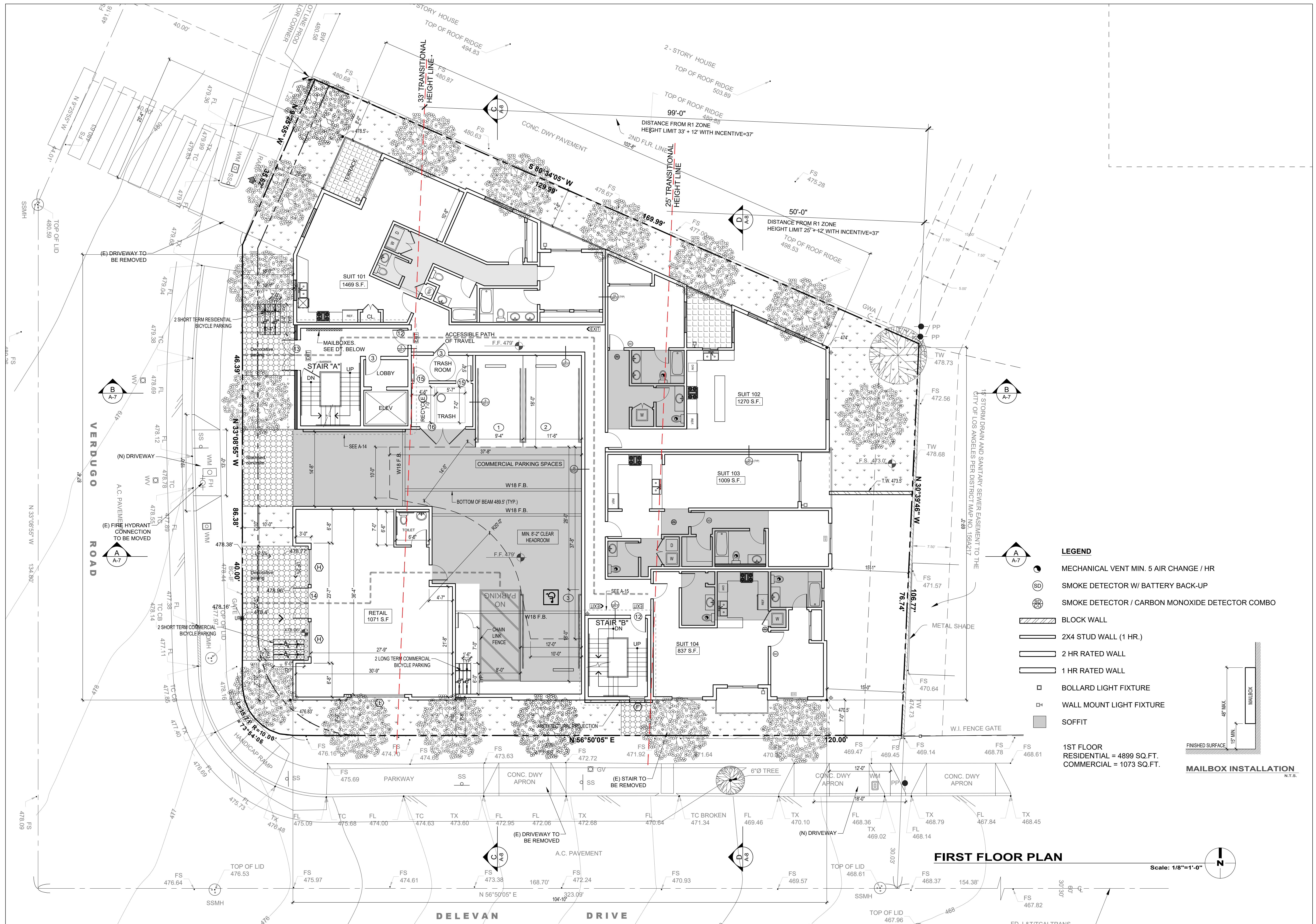


LEGEND
 [Hatched Box] BLOCK WALL

NOTES:
 1. NO GUEST PARKING REQUIRED, NO GUEST PARKING PROVIDED.

| | |
|---|-----------|
| BA-VA BAYA LLC. info@ba-va.com | |
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| 12/09/20 | |
| OWNER | |
| KAS VERDUGO LLC 2147 HAVEN STREET GLENDALE CA 91208 | |
| PROJECT | |
| MIXED USE PROJECT 14 RESIDENTIAL UNITS 4006 & 4002 VERDUGO ROAD LOS ANGELES CA 90065 | |
| DRAWING TITLE | |
| BASEMENT-GARAGE | |
| DATE: | 8/29/2024 |
| DRAWN: | |
| APPROVED: | |
| JOB: | 2020-04 |
| SHEET: | A-2 |

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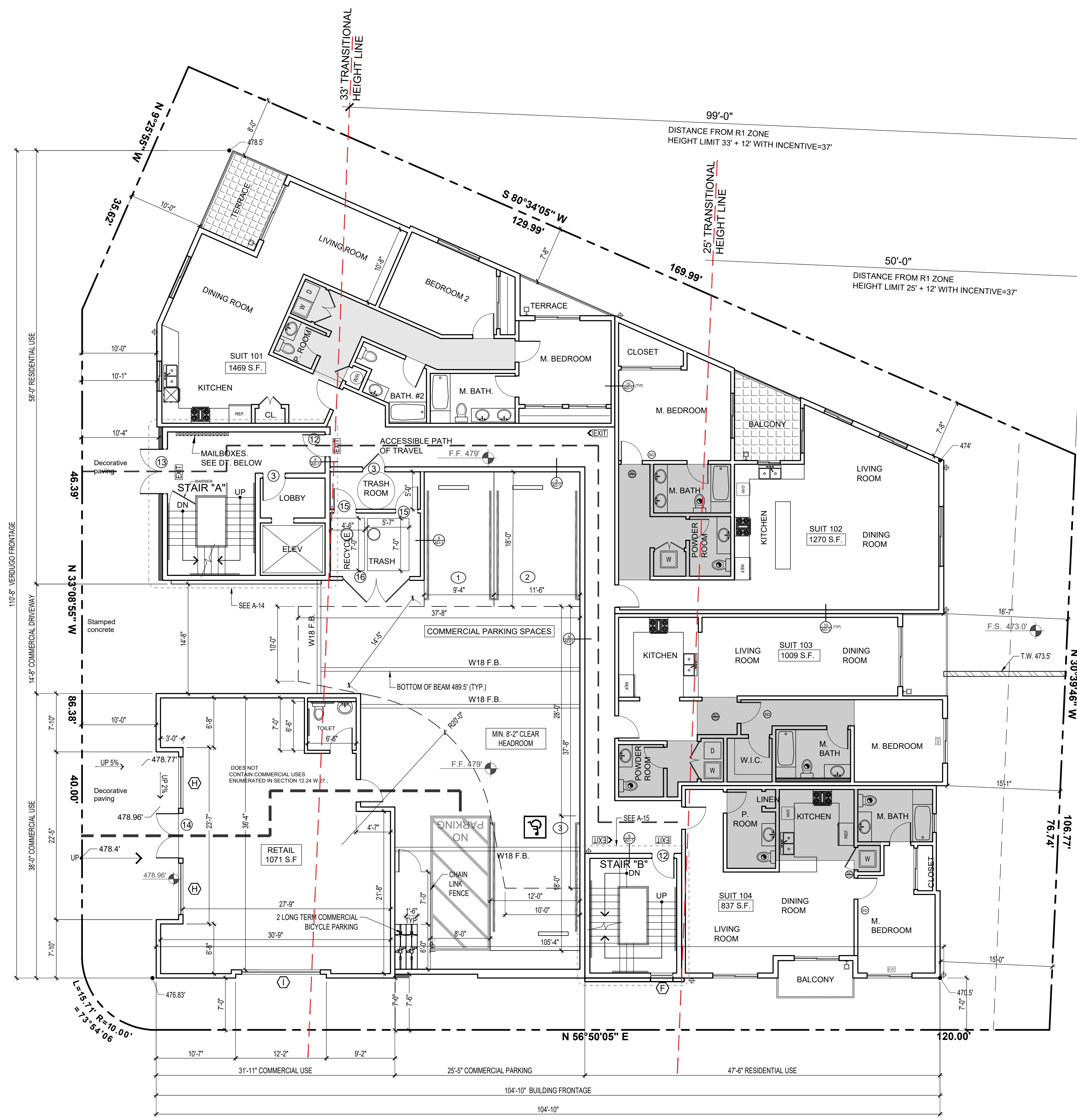


- LEGEND**
- MECHANICAL VENT MIN. 5 AIR CHANGE / HR
 - SMOKE DETECTOR W/ BATTERY BACK-UP
 - SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO
 - BLOCK WALL
 - 2X4 STUD WALL (1 HR.)
 - 2 HR RATED WALL
 - 1 HR RATED WALL
 - BOLLARD LIGHT FIXTURE
 - WALL MOUNT LIGHT FIXTURE
 - SOFFIT
- 1ST FLOOR
RESIDENTIAL = 4899 SQ.FT.
COMMERCIAL = 1073 SQ.FT.
- MAILBOX INSTALLATION**
N.T.S.

FIRST FLOOR PLAN
Scale: 1/8"=1'-0"

| | |
|---|-----------|
| BA-VA BAYA LLC. info@ba-va.com | |
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| 12/09/20 | |
| OWNER | |
| KAS VERDUGO LLC 2147 HAVEN STREET GLENDALE CA 91208 | |
| PROJECT | |
| MIXED USE PROJECT 14 RESIDENTIAL UNITS 4006 & 4002 VERDUGO ROAD LOS ANGELES CA 90065 | |
| DRAWING TITLE | |
| FIRST FLOOR PLAN | |
| DATE: | 8/29/2024 |
| DRAWN: | |
| APPROVED: | |
| JOB: | 2020-04 |
| SHEET: | A-3 |

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREPARING ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF BA-VA LLC



Project Commercial component

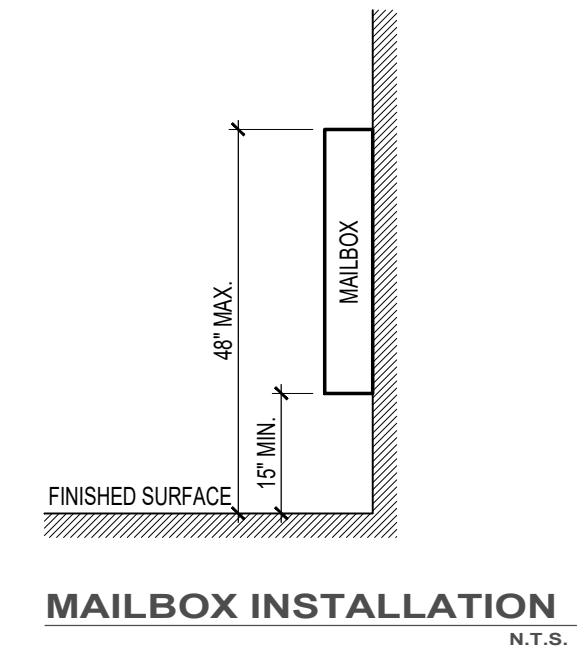
| | |
|-----------------------------------|---------------------------------------|
| Facing Verdugo Road | |
| L = 53' - 2" | = 658.1 s.f. |
| Openings | |
| Garage door W = 14'-8" | = 161.3 s.f. |
| Commercial Store Front = 21'-1" | = 157.2 s.f. Total Opening Provided |
| Total Area | = 318.5 s.f. (48.4%) Required Opening |
| Total Required Area | = 460.7 s.f. (70%) |
| Facing Delevan Drive | |
| L = 57' - 4" | = 908.3 s.f. |
| Openings | |
| Commercial Store Front W = 10'-6" | = 74.5 s.f. |
| Total Opening Provided | = 74.5 s.f. (8.2%) |
| Total Required Opening | = 227.1 s.f. (25%) |

Verdugo road , Bldg Frontage = 111'
Commercial use Verdugo Frontage = 38' = 34.2%

Delevan Drive , Bldg. Frontage = 105'
Commercial use Delevan Frontage = 31'-10"= 30%

- LEGEND**
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 - WALL MOUNT LIGHT FIXTURE
 - SOFFIT

1ST FLOOR
RESIDENTIAL = 4899 SQ.FT.
COMMERCIAL = 1073 SQ.FT.



FIRST FLOOR PLAN

Scale: 1/8"=1'-0"

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|----------|----|
| 12/09/20 | |

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

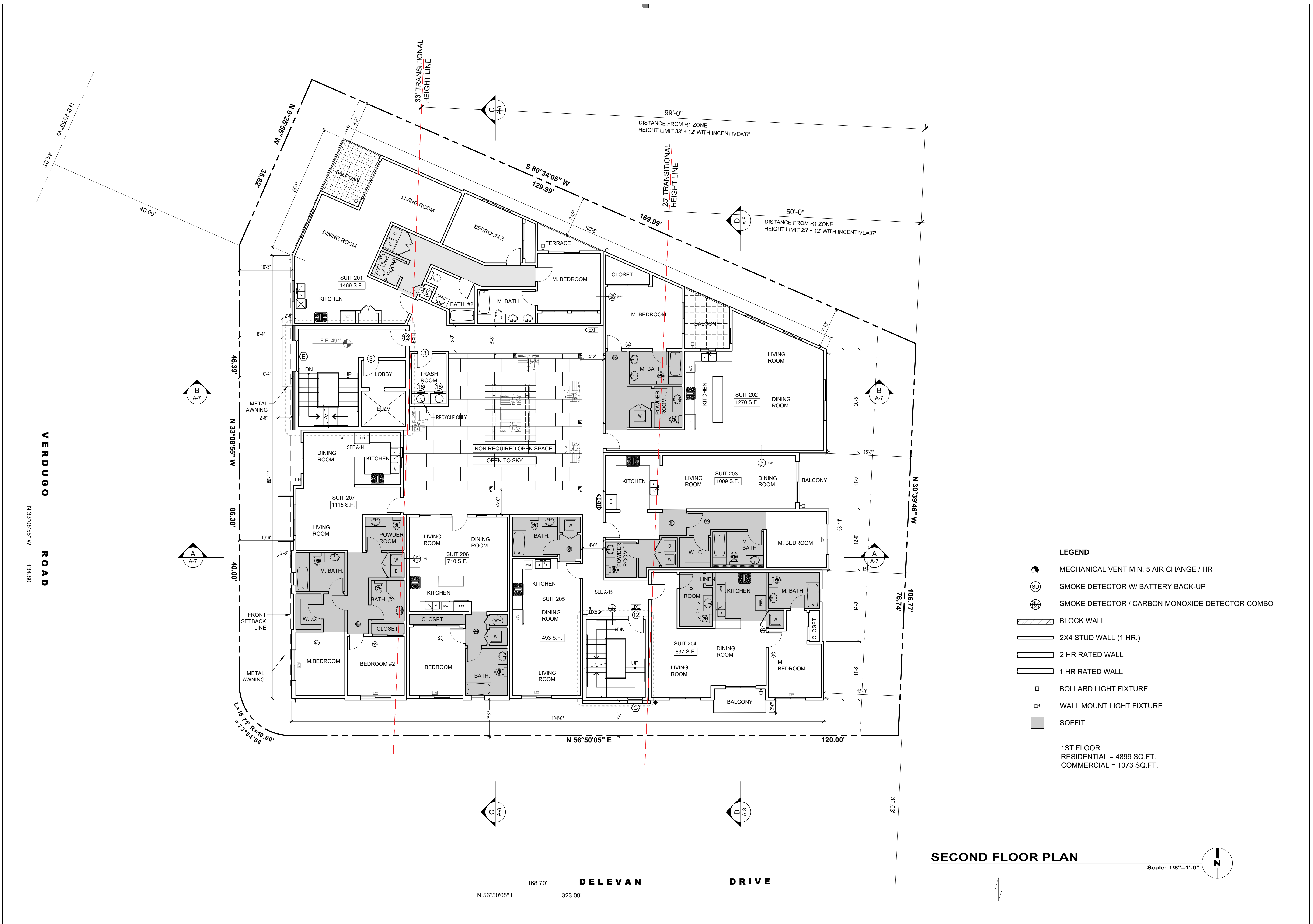
PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

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|-----------|-----------|
| DATE: | 8/29/2024 |
| DRAWN: | |
| APPROVED: | |
| JOB: | 2020-04 |
| SHEET: | |

A3.1

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 - SOFFIT
- 1ST FLOOR
RESIDENTIAL = 4899 SQ.FT.
COMMERCIAL = 1073 SQ.FT.

SECOND FLOOR PLAN Scale: 1/8"=1'-0"

| REVISION | BY |
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| 12/09/20 | |

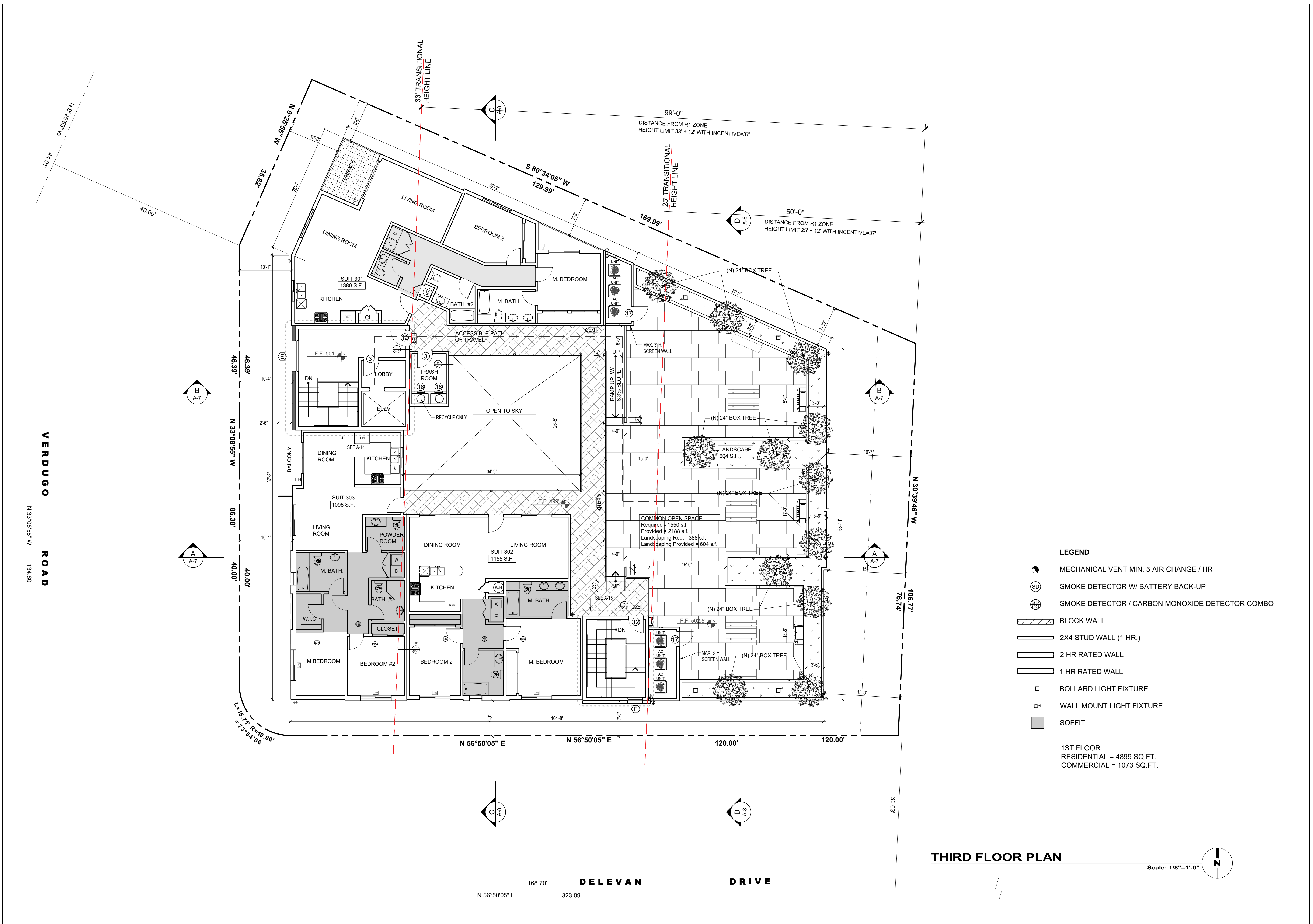
OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

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|-----------|-----------|
| DATE: | 8/29/2024 |
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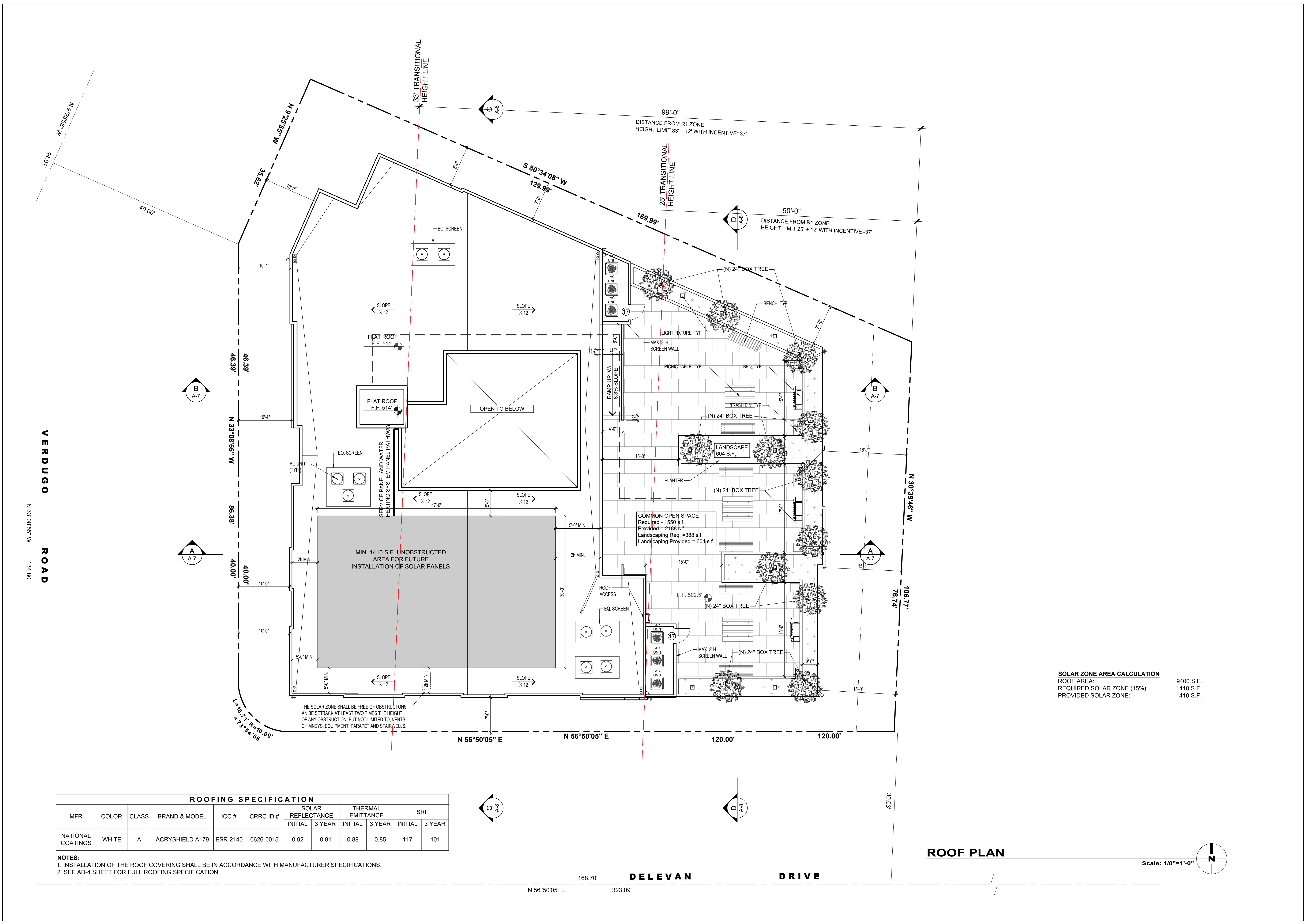
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 - WALL MOUNT LIGHT FIXTURE
 - SOFFIT
- 1ST FLOOR
RESIDENTIAL = 4899 SQ.FT.
COMMERCIAL = 1073 SQ.FT.

THIRD FLOOR PLAN

Scale: 1/8"=1'-0"

| | |
|---|-----------|
| BA-VA BAYA LLC. info@ba-va.com | |
| REVISION | BY |
| 12/09/20 | |
| OWNER | |
| KAS VERDUGO LLC 2147 HAVEN STREET GLENDALE CA 91208 | |
| PROJECT | |
| MIXED USE PROJECT 14 RESIDENTIAL UNITS 4006 & 4002 VERDUGO ROAD LOS ANGELES CA 90065 | |
| DRAWING TITLE | |
| THIRD FLOOR PLAN | |
| DATE: | 8/29/2024 |
| DRAWN: | |
| APPROVED: | |
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| ROOFING SPECIFICATION | | | | | | | | | | | |
|-----------------------|-------|-------|-----------------|----------|-----------|-------------------|--------|-------------------|--------|---------|--------|
| MFR | COLOR | CLASS | BRAND & MODEL | ICC # | CRRC ID # | SOLAR REFLECTANCE | | THERMAL EMITTANCE | | SRI | |
| | | | | | | INITIAL | 3 YEAR | INITIAL | 3 YEAR | INITIAL | 3 YEAR |
| NATIONAL COATINGS | WHITE | A | ACRYSHIELD A179 | ESR-2140 | 0626-0015 | 0.92 | 0.81 | 0.88 | 0.85 | 117 | 101 |

NOTES:
 1. INSTALLATION OF THE ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
 2. SEE AD-4 SHEET FOR FULL ROOFING SPECIFICATION

SOLAR ZONE AREA CALCULATION
 ROOF AREA: 9400 S.F.
 REQUIRED SOLAR ZONE (15%): 1410 S.F.
 PROVIDED SOLAR ZONE: 1410 S.F.

ROOF PLAN

Scale: 1/8"=1'-0"

BA-VA
 BAVA LLC.
 info@ba-va.com

OWNER
 KAS VERDUGO LLC
 2147 HAVEN STREET
 GLENDALE CA 91208

PROJECT
 MIXED USE PROJECT
 14 RESIDENTIAL UNITS
 4006 & 4002 VERDUGO ROAD
 LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

REVISION

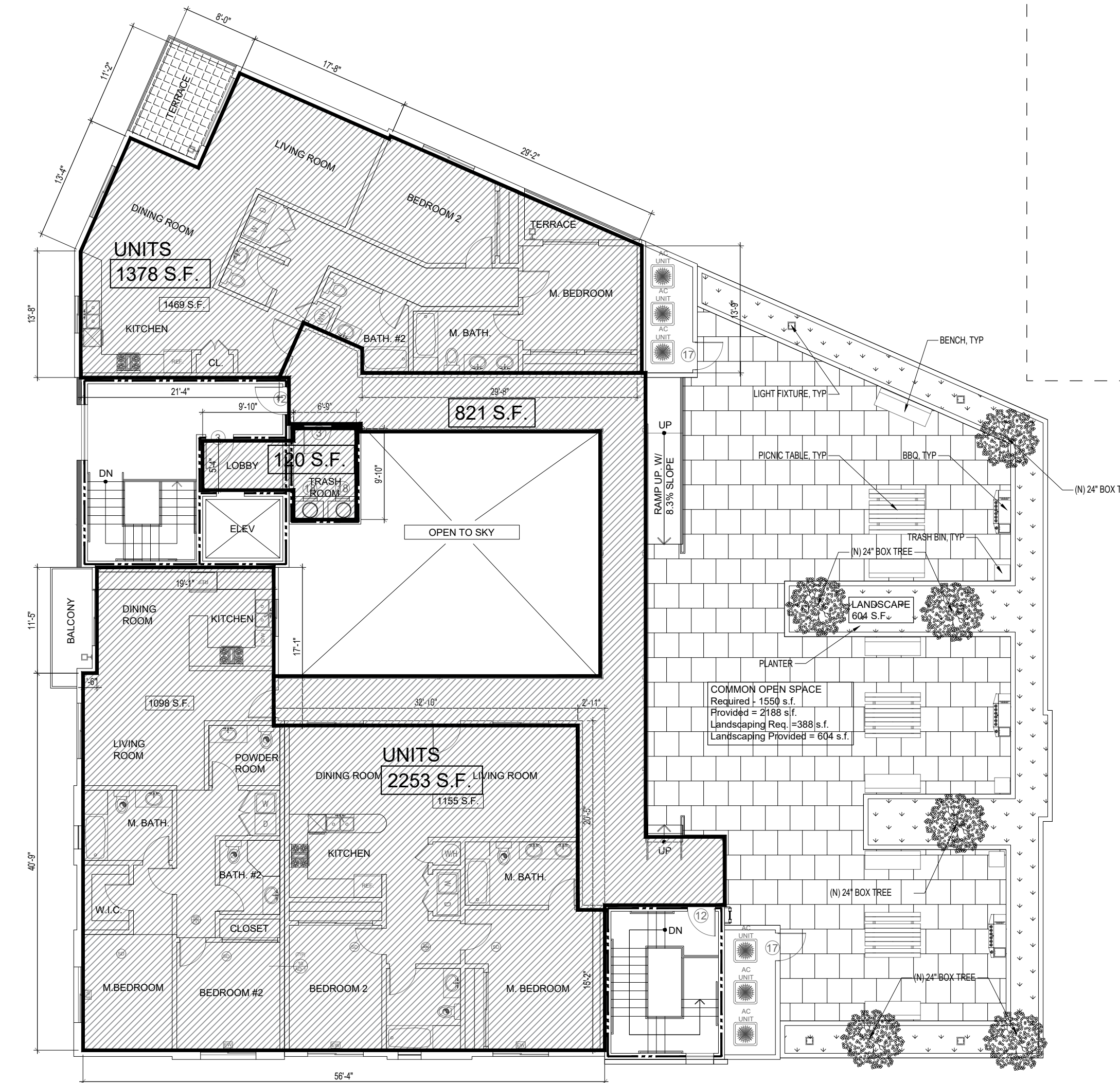
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SHEET:
 A-6

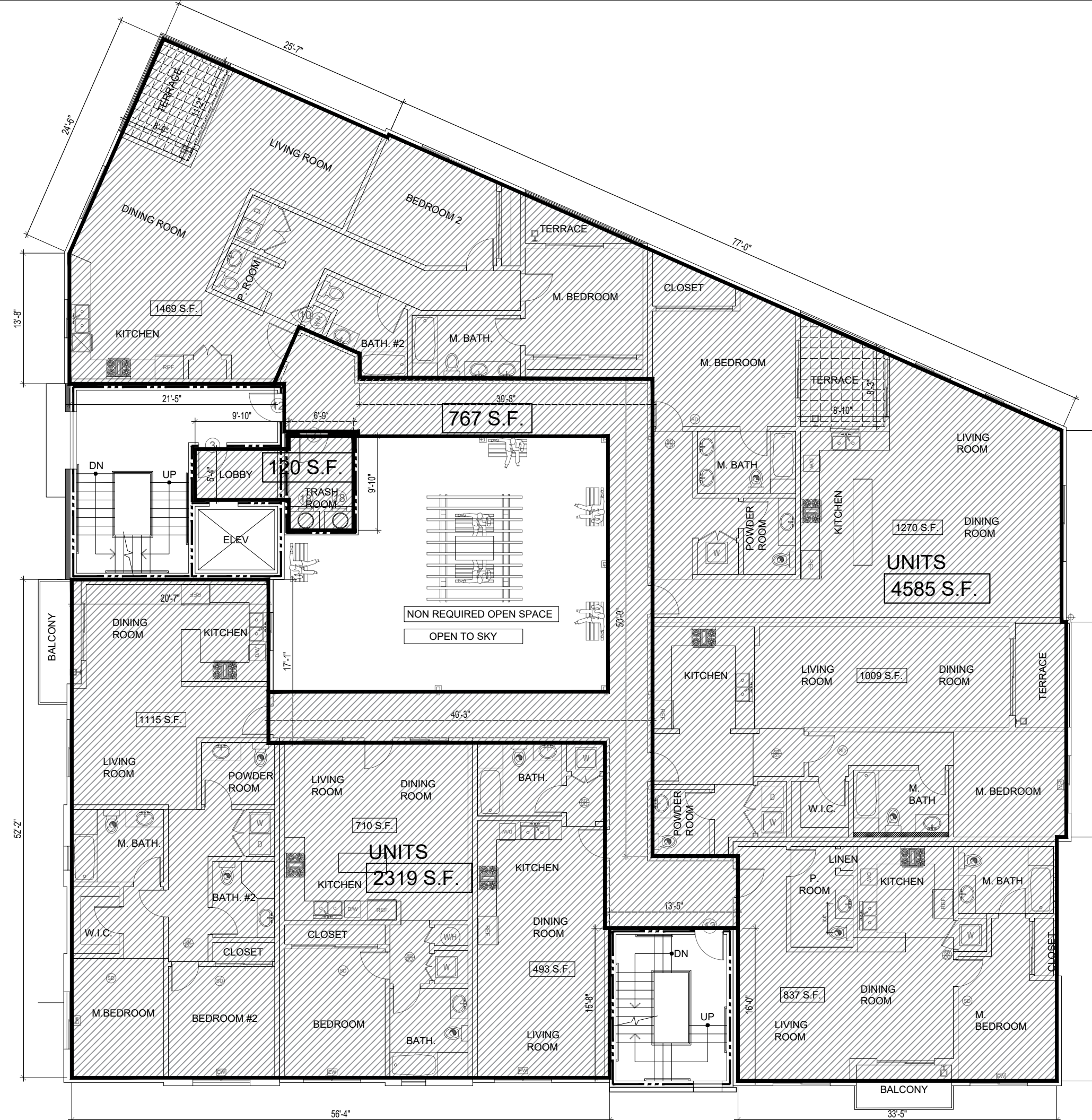
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FIRST FLOOR PLAN
Scale: 1/8"=1'-0"



THIRD FLOOR PLAN
Scale: 1/8"=1'-0"



SECOND FLOOR PLAN
Scale: 1/8"=1'-0"

AREA LEGEND

- FLOOR AREA
- COMMON OPEN SPACE
- PRIVATE CONTRIBUTING OPEN SPACE
- LANDSCAPE

FLOOR AREA TABULATION

| | |
|-----------------------------------|------------|
| FIRST FLOOR: | |
| RETAIL: | 1071 S.F. |
| RESIDENTIAL: 4585+558+221= | 5364 S.F. |
| SECOND FLOOR: | |
| RESIDENTIAL: 4585+2319+767+120= | 7791 S.F. |
| THIRD FLOOR: | |
| RESIDENTIAL: 1380+2253++820+120 = | 4573 S.F. |
| TOTAL: RETAIL: | 1071 S.F. |
| RESIDENTIAL: | 17728 S.F. |

COMMON OPEN SPACE

| | |
|---|-----------|
| REQUIRED: | 1550 S.F. |
| PROVIDED: (3RD FLOOR TERRACE) | 2188 S.F. |
| LANDSCAPING REQUIRED: | 388 S.F. |
| LANDSCAPING PROVIDED: (3RD FLOOR TERRACE) | 604 S.F. |

PRIVATE OPEN SPACE

| | |
|-------------------------------|----------|
| PROVIDED: (BALCONY & TERRACE) | 976 S.F. |
| CONTRIBUTING: | 250 S.F. |

NOTES:
OPEN SPACE AREAS SHOULD NOT HAVE SLOPES EXCEEDING 10%

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| 12/09/20 | |

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

DRAWN:

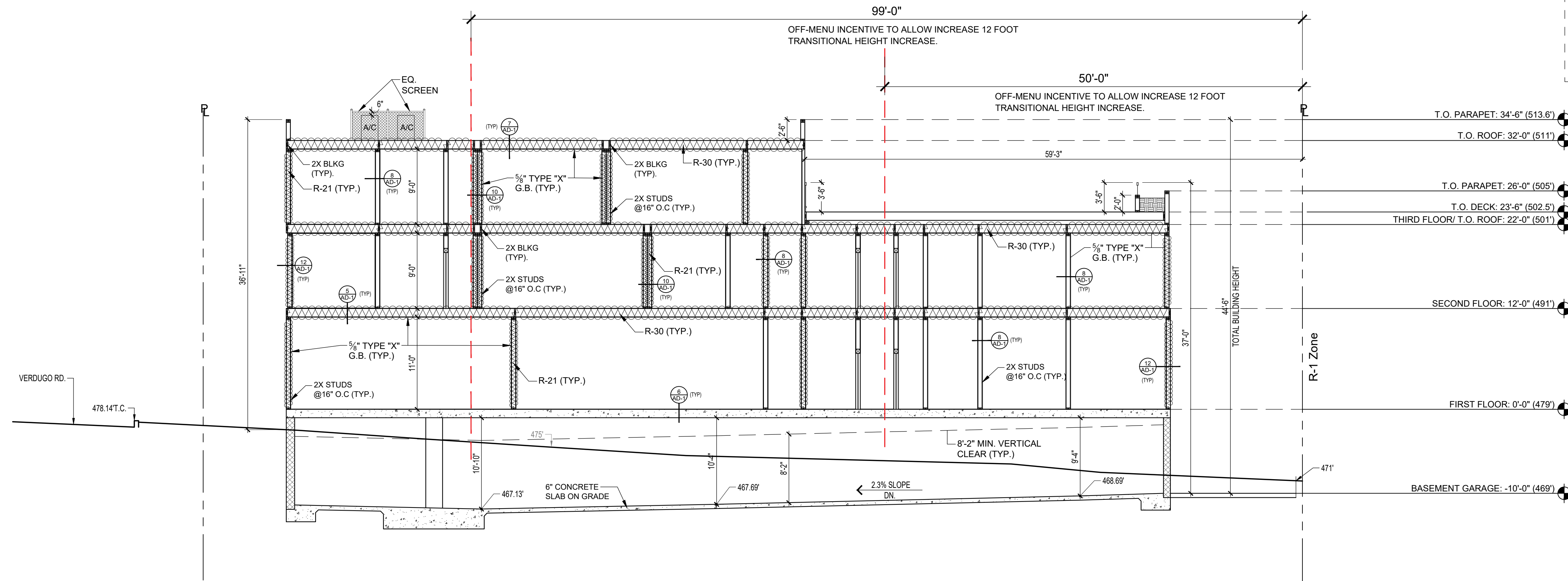
APPROVED:

JOB: 2020-04

SHEET:

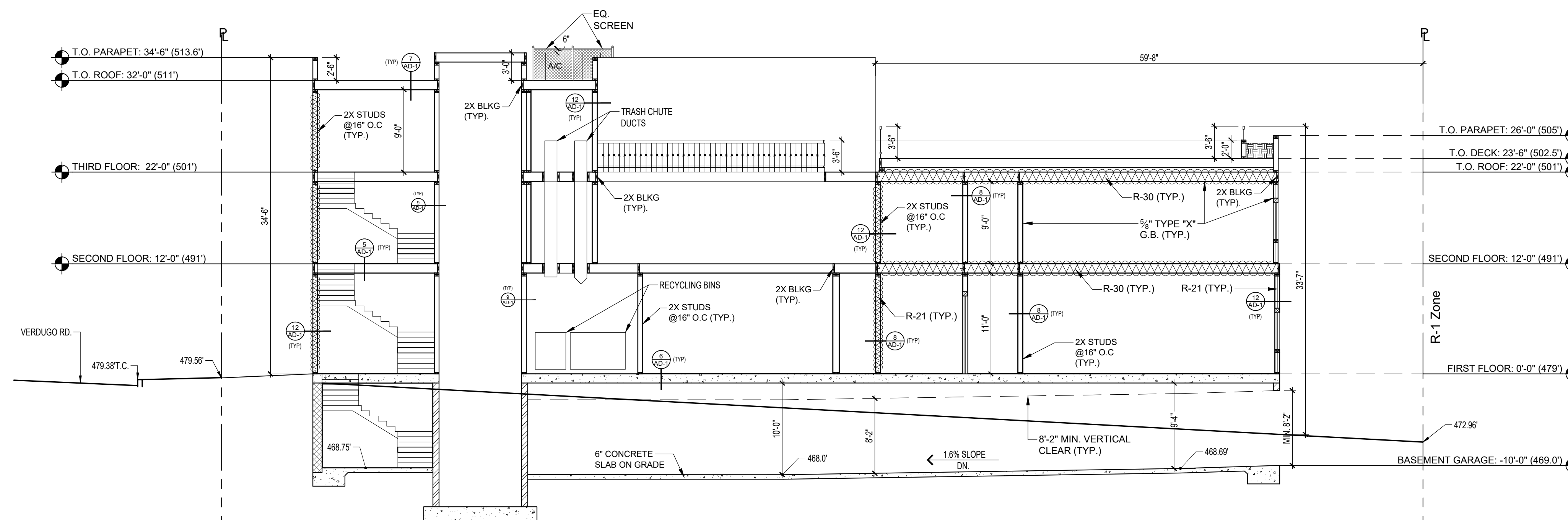
A-6.1

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SECTION A

Scale: 1/8"=1'-0"



SECTION B

Scale: 1/8"=1'-0"

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| 12/09/20 | |

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KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
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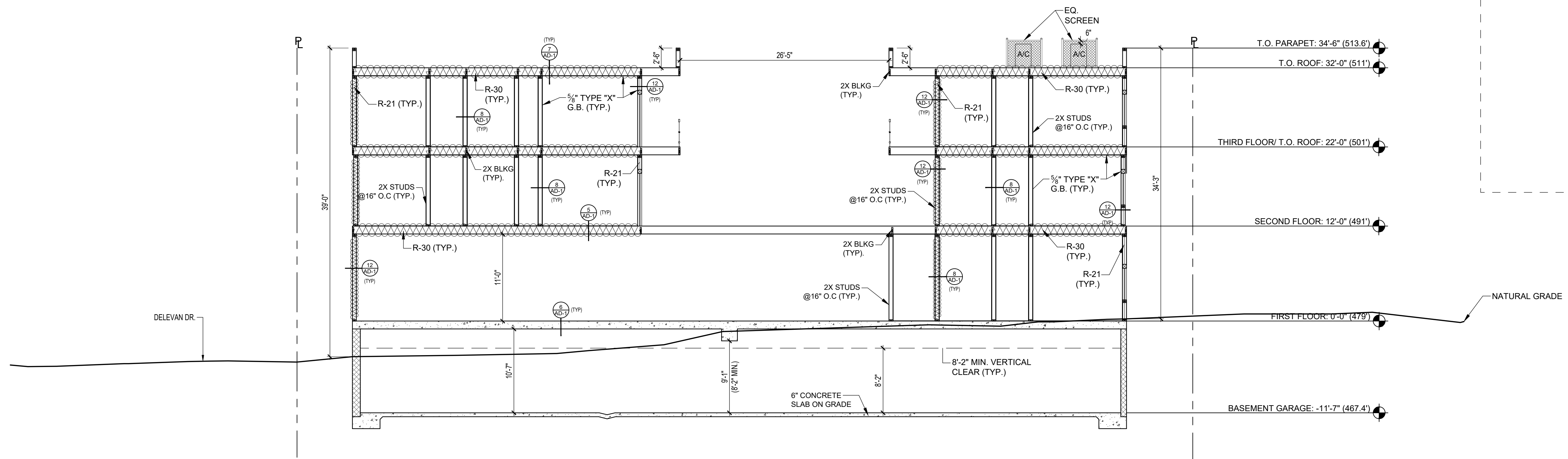
DATE: 8/29/2024

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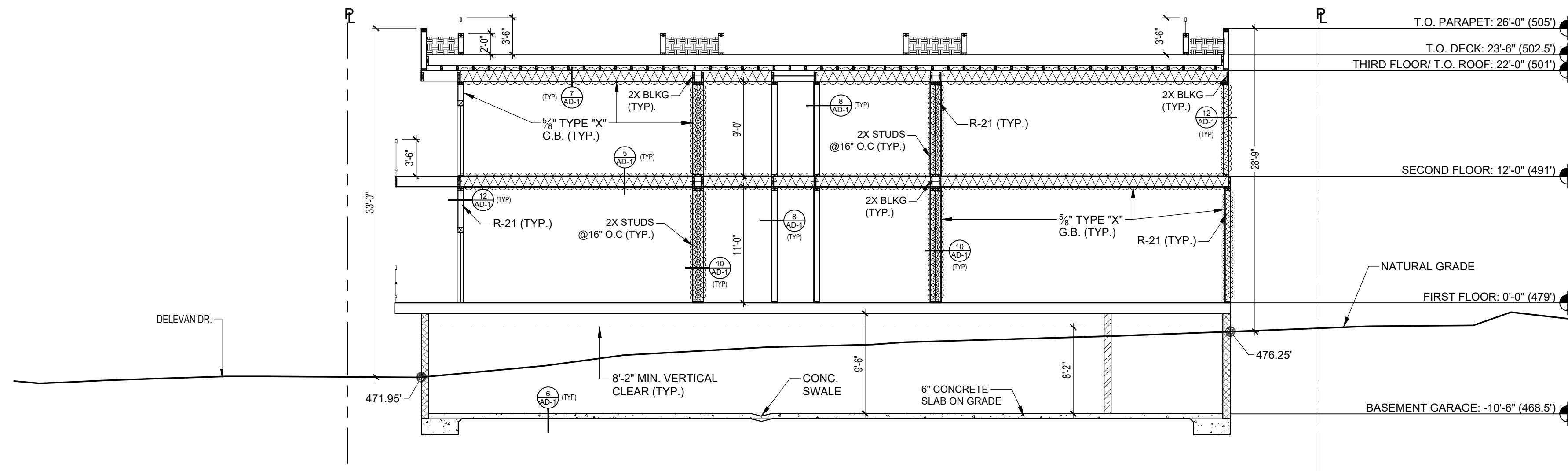
JOB: 2020-04

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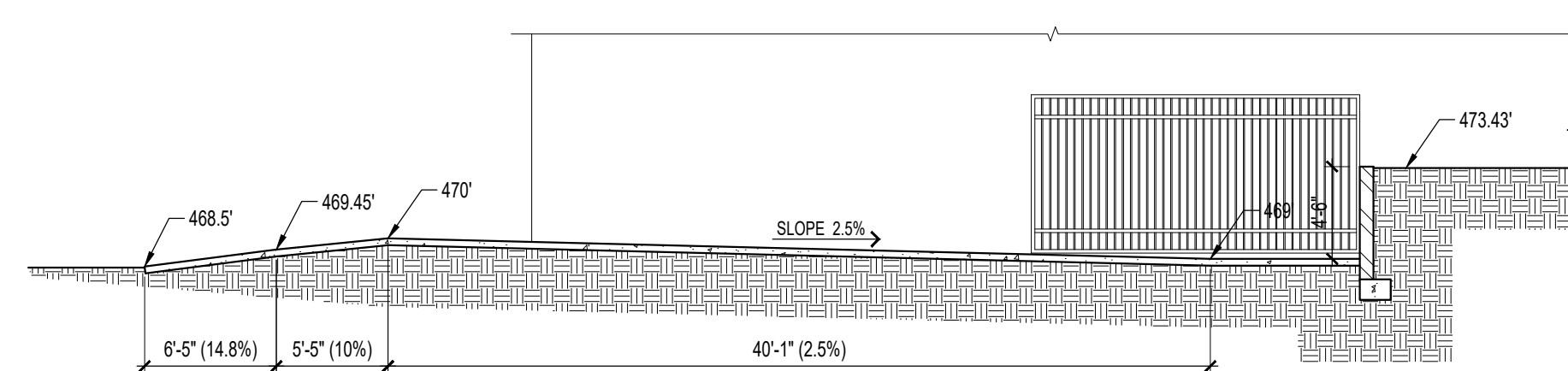
SECTION C

Scale: 1/8"=1'-0"



SECTION D

Scale: 1/8"=1'-0"



SECTION THRU DRIVEWAY

Scale: 1/8"=1'-0"

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| 12/09/20 | |

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

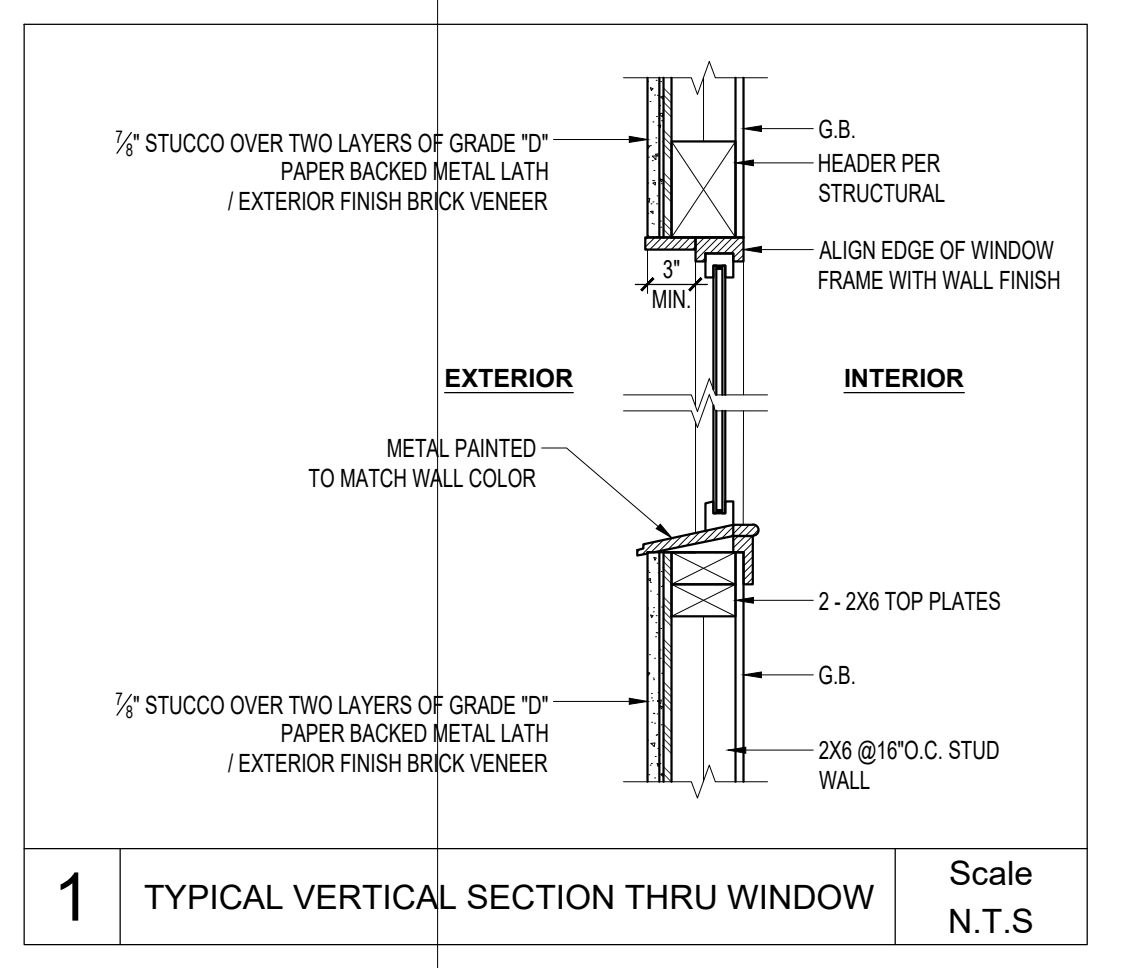
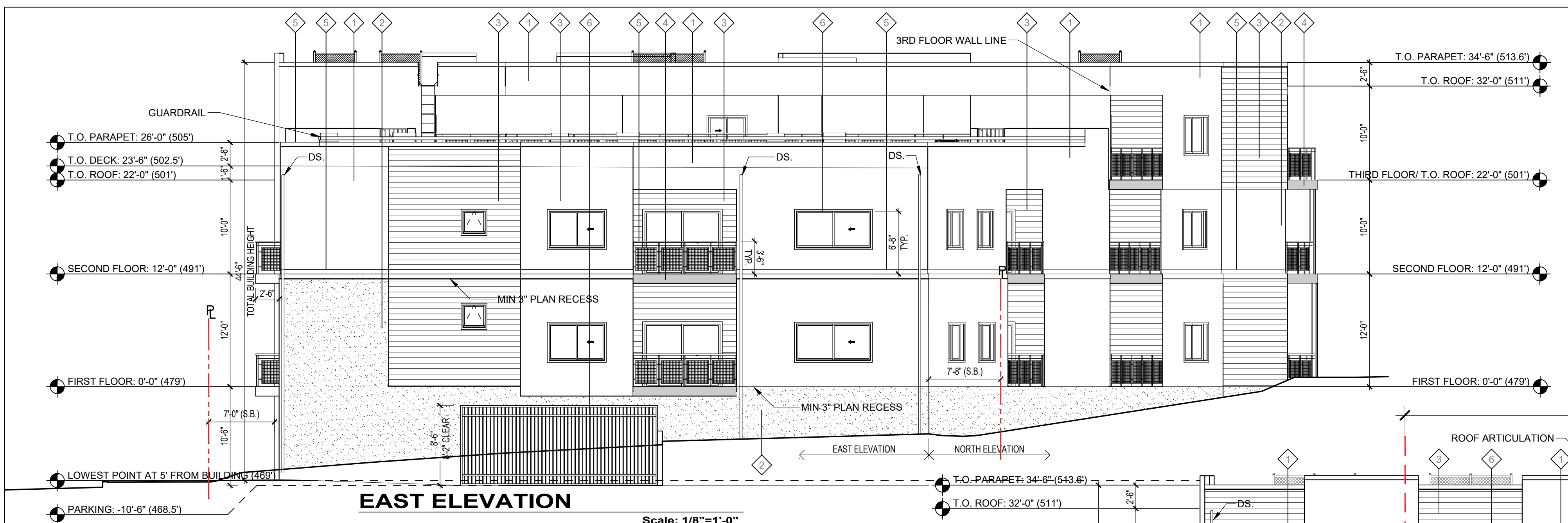
DATE: 8/29/2024

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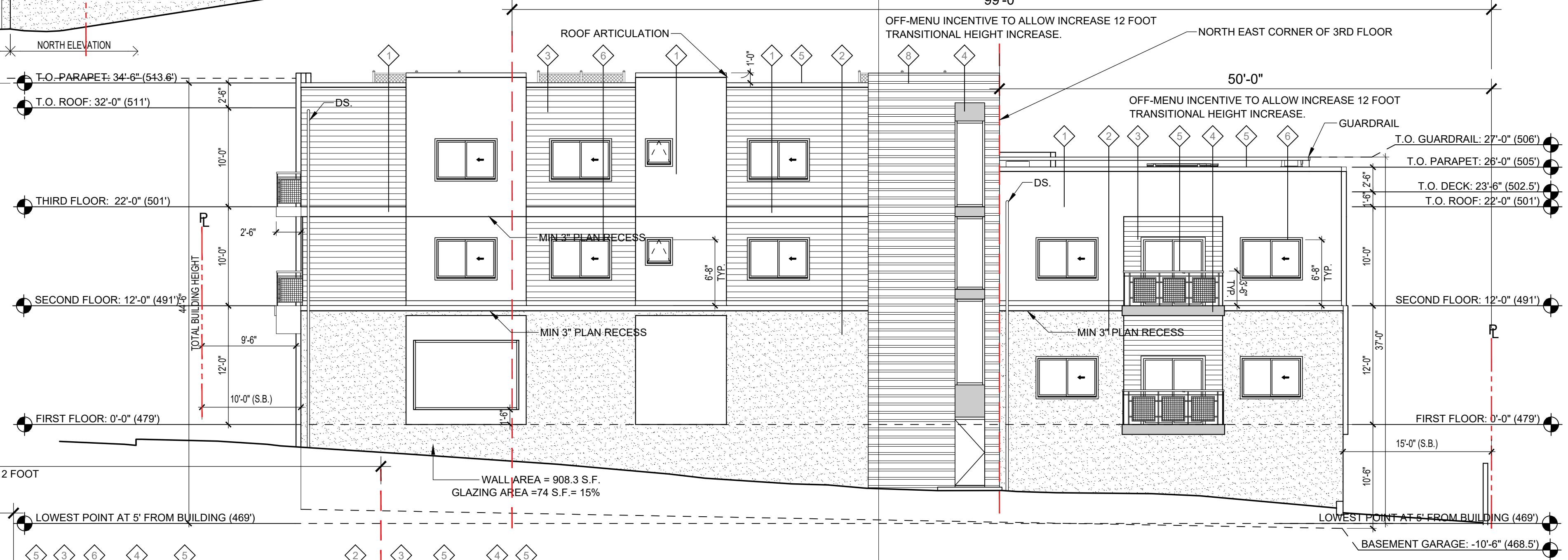
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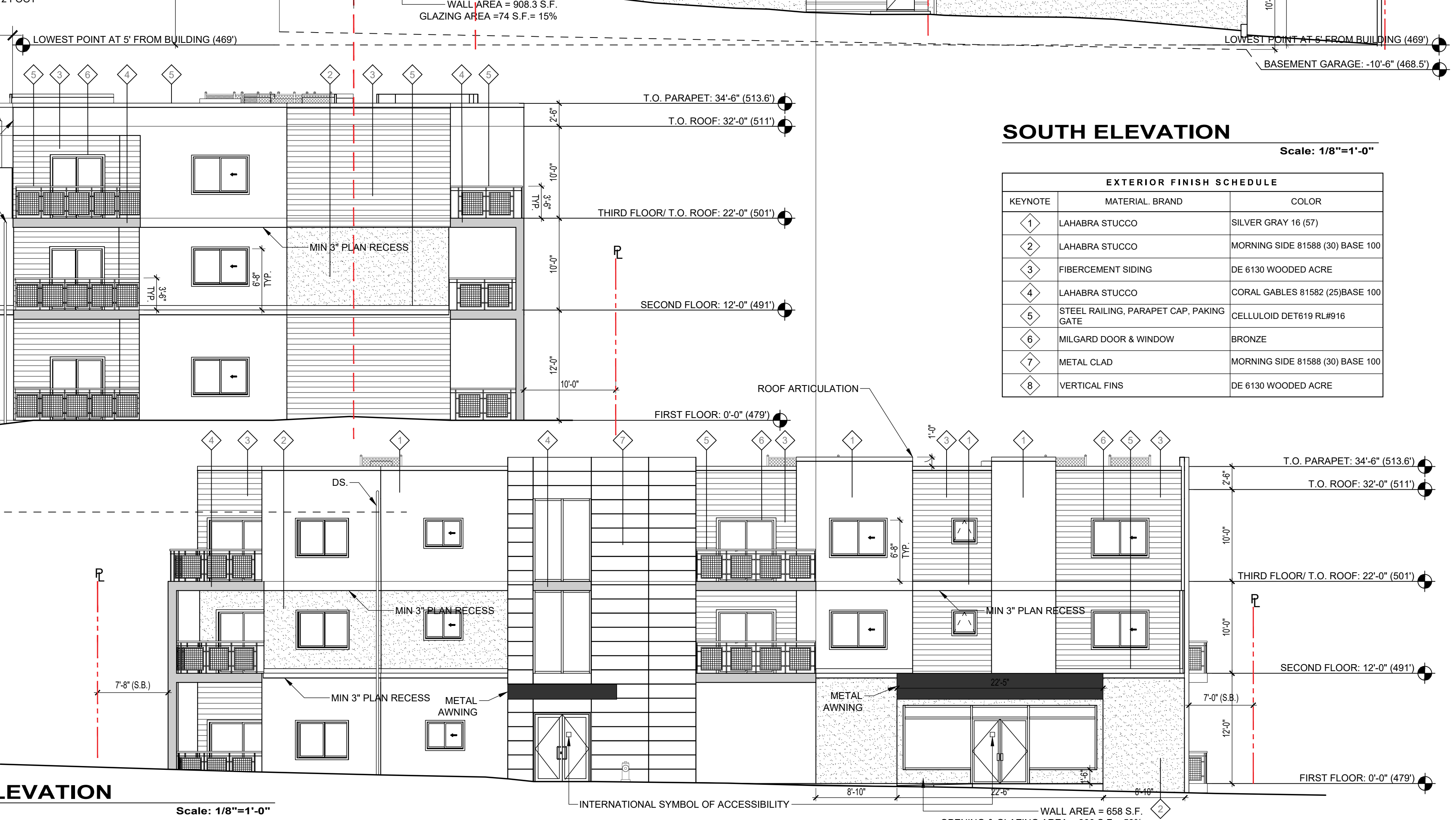
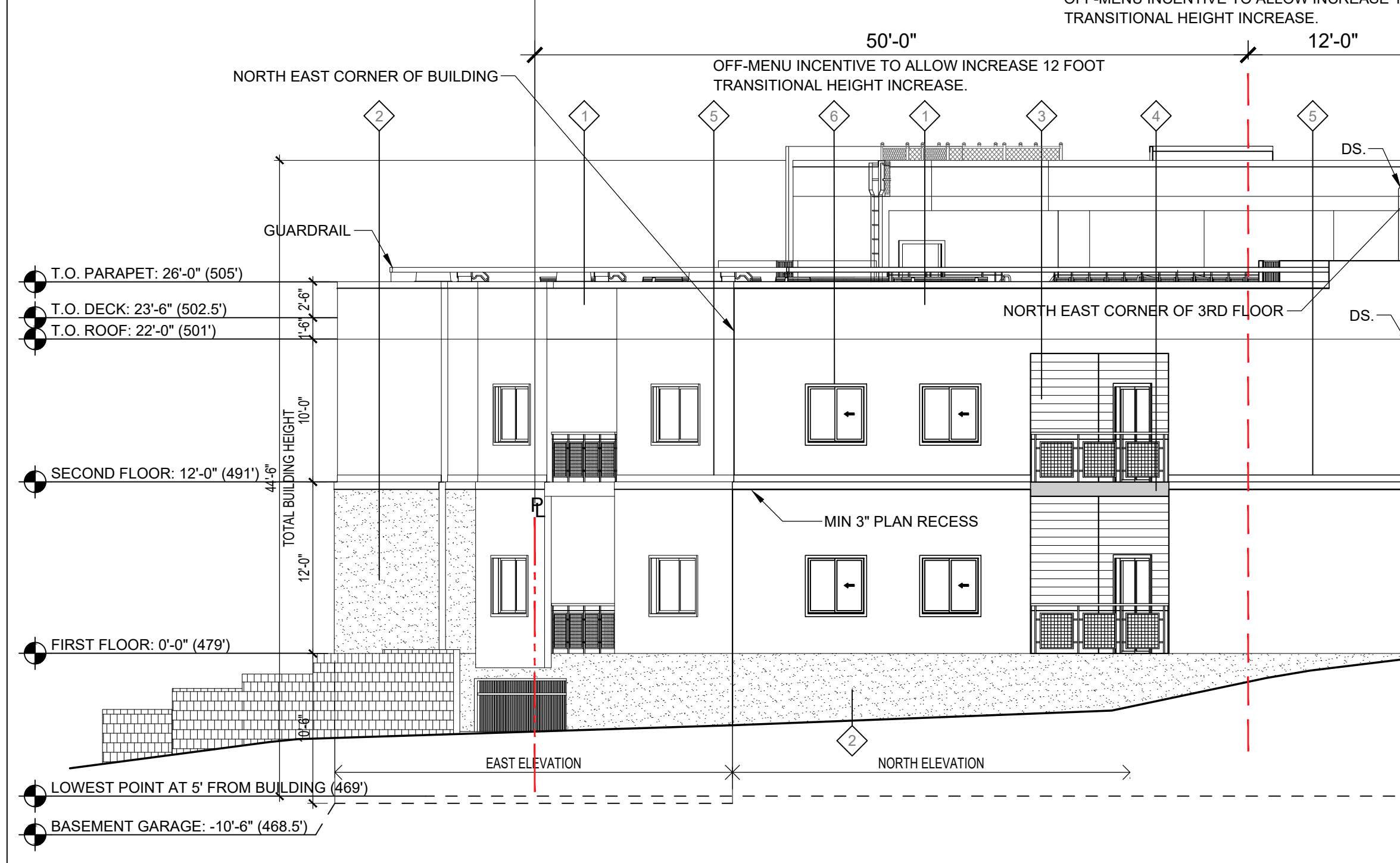
- NOTES:**
1. Paint all vents, gutters, downspouts flashing, electrical conduits etc. to match the color of the adjacent surface unless being used expressly as a trim or accent element.
 2. Maintain the primary building entrance for the buildings along the public street so that they remain unobstructed and unobstructed during normal business hours.
 3. Use non-reflecting glass that allows a min. 90 percent light transmission on all street fronting facade.
 4. Use no more than 10% of storefront window surface for internally or externally posted signage regardless of the duration of the sign.
 5. Sign on awnings and canopies should be permitted only on the valance. The valance should be a max. of 8 inches with lettering and logos being a max. of 6 inches high.
 6. Treat exterior walls with graffiti resistant surface. Such treatment may include specialized coatings and the installation of vegetation.
 7. Treat storefront windows on new structures with graffiti resistant film or other specialized coatings so as to protect them from vandalism.
 8. Individual businesses and institutions should have no more than one wall sign per elevation unless a special circumstance exists whereby a single wall sign would not be universally visible from the public right of way. Individual signs should utilize a consistent and thoughtful color scheme. Generally business signs should not utilize more than three colors.
 9. The use of fluorescent colors in signs is prohibited.
 10. No mural sign allowed on this building.
 11. No mechanical equipment shall be permitted in window or door openings.
 12. Recess windows and doors along the street front at least three inches from the facade.
 13. Wherever multiple business signs exist on a single wall or monument sign the sign should utilize a uniform background color.
 14. Hand-painted lettering should be administered by a professional sign painter and should be comprised of typography and images that are uniform in point size, kerning and overall appearance and are produced from an identifiable font. Lettering and iconography produced by spray-on paint or air brushes is prohibited.
 15. The bottom of storefront windows should be a minimum of 18-inches and a maximum of 36-inches from the sidewalk grade to accommodate a traditional bulkhead.


- PROHIBITED AND RESTRICTED SIGNS:**
- a. Off-site signage, including, billboards and signs advertising off-site activities, is prohibited.
 - b. Pole signs are prohibited. This includes the structural modification of existing signs that increase the height, massing or fascia of existing signs or the addition of poles to existing pole signs. The re-use of pole signs is strongly discouraged and project proponents are encouraged to consider pedestrian oriented signage options such as monument signs.
 - c. Temporary banners, streamers, flags not affixed to a flagpole, inflated devices, bubble-machines, rotating devices, and other attention-getting devices are prohibited.
 - d. Electronic message display signs, except for time and temperature signs are prohibited.
 - e. Internally illuminated canister signs, except for channel letters or logos, and illuminated architectural canopy signs are prohibited. Reverse channel letters or externally light individually cut letters are encouraged in lieu of internally light channel letters.
 - f. Any time and temperature sign that is not placed on a building roof, shall be permitted, provided it has no blinking lights, includes no advertising, sign content consists exclusively of time and temperature information and the face of the sign is no larger than 16 square feet in area.
- SECURITY EQUIPMENT:**
- a. Permanently affixed exterior security grills or bars are prohibited.
 - b. Security grills should be retractable and should recess completely into pockets that completely conceal the grill when it is retracted. Such pockets should be integrated into the design of the building.
 - c. Roll-down security grills that conceal storefront windows are prohibited.



EXTERIOR FINISH SCHEDULE

| KEYNOTE | MATERIAL BRAND | COLOR |
|---------|---|----------------------------------|
| 1 | LAHABRA STUCCO | SILVER GRAY 16 (57) |
| 2 | LAHABRA STUCCO | MORNING SIDE 81588 (30) BASE 100 |
| 3 | FIBERCEMENT SIDING | DE 6130 WOODDED ACRE |
| 4 | LAHABRA STUCCO | CORAL GABLES 81582 (25) BASE 100 |
| 5 | STEEL RAILING, PARAPET CAP, PAVING GATE | CELLULOID DET619 RL#916 |
| 6 | MILGARD DOOR & WINDOW | BRONZE |
| 7 | METAL CLAD | MORNING SIDE 81588 (30) BASE 100 |
| 8 | VERTICAL FINIS | DE 6130 WOODDED ACRE |





BAYA LLC.
info@ba-va.com

REVISION BY

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| 12/09/20 | |
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OWNER

KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT

MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

A-9

DATE: 8/29/2024

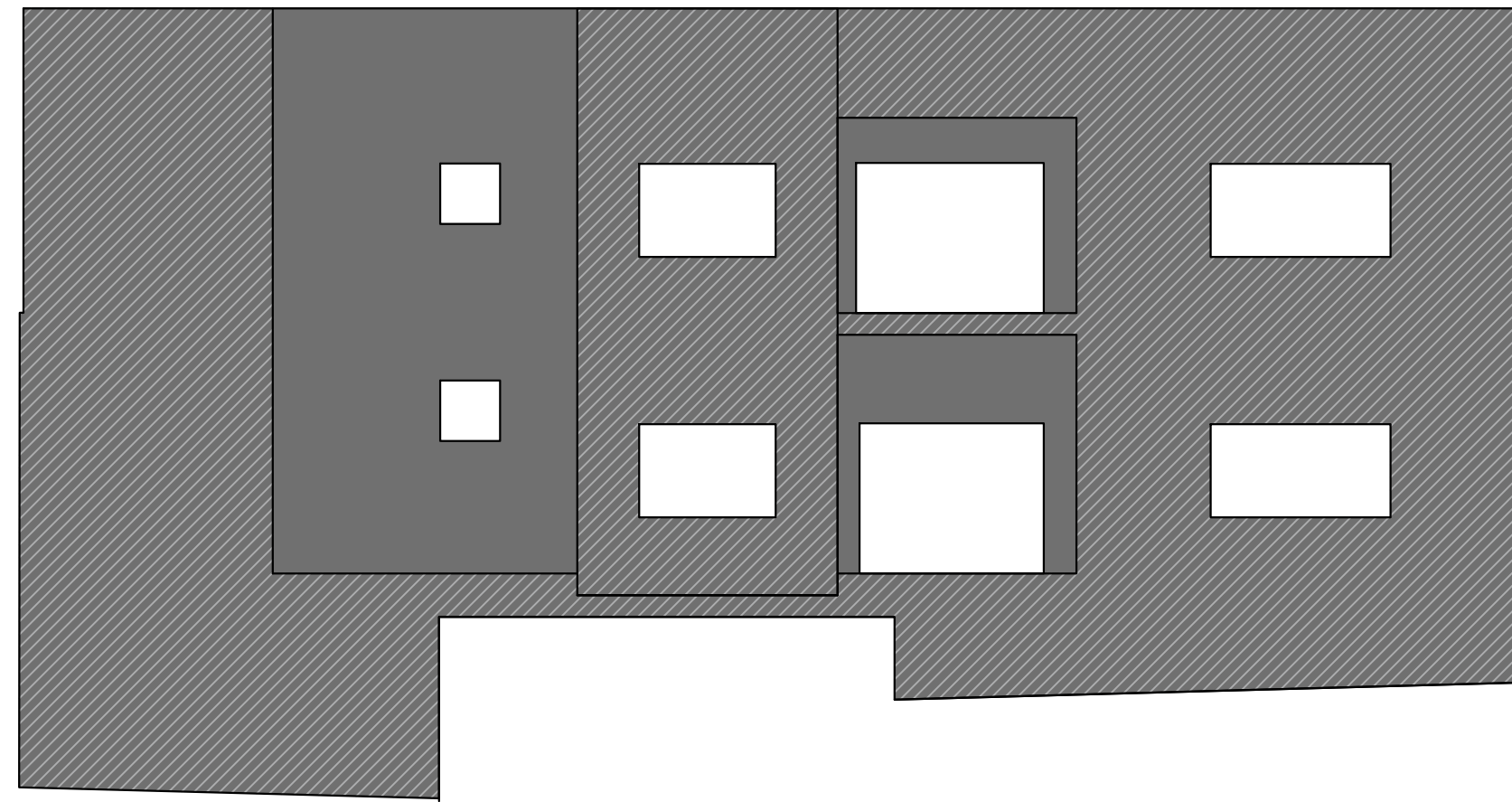
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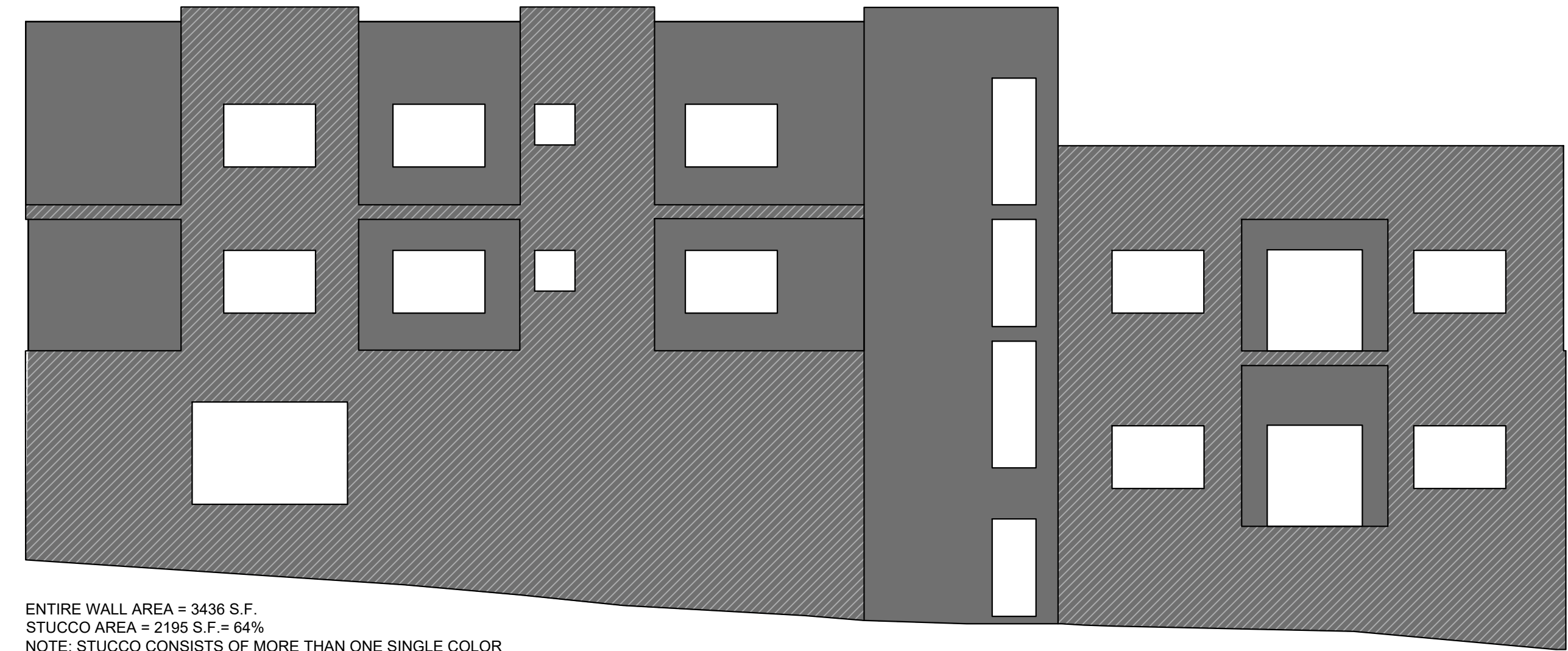
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ENTIRE WALL AREA = 1990 S.F.
 STUCCO AREA = 1481 S.F. = 75%
 NOTE: STUCCO CONSISTS OF MORE THAN ONE SINGLE COLOR

EAST ELEVATION

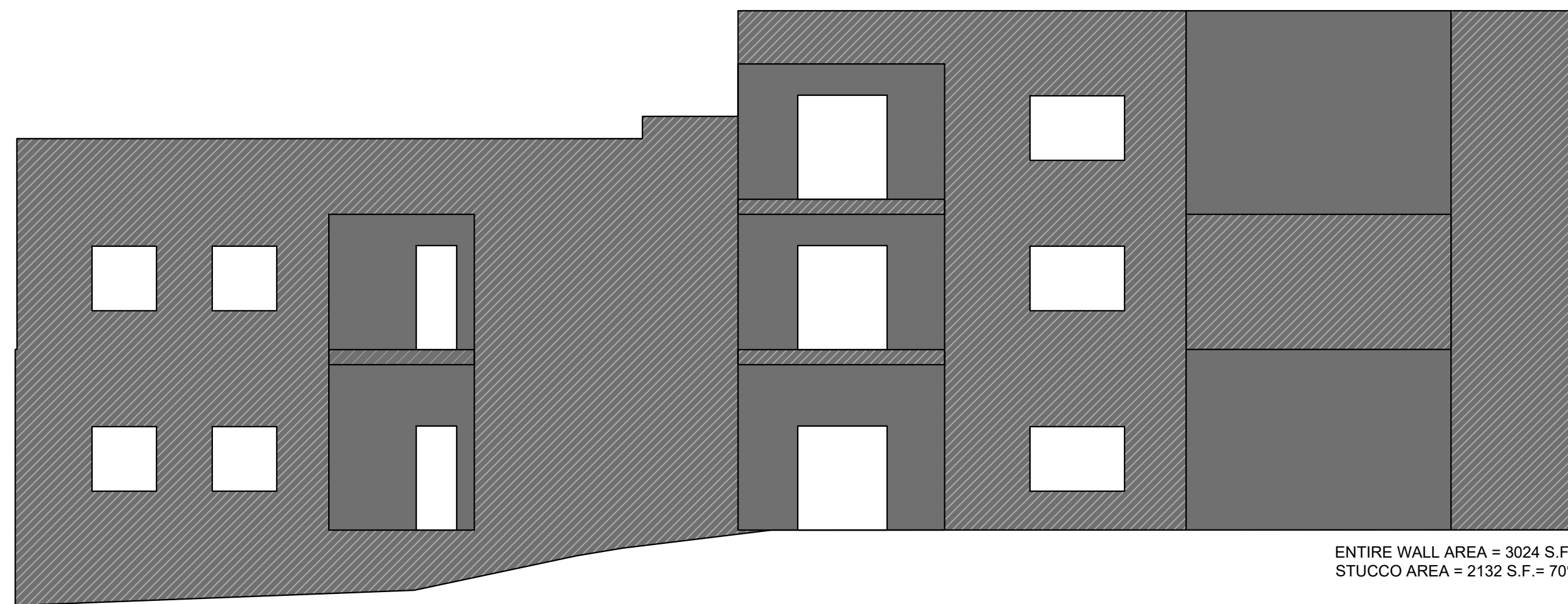
Scale: 1/8"=1'-0"



ENTIRE WALL AREA = 3436 S.F.
 STUCCO AREA = 2195 S.F. = 64%
 NOTE: STUCCO CONSISTS OF MORE THAN ONE SINGLE COLOR

SOUTH ELEVATION

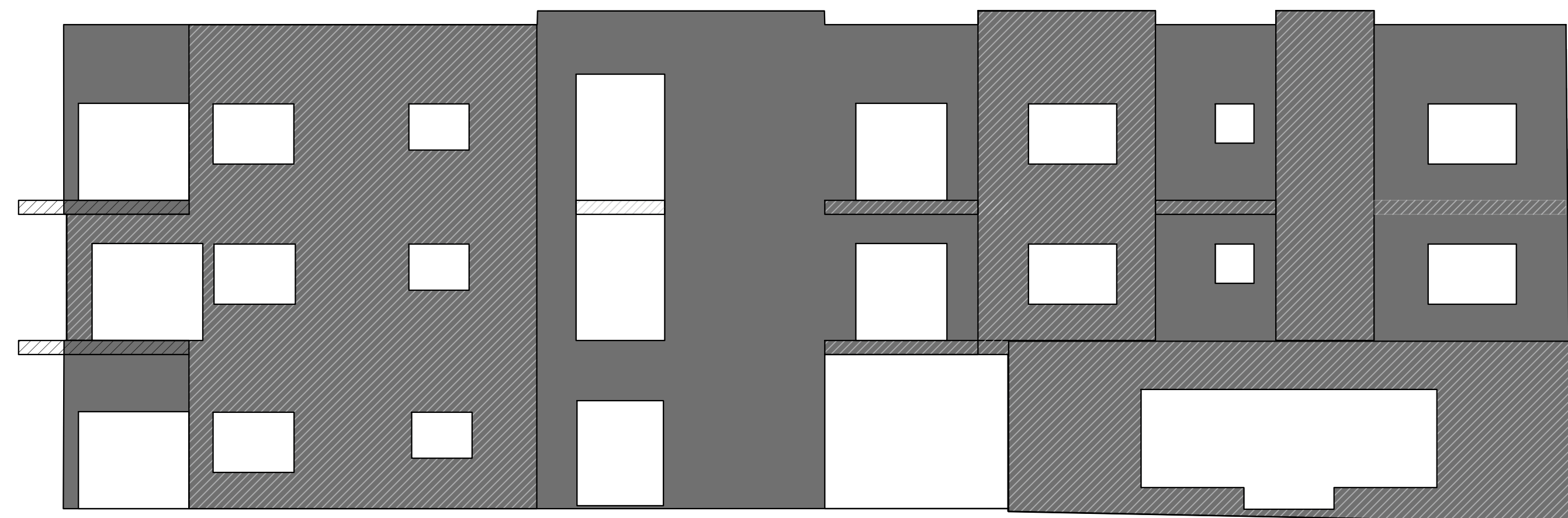
Scale: 1/8"=1'-0"



ENTIRE WALL AREA = 3024 S.F.
 STUCCO AREA = 2132 S.F. = 70%

NORTH ELEVATION

Scale: 1/8"=1'-0"



ENTIRE WALL AREA = 2963 S.F.
 STUCCO AREA = 1593 S.F. = 54%

WEST ELEVATION

Scale: 1/8"=1'-0"



| REVISION | BY |
|----------|----|
| 12/09/20 | |
| | |
| | |
| | |

OWNER
 KAS VERDUGO LLC
 2147 HAVEN STREET
 GLENDALE CA 91208

PROJECT
 MIXED USE PROJECT
 14 RESIDENTIAL UNITS
 4006 & 4002 VERDUGO ROAD
 LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

DRAWN:

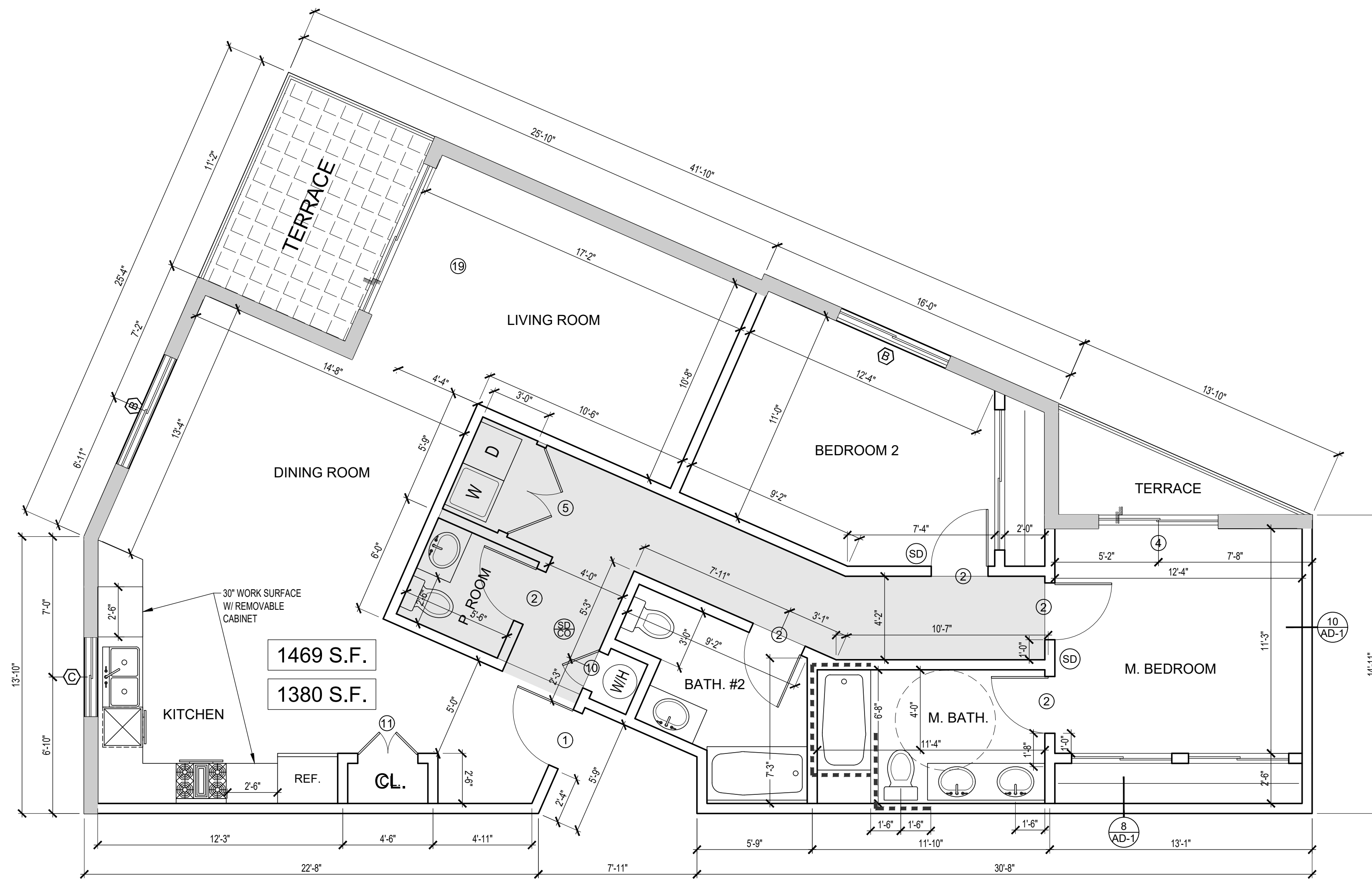
APPROVED:

JOB: 2020-04

SHEET:

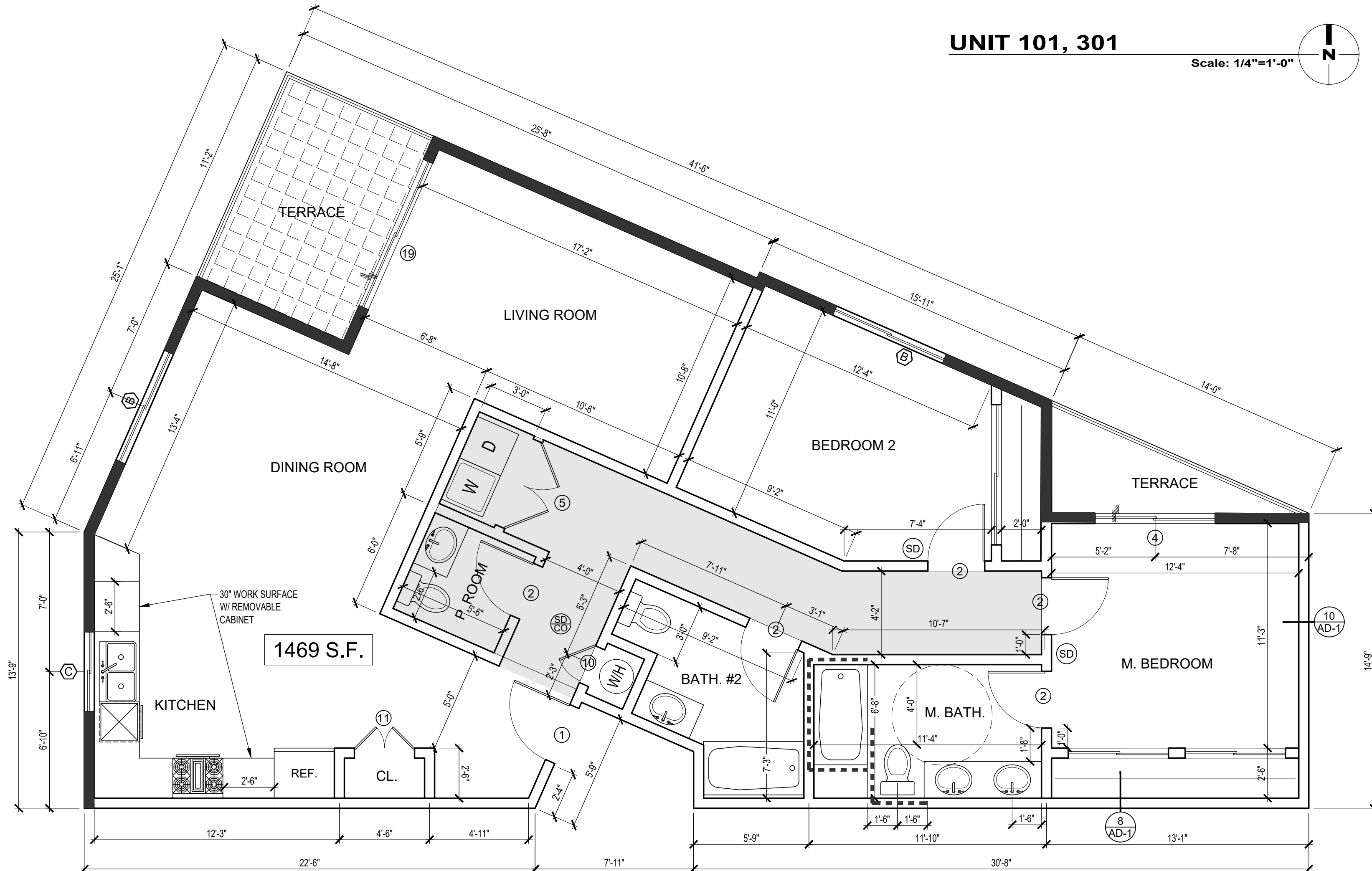
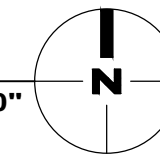
A-9.1

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITHIN ARE AND SHALL REMAIN THE PROPERTY OF BAVA-VA LLC



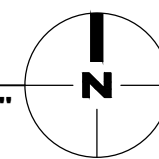
UNIT 101, 301

Scale: 1/4"=1'-0"



UNIT 201

Scale: 1/4"=1'-0"



| LEGEND | |
|---------------|--|
| SYMBOL | DESCRIPTION |
| (SD) | SMOKE DETECTOR W/ BATTERY BACK-UP |
| (SD/CO) | SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO |
| (FAN) | *ENERGY STAR* RATED MECHANICAL FAN, MIN. 5 AIR CHANGES, WITH HUMIDISTAT |
| (EW) | EGRESS WINDOW: MIN. CLEAR OPENING TO BE 24" CLEAR HIGH, 20" CLEAR WIDTH, 5.7 S.F. MIN. AREA & 44" MAX. TO SILL |
| (W) | WASHER |
| (D) | DRYER |
| (D/W) | DISHWASHER |
| (W/H) | WATER HEATER |
| (1) | DOOR IDENTIFICATION |
| (A) | WINDOW IDENTIFICATION |
| (SOFFIT) | SOFFIT |
| (DASHED LINE) | BACKING FOR GRAB BAR INSTALLATION |
| (THICK LINE) | 2X6 STUD WALL |
| (THIN LINE) | 2X8 STUD WALL |

| REVISION | BY |
|----------|----|
| 12/09/20 | |

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

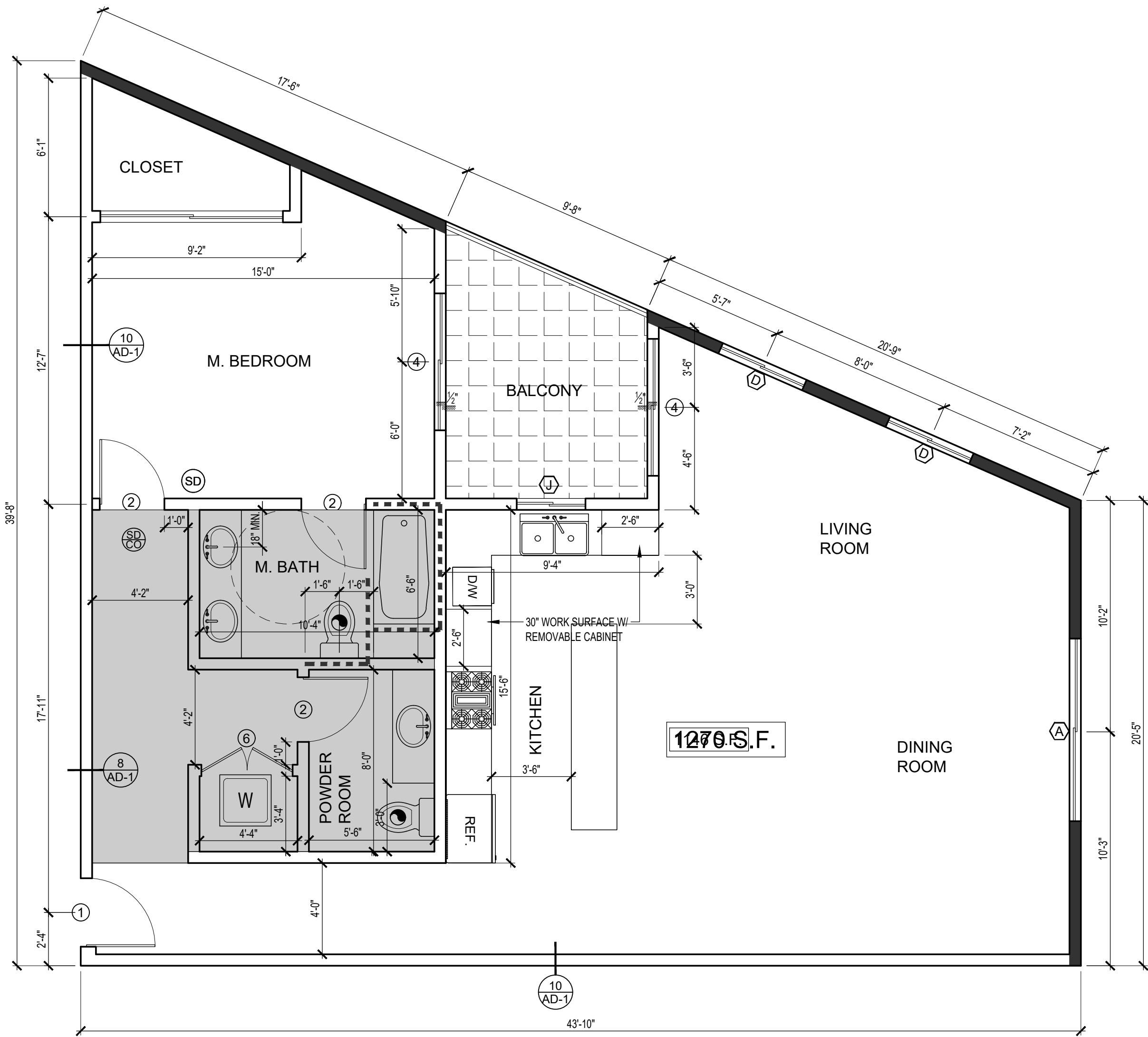
DATE: 8/29/2024

DRAWN:

APPROVED:

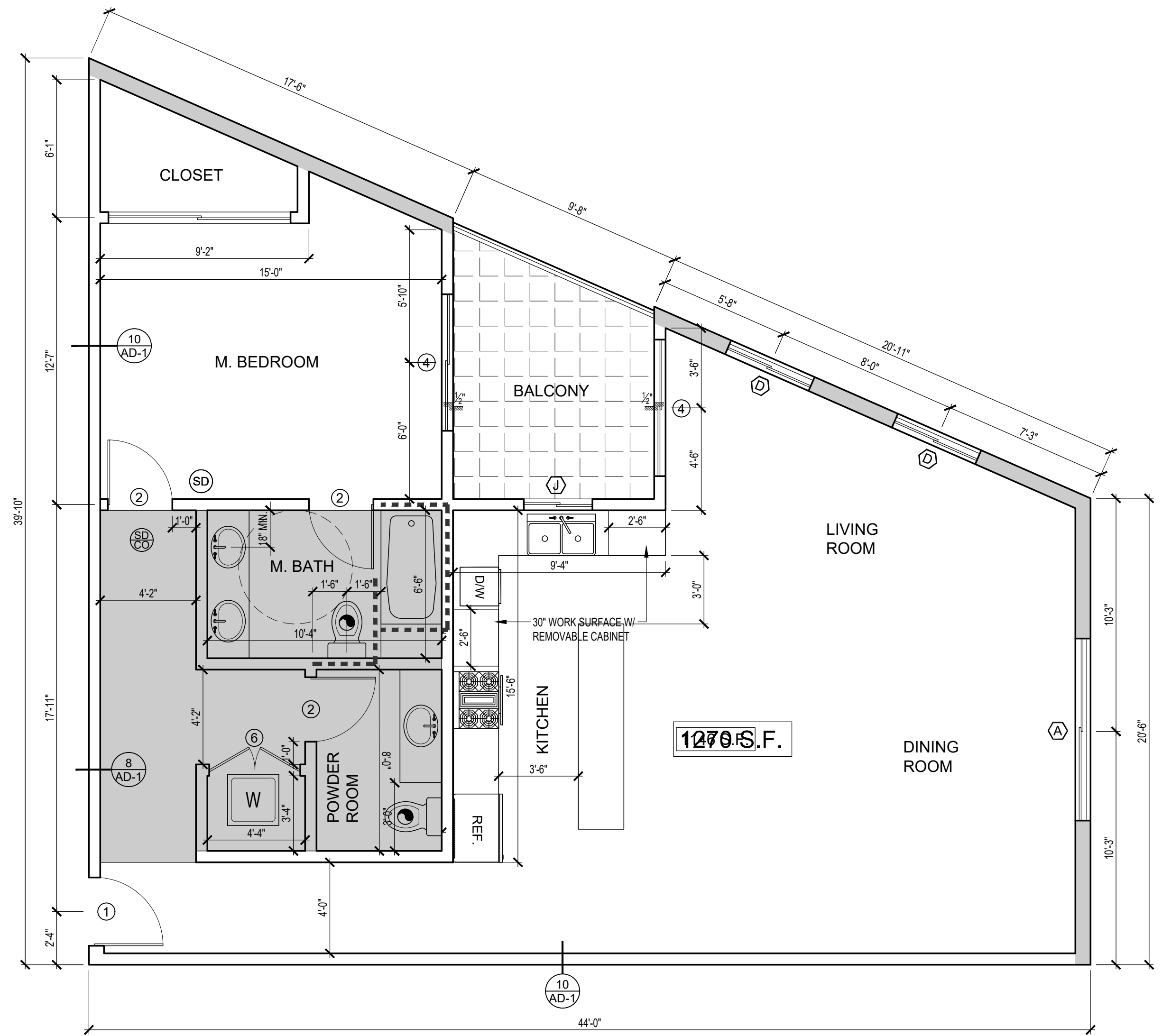
JOB: 2020-04

SHEET:



UNIT 202
Scale: 1/4"=1'-0"

| LEGEND | |
|--------------|--|
| SYMBOL | DESCRIPTION |
| (SD) | SMOKE DETECTOR W/ BATTERY BACK-UP |
| (SD/CO) | SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO |
| (FAN) | "ENERGY STAR" RATED MECHANICAL FAN, MIN. 5 AIR CHANGES, WITH HUMIDISTAT |
| (EW) | EGRESS WINDOW: MIN. CLEAR OPENING TO BE 24" CLEAR HIGH, 20" CLEAR WIDTH, 5.7 S.F. MIN. AREA & 44" MAX. TO SILL |
| (W) | WASHER |
| (D) | DRYER |
| (DW) | DISHWASHER |
| (W/H) | WATER HEATER |
| (1) | DOOR IDENTIFICATION |
| (A) | WINDOW IDENTIFICATION |
| (SOFFIT) | SOFFIT |
| (DASHED) | BACKING FOR GRAB BAR INSTALLATION |
| (THICK LINE) | 2X6 STUD WALL |
| (THIN LINE) | 2X8 STUD WALL |



UNIT 101
Scale: 1/4"=1'-0"

| REVISION | BY |
|----------|----|
| 12/09/20 | |

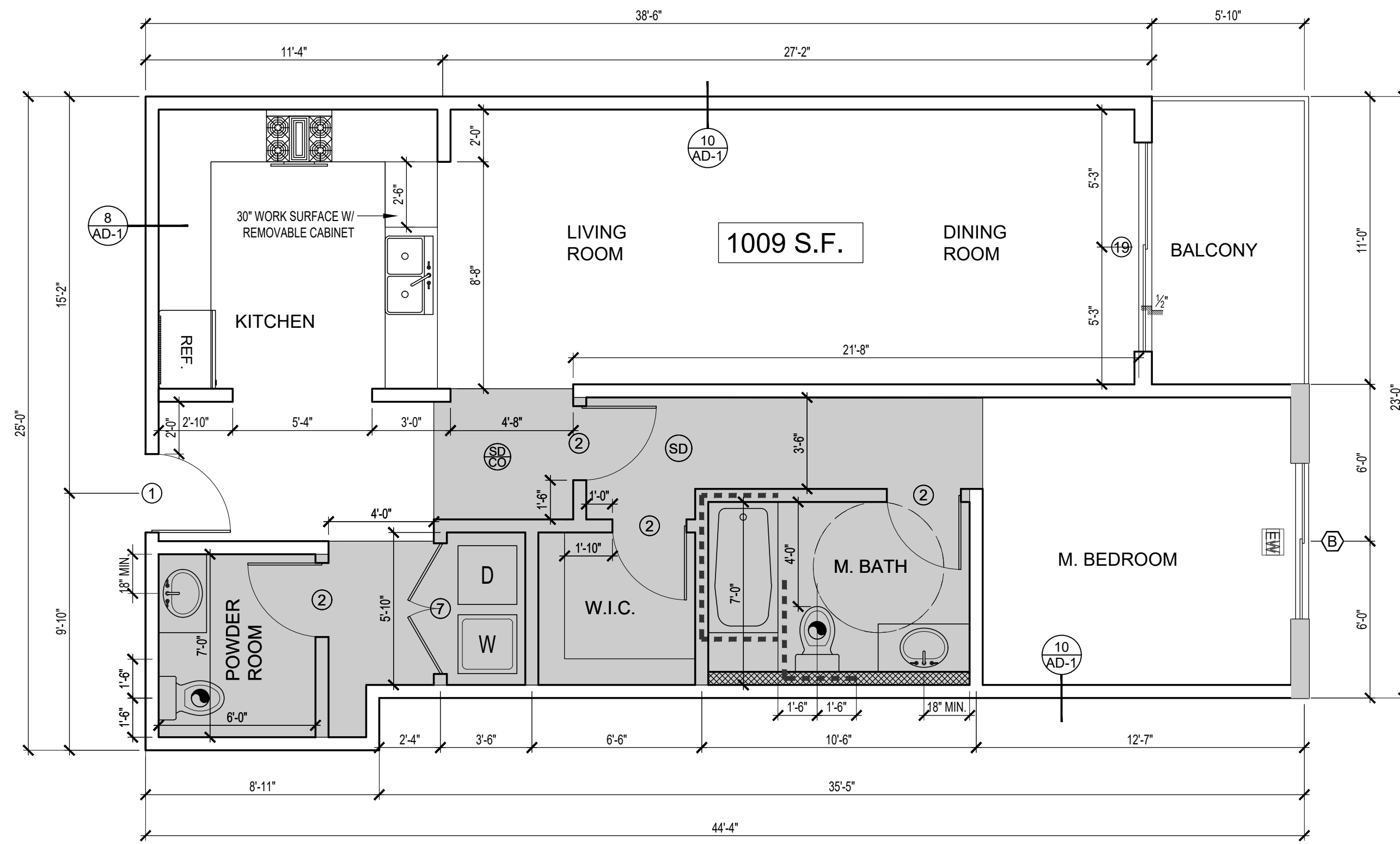
OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

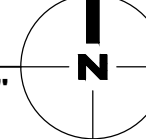
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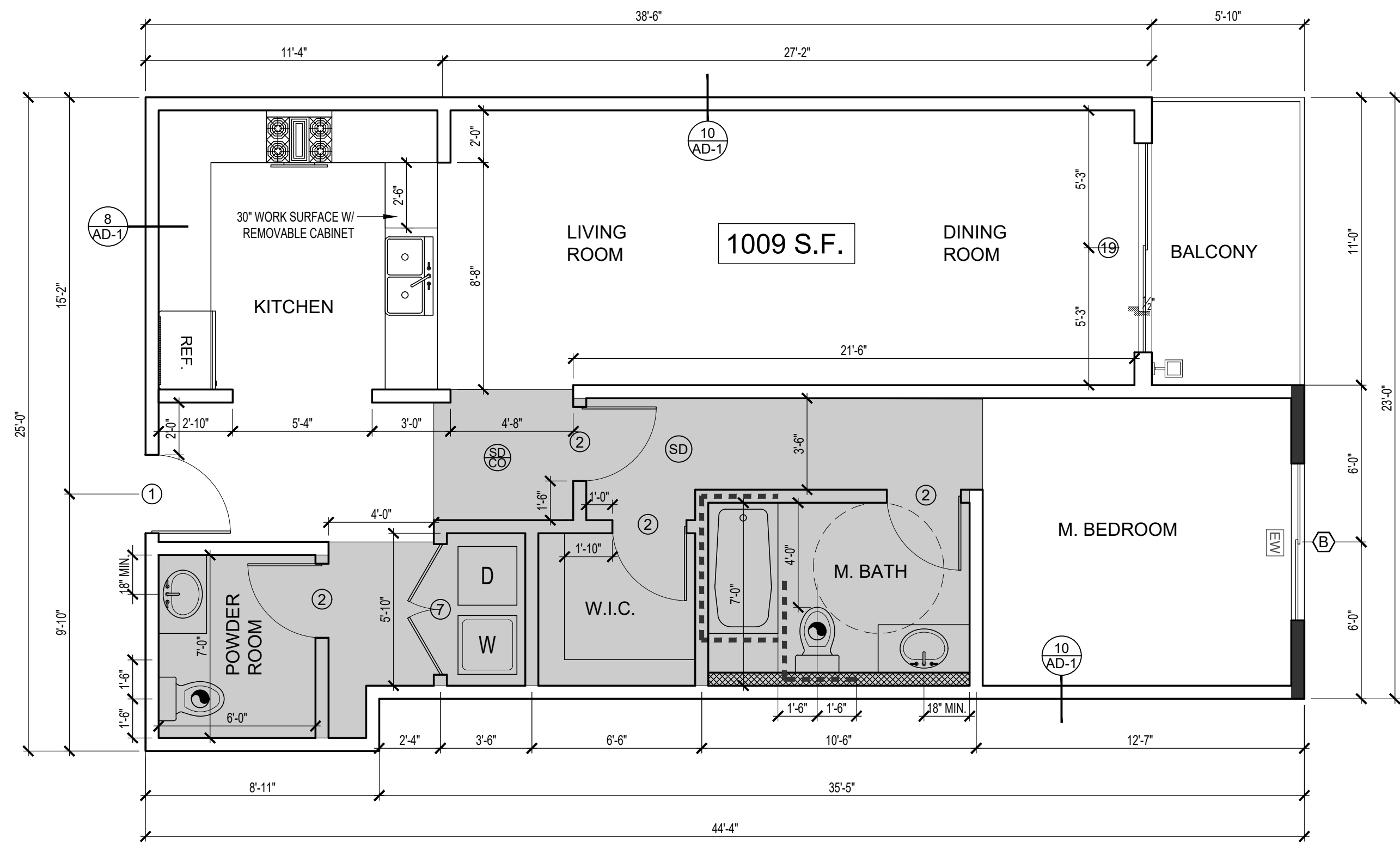
| | |
|-----------|-----------|
| DATE: | 8/29/2024 |
| DRAWN: | |
| APPROVED: | |
| JOB: | 2020-04 |
| SHEET: | |

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF BA-VA LLC

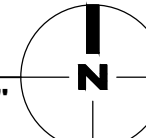










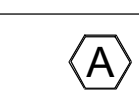


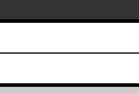
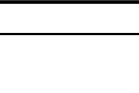

UNIT 103

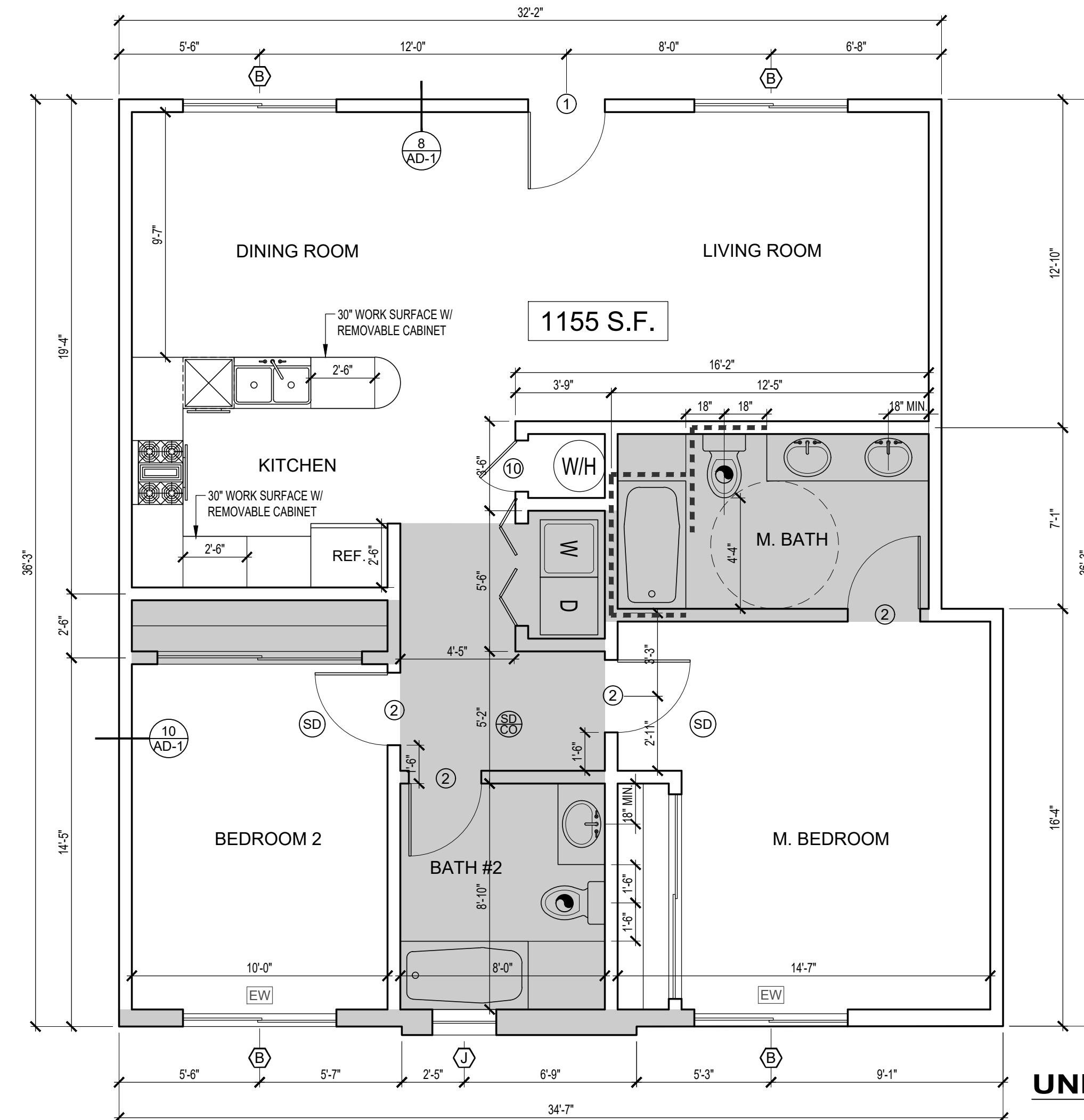
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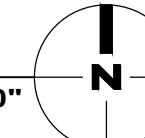
UNIT 203

Scale: 1/4"=1'-0" 

| LEGEND | |
|---|--|
| SYMBOL | DESCRIPTION |
|  | SMOKE DETECTOR W/ BATTERY BACK-UP |
|  | SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO |
|  | *ENERGY STAR* RATED MECHANICAL FAN, MIN. 5 AIR CHANGES, WITH HUMIDISTAT |
|  | EGRESS WINDOW: MIN. CLEAR OPENING TO BE 24" CLEAR HIGH, 20" CLEAR WIDTH, 5.7 S.F. MIN. AREA & 44" MAX. TO SILL |
|  | WASHER |
|  | DRYER |
|  | DISHWASHER |
|  | WATER HEATER |
|  | DOOR IDENTIFICATION |
|  | WINDOW IDENTIFICATION |
|  | SOFFIT |
|  | BACKING FOR GRAB BAR INSTALLATION |
|  | 2X6 STUD WALL |
|  | 2X8 STUD WALL |



UNIT 302

Scale: 1/4"=1'-0" 

| REVISION | BY |
|----------|----|
| 12/09/20 | |

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

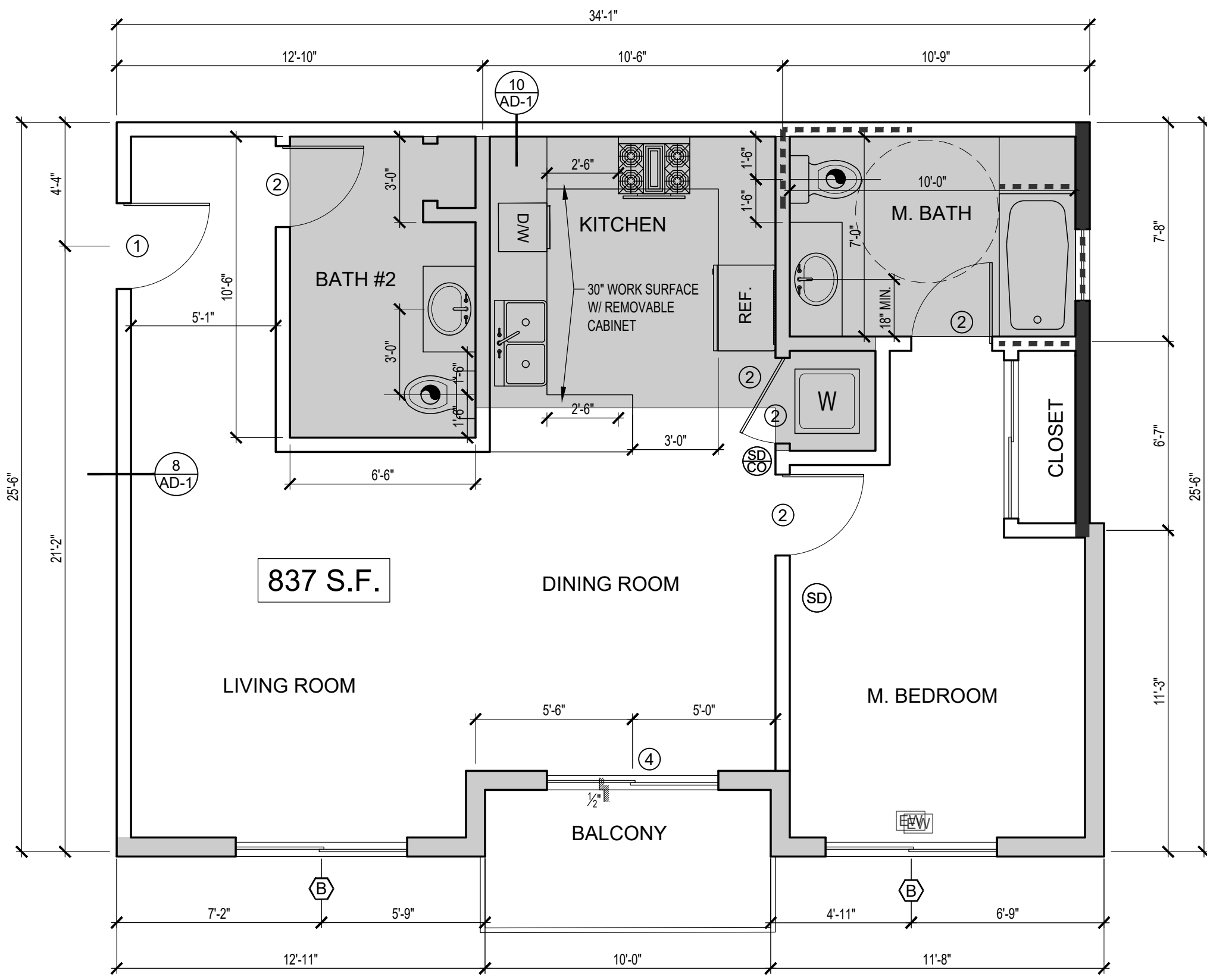
DATE: 8/29/2024

DRAWN:

APPROVED:

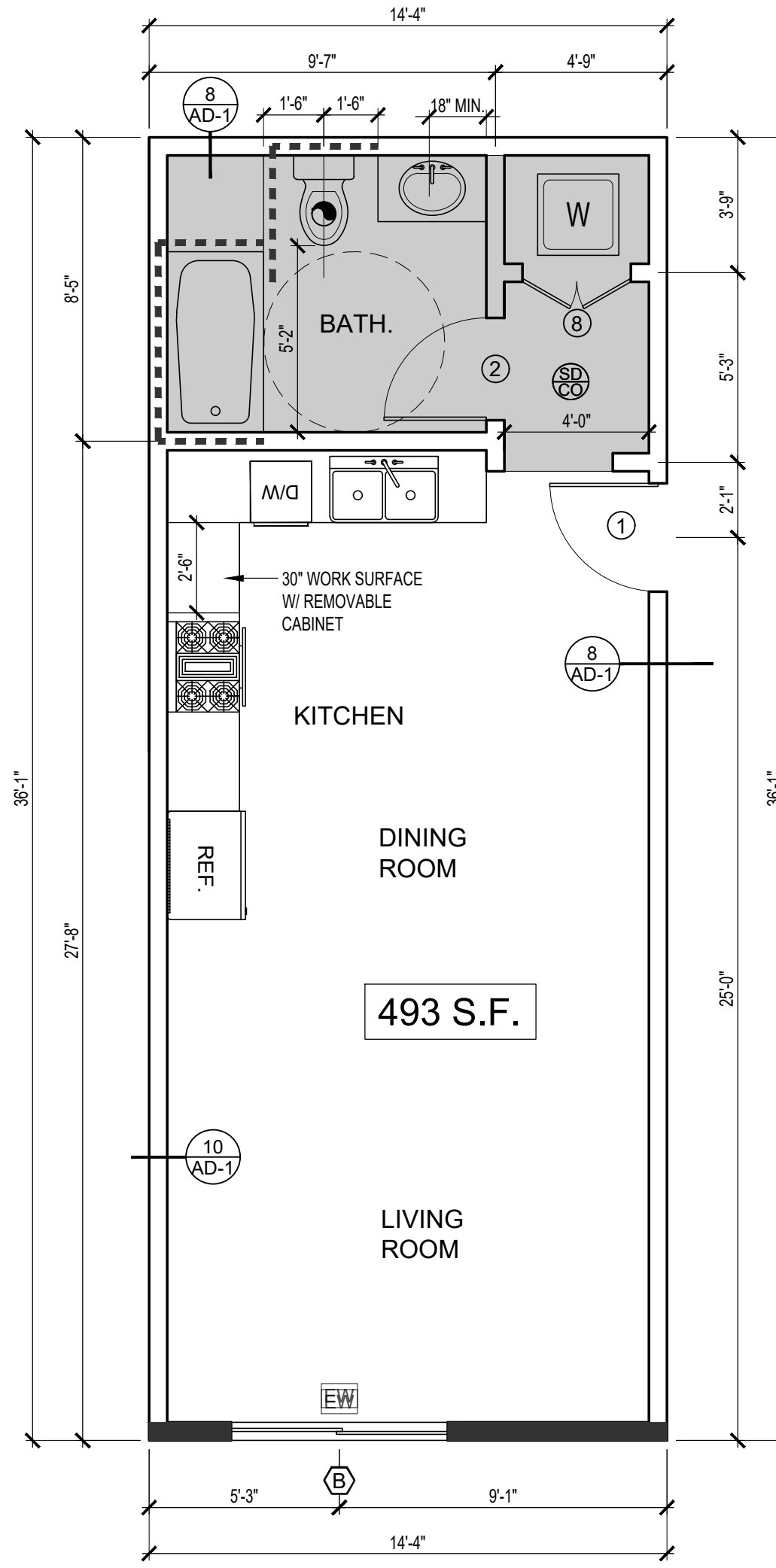
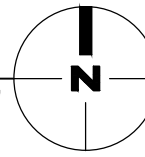
JOB: 2020-04

SHEET:



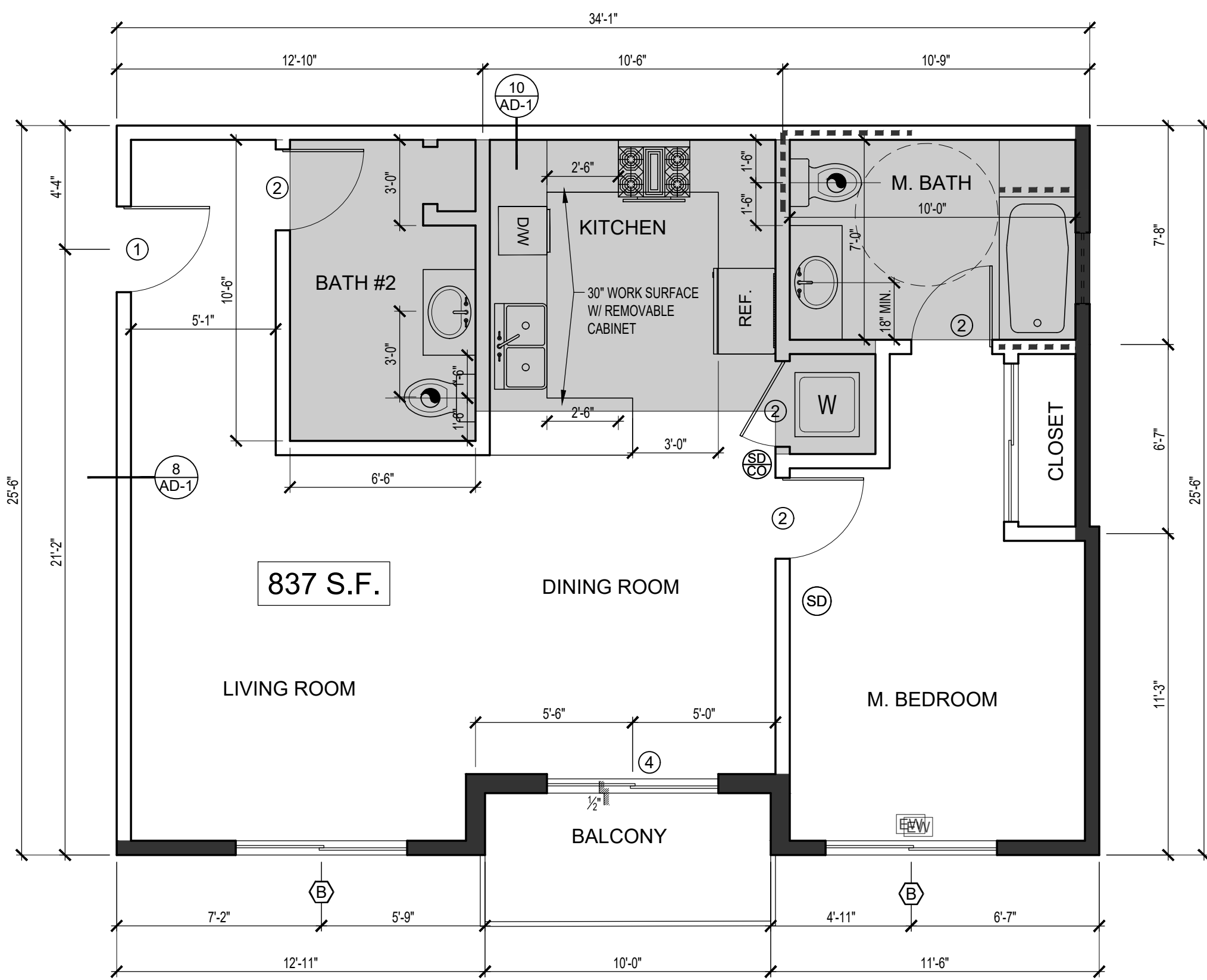
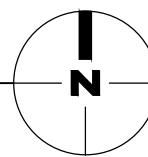
UNIT 104

Scale: 1/4"=1'-0"



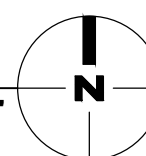
UNIT 205

Scale: 1/4"=1'-0"

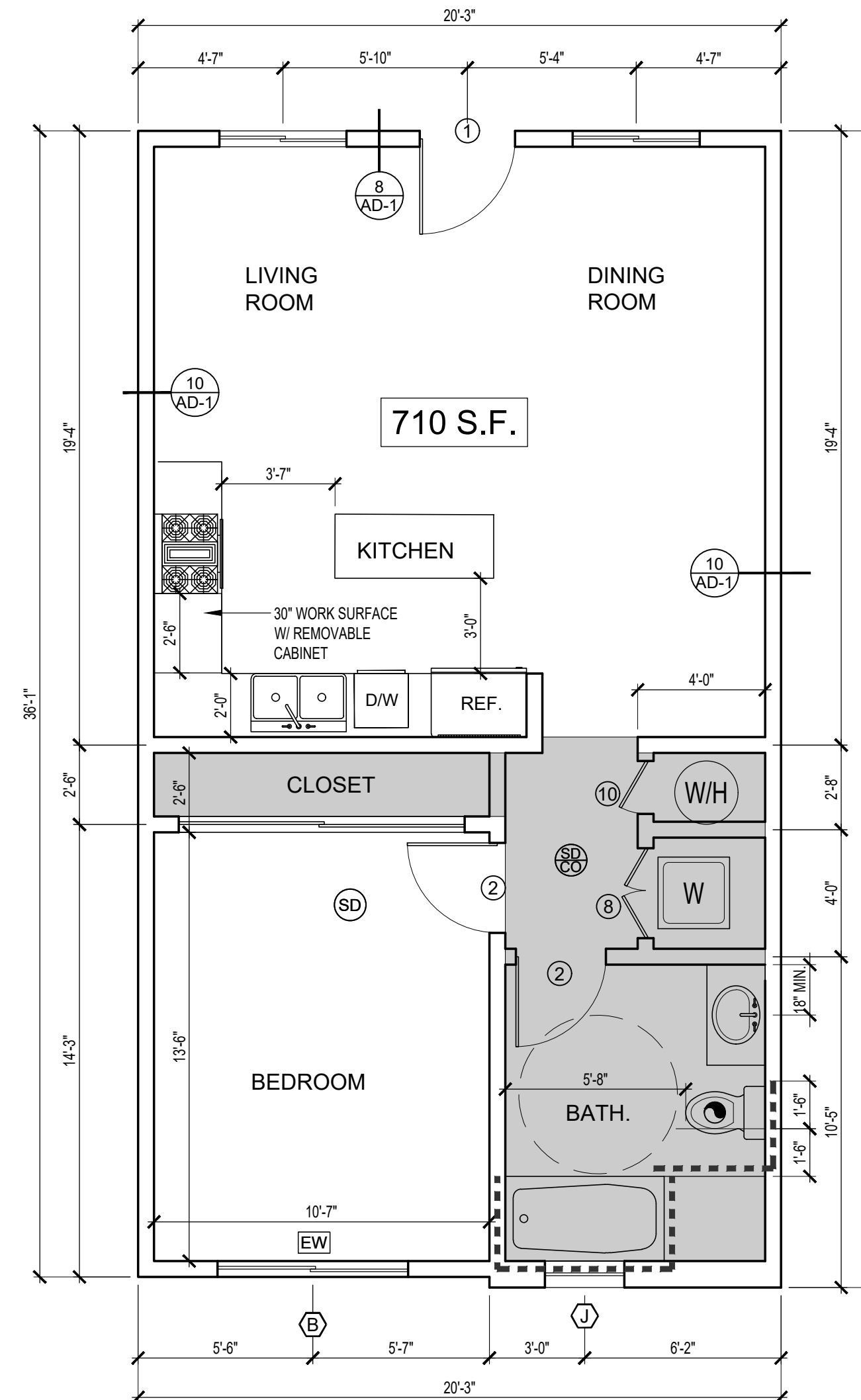


UNIT 204

Scale: 1/4"=1'-0"

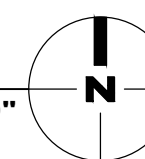


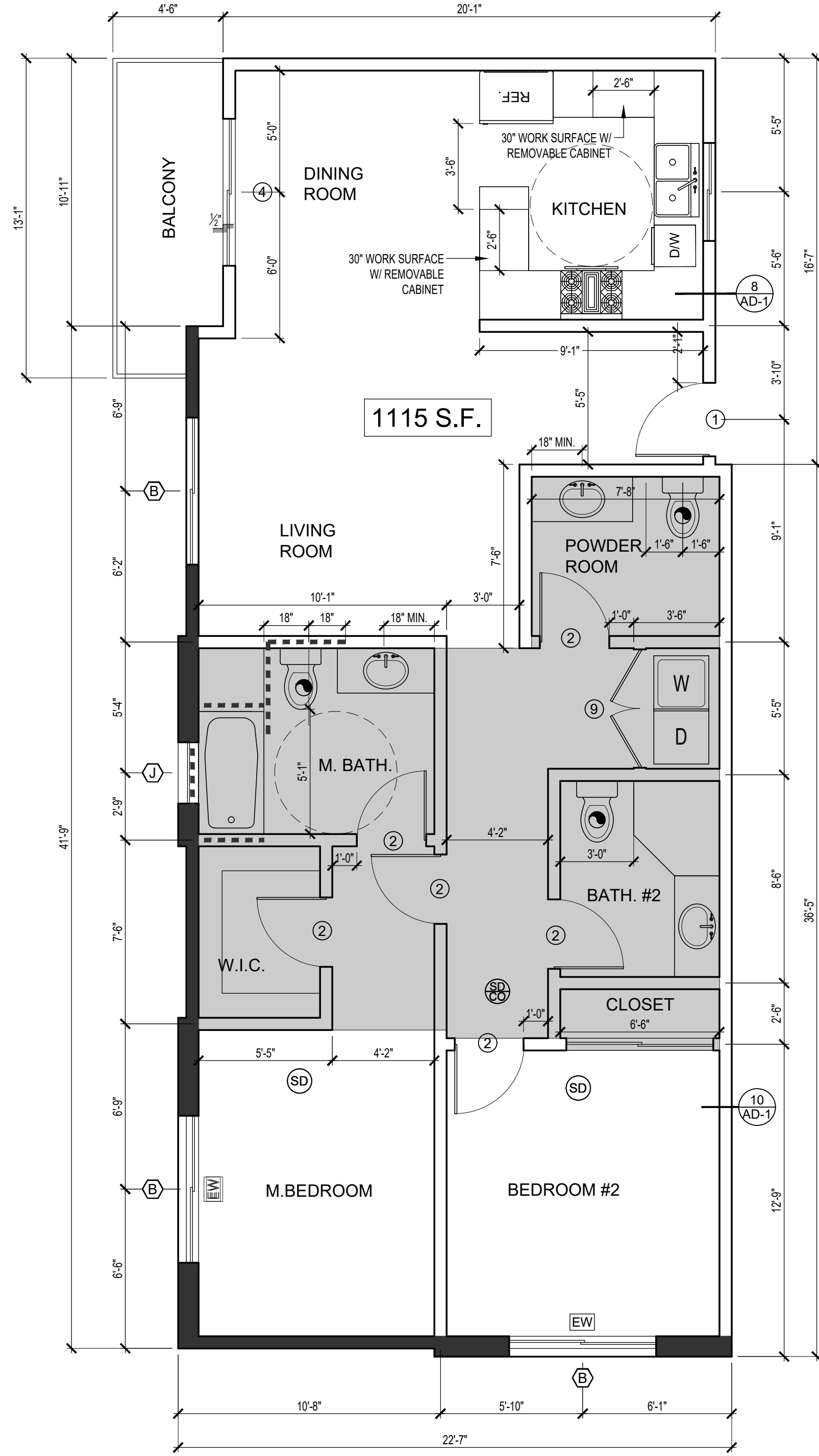
| LEGEND | |
|----------|--|
| SYMBOL | DESCRIPTION |
| (SD) | SMOKE DETECTOR W/ BATTERY BACK-UP |
| (SD/CO) | SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO |
| (FAN) | "ENERGY STAR" RATED MECHANICAL FAN, MIN. 5 AIR CHANGES, WITH HUMIDISTAT |
| (EW) | EGRESS WINDOW: MIN. CLEAR OPENING TO BE 24" CLEAR HIGH, 20" CLEAR WIDTH, 5.7 S.F. MIN. AREA & 44" MAX. TO SILL |
| (W) | WASHER |
| (D) | DRYER |
| (DW) | DISHWASHER |
| (WH) | WATER HEATER |
| (1) | DOOR IDENTIFICATION |
| (A) | WINDOW IDENTIFICATION |
| (SOFFIT) | SOFFIT |
| (DASHED) | BACKING FOR GRAB BAR INSTALLATION |
| (2X6) | 2X6 STUD WALL |
| (2X8) | 2X8 STUD WALL |



UNIT 206

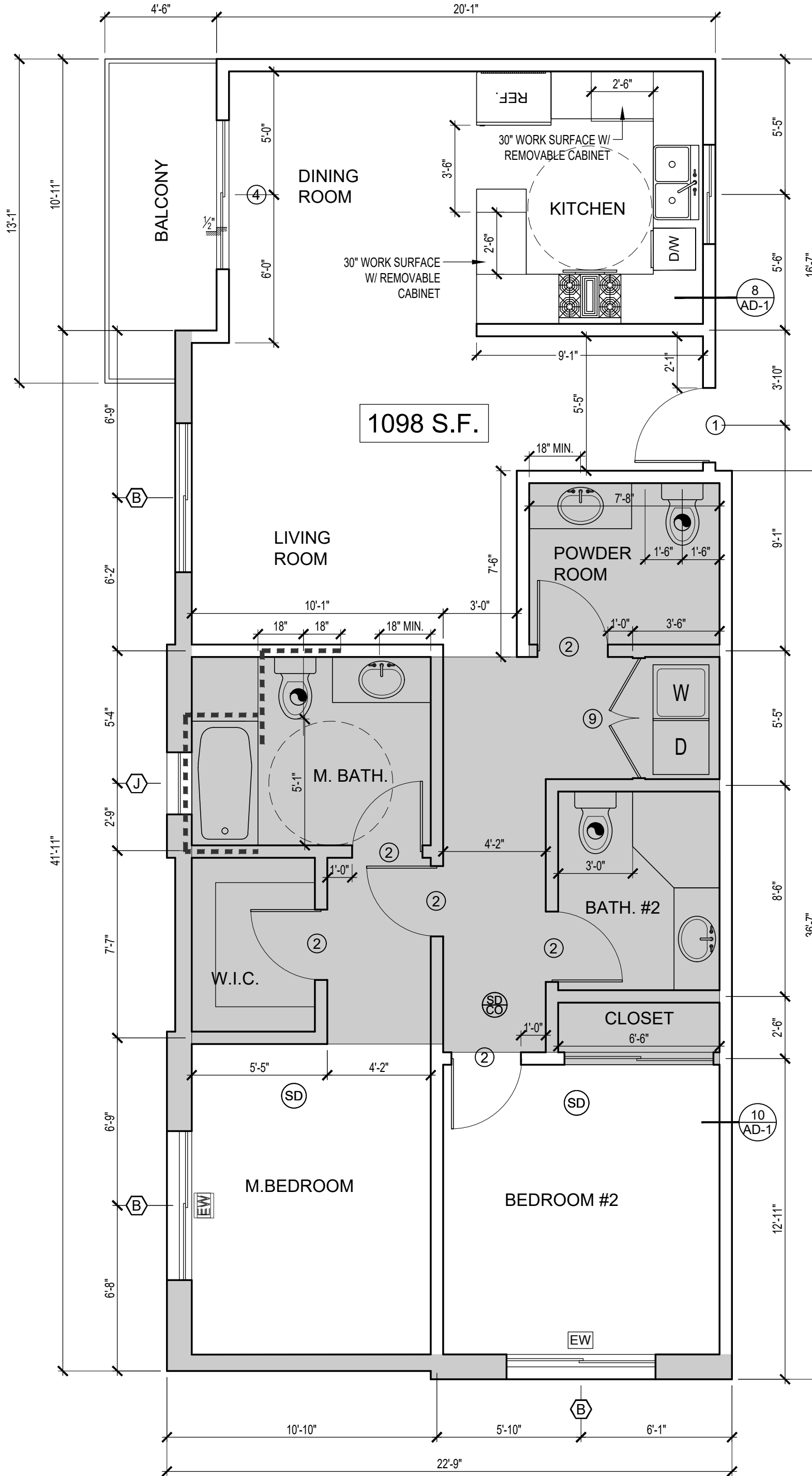
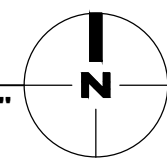
Scale: 1/4"=1'-0"





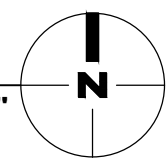
UNIT 207

Scale: 1/4"=1'-0"



UNIT 303

Scale: 1/4"=1'-0"



| LEGEND | |
|---------------|--|
| SYMBOL | DESCRIPTION |
| (SD) | SMOKE DETECTOR W/ BATTERY BACK-UP |
| (SD/CO) | SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO |
| (FAN) | "ENERGY STAR" RATED MECHANICAL FAN, MIN. 5 AIR CHANGES, WITH HUMIDISTAT |
| (EW) | EGRESS WINDOW: MIN. CLEAR OPENING TO BE 24" CLEAR HIGH, 20" CLEAR WIDTH, 5.7 S.F. MIN. AREA & 44" MAX. TO SILL |
| (W) | WASHER |
| (D) | DRYER |
| (DW) | DISHWASHER |
| (W/H) | WATER HEATER |
| (1) | DOOR IDENTIFICATION |
| (A) | WINDOW IDENTIFICATION |
| (SOFFIT) | SOFFIT |
| (DASHED LINE) | BACKING FOR GRAB BAR INSTALLATION |
| (THICK LINE) | 2X6 STUD WALL |
| (SHADY RECT) | 2X8 STUD WALL |

| REVISION | BY |
|----------|----|
| 12/09/20 | |

OWNER

KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT

MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

DRAWN:

APPROVED:

JOB: 2020-04

SHEET:

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF BAVA LLC

| WINDOW SCHEDULE | | | | | | |
|-----------------|--------|--------|---------|-------|--------|---|
| MARK | WIDTH | HEIGHT | TYPE | FRAME | GLASS | REMARKS |
| A | 8'-0" | 4'-0" | SLIDING | VINYL | DOUBLE | |
| B | 6'-0" | 4'-0" | SLIDING | VINYL | DOUBLE | |
| C | 4'-0" | 3'-0" | SLIDING | VINYL | DOUBLE | |
| D | 4'-0" | 4'-0" | SLIDING | VINYL | DOUBLE | |
| E | 6'-0" | 9'-0" | FIXED | VINYL | DOUBLE | |
| F | 3'-0" | 8'-0" | FIXED | VINYL | DOUBLE | |
| G | 3'-0" | 7'-0" | FIXED | VINYL | DOUBLE | |
| H | 7'-0" | 7'-0" | FIXED | STEEL | DOUBLE | SIDELIGHT W/ TRANSOM (1'-10" H. X 3'-0" W.), NON-REFLECTIVE GLASS W/ MIN. 90% LIGHT TRANSMISSION WINDOW TO BE RECESSED MIN. 3" FROM FRONT PLANE OF BUILDING |
| I | 10'-6" | 8'-6" | FIXED | VINYL | DOUBLE | |
| J | 2'-6" | 2'-6" | AWNING | VINYL | DOUBLE | |

| DOOR SCHEDULE | | | | | | | | |
|---------------|------|---------|--------|--------|------------------|---------------|------------|--|
| MARK | CORE | WIDTH | HEIGHT | THK | TYPE | MATERIAL | HARDWARE | REMARKS |
| 1 | S | 3'-0" | 6'-8" | 1 3/4" | SWINGING | WOOD | LEVER TYPE | |
| 2 | H | 2'-10" | 6'-8" | 1 1/4" | SWINGING | WOOD | LEVER TYPE | |
| 3 | - | 3'-0" | 6'-8" | 1 3/4" | SWINGING | STEEL | LEVER TYPE | 10" AT BOT. TO BE SMOOTH SURFACE |
| 4 | - | 2X3'-0" | 6'-8" | 1 1/4" | SLIDING | VINYL / GLASS | - | |
| 5 | H | 2X2'-4" | 6'-8" | 1 1/4" | SWINGING | WOOD | LEVER TYPE | LOUVERED |
| 6 | H | 2X2'-0" | 6'-8" | 1 1/4" | SWINGING | WOOD | LEVER TYPE | LOUVERED |
| 7 | H | 2X2'-6" | 6'-8" | 1 1/4" | SWINGING | WOOD | LEVER TYPE | LOUVERED |
| 8 | H | 2X1'-6" | 6'-8" | 1 1/4" | SWINGING | WOOD | LEVER TYPE | LOUVERED |
| 9 | H | 2X2'-5" | 6'-8" | 1 1/4" | SWINGING | WOOD | LEVER TYPE | LOUVERED |
| 10 | H | 2'-0" | 6'-8" | 1 3/4" | SWINGING | WOOD | LEVER TYPE | LOUVERED |
| 11 | H | 2X1'-8" | 6'-8" | 1 1/4" | SWINGING | WOOD | LEVER TYPE | LOUVERED |
| 12 | - | 3'-0" | 6'-8" | 1 3/4" | SWINGING | STEEL | PANIC | 10" AT BOT. TO BE SMOOTH SURFACE |
| 13 | - | 2X3'-0" | 7'-0" | 1 3/4" | SWINGING | STEEL / GLASS | LEVER TYPE | |
| 14 | - | 2X3'-0" | 7'-0" | 1 3/4" | DBL. SW. DOOR | STEEL / GLASS | PUSH BAR | W/ TRANSOM (1'-6" H. x 6'-0" W.) 10" AT BOT. TO BE SMOOTH SURFACE NON-REFLECTIVE GLASS W/ MIN. 90% LIGHT TRANSMISSION DOOR TO BE RECESSED MIN. 3" FROM FRONT PLANE OF BUILDING |
| 15 | - | 3'-0" | 6'-8" | 1 3/4" | SWINGING | STEEL | LEVER TYPE | |
| 16 | - | 2X4'-6" | 6'-8" | 1 3/4" | SWINGING | STEEL | LEVER TYPE | |
| 17 | - | 3'-0" | 4'-0" | 1 1/4" | SWINGING | STEEL | LEVER TYPE | WELDED WIRED DOOR |
| 18 | - | 3'-0" | 4'-0" | 1 1/4" | BOTTOM HINGED | STEEL | LEVER TYPE | |
| 19 | - | 2X4'-0" | 6'-8" | 1 1/4" | SLIDING | VINYL / GLASS | - | |
| 20 | - | 16'-0" | 8'-6" | - | SLIDING | STEEL | - | GARAGE DOOR |



| REVISION | BY |
|----------|----|
| 12/09/20 | |
| | |
| | |
| | |

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

DRAWN:

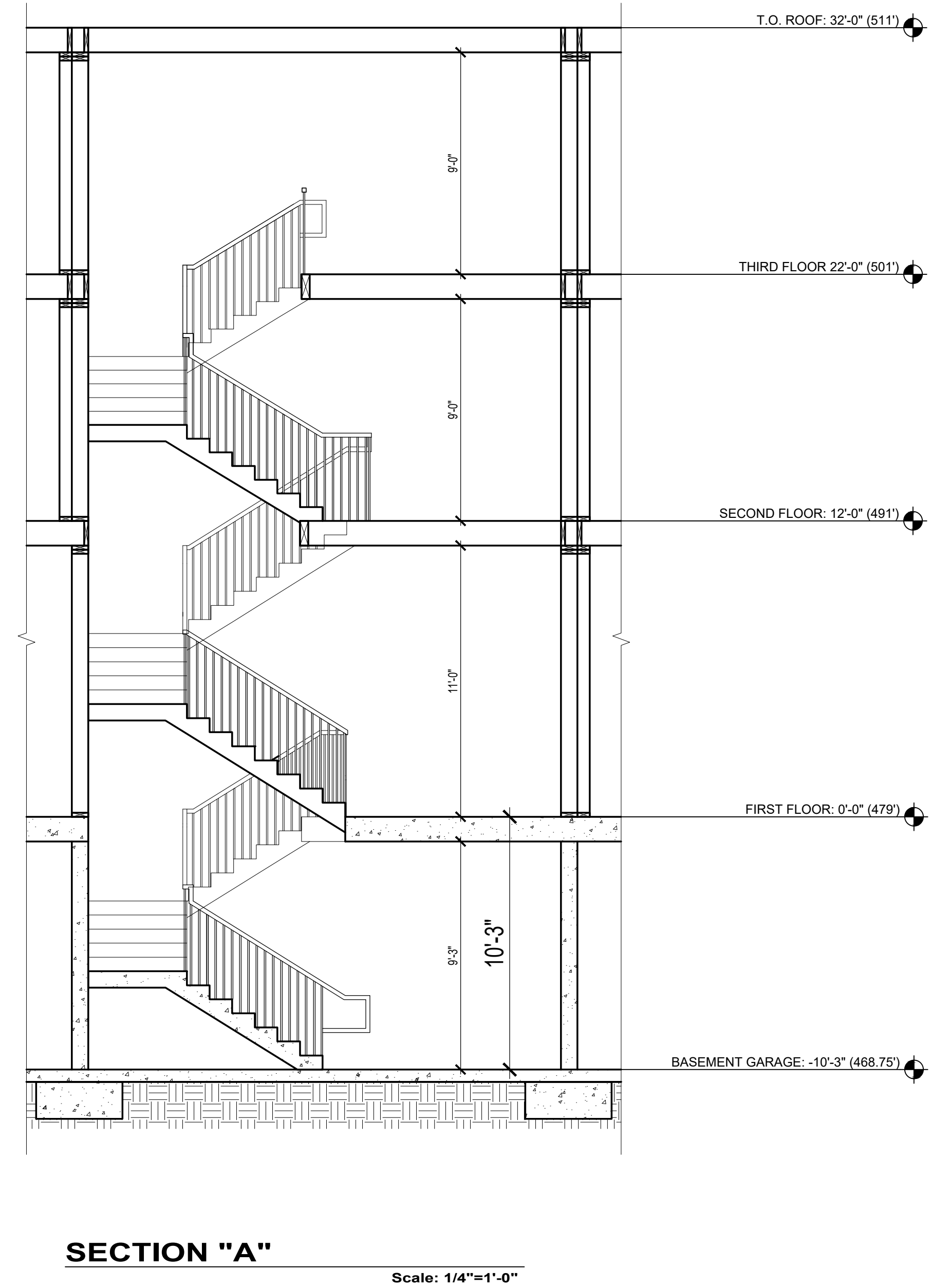
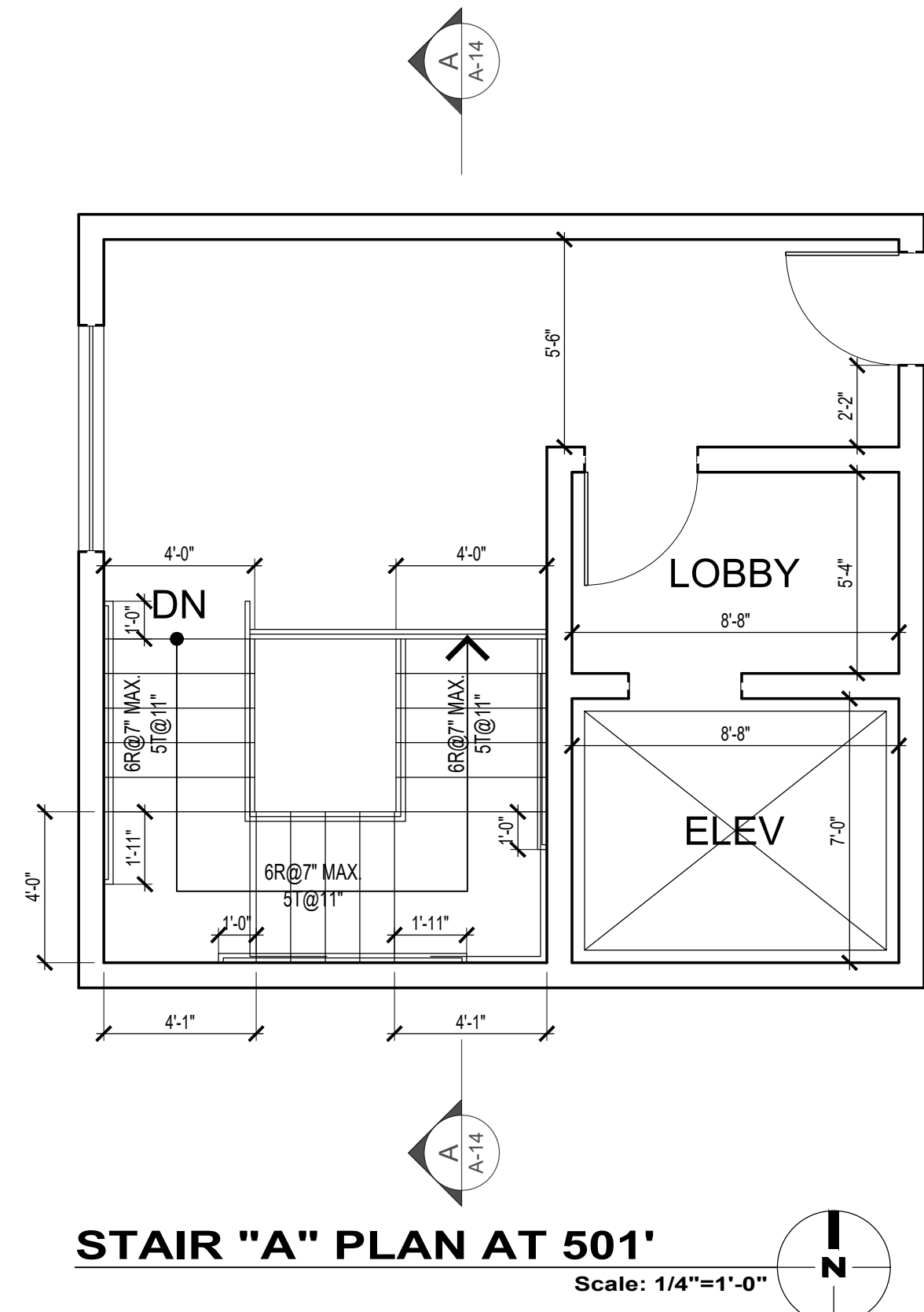
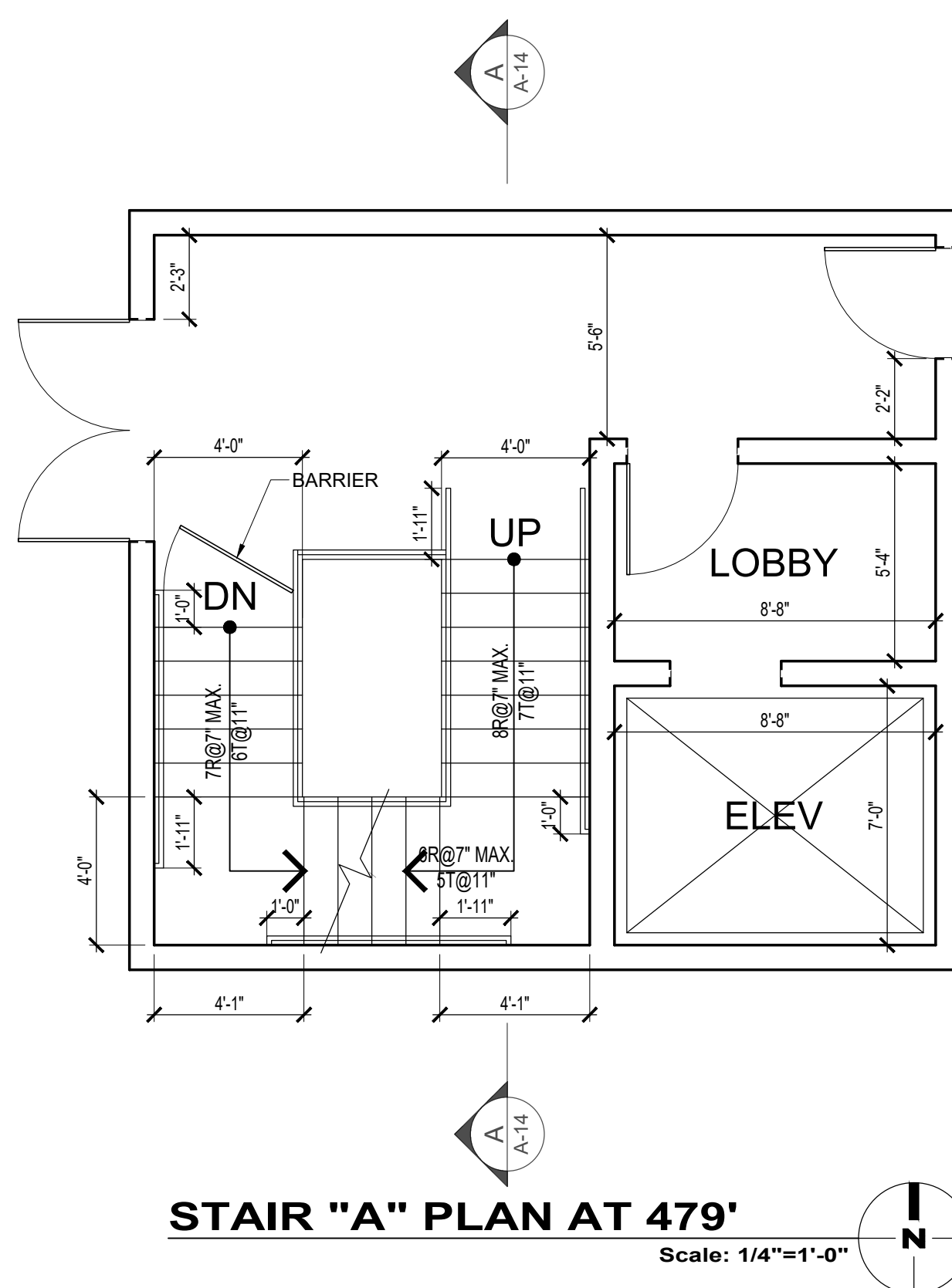
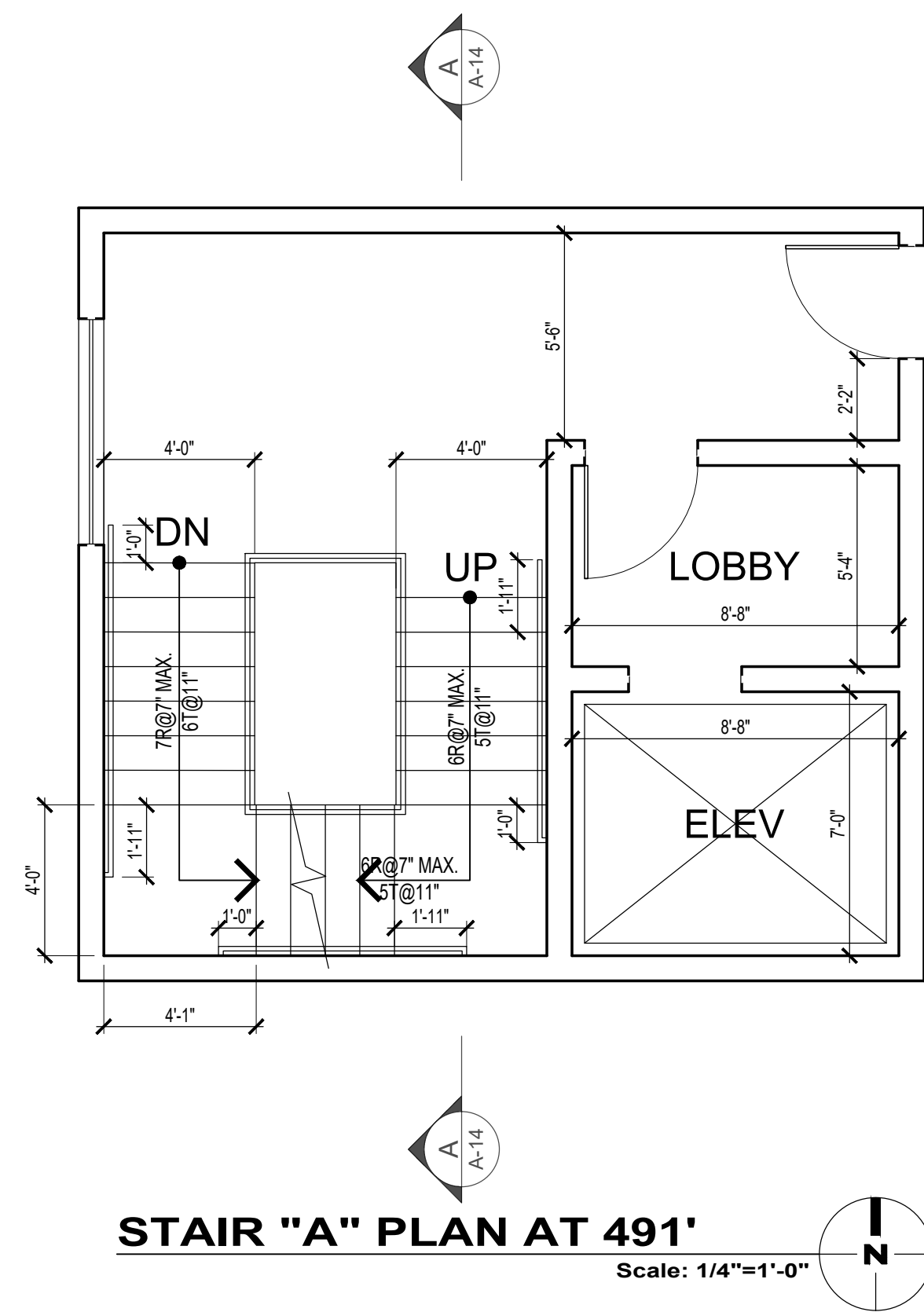
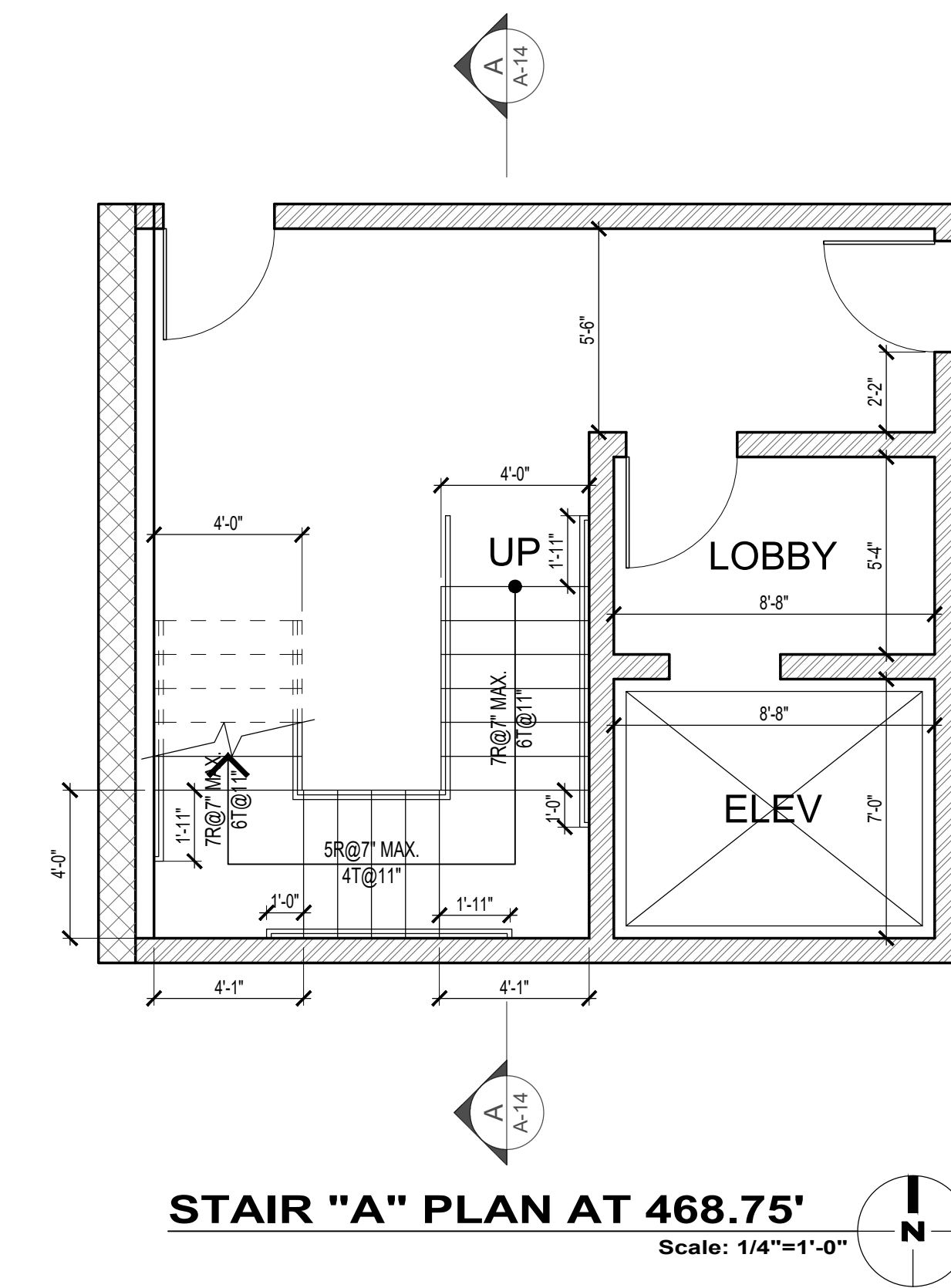
APPROVED:

JOB: 2020-04

SHEET:

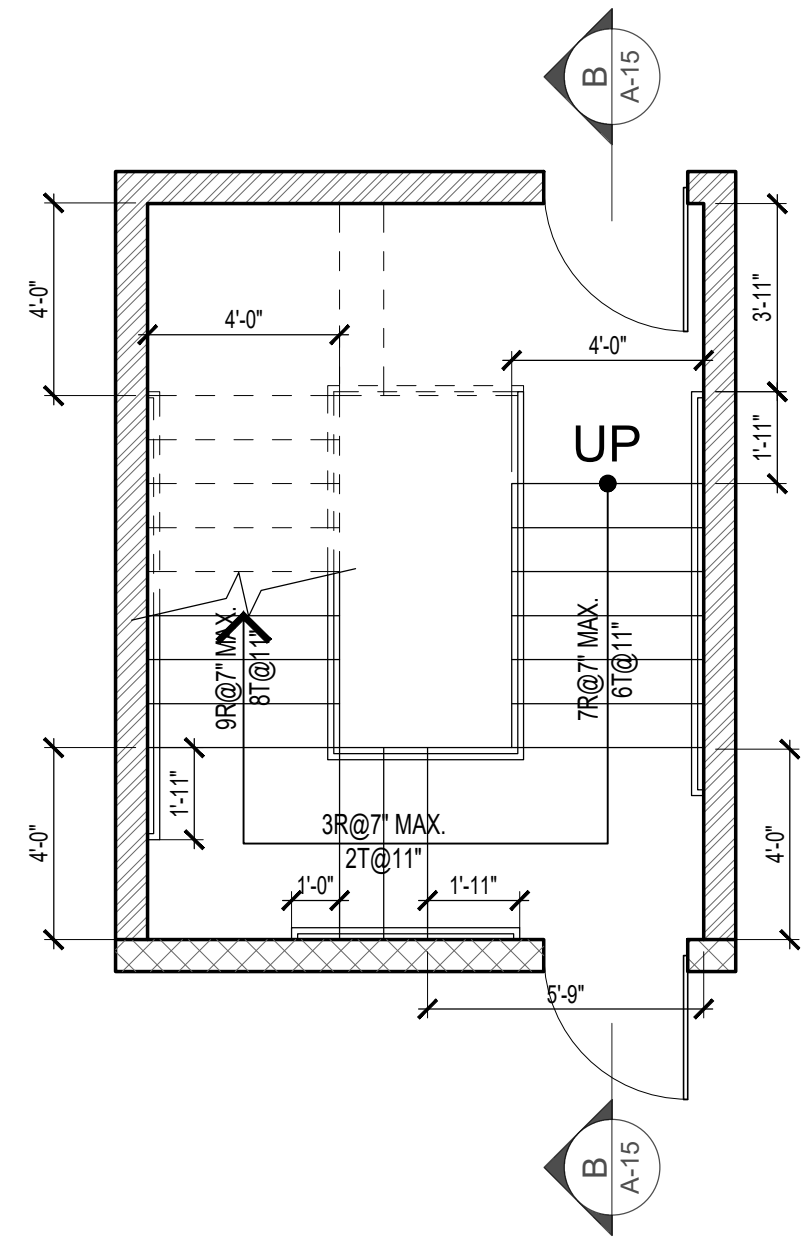
A-15

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, FABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF BAVA LLC



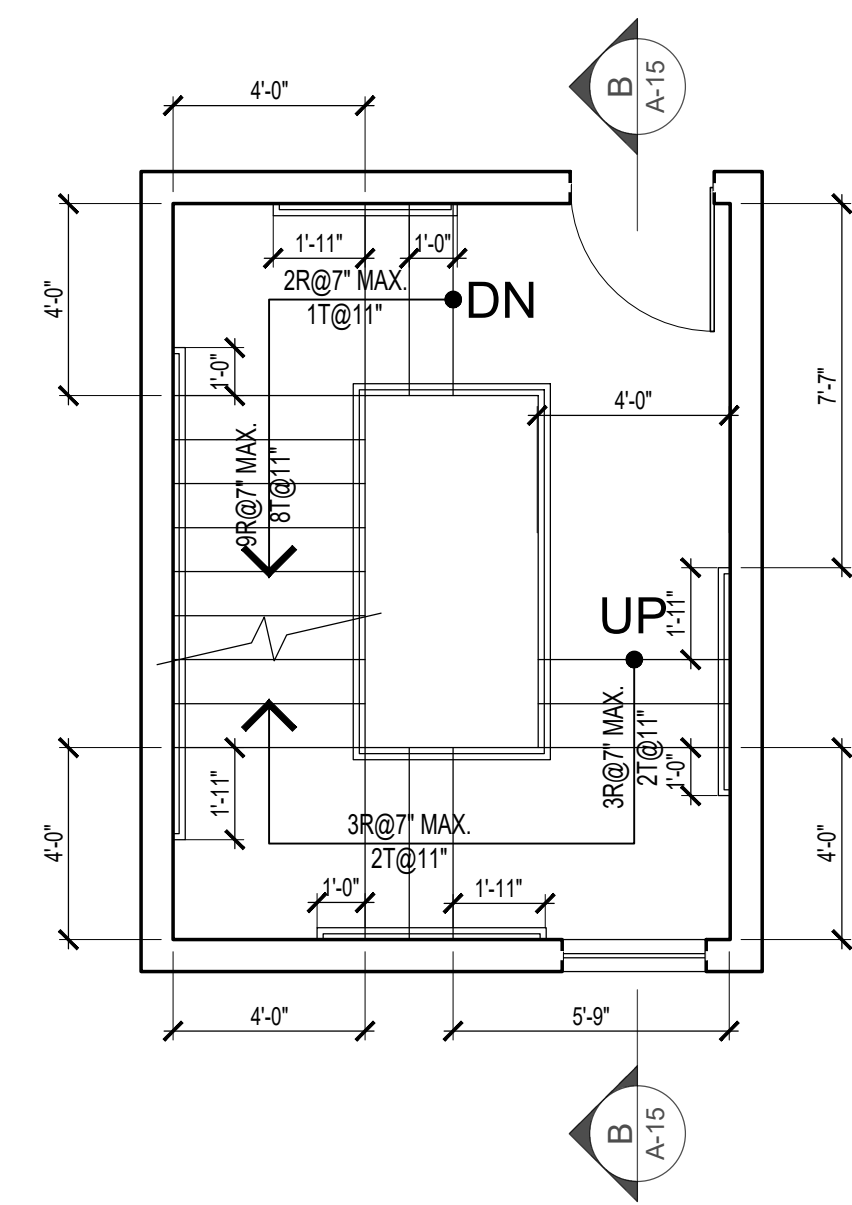
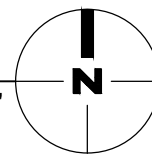
| | |
|---|-----------|
| BA-VA BAVA LLC. info@ba-va.com | |
| REVISION | BY |
| 12/09/20 | |
| OWNER | |
| KAS VERDUGO LLC 2147 HAVEN STREET GLENDALE CA 91208 | |
| PROJECT | |
| MIXED USE PROJECT 14 RESIDENTIAL UNITS 4006 & 4002 VERDUGO ROAD LOS ANGELES CA 90065 | |
| DRAWING TITLE | |
| | |
| DATE: | 8/29/2024 |
| DRAWN: | |
| APPROVED: | |
| JOB: | 2020-04 |
| SHEET: | |
| A-16 | |

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITHIN ARE AND SHALL REMAIN THE PROPERTY OF BA-VA LLC.



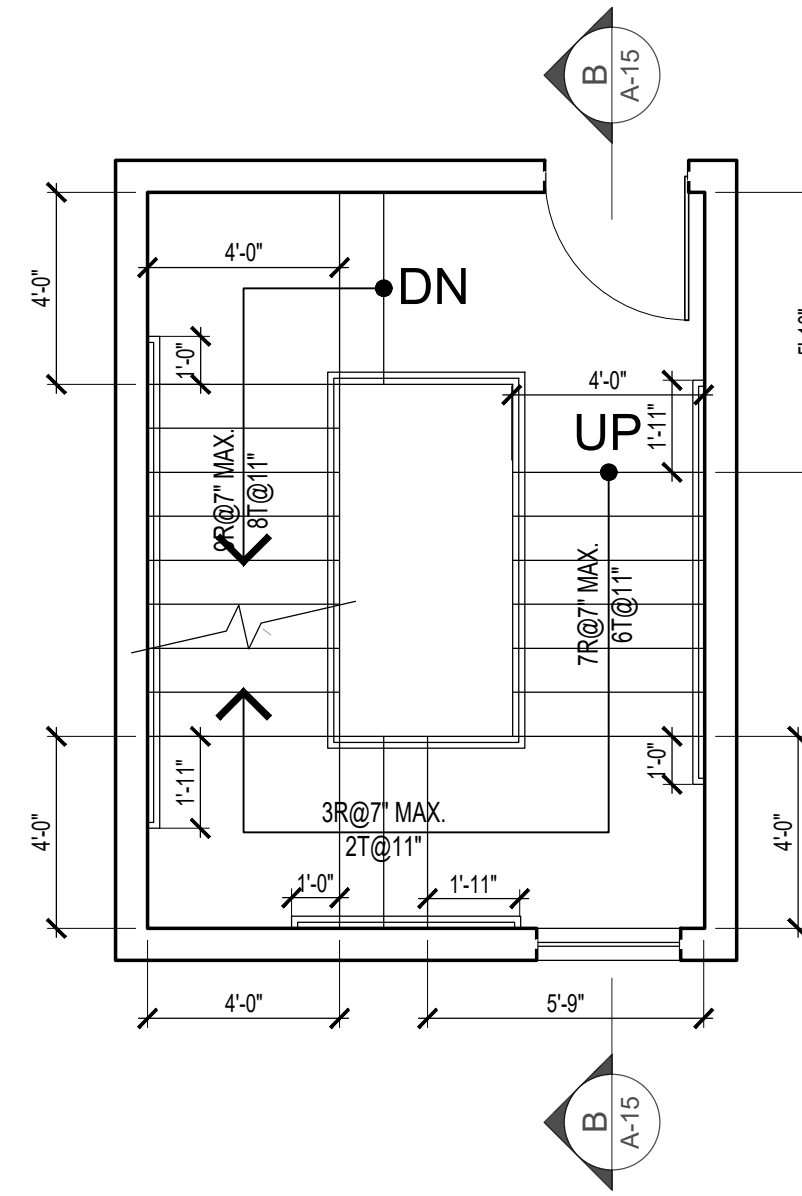
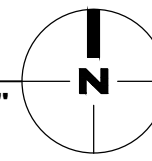
STAIR "B" PLAN AT 468'

Scale: 1/4"=1'-0"



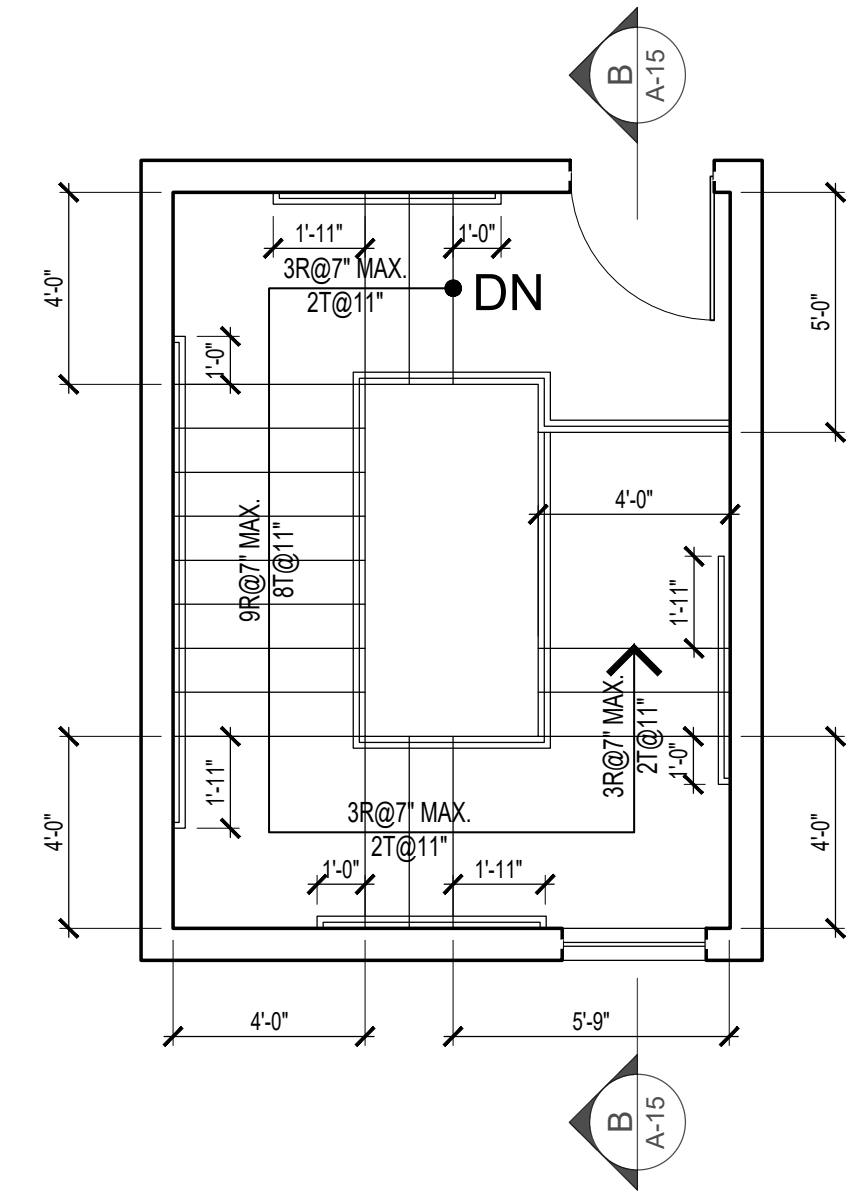
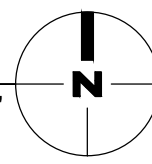
STAIR "B" PLAN AT 491'

Scale: 1/4"=1'-0"



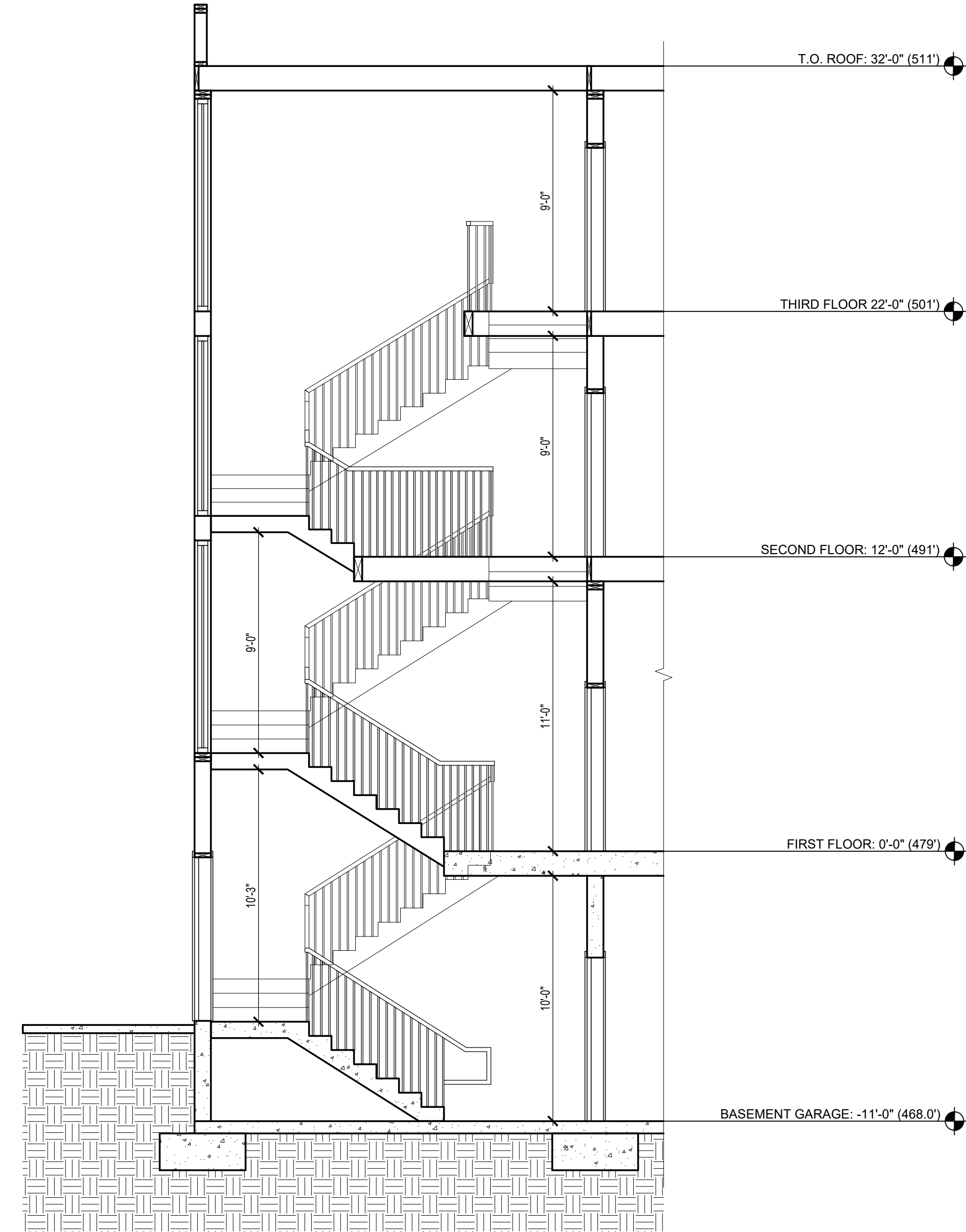
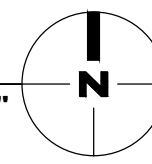
STAIR "B" PLAN AT 479'

Scale: 1/4"=1'-0"



STAIR "B" PLAN AT 501'

Scale: 1/4"=1'-0"



SECTION "B"

Scale: 1/4"=1'-0"

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| 12/09/20 | |

OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE

DATE: 8/29/2024

DRAWN:

APPROVED:

JOB: 2020-04

SHEET:



NORTH VIEW



EAST VIEW



WEST VIEW



SOUTH VIEW

BA-VA

BAYA LLC.
info@ba-va.com

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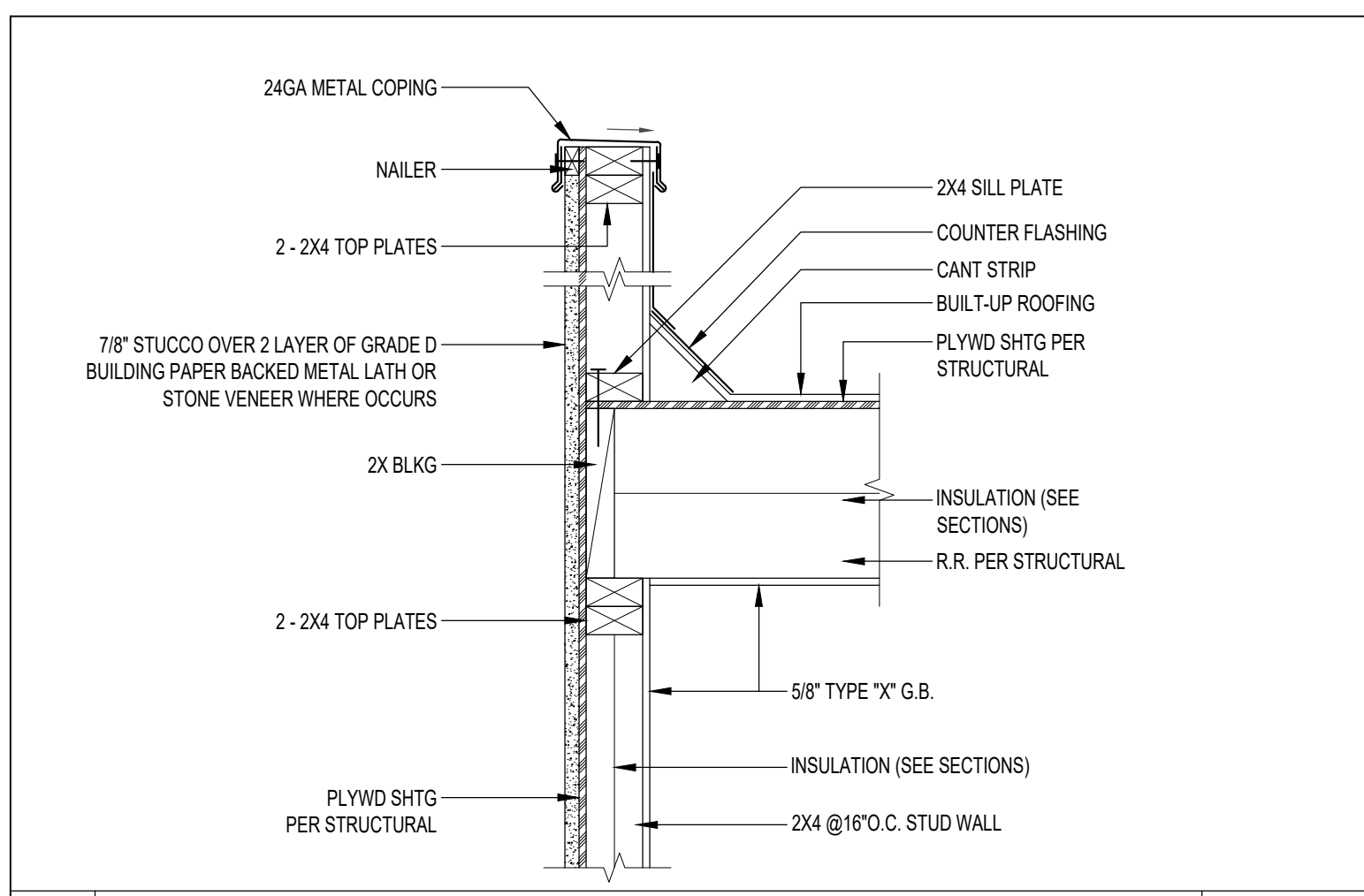
APPROVED:

JOB: 2020-04

SHEET:

R-1

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4 TYPICAL PARAPET Scale N.T.S.

GA FILE NO. WP 8131 PROPRIETARY* 1 HOUR FIRE

GYPHUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION, WOOD STRUCTURAL PANELS, CEMENTITIOUS BACKER UNITS

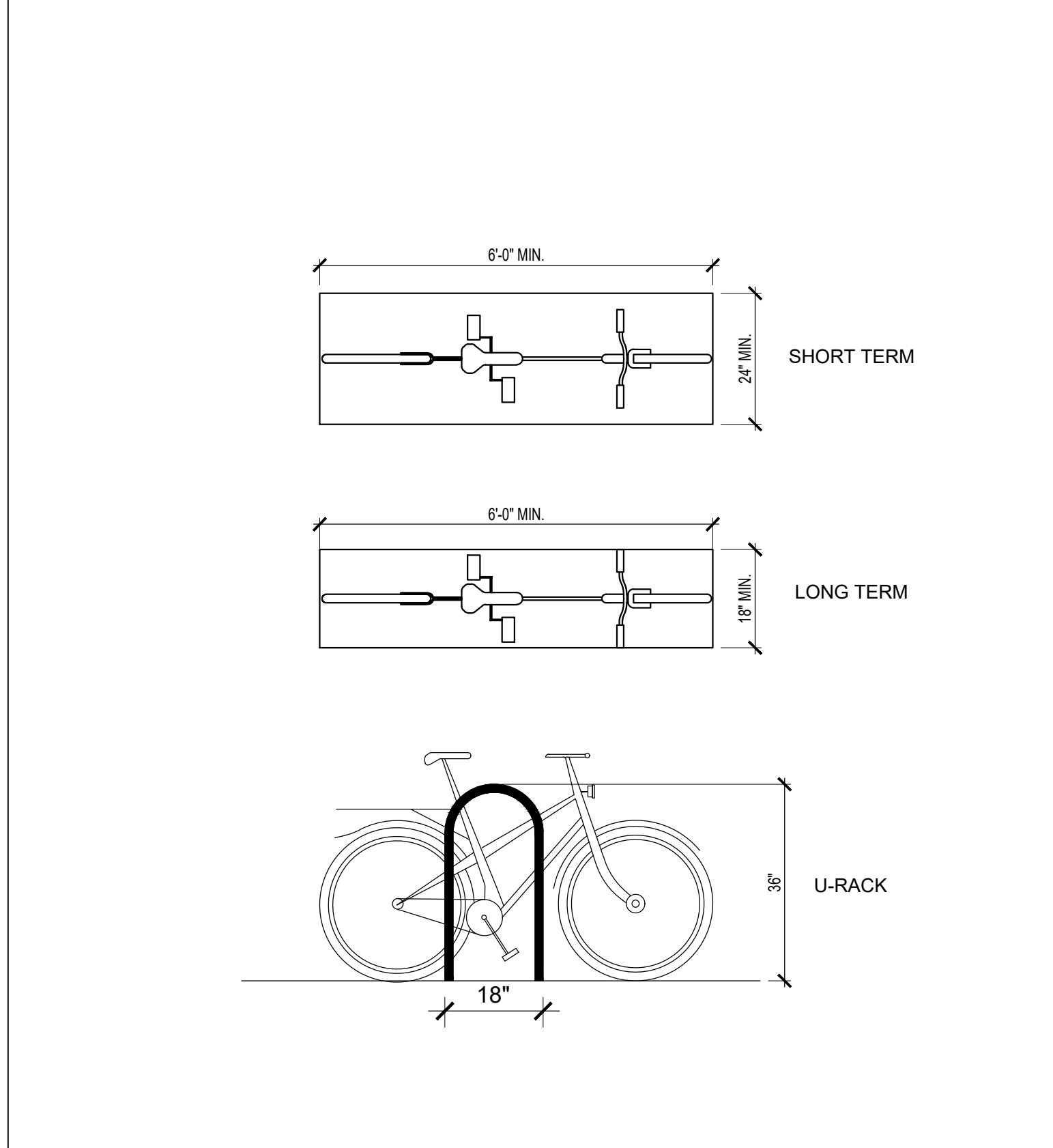
EXTERIOR SIDE: Base layer 1/2" wood structural panels applied parallel to 2 x 4 wood studs 16" o.c. with 10d galvanized nails 6" o.c. at edges and at top and bottom plates and 12" o.c. at intermediate studs. Weather resistive barrier applied over panels. Face layer 1/2" proprietary cementitious backer units applied parallel or at right angles to studs with 1/4" long corrosion resistant screws 8" o.c.

INTERIOR SIDE: One layer 1/2" proprietary type X gypsum wallboard applied parallel or at right angles to studs with either 6d cement coated nails, 1 1/4" long 7" o.c. or 1 1/4" long Type S or Type W drywall screws 8" o.c. 3" mineral fiber insulation, 3.0 pcf, friction fit in stud space. (LOAD-BEARING)

PROPRIETARY GYPSUM BOARD
United States Gypsum Company - 1/2" SHEETROCK® Brand FIRECODE® Core Gypsum Panels

Thickness: 5/8"
Approx. Weight: 14 psf
Fire Test: UL R1319, 97NK14997, 4-25-97, UL Design U303

12 1-HR EXTERIOR WALL Scale N.T.S.



13 BICYCLE PARKING Scale N.T.S.

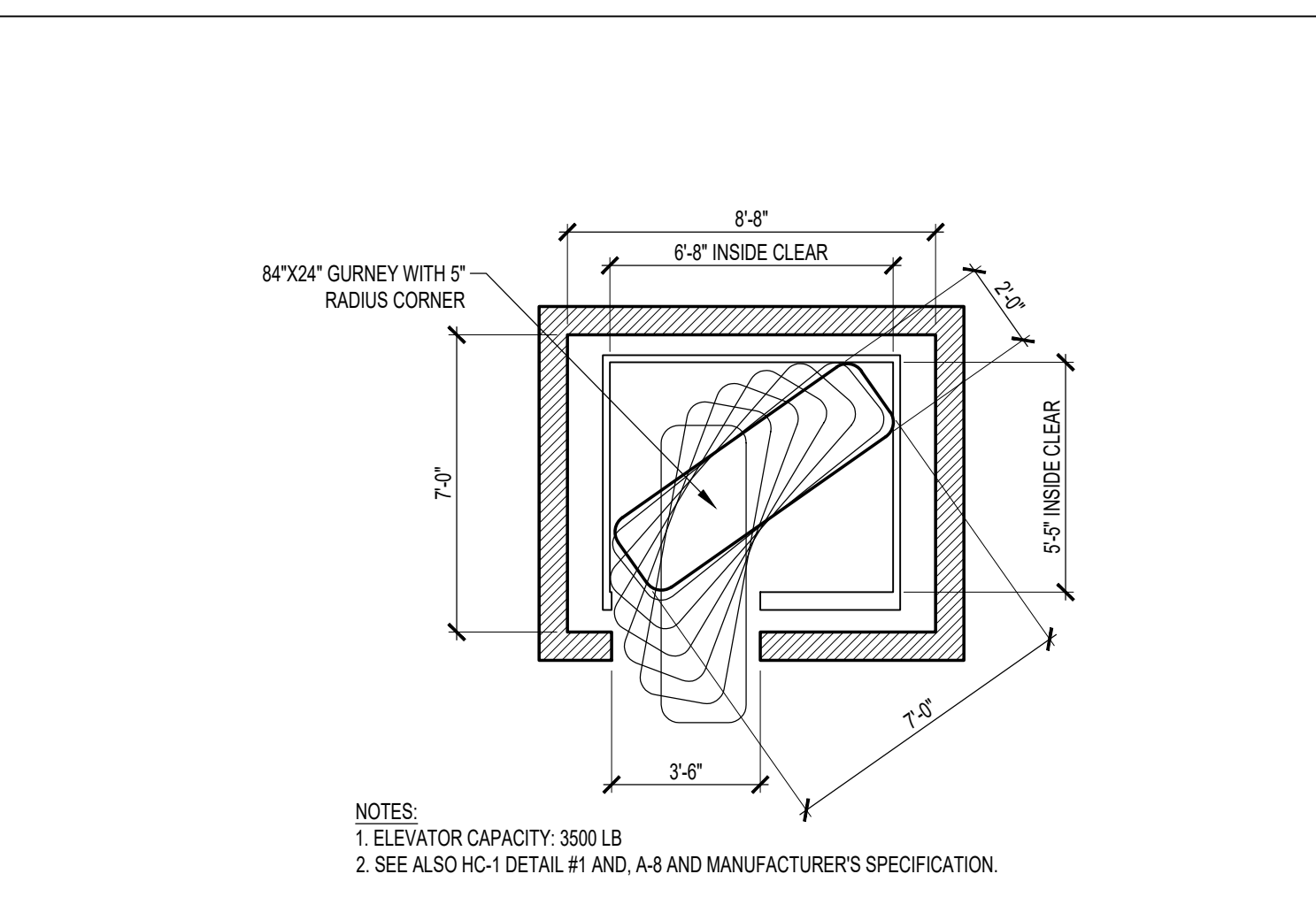
GA FILE NO. WP 3431 GENERIC 1 HOUR FIRE 40 to 44 STC SOUND

GYPHUM LATH, GYPHUM PLASTER, WOOD STUDS

1/2" 1:2 gypsum-sand plaster applied over 3/8" type X gypsum lath applied at right angles to each side of 2 x 4 wood studs 16" o.c. with 13 gage blue lath nails, 1 1/4" long, 0.0915" shank, 1/4" heads, 5" o.c. (LOAD-BEARING)

Thickness: 5/8"
Approx. Weight: 15 psf
Fire Test: OSU T-1488, 12-60
Sound Test: RAL TL58-60, 8-7-58

14 1-HR INTERIOR WALL Scale N.T.S.



11 GURNEY ACCESSIBLE ELEVATOR BY OTIS Scale N.T.S.

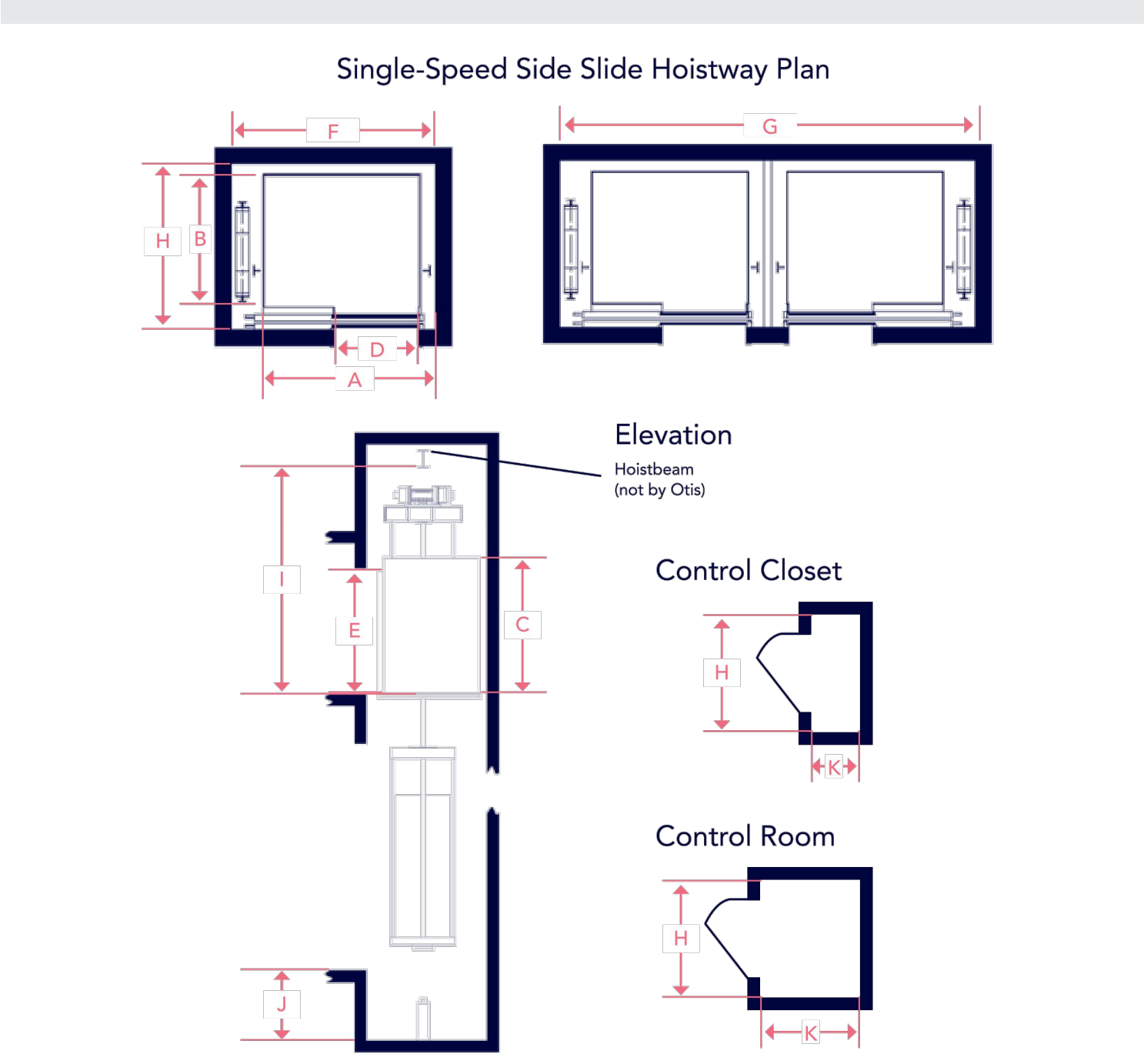
Gen3 Core™

PASSENGER ELEVATOR

| | | | | | |
|--|------------------------------------|-----------------------------------|--------------------------------|---------------------|----------------------|
| Rated duty load | 2,100 lbs (953 kg) | 2,500 lbs (1134 kg) | 3,000 lbs (1361 kg) | 3,500 lbs (1588 kg) | 3,500W lbs (1588 kg) |
| A Clear car width ¹ | 5'-8 1/2" (1735 mm) | 6'-5 1/2" (1970 mm) | 6'-5 1/2" (1970 mm) | 6'-8" (2032 mm) | 6'-8" (2032 mm) |
| B Clear car depth for front openings ² | 4'-3 1/4" (1309 mm) | 5'-0 1/2" (1528 mm) | 5'-0 1/2" (1528 mm) | 5'-5 1/4" (1665 mm) | 5'-5 1/4" (1665 mm) |
| C Clear car depth for front & rear openings ² | 4'-4 1/4" (1324 mm) | 5'-0 1/2" (1528 mm) | 5'-0 1/2" (1528 mm) | 5'-4 1/4" (1660 mm) | 5'-4 1/4" (1660 mm) |
| D Clear cab height ³ | | 7'-9" (2367 mm) | 7'-9" (2367 mm) | | |
| E Door width | 3'-0" (914 mm) | | 3'-8" (1067 mm) | | |
| F Door type | Single slide | | Center opening or single slide | | |
| G Door height | | 7'-0" (2134 mm) | | | |
| H Hoistway single width ⁴ non-seismic | 7'-9" (2362 mm) | | 8'-6" (2591 mm) | | 8'-7" (2617 mm) |
| I Hoistway single width ⁴ seismic | 7'-11" (2413 mm) | | 8'-8" (2642 mm) | | 8'-9" (2667 mm) |
| J Hoistway double width ⁴ non-seismic | 15'-10" (4826 mm) | | 17'-4" (5283 mm) | | 17'-5" (5334 mm) |
| K Hoistway double width ⁴ seismic | 16'-2" (4928 mm) | | 17'-8" (5385 mm) | | 17'-9" (5436 mm) |
| L Hoistway depth for front openings | 5'-9" (1753 mm) | 4'-4" (1329 mm) | 4'-11" (1508 mm) | 6'-11" (2108 mm) | 6'-11" (2108 mm) |
| M Hoistway depth for front & rear openings | 6'-3 1/4" (1911 mm) | 4'-4" (1329 mm) | 4'-11" (1508 mm) | 7'-5 1/4" (2267 mm) | 7'-5 1/4" (2267 mm) |
| N Clear overhead to hoist beam ⁵ | 150 fpm (46 mm) | | 200 fpm (61 mm) | | |
| O 7'-9" (2362 mm) cab height | 12'-7" (3836 mm) | | 12'-8" (3861 mm) | | |
| P Minimum pit depth ⁶ | 4'-0" (1219 mm) or 5'-0" (1524 mm) | | | | |
| Q Optional control closet or room ⁷ | | | | | |
| Control closet | | Hoistway depth x 3'-10" (1168 mm) | | | |
| Control room | | Hoistway depth x 5'-0" (1524 mm) | | | |
| Control room-duplex | | Hoistway depth x 7'-6" (2286 mm) | | | |

1. Clear or otherwise not used depending on car width factor.
2. Clear or otherwise not used depending on car width factor.
3. Minimum clearance of 7'0" for conventional cars and 7'6" for high speed cars.
4. From nearest steel or concrete support or 200-0388-017 1/4" long 1/2" diameter bolts.
5. From nearest steel or concrete support or 200-0388-017 1/4" long 1/2" diameter bolts.
6. From nearest steel or concrete support or 200-0388-017 1/4" long 1/2" diameter bolts.
7. Construction alternatives can be realized by consulting with Otis representatives by 2111 ext. 6666.

IMPORTANT: To assist in your planning, we recommend that you call your Otis representative at the beginning of the project.



11 GURNEY ACCESSIBLE ELEVATOR BY OTIS Scale N.T.S.

GA FILE NO. FC 5115 PROPRIETARY* 1 HOUR FIRE 50 to 54 STC SOUND

WOOD JOISTS, GYPHUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION

One layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 3/4" interior plywood with exterior glue subfloor and 1 1/4" perlite-sand concrete reinforced with No. 19 SWG galvanized hexagonal wire mesh. 5" glass fiber insulation 0.90 pcf in joist space stapled to subfloor.

PROPRIETARY GYPSUM BOARD
United States Gypsum Company - 1/2" SHEETROCK® Brand FIRECODE® Core Gypsum Panels

Approx. Ceiling Weight: 2 psf
Fire Test: UL R3453-7, 5-1-70; UL Design L516
Sound Test: KAL L 224-28-65, 3-30-65 (74 C & P); KAL L 224-27-65, 3-30-65

5 1-HR STC 50 - IIC 50 FLOOR-CEILING ASSEMBLY Scale N.T.S.

GA FILE NO. RC 2601 GENERIC 1 HOUR FIRE

GYPHUM WALLBOARD, WOOD JOISTS, ROOF COVERING

Base layer 1/2" type X gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. Face layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 1 1/4" Type W or S drywall screws 12" o.c. at joints and intermediate joists and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 8d nails. Appropriate roof covering. Ceiling provides one hour fire resistance protection for framing, including trusses.

Approx. Ceiling Weight: 5 psf
Fire Test: FM FC 172, 2-25-72; ITS, 6-6-98

6 CONCRETE SLAB, STC 50 - ICC 50, 4-HR FIRE RATED Scale N.T.S.

GA FILE NO. WP 3620 GENERIC 1 HOUR FIRE 30 to 34 STC SOUND

GYPHUM VENEER BASE, GYPHUM VENEER PLASTER, WOOD STUDS

One layer 1/2" type X gypsum veneer base applied at right angles to each side of 2 x 4 wood studs 16" o.c. with 5d etched nails, 1 1/4" long, 0.099" shank, 1/4" heads, 8" o.c. 1/4" gypsum veneer plaster applied over each face.

Vertical joints staggered 16" and horizontal joints 12" on opposite sides. Sound tested without gypsum veneer plaster. (LOAD-BEARING)

Thickness: 4 1/4"
Approx. Weight: 7 psf
Fire Test: UC, 1-12-66
Sound Test: G&H IBI-35FT, 5-26-64

7 1-HR ROOF-CEILING ASSEMBLY Scale N.T.S.

GA FILE NO. WP 4230 GENERIC 2 HOUR FIRE

GYPHUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION

Base layer 1/2" type X gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 2 1/4" Type S or W drywall screws 24" o.c. Face layer 1/2" type X gypsum wallboard applied at right angles to each side with 2 1/4" Type S drywall screws 8" o.c. 5 1/2" mineral fiber insulation, nominal 3 pcf, friction fit in stud space.

Joints staggered 24" each layer and side.
Tested at 5,506 lbs per stud or 100 percent of design load. (LOAD-BEARING)

Thickness: 8"
Approx. Weight: 13 psf
Fire Test: ITS J20-06170.3, 12-00

8 1-HR INTERIOR WALL Scale N.T.S.

GA FILE NO. WP 4230 GENERIC 2 HOUR FIRE

GYPHUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION

Base layer 1/2" type X gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 2 1/4" Type S or W drywall screws 24" o.c. Face layer 1/2" type X gypsum wallboard applied at right angles to each side with 2 1/4" Type S drywall screws 8" o.c. 5 1/2" mineral fiber insulation, nominal 3 pcf, friction fit in stud space.

Joints staggered 24" each layer and side.
Tested at 5,506 lbs per stud or 100 percent of design load. (LOAD-BEARING)

Thickness: 8"
Approx. Weight: 13 psf
Fire Test: ITS J20-06170.3, 12-00

9 2-HR WALL Scale N.T.S.



1 WEEP SCREED Scale N.T.S.

GA FILE NO. WP 4230 GENERIC 2 HOUR FIRE

GYPHUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION

Base layer 1/2" type X gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 2 1/4" Type S or W drywall screws 24" o.c. Face layer 1/2" type X gypsum wallboard applied at right angles to each side with 2 1/4" Type S drywall screws 8" o.c. 5 1/2" mineral fiber insulation, nominal 3 pcf, friction fit in stud space.

Joints staggered 24" each layer and side.
Tested at 5,506 lbs per stud or 100 percent of design load. (LOAD-BEARING)

Thickness: 8"
Approx. Weight: 13 psf
Fire Test: ITS J20-06170.3, 12-00

8 1-HR INTERIOR WALL Scale N.T.S.

GA FILE NO. WP 4230 GENERIC 2 HOUR FIRE

GYPHUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION

Base layer 1/2" type X gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 2 1/4" Type S or W drywall screws 24" o.c. Face layer 1/2" type X gypsum wallboard applied at right angles to each side with 2 1/4" Type S drywall screws 8" o.c. 5 1/2" mineral fiber insulation, nominal 3 pcf, friction fit in stud space.

Joints staggered 24" each layer and side.
Tested at 5,506 lbs per stud or 100 percent of design load. (LOAD-BEARING)

Thickness: 8"
Approx. Weight: 13 psf
Fire Test: ITS J20-06170.3, 12-00

10 1-HR STC 50 - IIC 50 UNIT SEPARATION WALL Scale N.T.S.

BA-VA
BAYA LLC.
info@ba-va.com

OWNER: KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

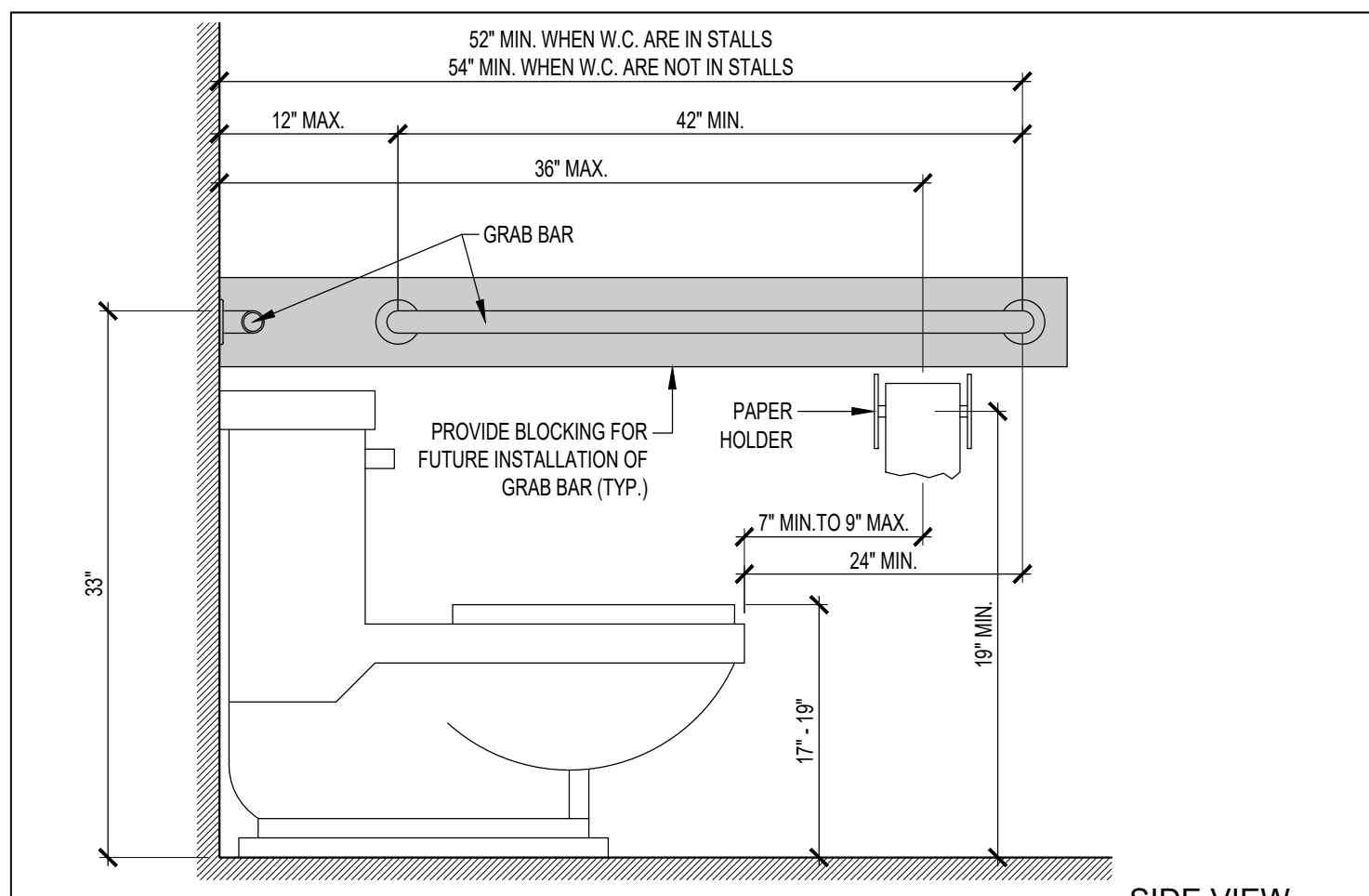
PROJECT: MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE: STAIRS RAILING

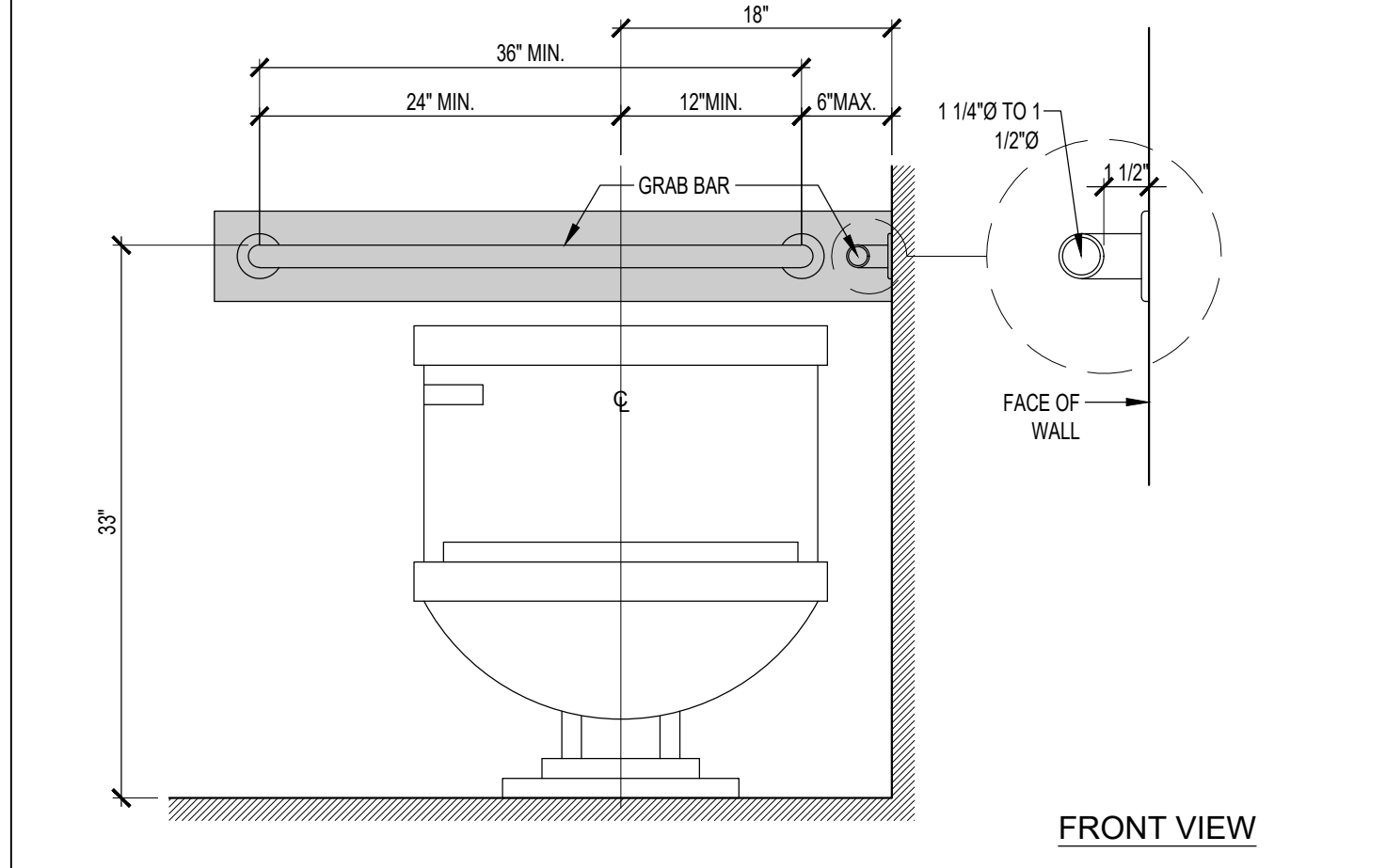
DATE: 8/29/2024

DRAWN:
APPROVED:
JOB: 2020-04
SHEET: AD-1

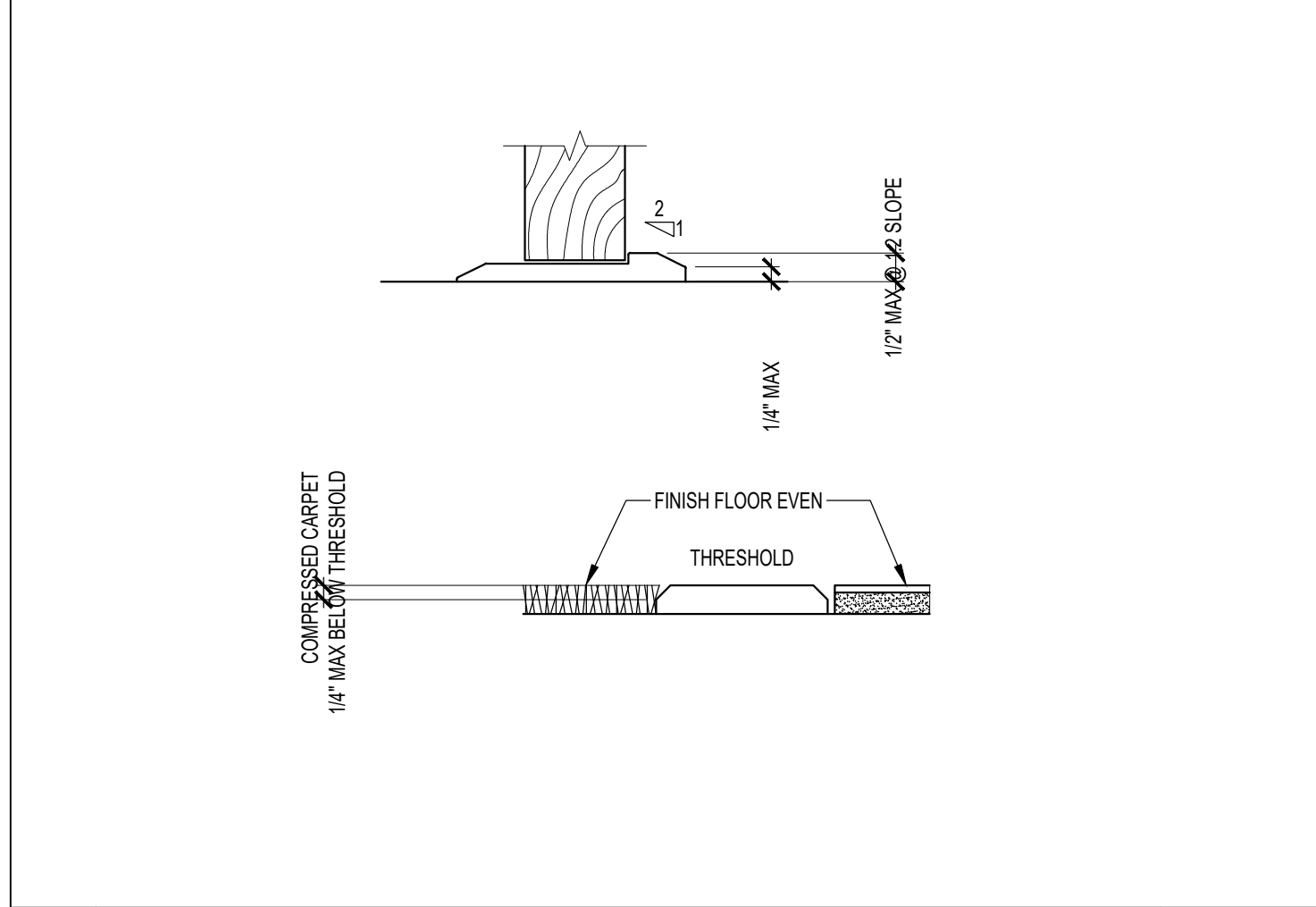
ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF BA-VA LLC.



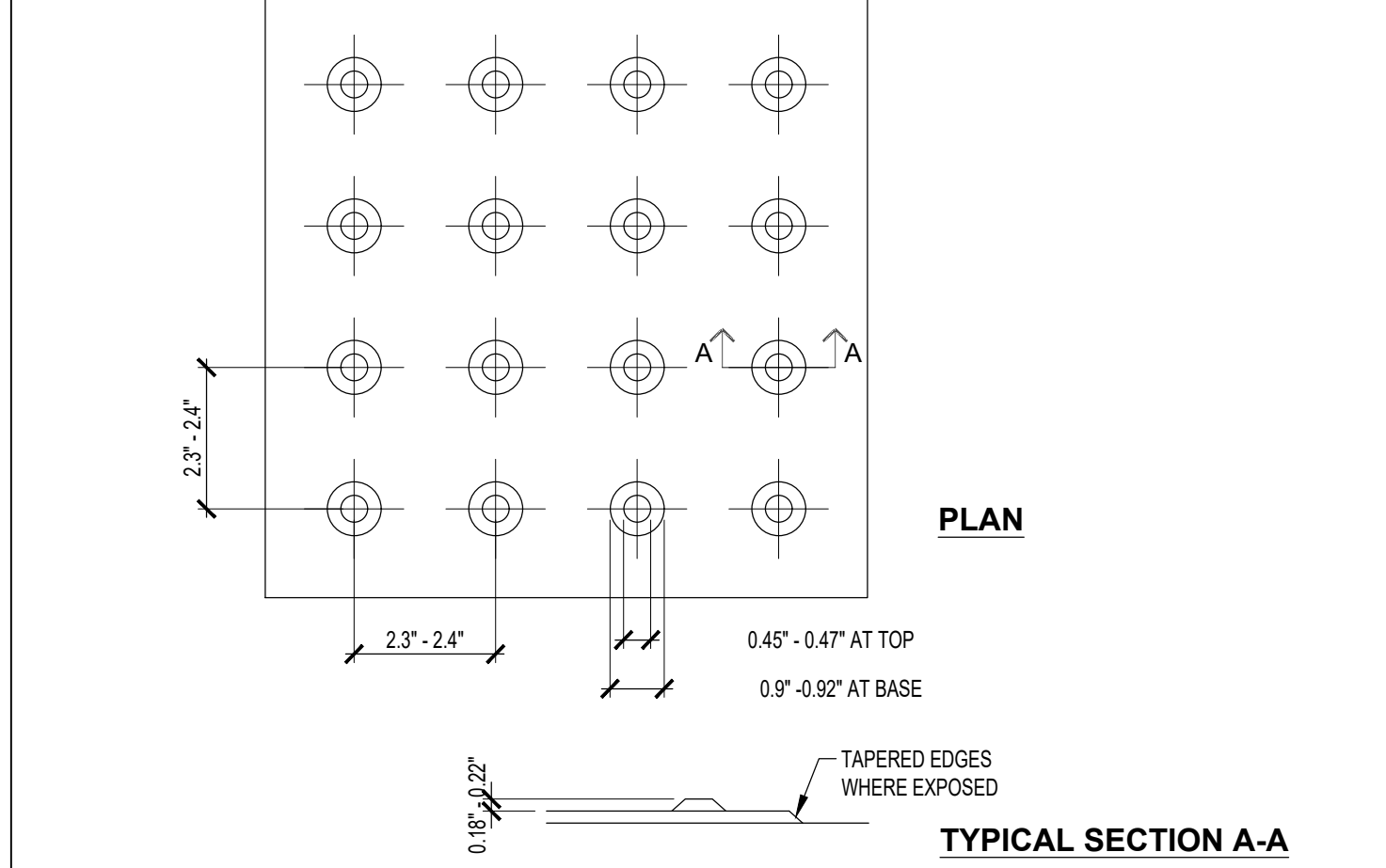
Dispensers are to comply with CBC 11B-309.4 and dispensers that control delivery or that dose not permit continues paper flow shall not be used. CBC 11b-604.7



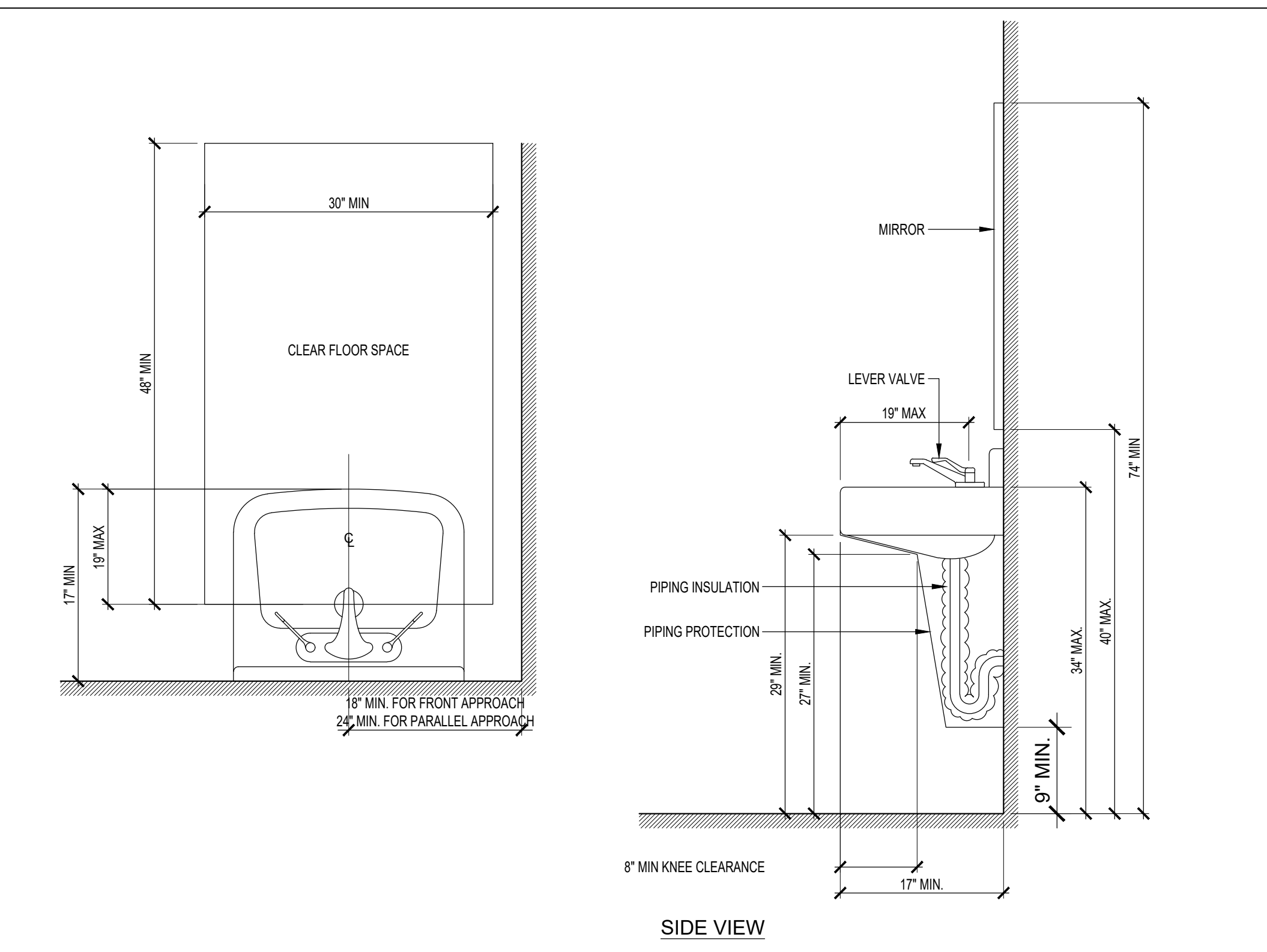
10 FLOOR MOUNTED WATER CLOSETS Scale N.T.S



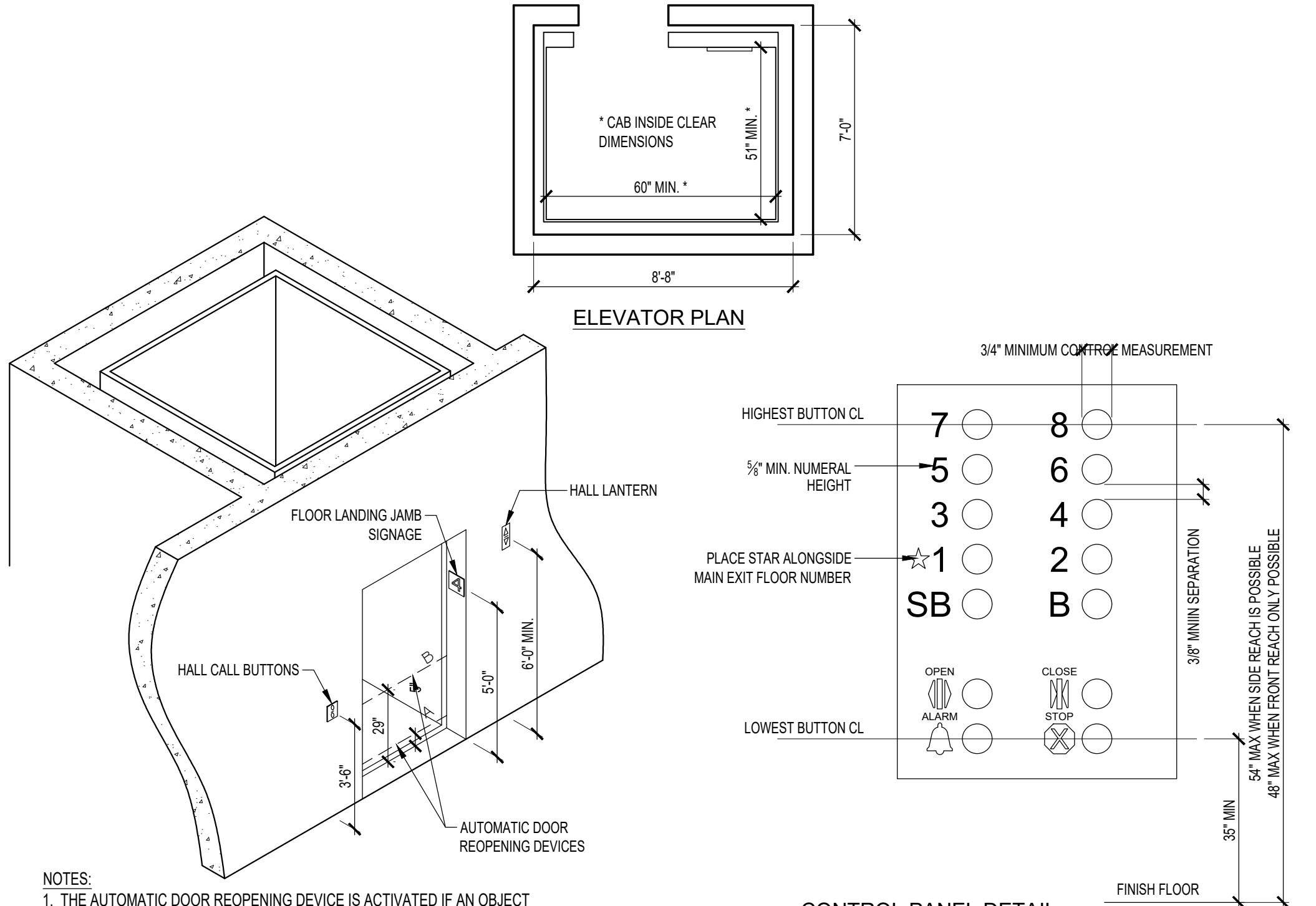
11 THRESHOLD AT DOORWAYS Scale N.T.S



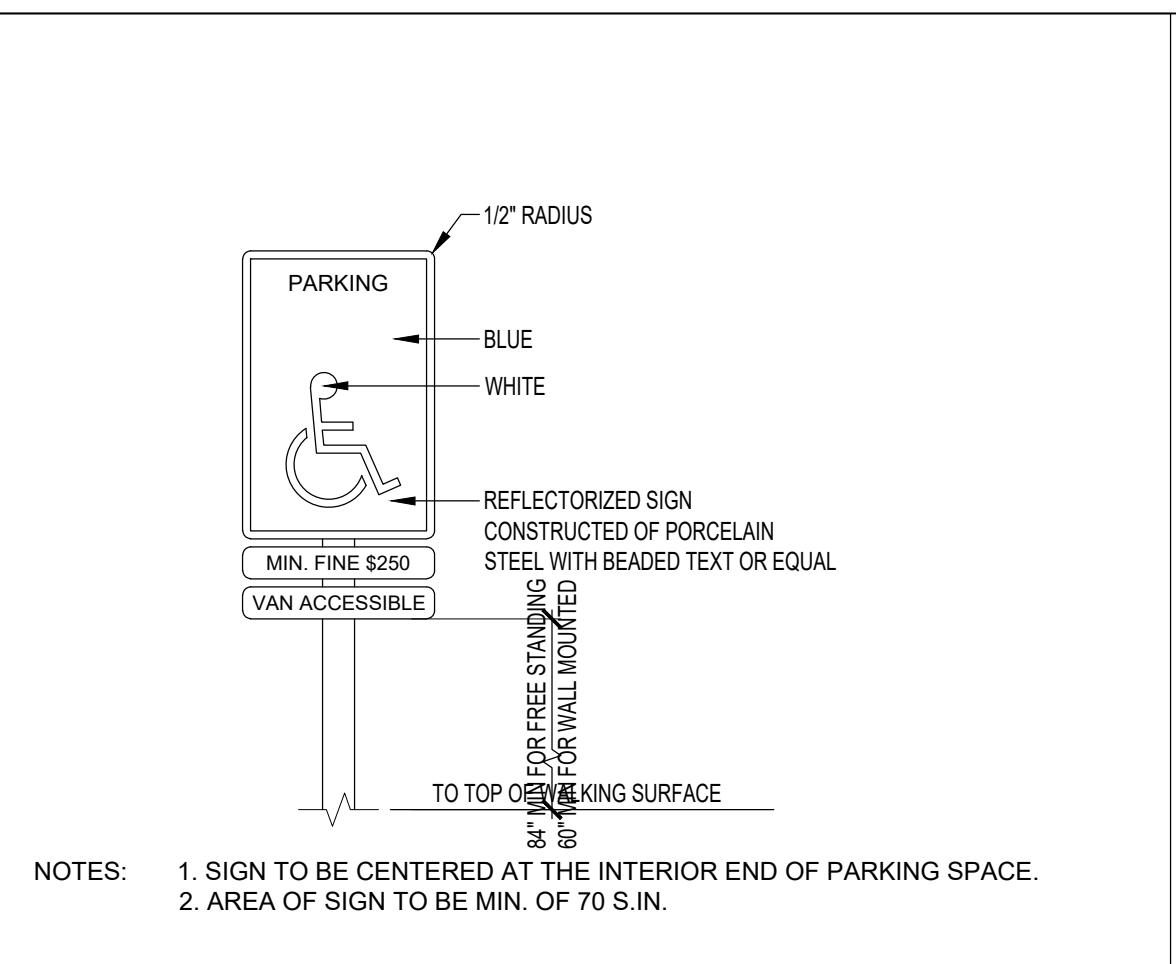
12 TRUNCATED DOMES Scale N.T.S



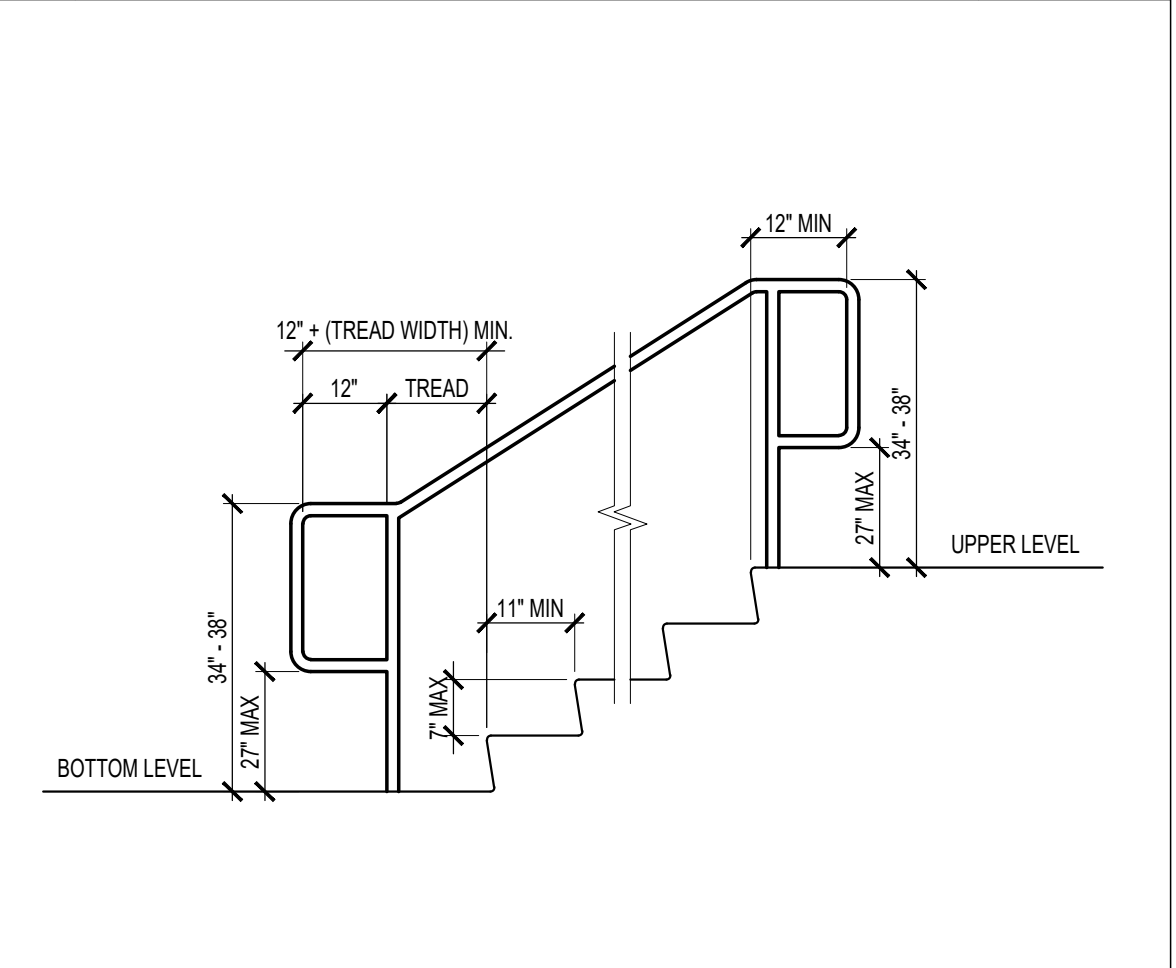
8 LAVATORIES Scale N.T.S



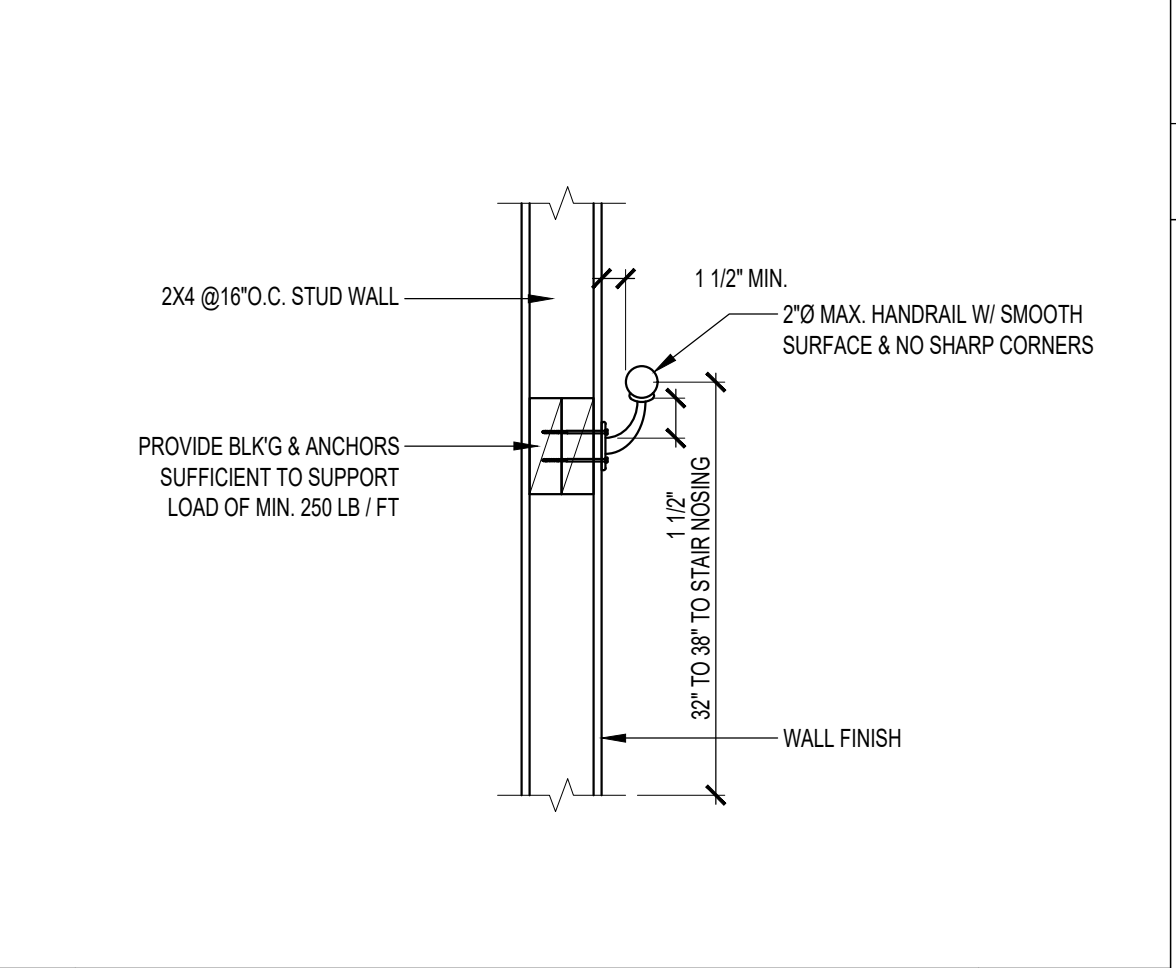
9 ACCESSIBLE ELEVATOR DETAILS Scale N.T.S



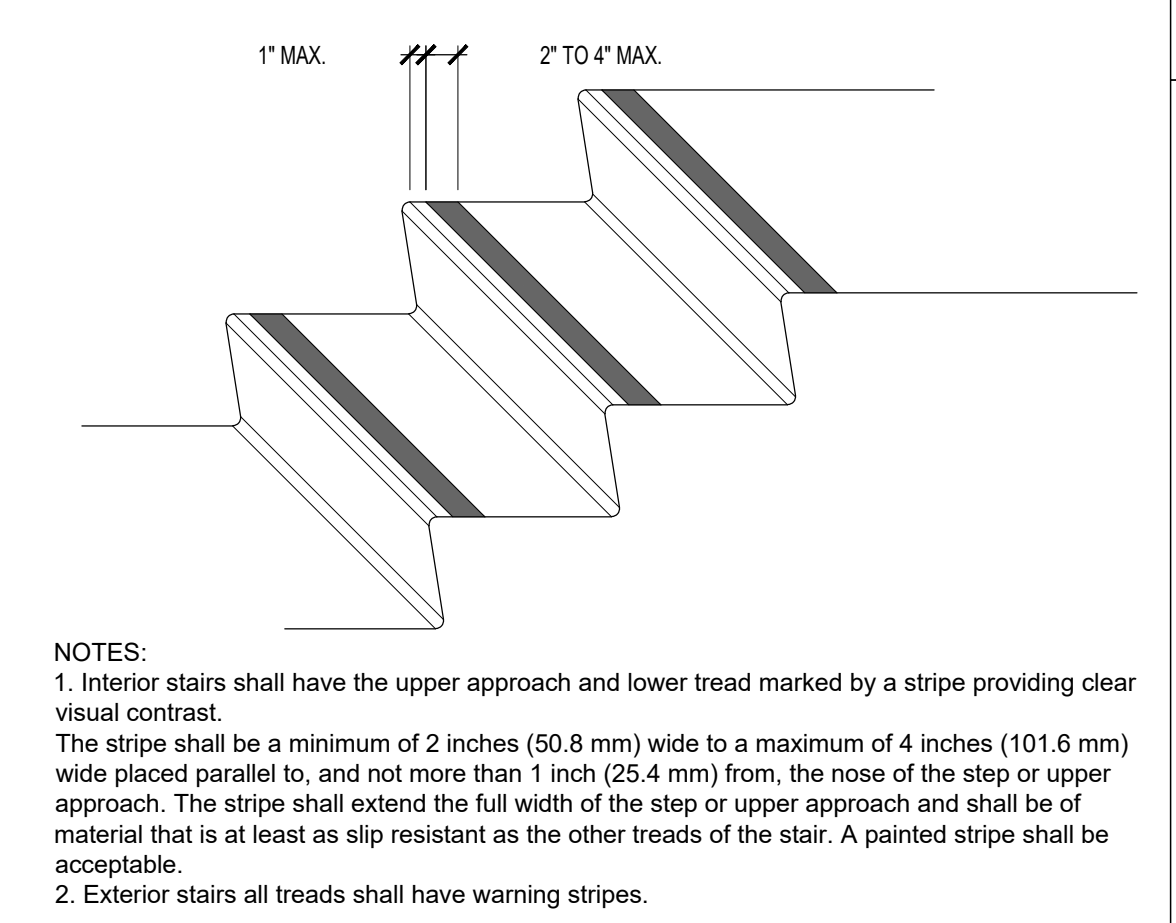
4 PARKING SIGNAGE Scale N.T.S



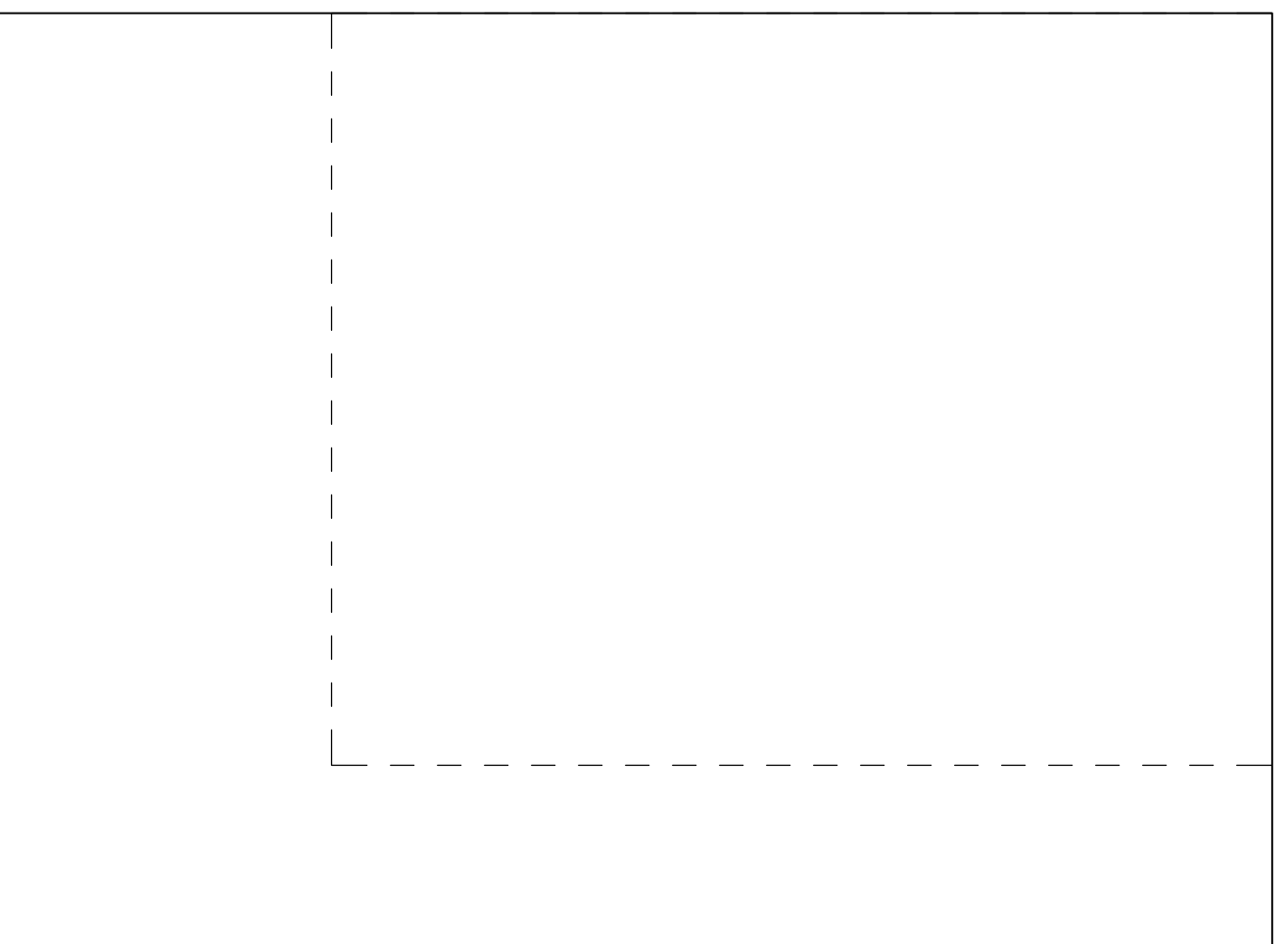
5 HANDRAIL EXTENSIONS AT STAIRWAYS Scale N.T.S



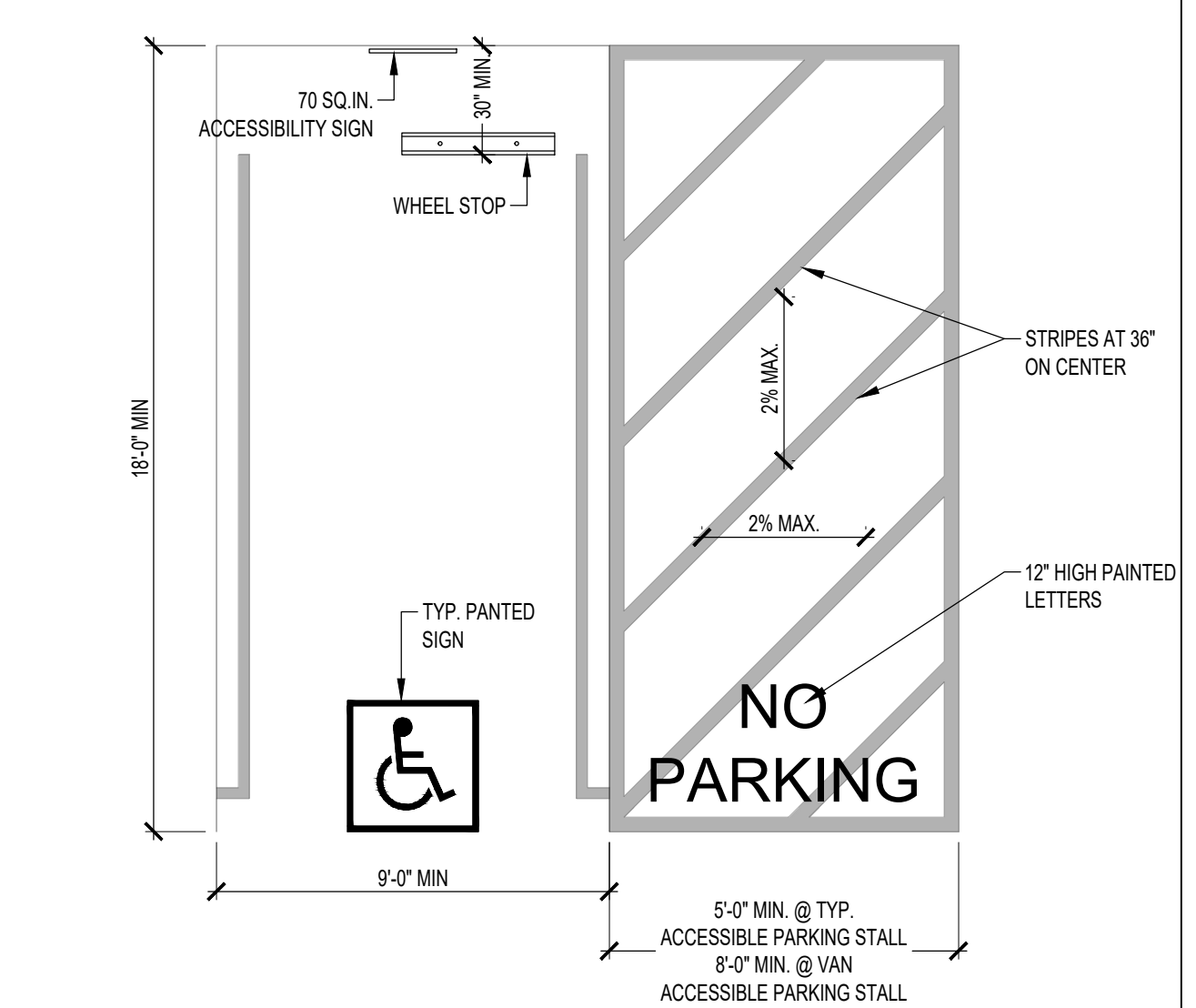
6 WALL MOUNTED HANDRAIL AT STAIRWAYS Scale N.T.S



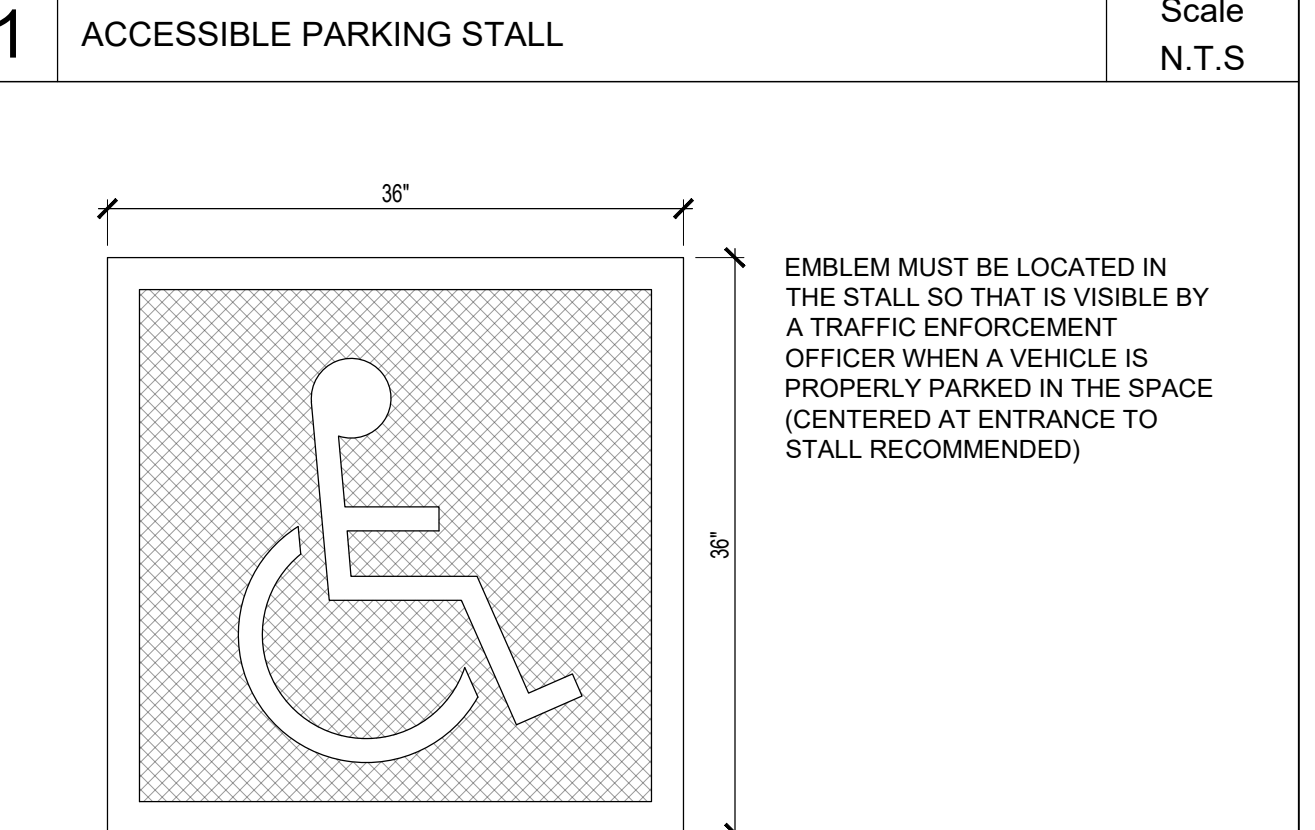
7 STAIRS WARNING STRIPING Scale N.T.S



1 ACCESSIBLE PARKING STALL Scale N.T.S



2 PARKING SIGNAGE Scale N.T.S



3 PARKING SIGNAGE Scale N.T.S

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BAYA LLC.
info@ba-va.com

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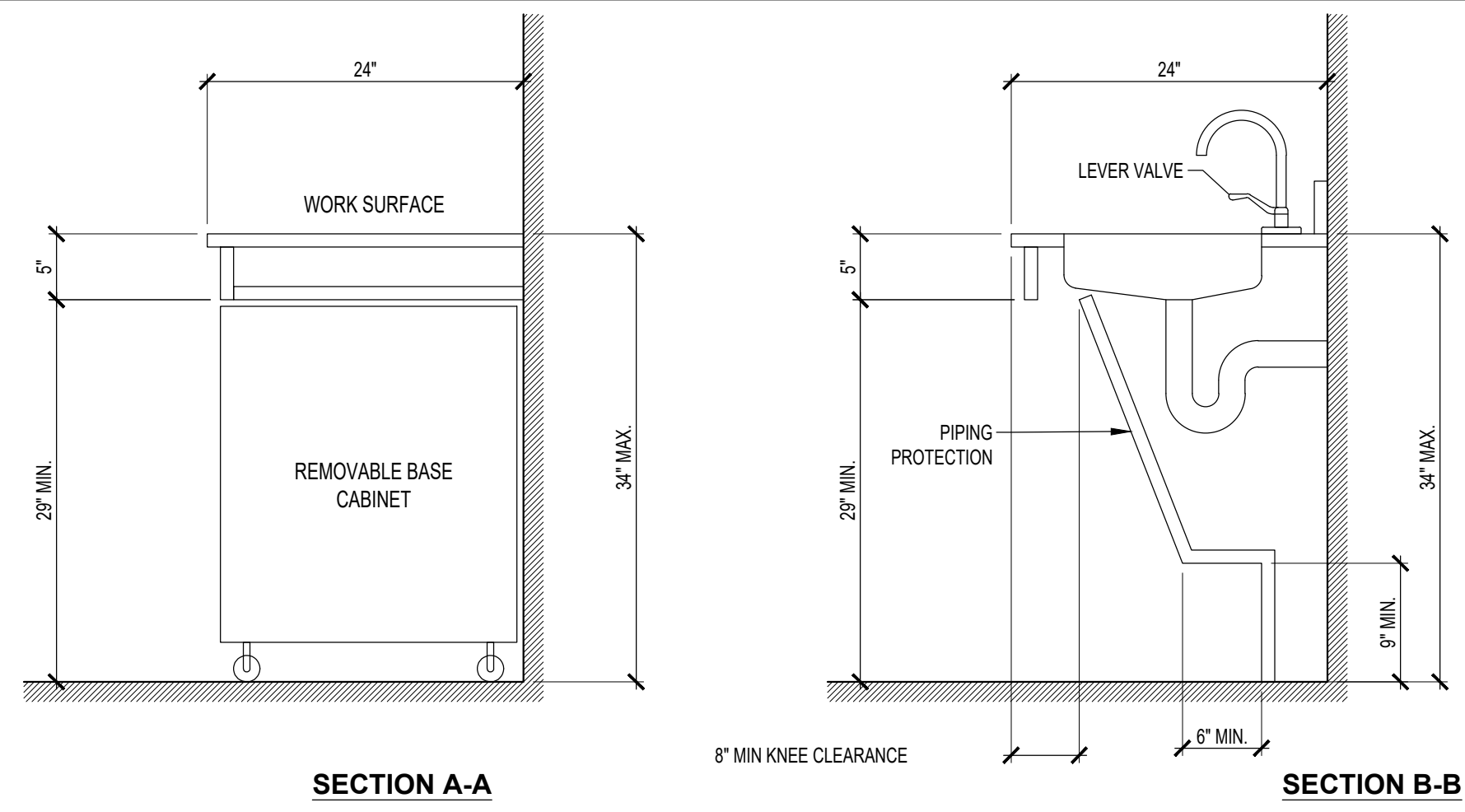
OWNER
KAS VERDUGO LLC
2147 HAVEN STREET
GLENDALE CA 91208

PROJECT
MIXED USE PROJECT
14 RESIDENTIAL UNITS
4006 & 4002 VERDUGO ROAD
LOS ANGELES CA 90065

DRAWING TITLE
HC-1

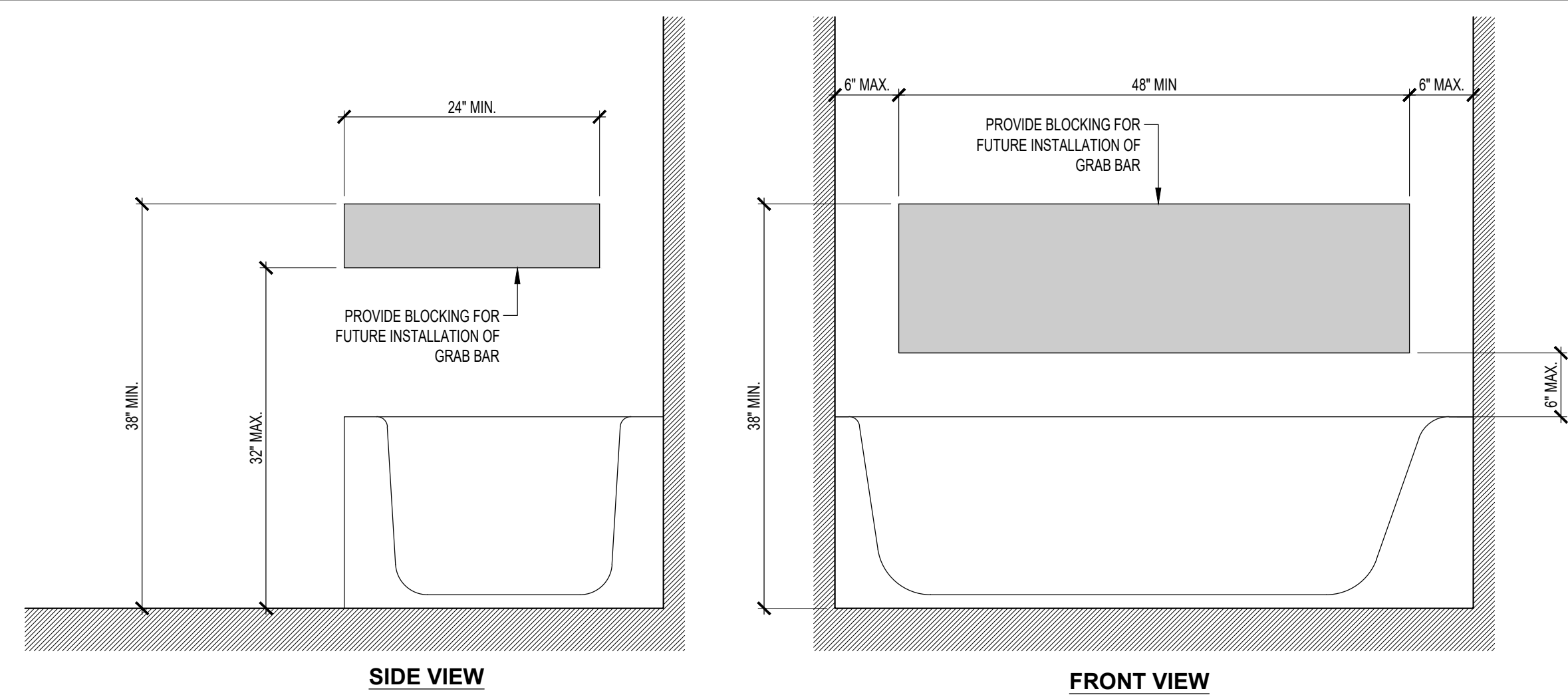
DATE: 8/29/2024
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SHEET:

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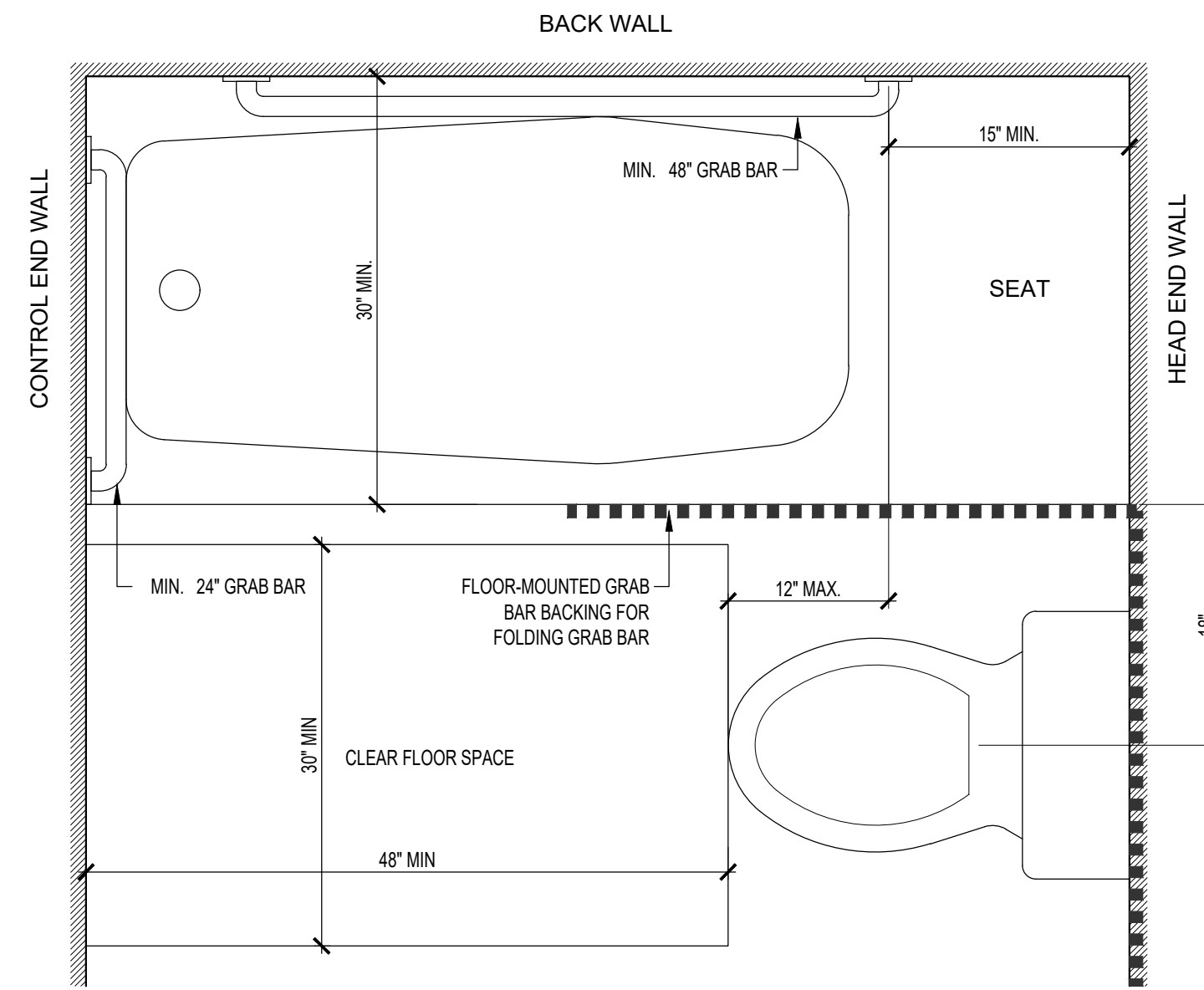
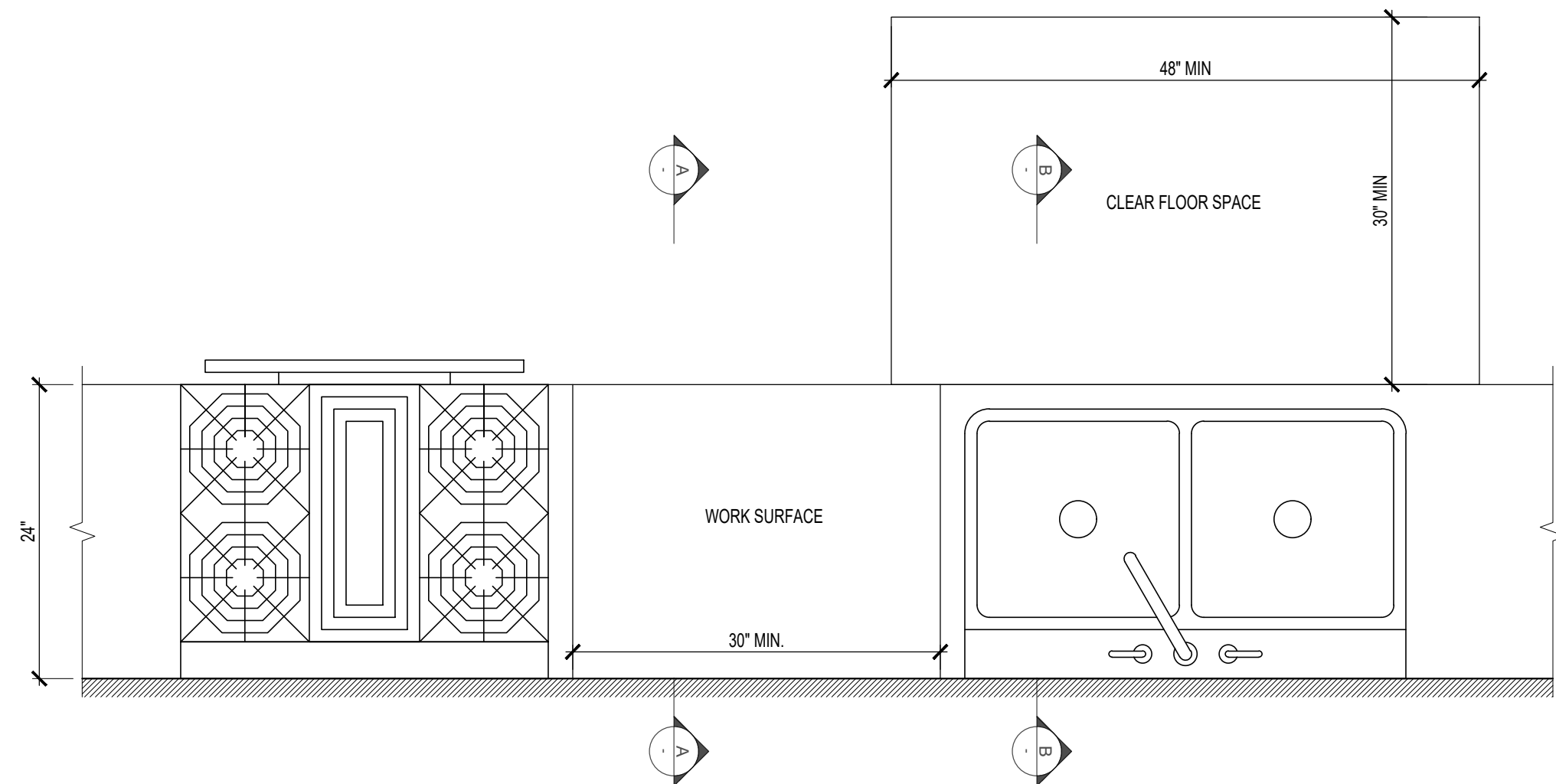
SECTION A-A

SECTION B-B



SIDE VIEW

FRONT VIEW



BACK WALL

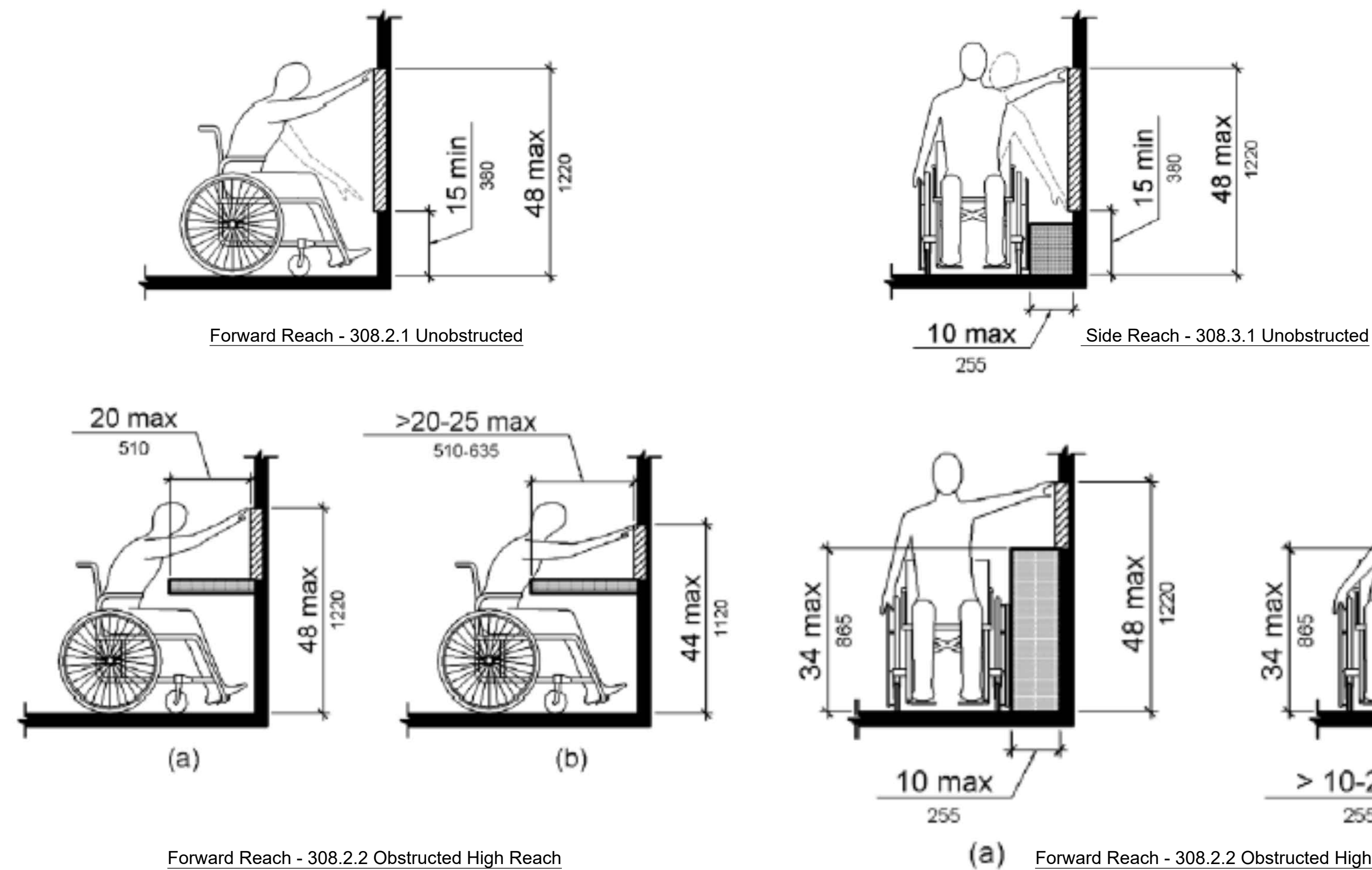
SIDE VIEW

3 KITCHEN SINK & WORK SURFACE

Scale
N.T.S

1 GRAB BAR REINFORCEMENT FOR ADAPTABLE BATHTUBS

Scale
N.T.S

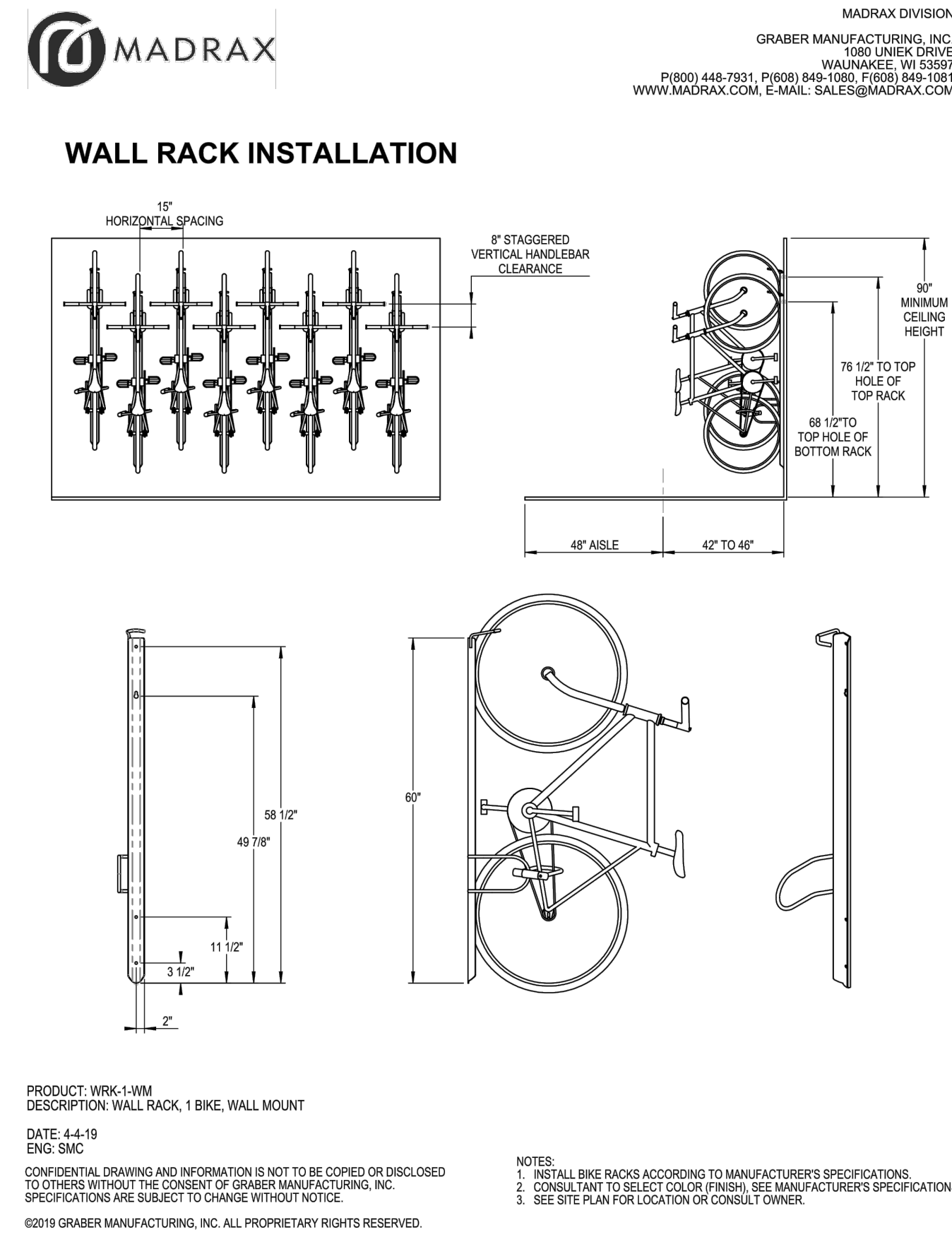


2 REACH RANGE

Scale
N.T.S

4 BIKE RACK DETAIL

Scale
N.T.S



Scale
N.T.S

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HC-2

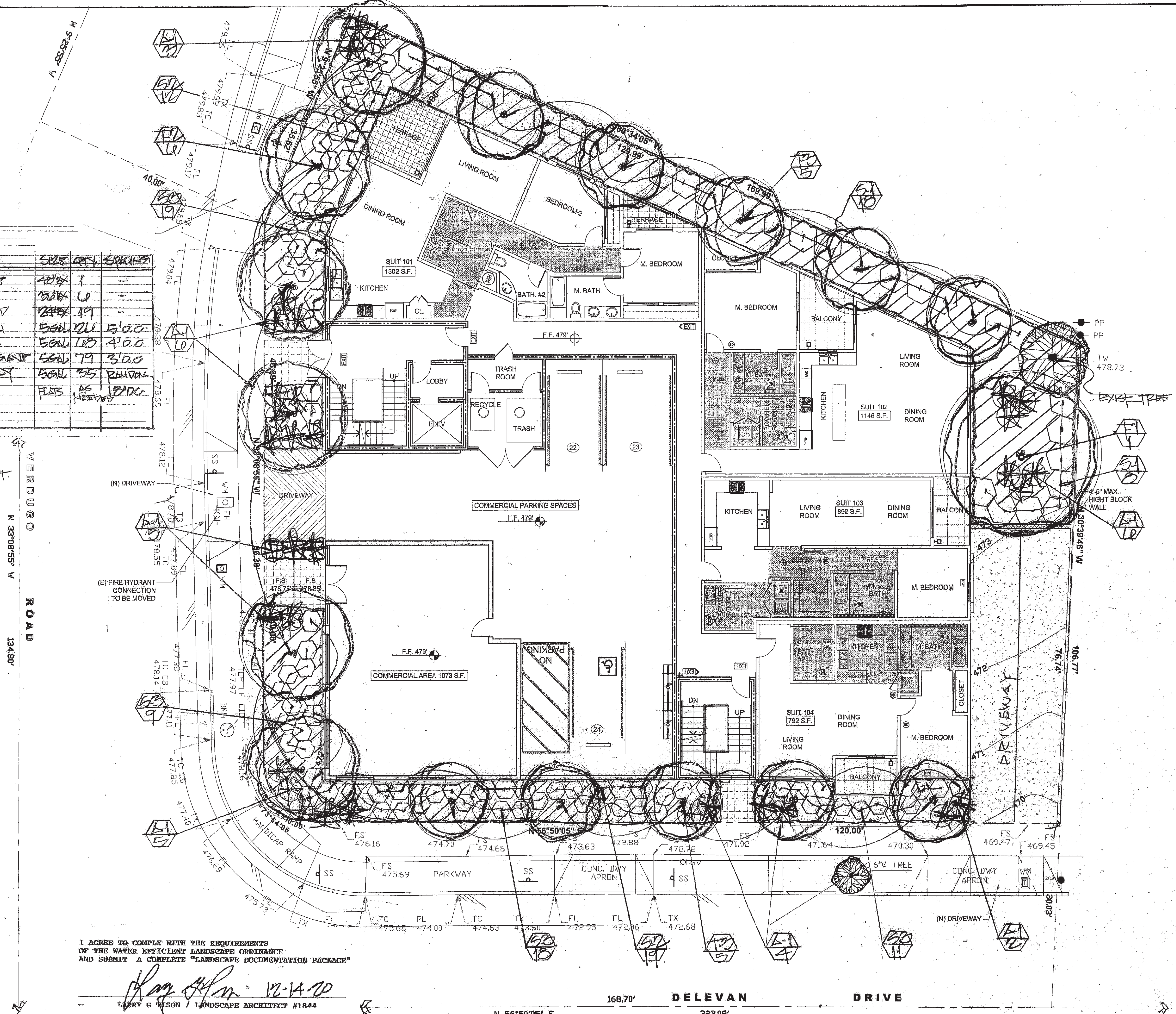
WATER EFFICIENT (WUCOLS) PLANT LIST

| SYMBOL | EDITION | COMMON NAME | SCIENTIFIC NAME | SIZE | QTY | SPECIES |
|--------|---------|---------------------------------------|------------------|-------|-----------|---------|
| LW T-1 | | CLEX EUROPA SWAN HILL | FRUITLESS OLIVE | 40'x | 1 | |
| LW T-2 | | KELAUCIA LEUCOPHYLLA | CAPPUCCINO | 20'x | 10 | |
| LW T-3 | | CERAS OCCIDENTALS | WESTER REDBAY | 24'x | 19 | |
| LW S-1 | | ADONIS VISCOSA | HOPSEED BUSH | 50W | 20 | 5'0.0 |
| LW S-2 | | ALOXYNE HUBBELL | BLUE HIBISCUS | 50W | 10 | 4'0.0 |
| LW S-3 | | LOANIS 'BLUE PLANE' | BLUE FLAME AGAVE | 50W | 79 | 3'0.0 |
| LW A-1 | | DIETES BICOLOR | FORTNIGHT LILY | 50W | 35 | RANDOM |
| LW | | AROUNDCORNER - BACCHARIS (CALL P.L.S) | COYOTE BUSH | PLANT | AS NEEDED | 5'0.0 |
| | | | | | | |

LW = LOW WATER USAGE / P.F. 7.5
 LANDSCAPE AREA = 3,596 SQ. FT.

LEGEND

- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED GROUND COVER
- PLANT SYMBOL QUANTITY



I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE "LANDSCAPE DOCUMENTATION PACKAGE"

Larry G. Tison 12-14-20
 LARRY G. TISON / LANDSCAPE ARCHITECT #1844

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Larry G. Tison 12-14-20
 LARRY G. TISON / LANDSCAPE ARCHITECT No. 1844



LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169

FIRST FLOOR PLANTING PLAN

Scale: 1/8"=1'-0"

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.

| REVISION | BY |
|----------|-------|
| 12/09/20 | MS/TA |

OWNER
 KAS VERDUGO LLC
 2147 HAVEN STREET
 GLENDALE CA 91208

PROJECT
 MIXED USE PROJECT
 14 RESIDENTIAL UNITS
 4006 & 4002 VERDUGO ROAD
 LOS ANGELES CA 90065

DRAWING TITLE
 FIRST FLOOR
 PLANTING PLAN

DATE: 3/15/2024

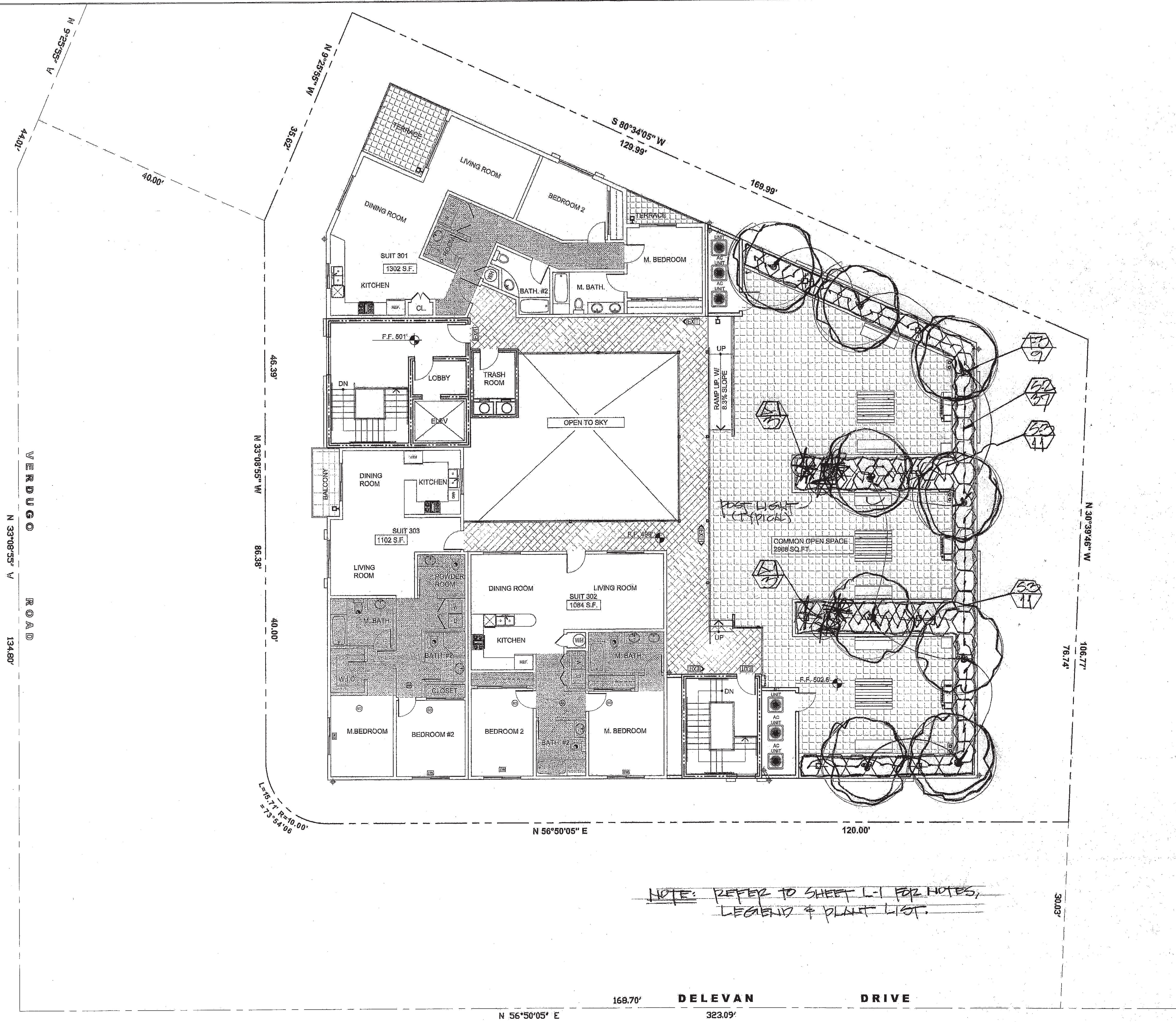
DRAWN:

APPROVED:

JOB: 2020-04

SHEET:

L-1



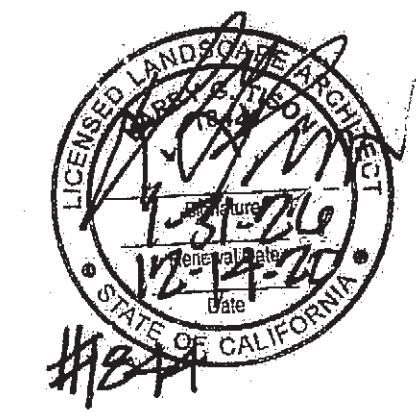
| REVISION | BY |
|----------|----|
| 12/09/20 | |
| | |
| | |

OWNER
 KAS VERDUGO LLC
 2147 HAVEN STREET
 GLENDALE CA 91208

PROJECT
 MIXED USE PROJECT
 14 RESIDENTIAL UNITS
 4006 & 4002 VERDUGO ROAD
 LOS ANGELES CA 90065

DRAWING TITLE
 THIRD FLOOR
 PLANTING PLAN

| | |
|-----------|-----------|
| DATE: | 3/15/2024 |
| DRAWN: | |
| APPROVED: | |
| JOB: | 2020-04 |
| SHEET: | L-2 |



LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
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 818-241-9169

THIRD FLOOR PLANTING PLAN

Scale: 1/8"=1'-0"

Reference Evapotranspiration (ET_o)/50.1

| Hydrozone # (Planting Description) | Plant Factor (PF) | Irrigation Method | Irrigation Efficiency (IE) | ETAF (PFIE) | Landscape Area (sq. ft.) | ETAF x Area | Estimated Total Water Use (ETWU)* |
|--|-------------------|-------------------|----------------------------|-------------|--------------------------|-------------|-----------------------------------|
| Regular Landscape Areas | | | | | | | |
| A-1/LX1 | 3 | S | .75 | .4 | 2,716 | 2,716 | 6,760 |
| A-2/LX1 | 3 | S | .81 | .37 | 1,019 | 1,019 | 2,529 |
| A-3/LX1 | 3 | S | .75 | .4 | 1,800 | 1,800 | 4,455 |
| A-4/LX1 | 3 | S | .81 | .37 | 250 | 250 | 629 |
| A-5/LX1 | 3 | S | .75 | .4 | 350 | 350 | 870 |
| A-6/LX1 | 3 | S | .81 | .37 | 1,910 | 1,910 | 4,802 |
| A-7/LX1 | 3 | S | .81 | .37 | 2,800 | 2,800 | 7,125 |
| A-8/LX1 | 3 | S | .81 | .37 | 1,593 | 1,593 | 4,020 |
| Totals | | | | | | 13,528 | 34,973 |
| Special Landscape Areas | | | | | | | |
| [REDACTED] | | | | | | (C) | (D) |
| Totals | | | | | | (C) | (D) |
| ETWU Total | | | | | | | 42,713 |
| Maximum Allowed Water Allowance (MAWA) | | | | | | | 42,713 |

*Hydrozone #/Planting Description E.g.
 1) front lawn
 2) low water use plantings
 3) medium water use plantings

†Irrigation Method
 (S) overhead spray or drip
 (B) BUBBLER

‡Irrigation Efficiency
 0.75 for spray head or drip
 0.81 for drip

*ETWU (Annual Gallons Required) = E_o x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. IA is the total landscape area in square feet, SA is the total special landscape area in square feet, and ETAF is .25 for residential areas and 0.45 for non-residential areas.

(50.1)(10,000)(.55)(3,591) + (0)
 MAWA = 61,435 GPY
 ETWU = 42,713 GPY

SPRINKLER HEADS

| SYMBOL | DESCRIPTION | MODEL NO. | SPACING | DEPTH | DIAMETER |
|--------|-----------------|----------------|---------|-------|----------|
| ▽ | PHILIPPO POP-UP | 1812-RV110-90 | 40' | 10" | 30 |
| ▽ | " | 1812-RV110-100 | 40' | 10" | 30 |
| ▽ | " | 1812-102R-102 | 39' | 10" | 30 |
| ▽ | " | 1812-104-102 | 39' | 10" | 30 |
| ● | " BUBBLER | 1812-1401 | 25' | - | 30 |

LEGEND

- WEATHER BASED CONTROLLER (RAINBIRD ESP-LXME 8 STATION)
- RAIN SENSOR (RAINBIRD-RSD BEX)
- BACKFLOW PREVENTER (FEBCO 825-Y-1 1/2")
- QUICK COUPLER (RAINBIRD 44LC)
- VALVE (RAINBIRD FEB SERIES)
- VALVE NO. / GPM
- MAINLINE / SCHED. 40 PVC.
- LATERAL LINE / SCHED. 40 PVC
- SHUT-OFF VALVE
- IRRIGATION METER

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.

EMERGENCY SHUT-OFF VALVES SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.

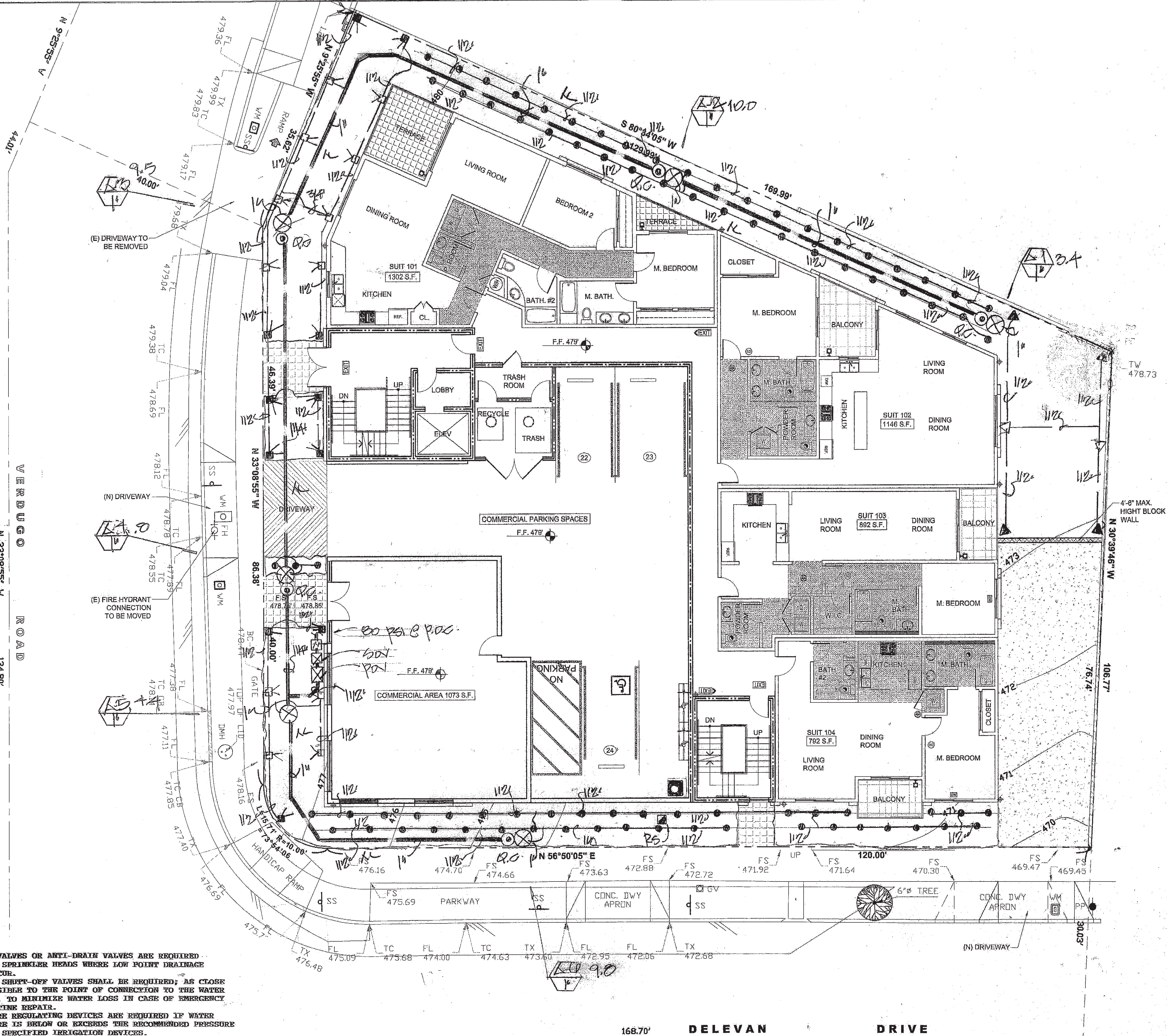
PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

A DIAGRAM OF THE IRRIGATION PLAN, SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATION OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF INSPECTION.

AT THE TIME OF THE FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.



LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169

FIRST FLOOR
 IRRIGATION PLAN

Scale: 1/8"=1'-0"

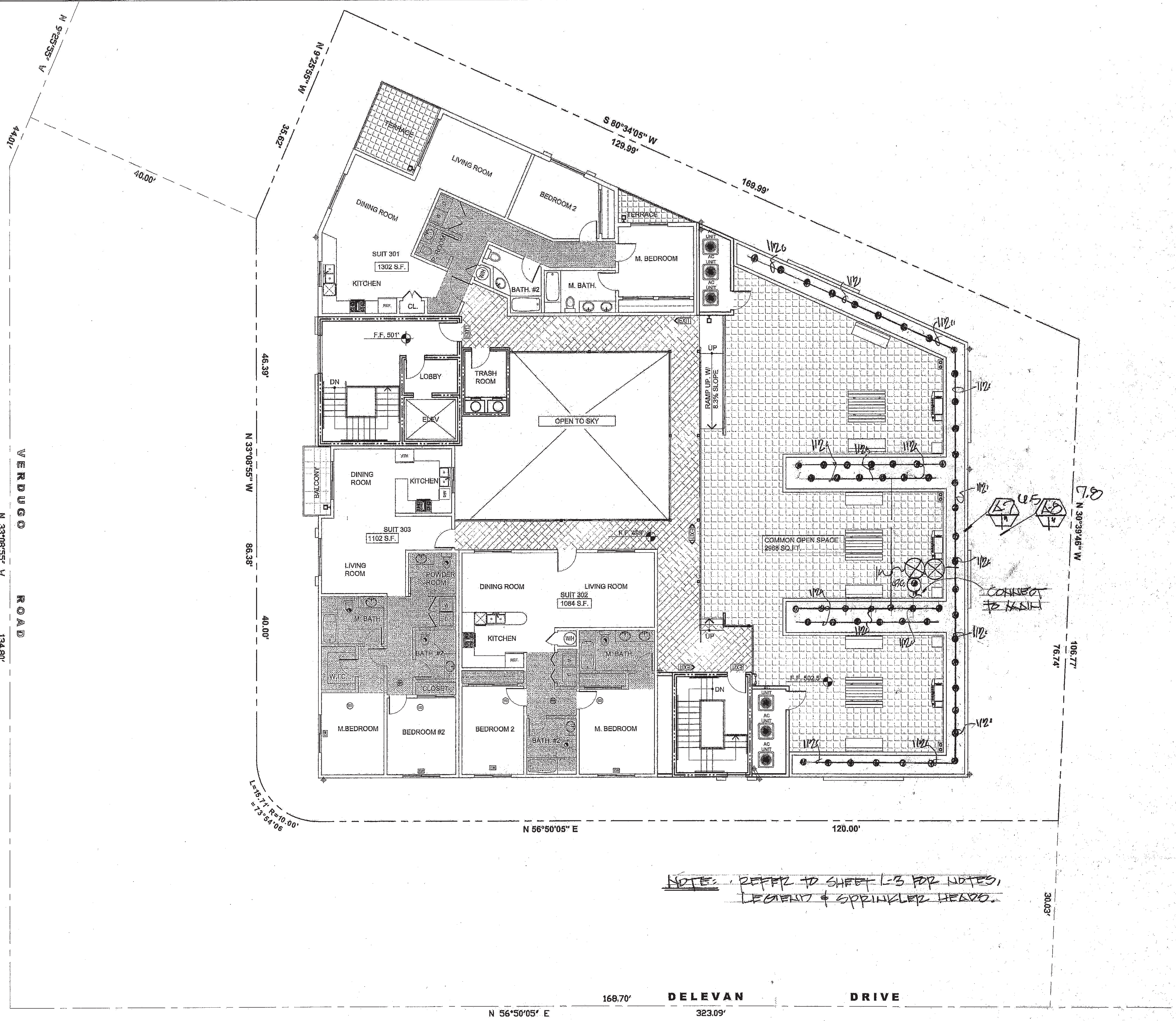
| REVISION | BY |
|----------|----|
| 12/09/20 | |
| | |

OWNER
 KAS VERDUGO LLC
 2147 HAVEN STREET
 GLENDALE CA 91208

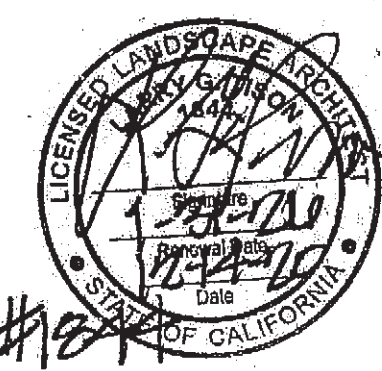
PROJECT
 MIXED USE PROJECT
 14 RESIDENTIAL UNITS
 4006 & 4002 VERDUGO ROAD
 LOS ANGELES CA 90065

DRAWING TITLE
 FIRST FLOOR

DATE: 3/15/2024
 DRAWN:
 APPROVED:
 JOB: 2020-04
 SHEET:
 L-3



NOTE: REFER TO SHEET L-3 FOR NOTES, LEGEND & SPRINKLER HEADS.



LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169

THIRD FLOOR
IRRIGATION PLAN

Scale: 1/8"=1'-0"

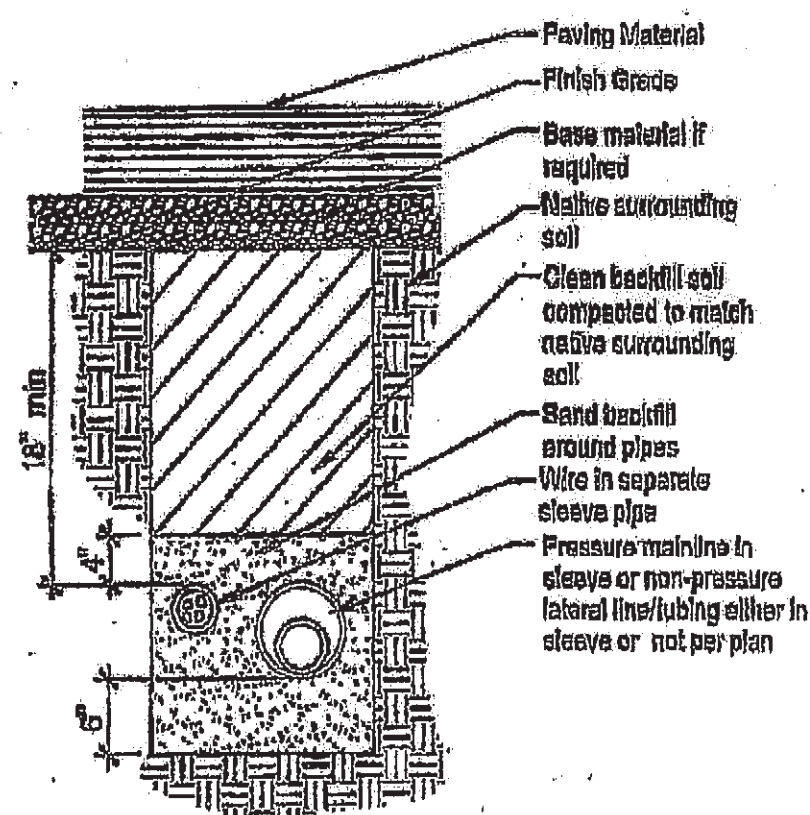
| REVISION | BY |
|----------|----|
| 12/09/20 | |
| | |

OWNER
 KAS VERDUGO LLC
 2147 HAVEN STREET
 GLENDALE CA 91208

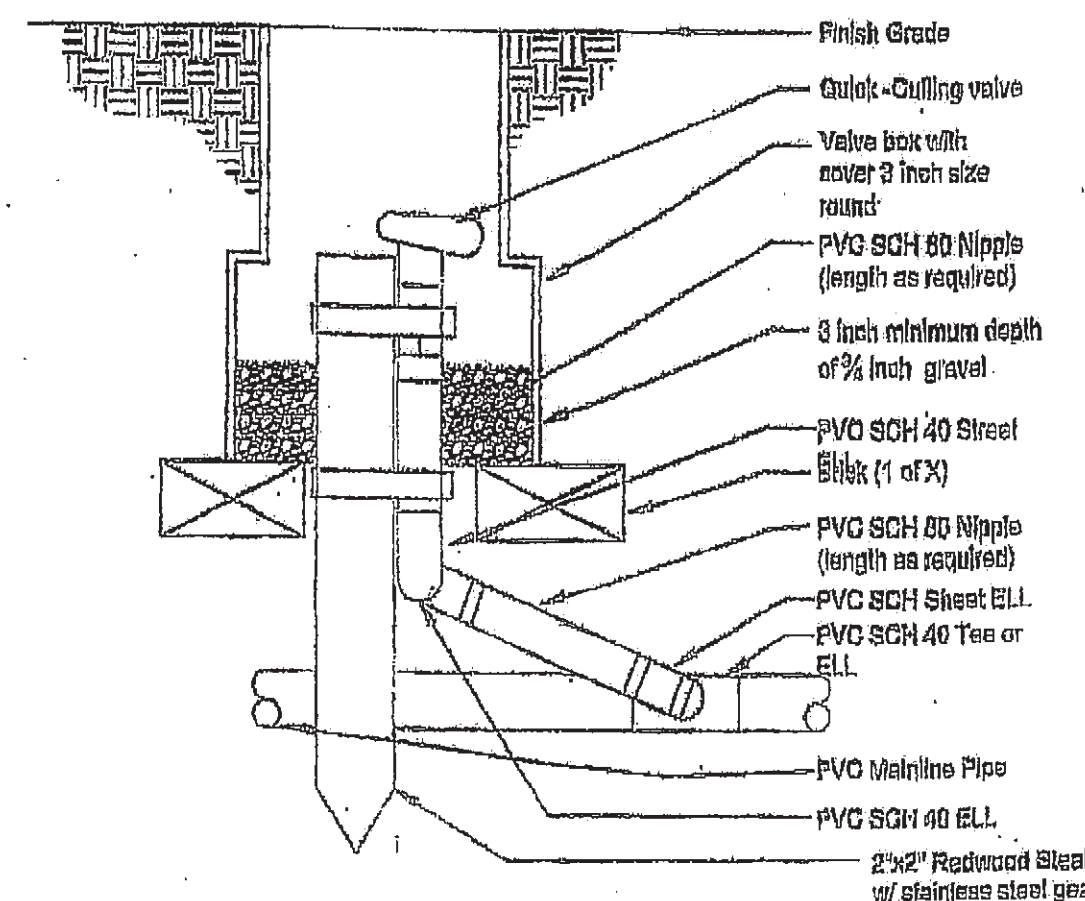
PROJECT
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 LOS ANGELES CA 90065

DRAWING TITLE
 THIRD FLOOR

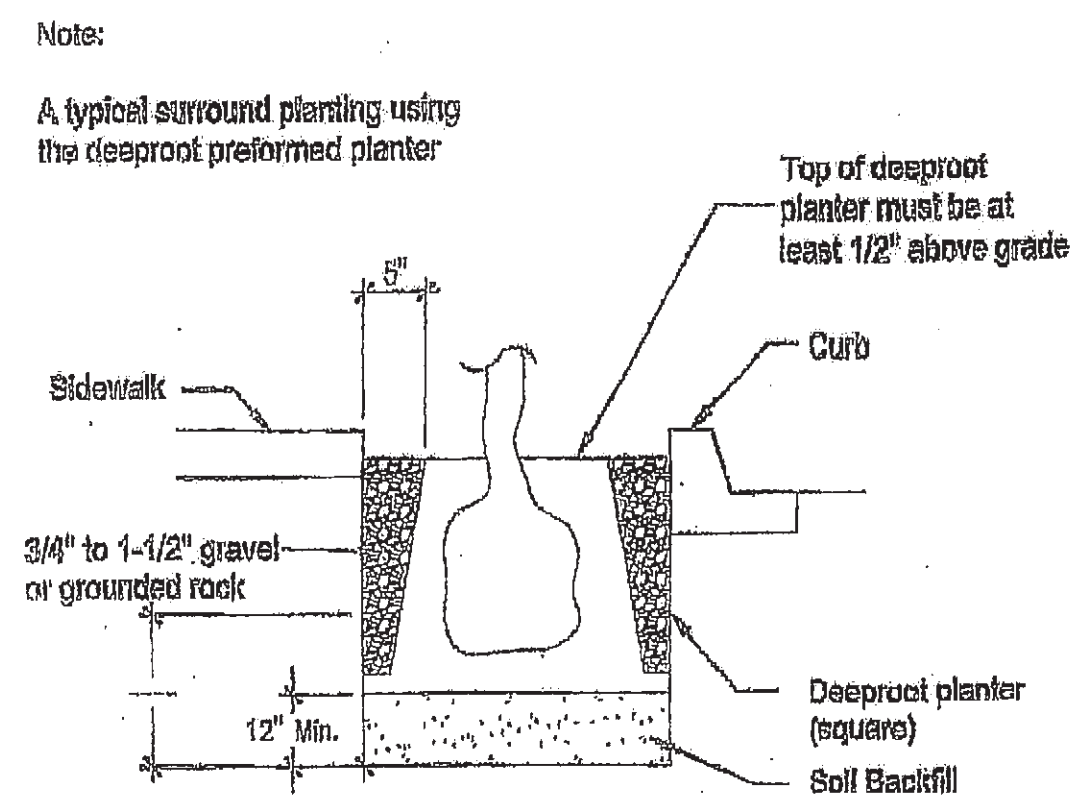
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|-----------|-----------|
| DATE: | 3/15/2024 |
| DRAWN: | |
| APPROVED: | |
| JOB: | 2020-04 |
| SHEET: | L-4 |



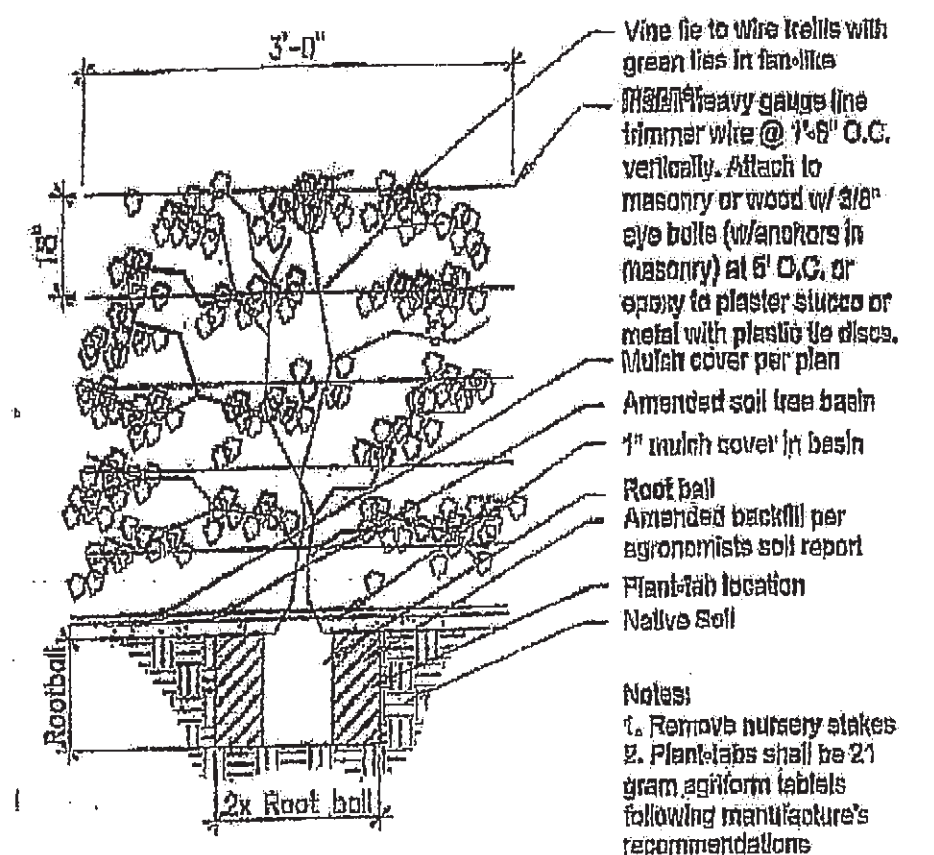
Pipe & wire trenching



Quick coupling valve



Tree Root barriers



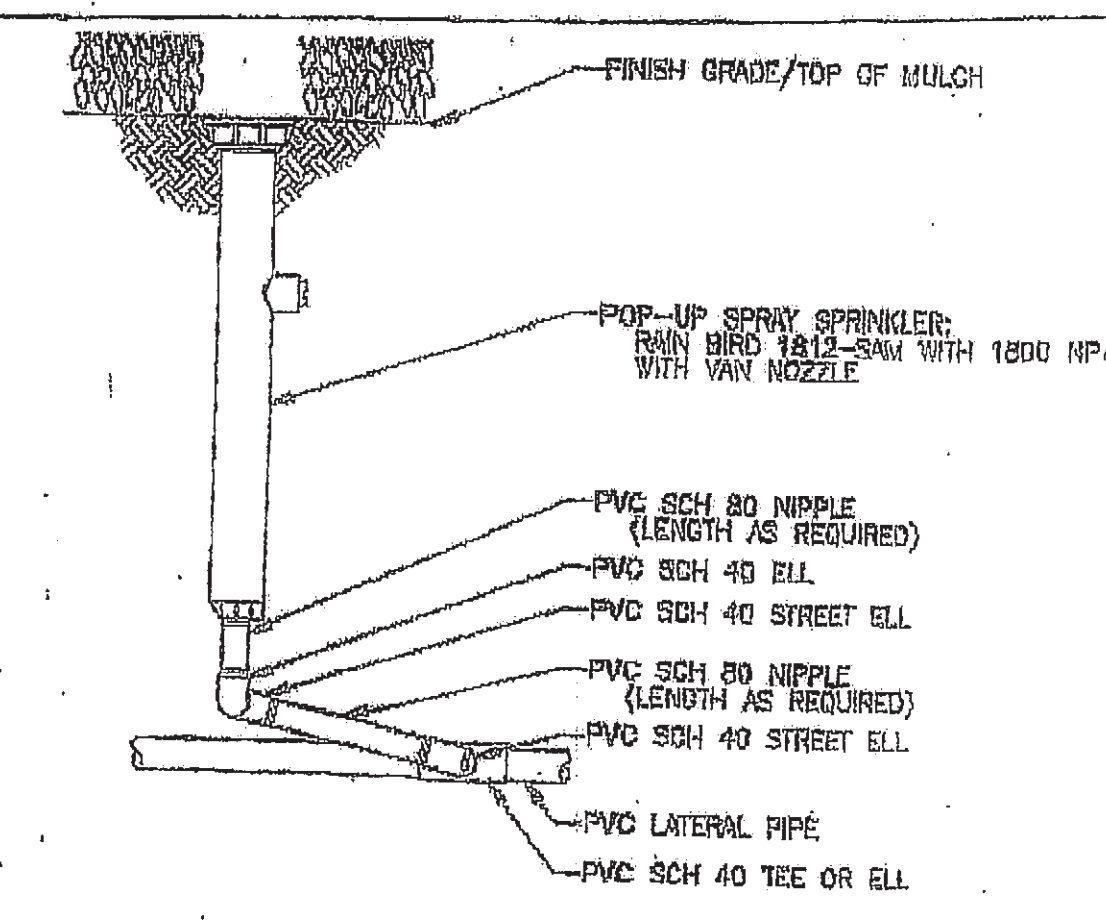
Vine Planting detail

- Contractor shall verify plant count for bidding purposes.
 - Ground cover indicated by shall be continuous under shrub.
 - Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
 - Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
 - The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rototiller equal amount per 1,000 sq.ft. Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

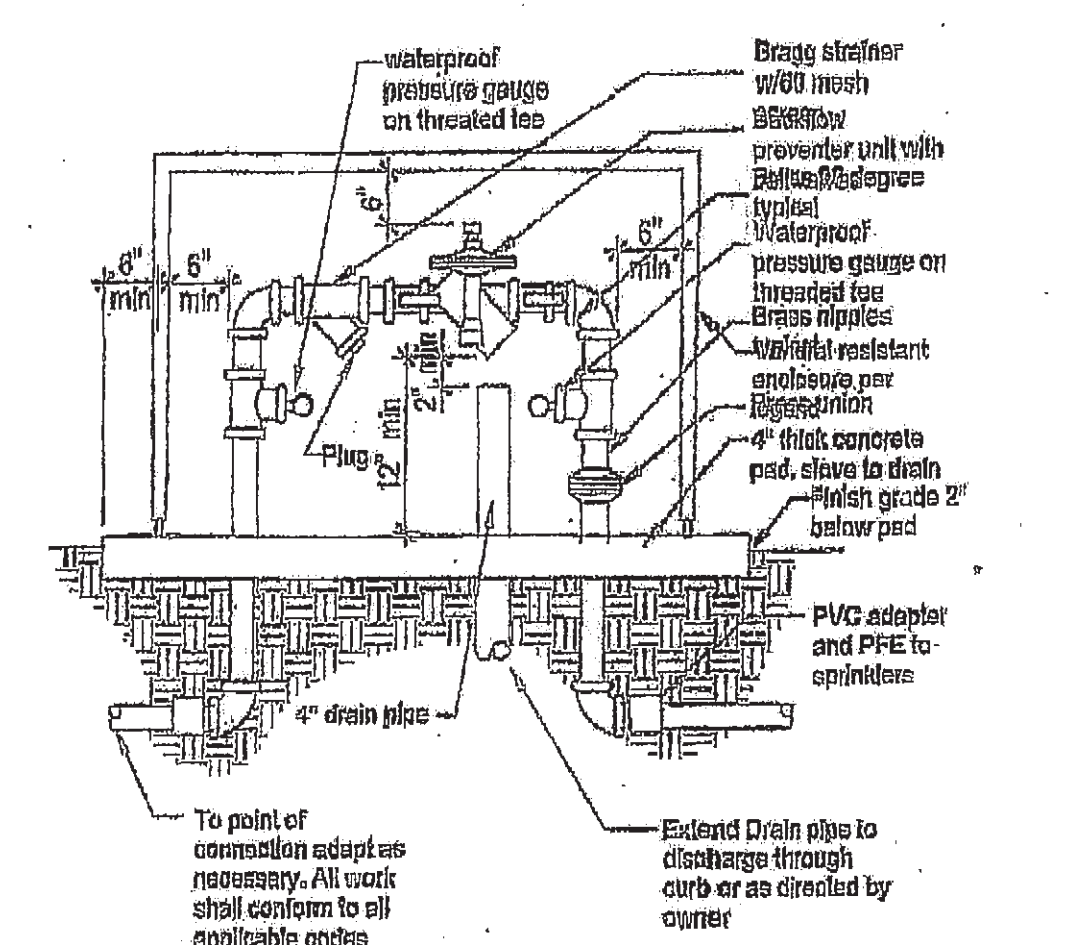
Landscape Notes

| Soil Texture | Maximum rate lbs./acre | | | | | | | |
|-------------------------------------|------------------------|------|-------|------|-------|------|-------|------|
| | Cover | Base | Comp. | Base | Cover | Base | Cover | Base |
| Course Sandy Soil | 2.00 | 2.00 | 2.00 | 1.50 | 1.50 | 1.00 | 1.00 | 0.50 |
| Optimo sandy soil over compact lawn | 1.75 | 1.50 | 1.25 | 1.50 | 1.00 | 0.75 | 0.75 | 0.40 |
| Light Sandy | 1.75 | 1.50 | 1.25 | 0.80 | 1.00 | 0.80 | 0.75 | 0.40 |
| Light Sandy compacted subsoil | 1.25 | 0.75 | 1.00 | 0.80 | 0.75 | 0.40 | 0.60 | 0.30 |
| Uniform Soil | 1.00 | 0.50 | 0.80 | 0.40 | 0.50 | 0.30 | 0.40 | 0.20 |
| Light over compact soil | 0.50 | 0.50 | 0.50 | 0.25 | 0.40 | 0.15 | 0.30 | 0.10 |
| Light clay over | 0.20 | 0.15 | 0.15 | 0.10 | 0.12 | 0.05 | 0.10 | 0.05 |

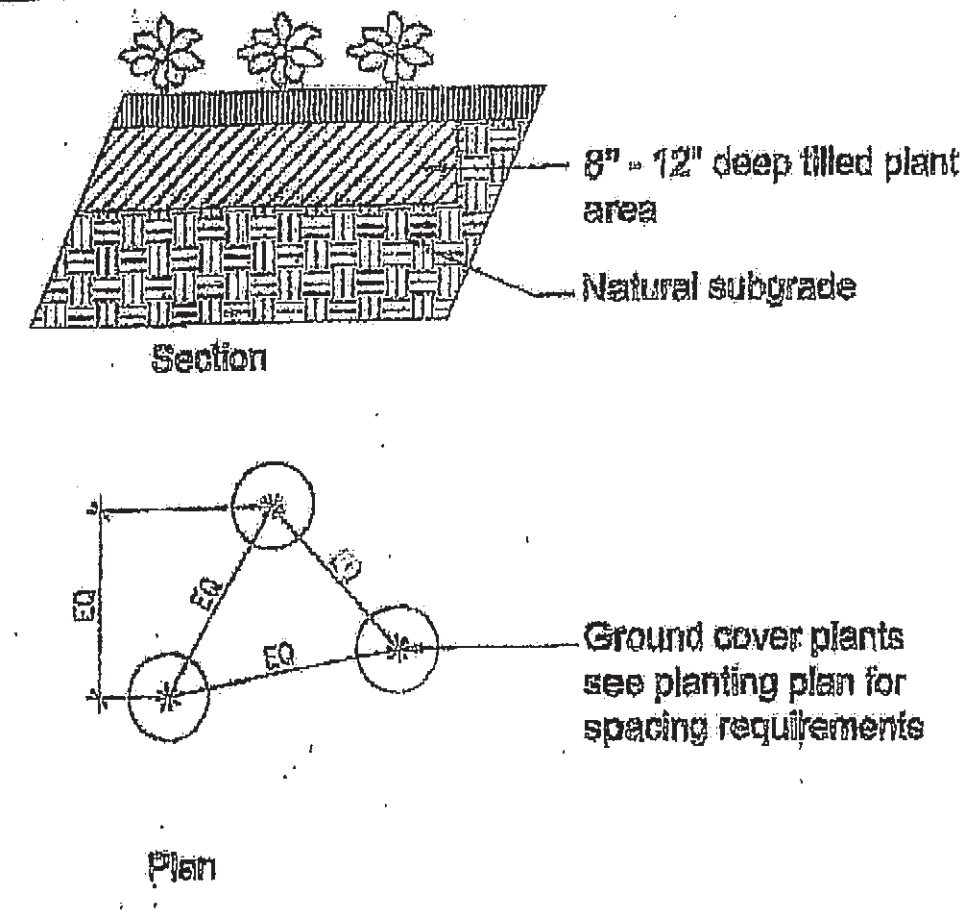
Soil characteristics



POP-UP SPRAY SPRINKLER



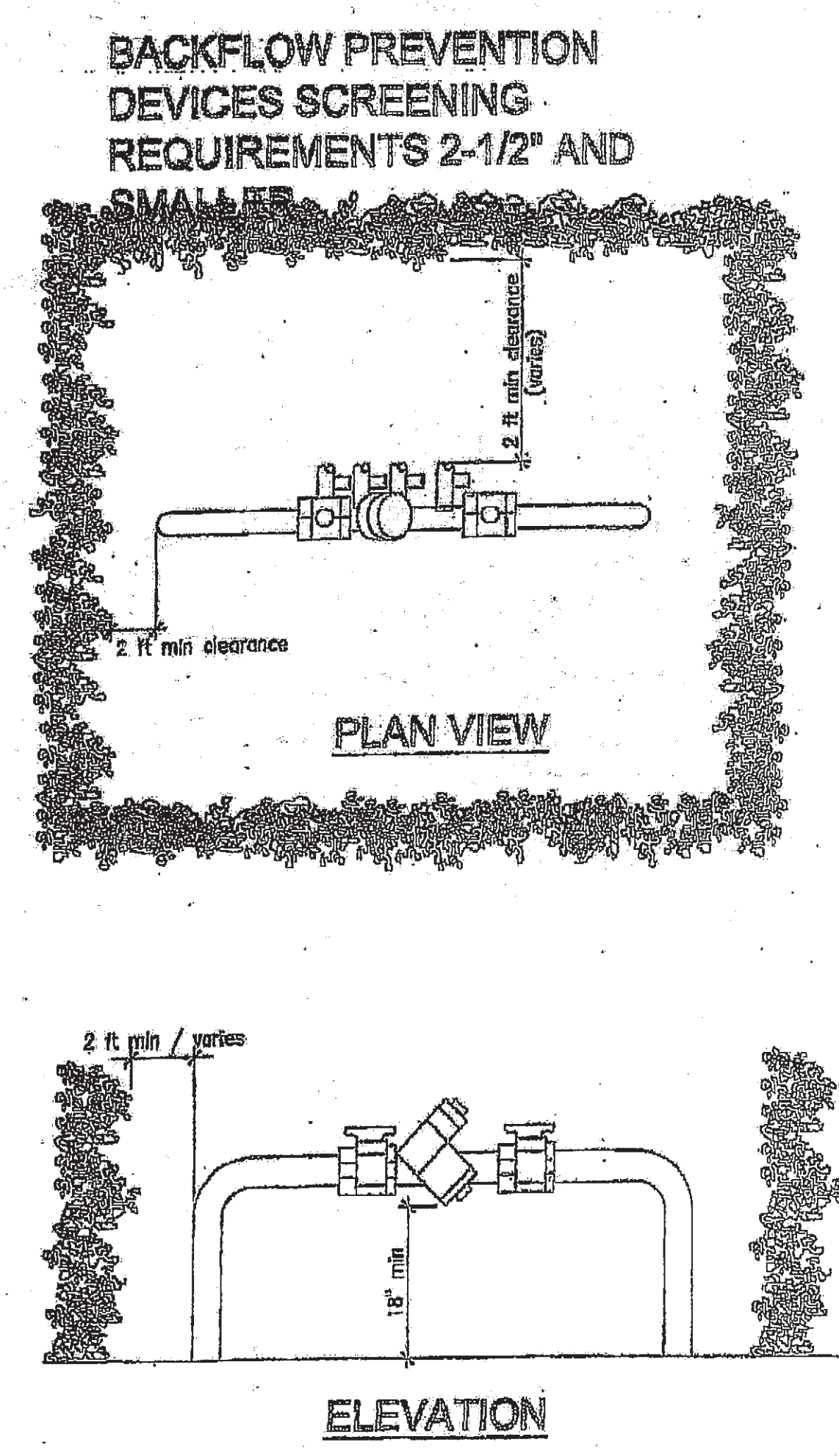
Backflow preventer



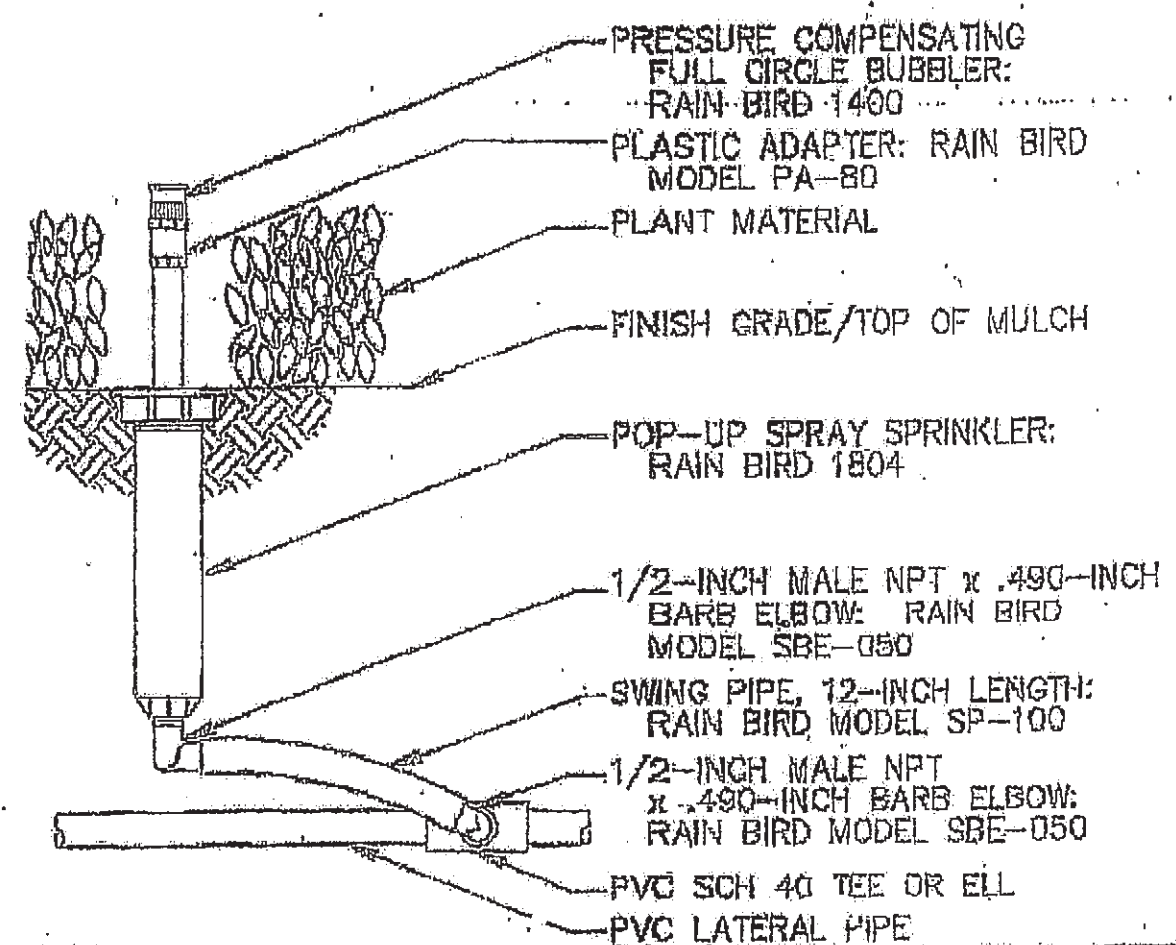
Ground Cover planting detail

- All irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
 - Locate all RCV's and HB's in planting areas. (typ.)
 - Jet all lines and trenches under paving 90% min.
 - Install remote control valve in ametek 12" box or equal (one valve per box) & marked "irrigation", located boxes in ground cover areas whenever possible and a min. 12" from paving or curbs.
 - The contractor shall provide owner with a completely operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
 - The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

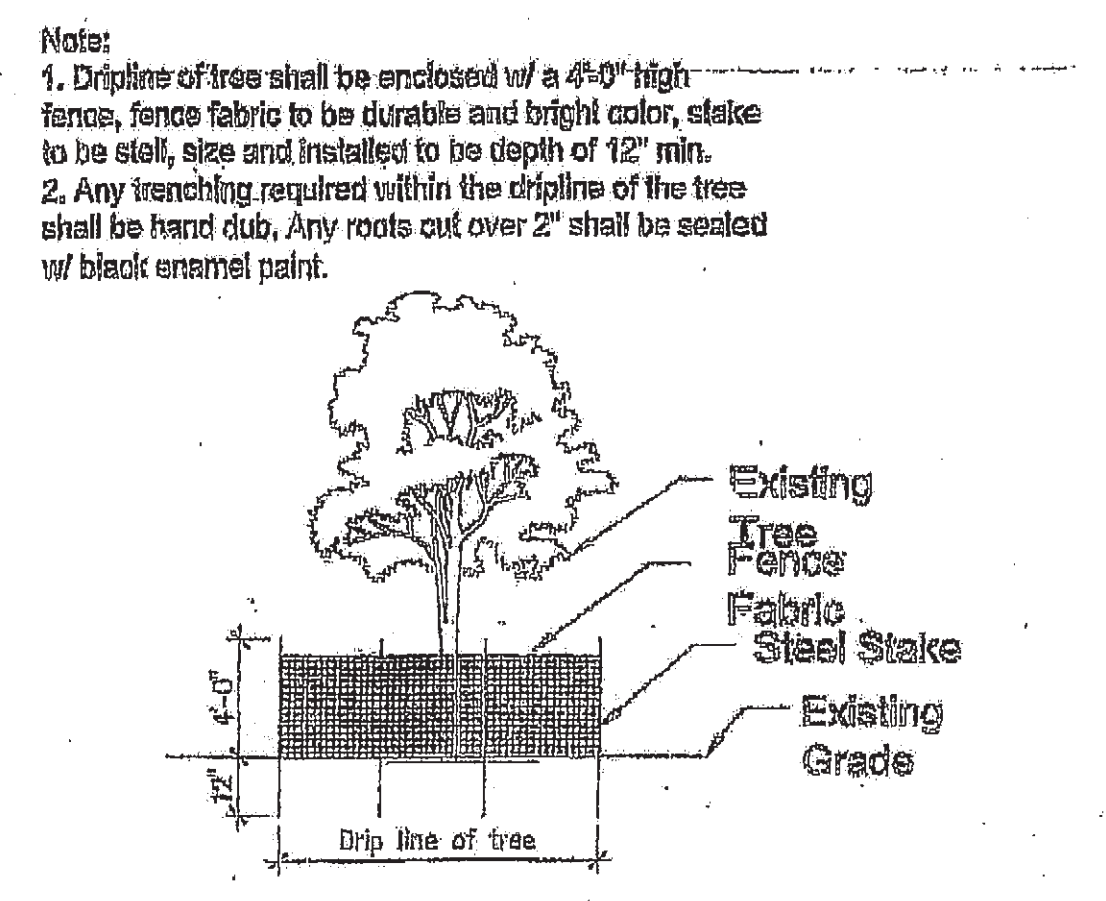
Irrigation notes



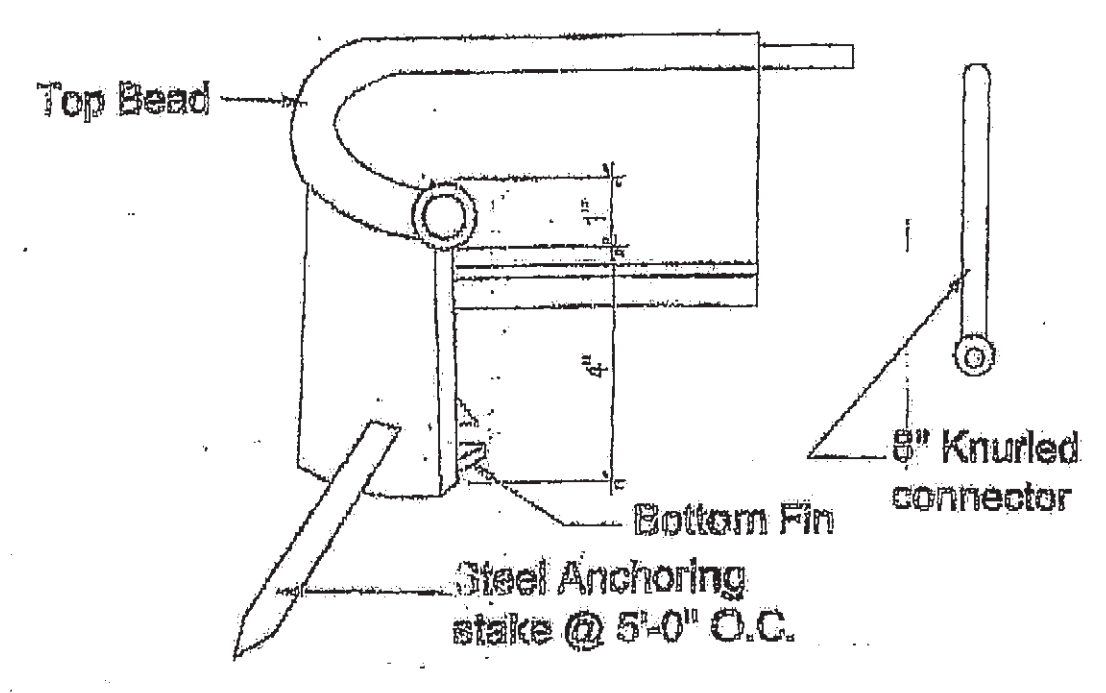
BACKFLOW DEVICE SCREENING DETAIL



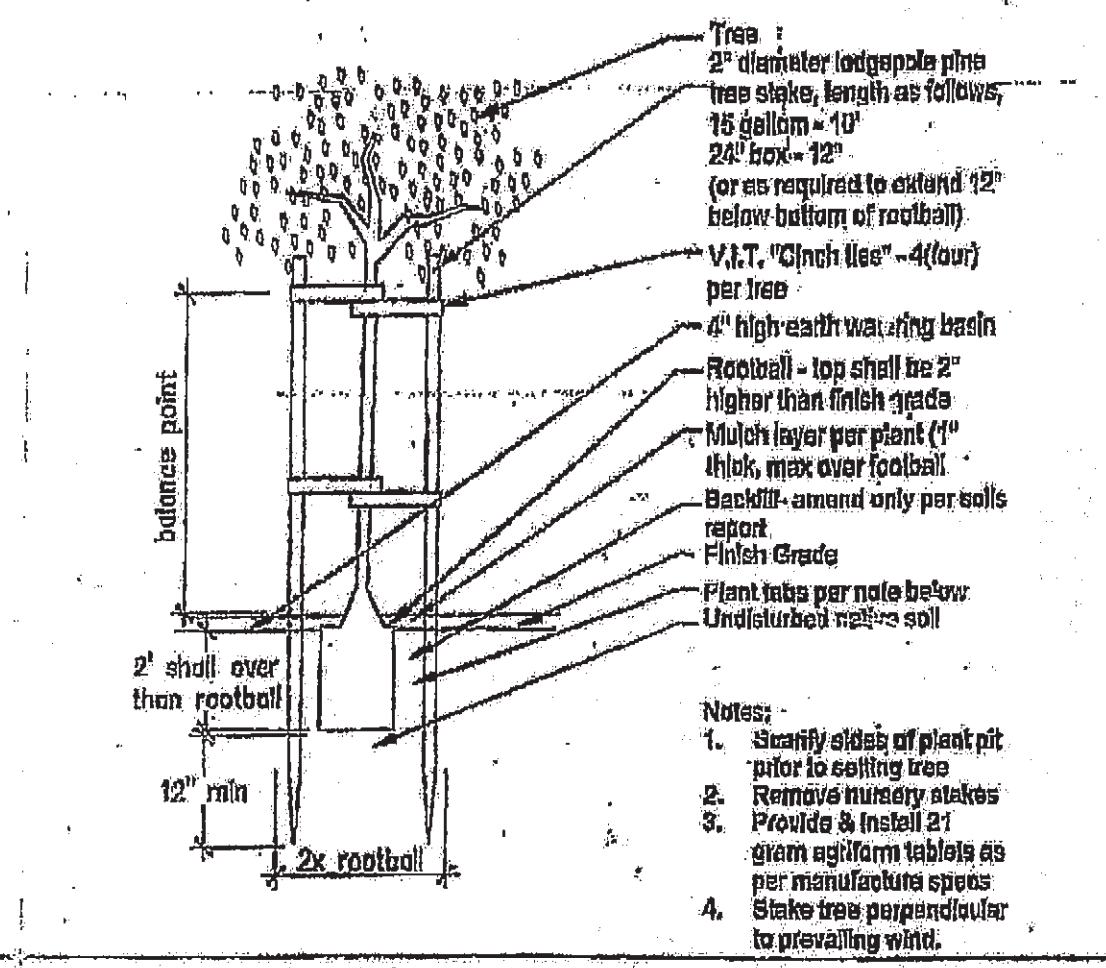
PRESSURE COMPENSATING FULL-CIRCLE BUBBLER



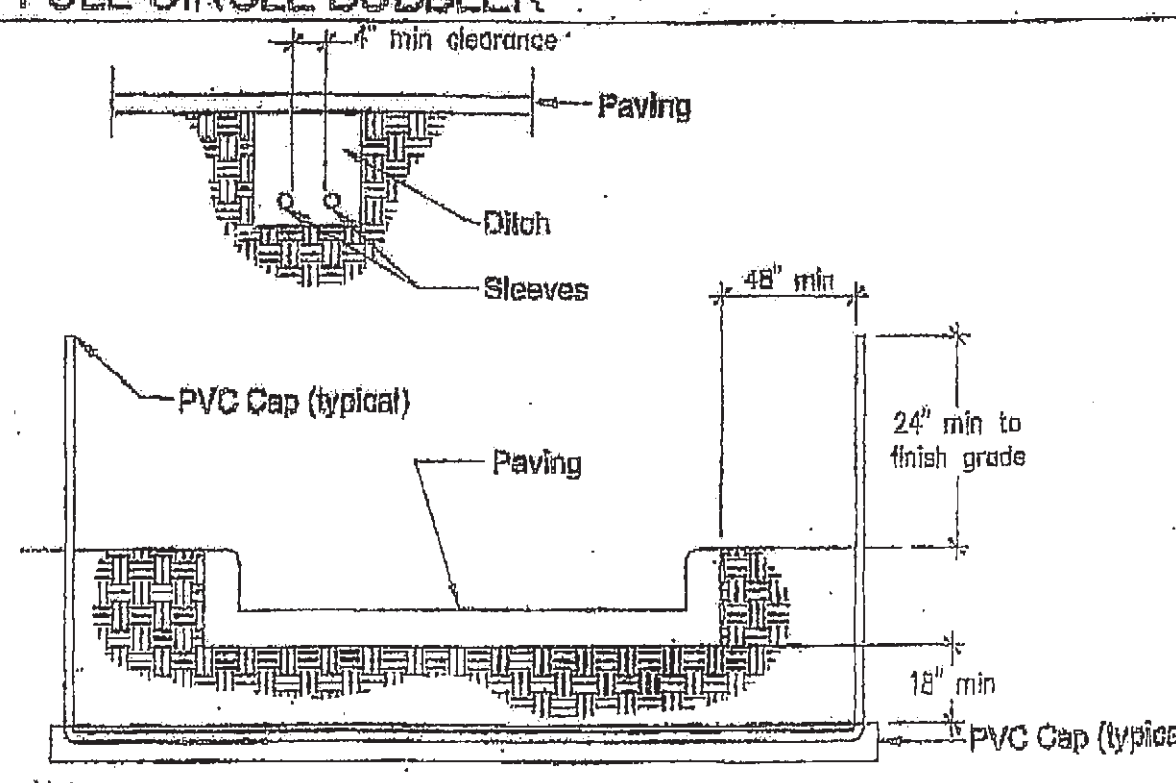
Projection of Existing Tree



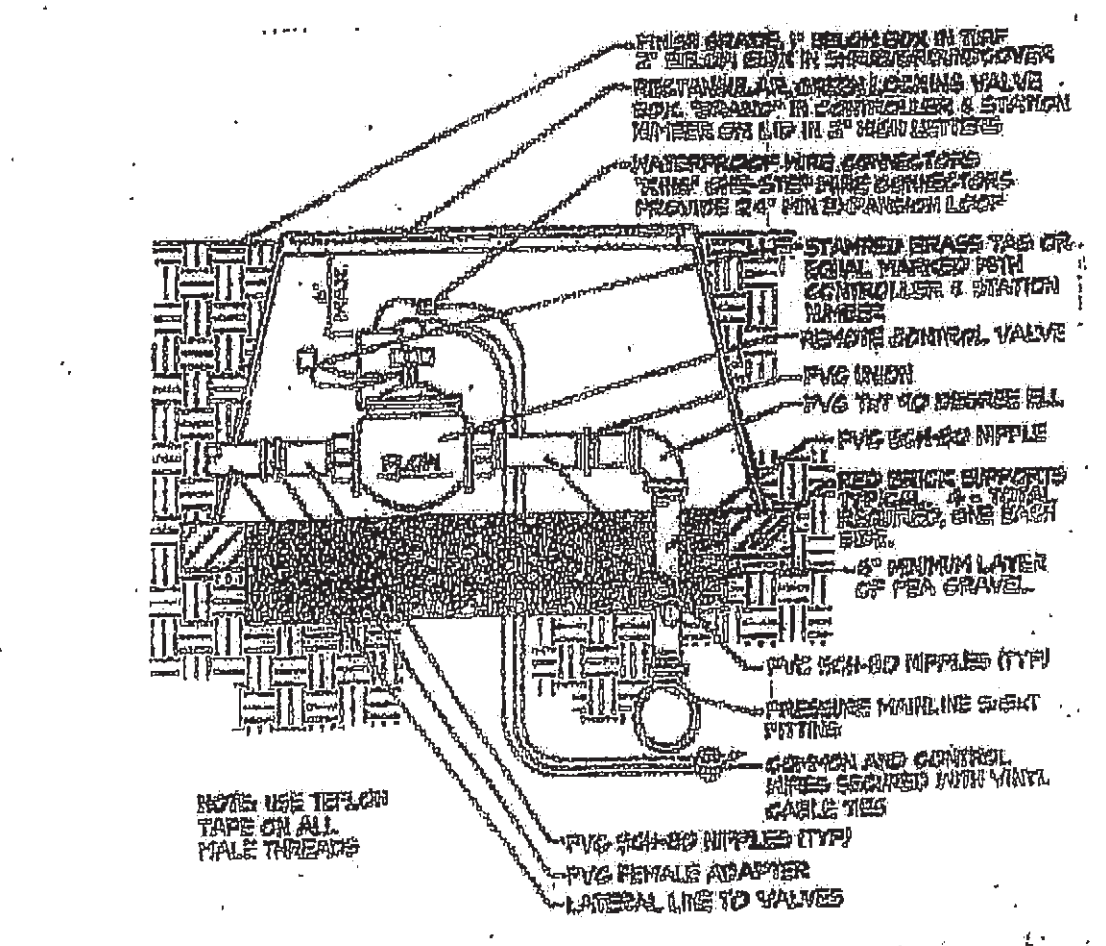
Polyethylene edging



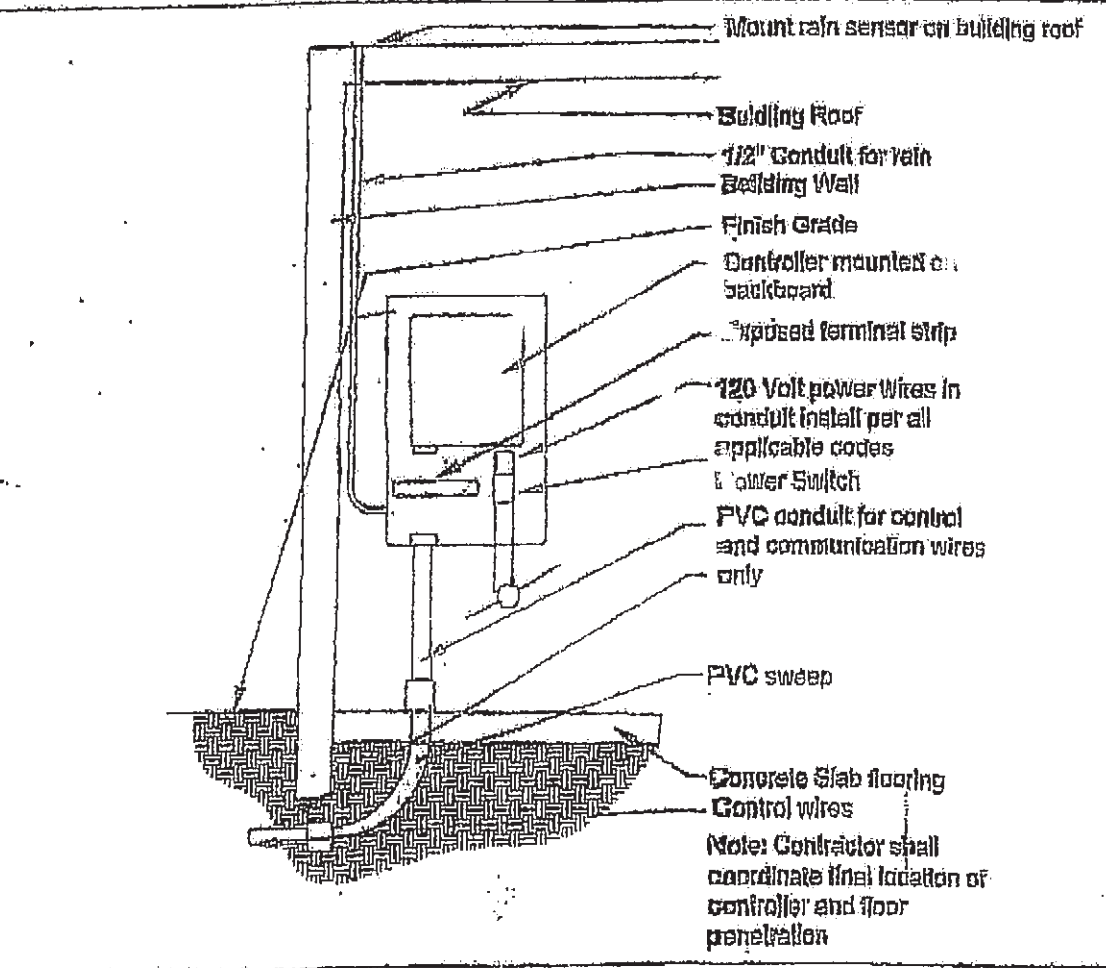
Tree staking detail



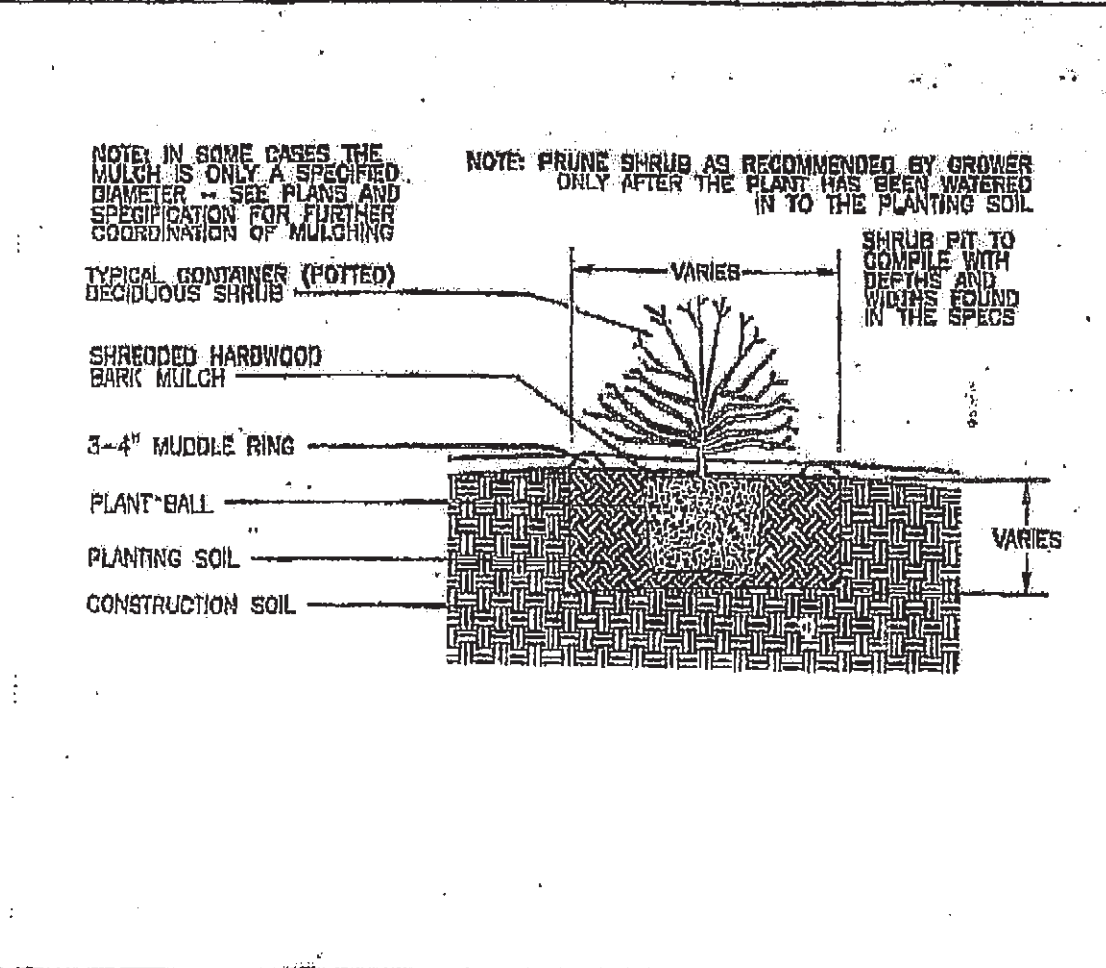
Sleeving



REMOTE CONTROL VALVE



Solid-state Controller



CONTAINER SHRUB PLANTING DETAIL

Revisions

Larry G. Tison & Associates
LANDSCAPE ARCHITECTURE
314 E. Broadway Suite 0 Glendale, California 91205
616-241-9168
larry@lgt.com

Note: use details as applicable to this project only.

LANDSCAPE DETAIL & SPECIFICATION PLAN

DATE: _____

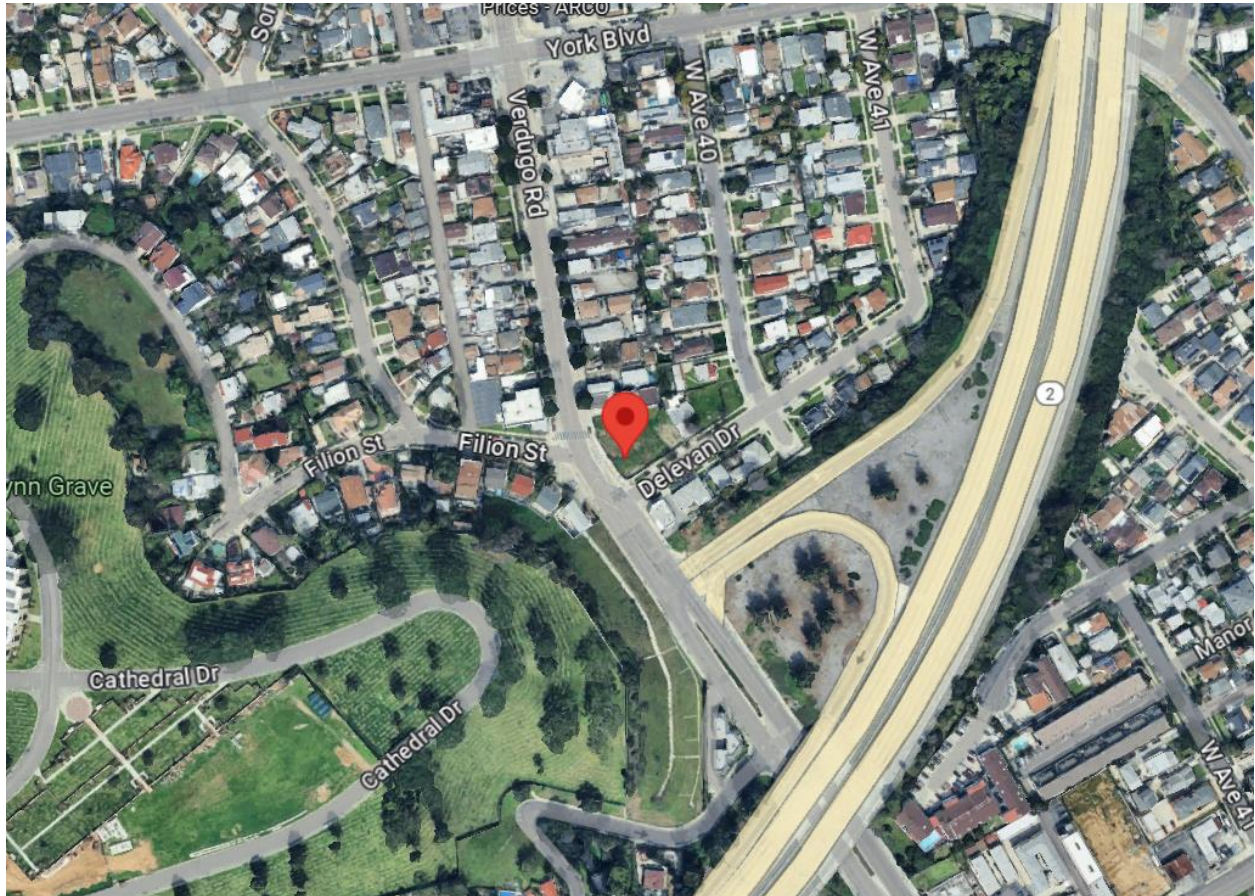
JOB NO.: _____

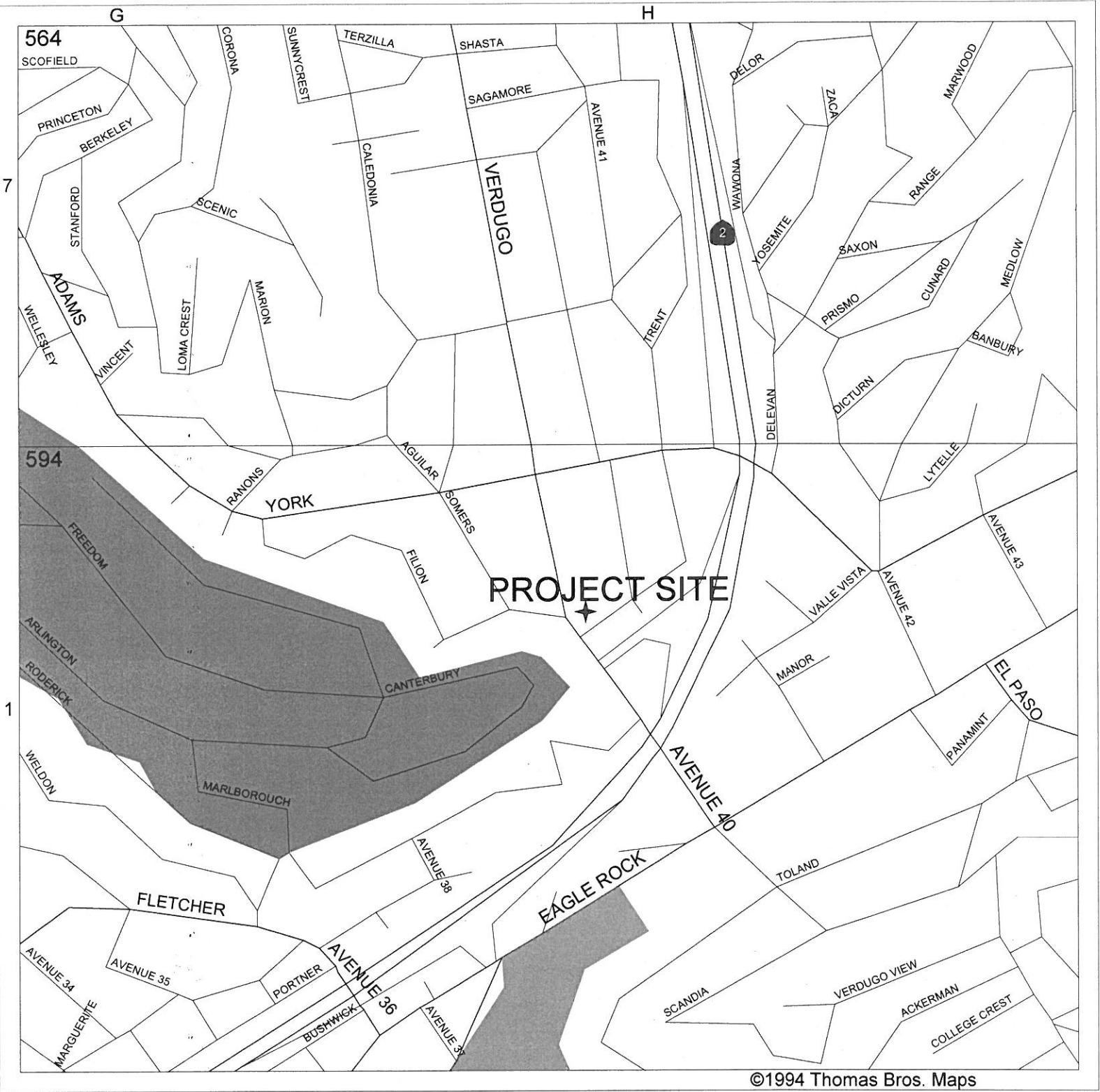
SHEET

L-5

Aerial Photo Map

4002 North Verdugo Road





VICINITY MAP

SITE : 4002-4006 VERDUGO ROAD

GC MAPPING SERVICE, INC.
 3055 WEST VALLEY BOULEVARD
 ALHAMBRA CA 91803
 (626) 441-1080, FAX (626) 441-8850
gcmapping@radiusmaps.com



LEGAL: LOTS 1 AND 32, BLOCK 7 TRACT NO. 5943.

DENSITY BONUS - OFF MENU

C.D. 13
 C.T. 1861.00
 P.A. NORTHEAST LOS ANGELES

GC MAPPING SERVICE, INC.

3055 WEST VALLEY BOULEVARD
 ALHAMBRA CA 91803
 (626) 441-1080 FAX (626) 441-8850
 GCMAPPING@RADIUSMAPS.COM

SITE ADDRESS:
 4002-4006 VERDUGO RD.

0.31 NET AC.

CASE NO.
 DATE: 04-23-2024
 SCALE: 1" = 100'
 USES FIELD
 D.M. 156 B 217
 T.B. PAGE: 594 GRID: H-1



City of Los Angeles Department of City Planning

4/23/2024 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

4006 N VERDUGO ROAD

ZIP CODES

90065

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2023-7708-DB-CDO-HCA

CPC-2008-3991-ZC

CPC-2007-1262-CDO-ZC

CPC-2002-5872-CDO-ZC

CPC-1989-22490

CPC-1989-177

CPC-1986-826-GPC

ORD-79757

ORD-181062-SA25

ORD-180561

ORD-173540-SA1085

ORD-172316

ORD-165351-SA304

ORD-129279

ENV-2023-7709-EAF

ENV-2013-3392-CE

ENV-2008-3992-ND

ENV-2008-146-ND

AFF-14786

Address/Legal Information

| | |
|------------------------------|--------------------|
| PIN Number | 156A217 79 |
| Lot/Parcel Area (Calculated) | 4,724.1 (sq ft) |
| Thomas Brothers Grid | PAGE 594 - GRID H1 |
| Assessor Parcel No. (APN) | 5459027002 |
| Tract | TR 5943 |
| Map Reference | M B 71-22/34 |
| Block | 7 |
| Lot | 1 |
| Arb (Lot Cut Reference) | 1 |
| Map Sheet | 156A217 |

Jurisdictional Information

| | |
|--------------------------|----------------------------|
| Community Plan Area | Northeast Los Angeles |
| Area Planning Commission | East Los Angeles |
| Neighborhood Council | Glassell Park |
| Council District | CD 13 - Hugo Soto-Martinez |
| Census Tract # | 1861.00 |
| LADBS District Office | Los Angeles Metro |

Permitting and Zoning Compliance Information

| | |
|-----------------------|------|
| Administrative Review | None |
|-----------------------|------|

Planning and Zoning Information

| | |
|--|---|
| Special Notes | None |
| Zoning | [Q]C1.5-1VL-CDO |
| Zoning Information (ZI) | ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses ZI-2129 State Enterprise Zone: East Los Angeles ZI-2498 Local Emergency Temporary Regulations - Time Limits and Parking Relief - LAMC 16.02.1 ZI-2401 Community Design Overlay: Cypress Park and Glassell Park |
| General Plan Land Use | Neighborhood Commercial |
| General Plan Note(s) | Yes |
| Hillside Area (Zoning Code) | No |
| Specific Plan Area | None |
| Subarea | None |
| Special Land Use / Zoning | None |
| Historic Preservation Review | No |
| Historic Preservation Overlay Zone | None |
| Other Historic Designations | None |
| Mills Act Contract | None |
| CDO: Community Design Overlay | Cypress Park and Glassell Park |
| CPIO: Community Plan Imp. Overlay | None |
| Subarea | None |
| CUGU: Clean Up-Green Up | None |
| HCR: Hillside Construction Regulation | No |
| NSO: Neighborhood Stabilization Overlay | No |
| POD: Pedestrian Oriented Districts | None |
| RBP: Restaurant Beverage Program Eligible Area | General (RBPA) |
| RFA: Residential Floor Area District | None |

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

| | |
|------------------------------------|---------------|
| RIO: River Implementation Overlay | No |
| SN: Sign District | No |
| AB 2334: Very Low VMT | Yes |
| AB 2097: Reduced Parking Areas | No |
| Streetscape | No |
| Adaptive Reuse Incentive Area | None |
| Affordable Housing Linkage Fee | |
| Residential Market Area | Medium |
| Non-Residential Market Area | Medium |
| Transit Oriented Communities (TOC) | Not Eligible |
| ED 1 Eligibility | Eligible Site |
| RPA: Redevelopment Project Area | None |
| Central City Parking | No |
| Downtown Parking | No |
| Building Line | None |
| 500 Ft School Zone | No |
| 500 Ft Park Zone | No |

Assessor Information

| | |
|------------------------------------|--|
| Assessor Parcel No. (APN) | 5459027002 |
| APN Area (Co. Public Works)* | 0.103 (ac) |
| Use Code | 0100 - Residential - Single Family Residence |
| Assessed Land Val. | \$214,395 |
| Assessed Improvement Val. | \$0 |
| Last Owner Change | 02/11/2020 |
| Last Sale Amount | \$1,200,012 |
| Tax Rate Area | 13 |
| Deed Ref No. (City Clerk) | 927040,2 0168686 |
| Building 1 | |
| Year Built | 1932 |
| Building Class | D35A |
| Number of Units | 1 |
| Number of Bedrooms | 1 |
| Number of Bathrooms | 1 |
| Building Square Footage | 600.0 (sq ft) |
| Building 2 | No data for building 2 |
| Building 3 | No data for building 3 |
| Building 4 | No data for building 4 |
| Building 5 | No data for building 5 |
| Rent Stabilization Ordinance (RSO) | No [APN: 5459027002] |

Additional Information

| | |
|---|--------------------|
| Airport Hazard | None |
| Coastal Zone | None |
| Farmland | Area Not Mapped |
| Urban Agriculture Incentive Zone | YES |
| Very High Fire Hazard Severity Zone | Yes |
| Fire District No. 1 | No |
| Flood Zone | Outside Flood Zone |
| Watercourse | No |
| Hazardous Waste / Border Zone Properties | No |
| Methane Hazard Site | None |
| High Wind Velocity Areas | No |
| Special Grading Area (BOE Basic Grid Map A-13372) | Yes |
| Wells | None |

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

| Environmental | |
|---|---|
| Santa Monica Mountains Zone | No |
| Biological Resource Potential | Low |
| Mountain Lion Potential | Low |
| Seismic Hazards | |
| Active Fault Near-Source Zone | |
| Nearest Fault (Distance in km) | Within Fault Zone |
| Nearest Fault (Name) | Hollywood Fault |
| Region | Transverse Ranges and Los Angeles Basin |
| Fault Type | B |
| Slip Rate (mm/year) | 1.00000000 |
| Slip Geometry | Left Lateral - Reverse - Oblique |
| Slip Type | Poorly Constrained |
| Down Dip Width (km) | 14.00000000 |
| Rupture Top | 0.00000000 |
| Rupture Bottom | 13.00000000 |
| Dip Angle (degrees) | 70.00000000 |
| Maximum Magnitude | 6.40000000 |
| Alquist-Priolo Fault Zone | No |
| Landslide | No |
| Liquefaction | Yes |
| Preliminary Fault Rupture Study Area | No |
| Tsunami Hazard Area | No |
| Economic Development Areas | |
| Business Improvement District | None |
| Hubzone | Not Qualified |
| Jobs and Economic Development Incentive Zone (JEDI) | None |
| Opportunity Zone | No |
| Promise Zone | None |
| State Enterprise Zone | EAST LOS ANGELES STATE ENTERPRISE ZONE |
| Housing | |
| Direct all Inquiries to | |
| Telephone | Los Angeles Housing Department (866) 557-7368 |
| Website | https://housing.lacity.org |
| Rent Stabilization Ordinance (RSO) | No [APN: 5459027002] |
| Ellis Act Property | No |
| AB 1482: Tenant Protection Act | See Notes |
| Assessor Parcel No. (APN) | 5459027002 |
| Address | 4006 1/2 VERDUGO RD |
| Year Built | 1932 |
| Use Code | 0100 - Residential - Single Family Residence |
| Notes | The property is subject to AB 1482 if the owner is a corporation, limited liability company with a corporate member, or real estate trust. Does not apply to owner-occupied duplexes & government-subsidized housing. |
| Housing Crisis Act Replacement Review | No |
| Housing Element Sites | |
| HE Replacement Required | N/A |
| SB 166 Units | N/A |
| Housing Use within Prior 5 Years | Yes |
| Public Safety | |
| Police Information | |
| Bureau | Central |
| Division / Station | Northeast |
| Reporting District | 1112 |
| Fire Information | |

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| | |
|-----------------------------|---------|
| Bureau | Central |
| Battalion | 2 |
| District / Fire Station | 55 |
| Red Flag Restricted Parking | No |

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

| | |
|--------------------------|--|
| Case Number: | CPC-2023-7708-DB-CDO-HCA |
| Required Action(s): | DB-DENSITY BONUS CDO-COMMUNITY DESIGN OVERLAY DISTRICT HCA-HOUSING CRISIS ACT |
| Project Descriptions(s): | Per LAMC 13.08 Cypress Park / Glassell Park Community Design Overlay Plan Approval for the construction of a new mixed-use, 3 story, and one semi subterranean level garage building containing 14 dwelling units (including 1 VLI) and 1,071 SF retail space on the ground floor. Per LAMC 12.22 A.25 waiver of development standard for transitional height requested. |
| Case Number: | CPC-2008-3991-ZC |
| Required Action(s): | ZC-ZONE CHANGE |
| Project Descriptions(s): | A ZONE CHANGE TO IMPOSE QUALIFIED CONDITIONS THAT WOULD PROHIBIT AND/ OR LIMIT VARIOUS AUTO REPAIR AND AUTO RELATED LAND USES WITHIN THE CYPRESS PARK AND GLASSELL PARK CDO BOUNDARIES. |
| Case Number: | CPC-2007-1262-CDO-ZC |
| Required Action(s): | CDO-COMMUNITY DESIGN OVERLAY DISTRICT ZC-ZONE CHANGE |
| Project Descriptions(s): | COMMUNITY DESIGN OVERLAY DISTRICT SUPPLEMENTAL USE DISTRICT AND ZONE CHANGE |
| Case Number: | CPC-2002-5872-CDO-ZC |
| Required Action(s): | CDO-COMMUNITY DESIGN OVERLAY DISTRICT ZC-ZONE CHANGE |
| Project Descriptions(s): | THE CYPRESS PARK-GLASSELL PARK CDO AND ASSOCIATED ZONE CHANGES ARE INTENDED TO ENHANCE THE PHYSICAL APPEARANCE THROUGH DESIGN GUIDELINES AND STANDARDS AND PERMANENT [Q] QUALIFIED CONDITIONS. |
| Case Number: | CPC-1989-22490 |
| Required Action(s): | Data Not Available |
| Project Descriptions(s): | |
| Case Number: | CPC-1989-177 |
| Required Action(s): | Data Not Available |
| Project Descriptions(s): | CONTINUATION OF CPC-89-0177. SEE GENERAL COMMENTS FOR CONTINUATION. |
| Case Number: | CPC-1986-826-GPC |
| Required Action(s): | GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283) |
| Project Descriptions(s): | GENERAL PLAN/ZONING CONSISTENCY - ZONE CHANGES - HEIGHT DISTRICT CHANGES AND PLAN AMENDMENTS - VARIOUS LOCATIONS |
| Case Number: | ENV-2023-7709-EAF |
| Required Action(s): | EAF-ENVIRONMENTAL ASSESSMENT |
| Project Descriptions(s): | Per LAMC 13.08 Cypress Park / Glassell Park Community Design Overlay Plan Approval for the construction of a new mixed-use, 3 story, and one semi subterranean level garage building containing 14 dwelling units (including 1 VLI) and 1,071 SF retail space on the ground floor. Per LAMC 12.22 A.25 waiver of development standard for transitional height requested. |
| Case Number: | ENV-2013-3392-CE |
| Required Action(s): | CE-CATEGORICAL EXEMPTION |
| Project Descriptions(s): | THE PROPOSED ORDINANCE MODIFIES SECTION 22.119 OF THE LOS ANGELES ADMINISTRATIVE CODE TO ALLOW ORIGINAL ART MURALS ON LOTS DEVELOPED WITH ONLY ONE SINGLE-FAMILY RESIDENTIAL STRUCTURE AND THAT ARE LOCATED WITHIN COUNCIL DISTRICTS 1, 9, AND 14. |
| Case Number: | ENV-2008-3992-ND |
| Required Action(s): | ND-NEGATIVE DECLARATION |
| Project Descriptions(s): | A ZONE CHANGE TO IMPOSE QUALIFIED CONDITIONS THAT WOULD PROHIBIT AND/ OR LIMIT VARIOUS AUTO REPAIR AND AUTO RELATED LAND USES WITHIN THE CYPRESS PARK AND GLASSELL PARK CDO BOUNDARIES. |
| Case Number: | ENV-2008-146-ND |
| Required Action(s): | ND-NEGATIVE DECLARATION |
| Project Descriptions(s): | A NEGATIVE DECLARATION FOR A COMMUNITY DESIGN OVERLAY THAT APPLIES DESIGN GUIDELINES AND DEVELOPMENT STANDARDS TO AN ESTABLISHED DISTRICT WITHIN THE CYPRESS PARK AND GLASSELL PARK COMMUNITIES. |

DATA NOT AVAILABLE

ORD-79757

ORD-181062-SA25

ORD-180561

ORD-173540-SA1085

ORD-172316

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ORD-165351-SA304

ORD-129279

AFF-14786



Address: 4006 N VERDUGO ROAD

APN: 5459027002

PIN #: 156A217 79

Tract: TR 5943

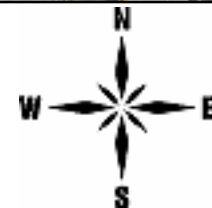
Block: 7

Lot: 1

Arb: 1









Zoning: [Q]C1.5-1VL-CDO

General Plan: Neighborhood Commercial



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF





GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL





-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL

-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial

PARKING

-  Parking Buffer

PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES
















-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

















INDUSTRIAL

-  Limited Industrial
-  Light Industrial






CIRCULATION

STREET





































-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway


























MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor





POINTS OF INTEREST

| | | |
|--|--|--|
|  Alternative Youth Hostel (Proposed) |  Horticultural Center |  Public Elementary School |
|  Animal Shelter |  Hospital |  Public Elementary School (Proposed) |
|  Area Library |  Hospital (Proposed) |  Public Golf Course |
|  Area Library (Proposed) | HW House of Worship |  Public Golf Course (Proposed) |
|  Bridge | e Important Ecological Area |  Public Housing |
|  Campground |  Important Ecological Area (Proposed) |  Public Housing (Proposed Expansion) |
|  Campground (Proposed) |  Interpretive Center (Proposed) |  Public Junior High School |
|  Cemetery |  Junior College |  Public Junior High School (Proposed) |
| HW Church |  MTA / Metrolink Station |  Public Middle School |
|  City Hall |  MTA Station |  Public Senior High School |
|  Community Center |  MTA Stop |  Public Senior High School (Proposed) |
|  Community Library | MWD MWD Headquarters |  Pumping Station |
|  Community Library (Proposed Expansion) |  Maintenance Yard |  Pumping Station (Proposed) |
|  Community Library (Proposed) |  Municipal Office Building |  Refuse Collection Center |
|  Community Park | P Municipal Parking lot |  Regional Library |
|  Community Park (Proposed Expansion) |  Neighborhood Park |  Regional Library (Proposed Expansion) |
|  Community Park (Proposed) |  Neighborhood Park (Proposed Expansion) |  Regional Library (Proposed) |
|  Community Transit Center |  Neighborhood Park (Proposed) |  Regional Park |
|  Convalescent Hospital |  Oil Collection Center |  Regional Park (Proposed) |
|  Correctional Facility |  Parking Enforcement | RPD Residential Plan Development |
|  Cultural / Historic Site (Proposed) |  Police Headquarters |  Scenic View Site |
|  Cultural / Historical Site |  Police Station |  Scenic View Site (Proposed) |
|  Cultural Arts Center |  Police Station (Proposed Expansion) |  School District Headquarters |
| DMV DMV Office |  Police Station (Proposed) |  School Unspecified Loc/Type (Proposed) |
| DWP DWP |  Police Training site |  Skill Center |
|  DWP Pumping Station | PO Post Office |  Social Services |
|  Equestrian Center |  Power Distribution Station |  Special Feature |
|  Fire Department Headquarters |  Power Distribution Station (Proposed) |  Special Recreation (a) |
|  Fire Station |  Power Receiving Station |  Special School Facility |
|  Fire Station (Proposed Expansion) |  Power Receiving Station (Proposed) |  Special School Facility (Proposed) |
|  Fire Station (Proposed) | C Private College |  Steam Plant |
|  Fire Supply & Maintenance | E Private Elementary School |  Surface Mining |
|  Fire Training Site |  Private Golf Course |  Trail & Assembly Area |
|  Fireboat Station |  Private Golf Course (Proposed) |  Trail & Assembly Area (Proposed) |
|  Health Center / Medical Facility | JH Private Junior High School | UTL Utility Yard |
|  Helistop | PS Private Pre-School |  Water Tank Reservoir |
|  Historic Monument |  Private Recreation & Cultural Facility |  Wildlife Migration Corridor |
|  Historical / Cultural Monument | SH Private Senior High School |  Wildlife Preserve Gate |
|  Horsekeeping Area | SF Private Special School | |
|  Horsekeeping Area (Proposed) |  Public Elementary (Proposed Expansion) | |

SCHOOLS/PARKS WITH 500 FT. BUFFER

| | | |
|--|--|--|
|  Existing School/Park Site |  Planned School/Park Site |  Inside 500 Ft. Buffer |
|  Aquatic Facilities |  Other Facilities |  Opportunity School |
|  Beaches |  Park / Recreation Centers |  Charter School |
|  Child Care Centers |  Parks |  Elementary School |
|  Dog Parks |  Performing / Visual Arts Centers |  Span School |
|  Golf Course |  Recreation Centers |  Special Education School |
|  Historic Sites |  Senior Citizen Centers |  High School |
|  Horticulture/Gardens | |  Middle School |
|  Skate Parks | |  Early Education Center |

COASTAL ZONE



| |
|--|
|  Coastal Commission Permit Area |
|  Dual Permit Jurisdiction Area |
|  Single Permit Jurisdiction Area |
|  Not in Coastal Zone |

TRANSIT ORIENTED COMMUNITIES (TOC)






























| | |
|--|--|
|  Tier 1 |  Tier 3 |
|  Tier 2 |  Tier 4 |

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

| |
|--|
|  Public Work Approval (PWA) |
|  Waiver of Dedication or Improvement (WDI) |

OTHER SYMBOLS

| | | |
|---|---|--|
|  Lot Line |  Airport Hazard Zone |  Flood Zone |
|  Tract Line |  Census Tract |  Hazardous Waste |
|  Lot Cut |  Coastal Zone |  High Wind Zone |
|  Easement |  Council District |  Hillside Grading |
|  Zone Boundary |  LADBS District Office |  Historic Preservation Overlay Zone |
|  Building Line |  Downtown Parking |  Specific Plan Area |
|  Lot Split |  Fault Zone |  Very High Fire Hazard Severity Zone |
|  Community Driveway |  Fire District No. 1 |  Wells - Active |
|  Building Outlines 2020 |  Tract Map |  Wells - Inactive |
|  Building Outlines 2017 |  Parcel Map | |

Site Photos



Across the street from the project site on Verdugo Road. The church has since been demolished.



Heading north along Verdugo Road. The project site is to the right.



Corner of Verdugo Road and Delevan Drive.



On Delevan Drive looking at the project site. The dwelling unit has since been demolished.

REFERRAL FORM

PAR-2023-7460

Affordable Housing Referral Form
CPC-2023-7708-DB-CDO-HCA

AFFORDABLE HOUSING REFERRAL FORM

Revised 8/27/2024



This form is to serve as a referral to the Los Angeles City Planning's Development Services Center (DSC) for Affordable Housing case filing purposes (in addition to the required City Planning Application and any other necessary documentation); and to the City of Los Angeles Housing Department (LAHD), Department of Building and Safety (LADBS), or other City agency for project status and entitlement need purposes. All Applicants are required to provide a complete set of architectural plans at the time that this form is submitted for review. Any application submitted that is missing any required materials will be considered incomplete and will not be reviewed until all materials are submitted.

This form shall be completed by the Applicant and reviewed and signed by City Planning DSC Affordable Housing Services Section (AHSS) Staff prior to filing an application for an entitlement, administrative review, or building permit. Any modifications to the content(s) of this form after its authorization by AHSS Staff is prohibited. City Planning reserves the right to require an updated Referral Form for the project if more than 180 days have transpired since the referral date, or as necessary, to reflect project modifications, policy changes, bus route changes, bus schedule changes, and/or amendments to the Los Angeles Municipal Code (LAMC), local laws, and State laws.

Note: This Referral Form does not constitute a City Planning application. See the Forms webpage for City Planning Application ([CP-7771.1](#)) and the City Planning Application Filing Instructions ([CP-7810](#)). If the project is located within a Specific Plan or Overlay Zone, check with the assigned planner prior to preparing these plans, as some have additional or different requirements. An [Assignment List](#) can be found on the City Planning website at <http://planning.lacity.org> under the "About" tab, under "Staff Directory."

THIS SECTION TO BE COMPLETED BY AHSS STAFF ONLY

Planning Staff Name & Title: Aida Karapetian/ Planning Assistant

Planning Staff Signature: _____

Referral Date: 01/10/2024 (Rev. on 5/22/2024) Expiration Date: 07/09/2024

Case Number: PAR- 2023-7460-AHRF

TRANSPORTATION QUALIFIERS (if applicable)

Major Transit Stop Paratransit / Fixed Bus Route Very Low Vehicle Travel Areas

Other: _____

Location of Transit: _____

Qualifier #1: _____

Service Interval #1: _____ Service Interval #2: _____

Qualifier #2: _____

Service Interval #1: _____ Service Interval #2: _____

Service Intervals are calculated by dividing 420 (the total number of minutes during the peak hours of 6 am to 9 am and 3 pm to 7 pm) by the number of eligible trips.

Notes: *AKS* Revision on 8/27/24 - Applicant adding one (1) additional waiver and restructuring existing requests - JH ²

A.K. The Project is requesting 1 off-menu incentive. and and 1 waiver (added on 5/22/2024)

Materials and plans have not been checked for full compliance with LAMC and LABC. Submittal of a signed Referral Form does not constitute a deemed complete date, approval of Entitlements, or of the Plans submitted at the time of case filing.

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Applicant Requesting:

- 100% Affordable per AB 2345¹ SB 35 ED 1
- Measure JJJ AB 2097 AB 2162 AB 2334
- Other: _____

APPLICANT INFORMATION

Applicant Name: KAS Verdugo, LLC

Phone Number: 213-279-6965

Email: chris@gonzaleslawgroup.com

I. PROPOSED PROJECT

1. PROJECT LOCATION/ZONING

Project Address(es): 4002-4006 North Verdugo Road; 3067 N. Delevan Drive

Assessor Parcel Number(s): 5459027002; 5459027035

¹ AB 1763 incentives were amended by AB 2345 (2020) per Government Code Section 65915(b)(1)(G).

Community Plan: Northeast Los Angeles

Existing Zone: [Q]C1.5-1VL-CDO

Land Use Designation: Neighborhood Commercial

Number of Parcels: 3

Project Site Area (sf): 13,696.12 per ZIMAS

ED 1 Eligible² Specific Plan DRB/CDO

HPOZ Enterprise Zone Redevelopment Project Area

If applicable, specify Specific Plan/Overlay: Cypress Park and Glassel Park

Q Condition/D Limitation (Ordinance No. and provide a copy): ORD-181062-SA25

Other Pertinent Zoning Information (specify): _____

2. DETAILED DESCRIPTION OF PROPOSED PROJECT

Construction, maintenance, and use of a 3-story, mixed-use building with 1,071 sq.ft. of ground-floor commercial use and 14 dwelling units with one level of below-grade parking.

3. DETAILED DESCRIPTION OF EXISTING SITE AND DEVELOPMENT

Site is currently unimproved.

² Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

| Existing Uses Dwelling Unit (DU) Square Footage (SF) | Existing No. of DUs or Non-Residential SF | Existing No. of DUs or Non-Residential SF to be Demolished | Proposed ³ No. of DUs or Non-Residential SF |
|--|--|--|---|
| Guestrooms | | | |
| Studio | | | 1 |
| One Bedroom | 1 | 1 | 7 |
| Two Bedrooms | | | 6 |
| Three Bedrooms | | | |
| ____ Bedrooms | | | |
| Non-Residential SF | 2,044 | 2,044 | 1,071 |
| Other | | | |

4. APPLICATION TYPE

Density Bonus with **On-Menu Incentives** (specify):

- 1) _____
- 2) _____
- 3) _____
- 4) _____

Density Bonus with **Off-Menu Incentives** (specify):

- 1) Transitional height requirement from 12.21.A.10. (37' instead of 25') (A.K.) A.K.
- 2) To allow an FAR increase of 26.7% for an FAR of 1.9:1 in lieu of the required 1.5:1 JH
- 3) _____
- 4) _____

³ Per AB 2556, replacement units shall be equivalent to the number of units and number of bedrooms of the existing development.

Density Bonus with **Waivers of Development Standards** (specify):

~~1) Waiver of transitional height standard~~

Waiver of development standard to allow 5.5 ft setback in lieu of 7 ft side yard requirement. Relief of 1.5 ft.

2) ~~(added on 5/22/2024)~~

3) Requesting a front yard reduction to allow 1.5 ft instead of 10 ft required. Relief of 8.5 feet. (added on 5/22/2024) ~~A.K.~~

4) _____

Greater Downtown Housing Incentive Area per LAMC Section 12.22 A.29

Affordable Housing per LAMC Section 11.5.11 (Measure JJJ)

Public Benefit Project per LAMC Section 14.00 A.2

General Plan Amendment per LAMC Section 11.5.6

Request: _____

Zone/Height District Change per LAMC Section 12.32

Request: _____

Conditional Use per LAMC Section 12.24 U.26

Specific Plan Project Permit Compliance per LAMC Section 11.5.7 C

Community Design Overlay per LAMC Section 13.08

Coastal Development Permit per LAMC Section 12.20.2 or 12.20.2.1

Tract or Parcel Map per LAMC Section 17.00 or 17.50

Other (specify): _____

5. ENVIRONMENTAL REVIEW

Project is Exempt⁴

Not Yet Filed

Filed (Case No.): ENV-2023-7709-CE JH

A.K.

⁴ Project may be exempt from CEQA review if it qualifies for a CEQA Exemption or is a Ministerial Project (aka, "By Right").

6. HOUSING DEVELOPMENT PROJECT TYPE

CHECK ALL THAT APPLY:

- For Rent For Sale Mixed-Use Project Residential Hotel
 Extremely Low Income Very Low Income Low Income Moderate Income
 Market Rate Supportive Housing Senior
 Shared Housing Building per AB 682
 Special Needs (describe): _____
 Other Category (describe): _____

7. DENSITY CALCULATION

A. Base Density: Maximum density allowable per zoning⁵

| | | |
|---|---------------|---|
| Lot size (including any 1/2 of alleys) ⁶ | <u>13696</u> | SF (a) |
| Density allowed by Zone | <u>1/1500</u> | SF of lot area per DU (b) |
| Density allowed by General Plan | <u>1/400</u> | |
| No. of DUs allowed by right (per LAMC) | <u>34</u> | DUs (c) [c = a/b, round down to whole number] |
| No. of Guestrooms allowed per AB 682 | _____ | |
| Base Density | <u>35</u> | DUs (d) [d = a/b, round up to whole number] |

B. Maximum Allowable Density Bonus^{7, 8} 48 DUs (e) [e = dx1.35, round up to whole number]

- AB 2345 - Unlimited Density

⁵ As defined by Government Code Section 65915(o)(7), which states that "maximum allowable residential density" or "base density" means the maximum number of units allowed under the zoning ordinance, specific plan, or land use element of the general plan, or, if a range of density is permitted applicable to the project. If the density allowed under the zoning ordinance is inconsistent with the density allowed under the land use element of the general plan or specific plan, the greater shall prevail.

⁶ If there is a related subdivision case, the lot area shall be calculated based on the site area after a dedication of land has been provided.

⁷ Per AB 2345, 100% affordable housing developments may request an 80% density increase or unlimited density if the project site is within 0.5 miles of a Major Transit Stop or in a Very Low Vehicle Travel Area (see ZIMAS). In addition, a property located in the Hollywood Redevelopment Plan Area is eligible for a 50% density bonus pursuant to Government Code Section 65915(f), as described in the November 2, 2022 AB 2345 Memo.

⁸ Per AB 2334, a Very Low Vehicle Travel Area are defined by Government Code Section 65915(o)(4), as an urbanized area "where the existing residential development generates vehicle miles traveled (VMT) per capita that is below 85 percent of either regional vehicle miles traveled per capita or city vehicle miles traveled per capita.

C. Proposed Project: Please indicate total number of DUs requested and break down by levels of affordability set by each category (California Department of Housing and Community Development [HCD] or United States Department of Housing and Urban Development [HUD]). For information on HCD and HUD levels of affordability please contact LAHD at <https://housing.lacity.org/partners/land-use-rent-income-schedules>.

Note: Rent schedules will be determined by LAHD.

| | Total | HCD (State) | HUD (TCAC) |
|---|--|--------------|------------|
| Market Rate | 12 13 | N/A | N/A |
| Managers Unit(s) — Market Rate ⁹ | | N/A | N/A |
| Extremely Low Income (ELI) | | | |
| Very Low Income (VLI) | 2 | 2 A.K. | |
| Low Income (LI) | 1 | 1 | |
| Moderate Income | | | |
| Permanent Supportive Housing — ELI | | | |
| Permanent Supportive Housing — VLI | | | |
| Permanent Supportive Housing — LI | | | |
| Seniors — Market Rate | | N/A | N/A |
| No. of Guestrooms allowed per AB 682 | | | |
| Other _____ | | | |
| Other _____ | | | |
| Other _____ | | | |
| Other _____ | | | |
| TOTAL No. of DUs Proposed | 14 (f) | | |
| TOTAL No. of Affordable Housing DUs | 1 2 JH (g) | | |
| No. of Density Bonus DUs | 0 (h) [If f>c, then h=f-c; if f<c, then h= 0] | | |
| Percent of Density Bonus Requested | 0 (i) {i = 100 x [(f/d) – 1]} (round down) | | |
| Percent of Affordable Set Aside | A.K. 14% 8% (j) [g/d, round down to a whole number] | | |

⁹ Properties proposing 16 units or more need to provide a manager’s unit per 25 CCR § 42.

8. SITE PLAN REVIEW CALCULATION

An application for Site Plan Review (SPR) may be required for projects that meet any of the SPR thresholds as outlined in LAMC Section 16.05 C, unless otherwise exempted per LAMC Section 16.05 D. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the SPR threshold for unit count. If the project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05 D, please confirm the exemption with City Planning's DSC AHSS.

$$\begin{array}{r} \text{A.K. } 34 \text{ } \cancel{9} \\ \hline 14 \text{ (project is proposing less units than the base)} \end{array} \text{ units allowed by right (permitted by LAMC)} - \frac{1}{+ 2 \text{ affordable}} \text{ existing units} = \frac{\cancel{8}}{\text{Per LAMC Section 16.05 D.8, affordable units are deducted from the count}} \text{ units} \quad \begin{array}{l} \cancel{33} \text{ A.K. } 11 \text{ units} \\ \text{JH} \end{array}$$

YES, SPR is required.
Proposed by-right units minus existing units is equal to or greater than 50¹⁰

NO, SPR is not required.
Base Density units minus existing units is less than 50

Exempt.
Specify reason: _____

II. DENSITY BONUS (LAMC SECTION 12.22 A.25, ORDINANCE NO. 179,681)

9. PARKING OPTIONS

CHECK ALL THAT APPLY:

Automobile Parking Reductions via Bicycle Parking for Residential Uses¹¹. Choose only one of the options, if applicable:

10%

15% (*Only for residential projects or buildings located within 1,500 feet of a Major Transit Stop*)

30% (*If selecting the 30% parking reduction, the project will be ineligible for any of the Parking Options listed below*)

If selecting the 30% parking reduction, provide the following information:

Required Parking per LAMC: _____

Required Parking after the 30% reduction: _____

¹⁰ Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in LAMC Section 16.05.

¹¹ Any project utilizing Parking Option 3 may not further reduce automobile parking via bicycle parking.

Automobile Parking for Residential Uses (choose only one of the following options):

Note: Any fractional numbers are rounded up.

Parking Option 1. Based on # of bedrooms, inclusive of Handicapped and Guest parking.

| | # of DUs | Spaces/DU | Parking Required | Parking Provided |
|---------------------------------|-----------|-----------|------------------|------------------|
| 0-1 Bedroom | 8 | 1 | 8 | 8 |
| 2-3 Bedrooms | 6 | 1.5 | 9 | 9 |
| 4 or more Bedrooms | | 2.5 | | |
| Stalls Reduced via Bike Parking | | | | Subtract: |
| TOTALS | 14 | | | 17 |

Parking Option 2. Reduced only for Restricted Affordable Units and up to 40% of required parking for Restricted Affordable Units may be compact stalls.

| | # of DUs | Spaces/DU | Parking Required | Parking Provided |
|---|----------|-----------|------------------|------------------|
| Market Rate (Including Senior Market Rate) | | Per Code | | |
| Restricted Affordable | | 1 | | |
| VLI/LI Senior or Disabled | | 0.5 | | |
| Restricted Affordable in Residential Hotel | | 2.5 | | |
| Stalls Reduced via Bike Parking | | | | Subtract: |
| TOTALS | | | | |

Parking Option 3 [AB 2345 (2020)]. Applies to two types of projects:

- 100% affordable housing developments consisting solely of affordable units, exclusive of a manager's unit(s), with an affordable housing cost to lower income families; or
- Mixed-income developments consisting of 11% VLI or 20% LI units.

100% Affordable Housing Developments.¹² There is no minimum parking requirement for any of the following 100% affordable housing developments described below. Check all that apply:

- A housing development located within 0.5 miles of a Major Transit Stop.

¹² As defined by Government Code Section 65915(b)(1)(G)

- A housing development for individuals who are 55 years of age or older with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.¹³
- Special Needs Housing Development**, as defined in Section 51312 of the Health and Safety Code (H&SC), with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.
- Supportive Housing Development**
- Mixed-Income Developments** consisting of 11% VLI or 20% LI units.

| | Spaces/Unit | Parking Required | Parking Provided |
|--|-------------|------------------|------------------|
| Located within 0.5 miles of Major Transit Stop with unobstructed access to project | 0.5 | | |

Major Transit Stop is defined as a site containing an existing rail or bus rapid transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

Bus Rapid Transit is defined as public mass transit service provided by a public agency or by a public-private partnership that includes all of the following features:

- 1) Full-time dedicated bus lanes or operation in a separate right-of-way dedicated for public transportation with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods
- 2) Transit signal priority
- 3) All-door boarding
- 4) Fare collection system that promotes efficiency
- 5) Defined stations

- Parking Option 4 [AB 2097 2022]**. No minimum automobile parking requirement on any residential, commercial, or other development project that is within one-half mile of a Major Transit Stop.¹⁴

¹³ AB 2334 aligned the resident age requirement from 62 years of age to 55 years of age for 100 percent affordable housing developments seeking a parking waiver under Section 65915(p)(3)(B).

¹⁴ Parking reductions do not apply to a hotel, motel, bed and breakfast inn or other transient lodging except where a portion of a housing development project is designated for use as a residential hotel, as defined in Section 50519 of the Health and Safety Code. Moreover, reductions do not apply to an event center or commercial parking in a contractual agreement executed before January 1, 2023.

10. INCENTIVES

A. Qualification for Incentives

Below is the minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

| Incentives | % Very Low Income | % Low Income | % Moderate Income |
|------------|---|---|---|
| One | <input checked="" type="checkbox"/> 5% to <10% | <input type="checkbox"/> 10% to <20% | <input type="checkbox"/> 10% to <20% |
| Two | <input checked="" type="checkbox"/> 10% to <15% | <input type="checkbox"/> 20% to <30% | <input type="checkbox"/> 20% to <30% |
| Three | <input type="checkbox"/> 15% or greater | <input type="checkbox"/> 30% or greater | <input type="checkbox"/> 30% or greater |

Note: To utilize AB 682, at least 10% Low or 5% Very Low Income of the base units shall be provided.

100% Affordable Housing Developments may request up to four (4) incentives and one (1) Waiver of Development Standard. Check this box if this applies to the project.

B. Project Zoning Compliance & Incentives (Only for projects requesting a Density Bonus with Incentives/Waivers)

| | Permitted w/o Incentives | Proposed per Incentives | On-Menu | Off-Menu | Waivers |
|---|----------------------------------|----------------------------------|-------------------------------------|---|--|
| <input checked="" type="checkbox"/> Yard/Setback (each yard counts as one incentive) | | | | | |
| <input checked="" type="checkbox"/> Front (1) | 10' | 1.5' | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> JH |
| <input type="checkbox"/> Front (2) | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Side (1) | 6' | 5.5' | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> JH |
| <input type="checkbox"/> Side (2) | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Rear | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Lot Coverage | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Lot Width | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Floor Area Ratio ¹⁵ | 1.5 | 1.9 JH | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Overall Height/Stories ¹⁶ | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Transitional Height(s) | 25' & 33' | 37' & 45' JH | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Open Space | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Density Calculation | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Averaging (all count as one incentive — check all that are needed) | | | | | |
| <input type="checkbox"/> FAR | <input type="checkbox"/> Density | <input type="checkbox"/> Parking | <input type="checkbox"/> Open Space | <input type="checkbox"/> Vehicular Access | |

¹⁵ See LAMC Section 12.22 A.25(f)(4) for additional requirements.

¹⁶ See LAMC Section 12.22 A.25(f)(5) for additional requirements.

Other Off-Menu Incentives (specify): Transitional height requirement from 12.21.A.10.

Waiver of Development Standards (specify): Waiver of development standard to allow 5.5 ft setback in lieu of 7 ft side yard requirement. Relief of 1.5 ft. (added on 5/22/2024)
~~Waiver of transitional height requirement from 12.21.A.10.~~

100% Affordable Housing Development shall receive a height increase of three additional stories up to 33 additional feet. Check the box if this applies to your project.

TOTAL No. of Incentives Requested: On-Menu 0 Off-Menu A.K. 2 0

TOTAL No. of Waivers Requested: 1 2 JH

11. COVENANT

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the LAHD's Occupancy Monitoring Unit **before** a building permit can be issued. For more information, please contact the LAHD at lahd-landuse@lacity.org.

III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SEC. 12.22 A.29, ORDINANCE NO. 179,076)

12. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

A. Eligibility for Floor Area Bonus

NOTE: The affordability levels required are set by the HUD/TCAC. For information on HCD and HUD levels of affordability please contact the LAHD at lahd-landuse@lacity.org.

- 5% of the total number of DUs provided for VLI households; and
- One of the following shall be provided:
 - 10% of the total number of DUs for LI households; or
 - 15% of the total number of DUs for Moderate Income households; or
 - 20% of the total number of DUs for Workforce Income households, and
- Any DU or Guestroom occupied by a household earning less than 50% of the Area Median Income (AMI) that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan area in which it is located

B. INCENTIVES

NOTE: Must meet all three (3) eligibility requirements from 12.A above and provide a Covenant & Agreement (See #11).

CHECK ALL THAT APPLY:

- A 35% increase in total floor area
- Open Space requirement pursuant to LAMC Section 12.21 G reduced by one-half, provided that a fee equivalent to amount of the relevant park fee, pursuant to LAMC Section 19.17, shall be paid for all dwelling units. See LAMC Section 12.29 A.29(c) for exceptions
- No parking required for units for households earning less than 50% AMI
- No more than one parking space required for each dwelling unit

C. Additional Incentives to Produce Housing in the GDHIA

- No yard requirements except as required by the Urban Design Standards and Guidelines
- Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)
- Maximum number of dwelling units or guestrooms permitted shall not be limited by the lot area provisions, as long as the total floor area utilized by guestrooms does not exceed the total floor area utilized by dwelling units
- No prescribed percentage of the required open space that must be provided as either common open space or private open space

IV. MEASURE JJJ¹⁷ (LAMC Sec. 11.5.11, Ordinance No. 184, 745)

13. AFFORDABLE REQUIREMENTS

A certain percentage of affordable units is required based on the total number of units in the project. Fill out either A or B below:

A. Rental Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____ % VLI **OR** _____ % LI
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 6% VLI **OR** 15% LI
 - For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 11% VLI **OR** 20% LI

¹⁷ All fractional amounts in Sections 13 and 14 shall be rounded up to the next whole number.

Required Number of Affordable Units

ELI _____ VLI _____ LI _____

B. For Sale Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____% VLI **OR** _____% LI **OR** _____% Moderate Income
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35% or allows a residential use where not previously allowed:
 - 11% VLI **OR** 20% LI **OR** 40% Moderate Income

Required Number of Affordable Units

VLI _____ LI _____ Moderate Income _____

14. ALTERNATIVE COMPLIANCE OPTIONS

In lieu of providing the affordable units on site, there are three (3) other options available to comply with Measure JJJ Affordable Requirements. Select one, if applicable; otherwise leave this section blank.

A. Off-Site Construction – Construction of affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 3 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

B. Off-Site Acquisition – Acquisition of property that will provide affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 1 mile of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

C. In-Lieu Fee – From the Affordability Gaps Study published by the Los Angeles City Planning

Total In-Lieu Fee _____ (Note: Final fee TBD if/when the project is approved)

15. DEVELOPER INCENTIVES

Please describe up to a maximum of three (3) incentives:

- 1) _____

- 2) _____

- 3) _____

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with LADBS.

REFERRAL FORM

Preliminary Zoning Assessment
CPC-2023-7708-DB-CDO-HCA

PRELIMINARY ZONING ASSESSMENT

This form is to serve as an inter-agency referral for City Planning applications associated with a project creating two or more residential units. As a part of a City Planning application, a completed Preliminary Zoning Assessment (PZA) form, accompanied by architectural plans, shall be submitted to Plan Check staff at the Department of Building and Safety (LADBS). LADBS Plan Check staff will sign the PZA form and the architectural plans once the informational Zoning Plan Check verifications are completed. Following the completion of the PZA process, a City Planning application may be filed along with all other applicable filing requirements.

Review of the referral form by City staff is intended to determine compliance with City zoning and land use requirements necessary to achieve the proposed project and to identify any zoning issues or necessary approvals that would need to be resolved through a City Planning application. The informational Zoning Plan Check done through the PZA process does not constitute a zoning approval and does not require compliance with development standards to be completed.

To check if a project type qualifies for and requires the PZA form, see the [Housing Development Project Applicability Matrix](#) available on the City Planning Forms [webpage](#).

CONTACT INFORMATION

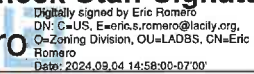
Department of Building and Safety, Affordable Housing Section

201 N. Figueroa St., Ste 830
Los Angeles, CA 90012
Phone: (213) 482-0455
Web: <https://ladbs.org/services/special-assistance/affordable-housing>
Email: LADBS.AHS@lacity.org

Department of City Planning, Development Services Center

For locations and hours:
<https://planning.lacity.org/contact/locations-hours>

THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF ONLY

| | |
|--|--|
| LADBS Plan Check Staff Name and Title ERIC ROMERO, ARCHITECTURAL ASSOCIATE | LADBS Plan Check Staff Signature¹ Eric Romero  |
| Plan Check Application No.² 20010-10001-04806 | Date 09/04/24 |
| Notes N/A | |
| <input type="checkbox"/> ED 1 Eligible | |

¹ LADBS Plan Check staff will sign the Preliminary Zoning Assessment Form once the Zoning Plan Check verifications are complete.
² This completed form shall be accompanied by plans signed by a DBS Plan Check staff following the completion of a Zoning Plan Check.

THIS SECTION TO BE COMPLETED BY THE APPLICANT³

PROJECT INFORMATION

I. PROJECT LOCATION, ZONING & LAND USE JURISDICTION

Project Address: 4002-4006 North Verdugo Road; 3067 North Delevan Drive

Project Name (if applicable): 4002 Verdugo

Assessor Parcel Number(s): 5459027002; 5459027035

Legal Description (Lot, Block, Tract): Lots 1 and 32 of Block 7, Tract 5943

Community Plan: Northeast LA Number of Parcels: 2 Site Area: 13,696 sq. ft.

Current Zone(s) & Height District(s): [Q]C1.5-1VL-CDO Land Use Designation: Neigh. Com.

- | | |
|--|--|
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO ED 1 Eligible⁴ | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Site Contains Historical Features |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Alley in Rear | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Downtown Design Guide Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Coastal Zone | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Special Grading Area (BOE) Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Hillside Area (Zoning) | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Very High Fire Hazard Severity Zone |
| <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Enterprise Zone | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Greater Downtown Housing Incentive Area |

Specific Plan: _____

Historic Preservation Overlay Zone (HPOZ): _____

Design Review Board (DRB): _____

Redevelopment Project Area: _____

Overlay Zone (CPIO/CDO/POD/NSO/RIO/CUGU/etc.): Glassell Park CDO

Q Condition/ D Limitation/ T Classification (Ordinance No. and Subarea): 173540-SA1085

Description of Condition: _____

Legal (Lot Cut Date) N/A

Related City Planning Cases _____

³ All fields in this form must be completed. If an item is not applicable, write N/A.
⁴ Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

- Z.I.(s) _____
- Affidavits _____
- Easements _____
- TOC Tier⁵ (if applicable to project) _____

II. PROJECT DESCRIPTION

Project Description/Proposed Use Construction, maintenance, and use of a 3-story, mixed-use building with 1,071 square feet of ground-floor commercial uses and 14 dwelling units with one level of below-grade parking

No. of Stories: 3 **No. of Dwelling Units:** 14 **Floor Area (Zoning):** 18,799

Present Use/No. of Units: None

III. CITY PLANNING ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request to City Planning and (if applicable) the Section in the LAMC or the Specific Plan/Overlay from which relief is sought; follow with a description of the requested action.

Authorizing Code Section: 13.08.E.3

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: Cypress/Glassell Park CDO Plan Approval

Authorizing Code Section: 12.22.A.25

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: Off-menu incentives for transitional height/FAR. Waivers for setbacks

Additional Requests Attached YES NO

⁵ Must be verified by the City Planning Affordable Housing Services Section. A Tier Verification for projects using the TOC guidelines is required to initiate a Preliminary Zoning Assessment with LADBS. Contact Planning.PriorityHousing@lacity.org.

IV. APPLICANT INFORMATION⁶

Name: Khajak Harootun

Phone: 213-279-6965

Email: chris@gonzaleslawgroup.com

V. REPRESENTATIVE INFORMATION

Name: Gonzales Law Group

Phone: 213-279-6965

Email: chris@gonzaleslawgroup.com

⁶ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing a case on behalf of a client (i.e. usually not the agent/representative).

VI. PRELIMINARY ZONING ASSESSMENT SUMMARY
THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF⁷

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable LAMC Section No. ⁸ | Comments and Additional Information |
|----------|-----------------|--|---|--|--|---|
| 1 | Use | MIXED-USE APARTMENT HOUSE WITH RETAIL AND PARKING GARAGE | MIXED-USE APARTMENT HOUSE WITH RETAIL AND PARKING GARAGE | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 12.13.5 | <input type="checkbox"/> Conditional Use (LAMC Section 12.24) for _____ N/A |
| 2 | Height | 44'-6' | 45' (BASE) TRANSITIONAL HEIGHT APPLIES (LAMC 12.21.1. A.10.) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A | 12.21.1 A.1. | <input checked="" type="checkbox"/> Transitional Height applies (LAMC Section 12.21.1 A.10) <input type="checkbox"/> Commercial Corner Development/Mini-Shopping Center height applies (LAMC Section 12.22 A.23(a)(1)) PROJECT IS SEEKING OFF MENU INCENTIVE - TO ALLOW 12' TRANSITIONAL HEIGHT INCREASE. |

⁷ LADBS Plan Check staff will sign Section IV of the Preliminary Zoning Assessment (PZA) form and provide signed architectural plans once the Zoning Plan Check verifications are complete.

⁸ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER _____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ⁹ | Comments and Additional Information |
|----------|------------------------|-------------------------|-----------------------------------|--|---|---|
| 3 | No. of Stories | 3 STORIES PLUS BASEMENT | 3 STORIES | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | LAMC Section 12.21.1 (if code prevails) N/A | N/A |
| 4 | FAR (Floor Area Ratio) | 1.9:1; 18,799 SF | 1.5:1; 10,125 X 1.5 = 15,187.5 SF | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A | 12.21.1, A.1 | PROJECT IS SEEKING WAIVER - 27% INCREASE IN FAR TO ALLOW 1.9:1. |

⁹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹⁰ | Comments and Additional Information |
|----------|--|----------|---|--|---|--|
| 5 | RFAR (Residential Floor Area Ratio) | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | N/A | N/A |
| 6 | Density | 14 UNITS | PER Q CONDITION: RESIDENTIAL DENSITY LIMITED TO THE RD1.5 ZONE; 1,500 SF / DWELLING UNIT = 9.1 PER RAS3 DENSITY: 1/800 = 17.12 UNITS | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | 12.11. C.4. ORD-181062-SA2 5 12.10.5. C.4. | Density Ratio: <input type="checkbox"/> Site Plan Review (16.05) / Major Project CUP (12.24 U.14) PROJECT IS UTILIZING THE DENSITY PER RAS3 ZONE PER GENERAL LAND PLAN USE: NEIGHBORHOOD COMMERCIAL. |

¹⁰ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER___ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹¹ | Comments and Additional Information |
|----------|---------------------------|--------------------------------|-------------------|--|--------------------------------------|--|
| 7 | Setback (Front) | 1'-6" | 10' | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | 12.13.5. B.1. | <p>Lot Line Location (Street Name): N VERDUGO RD</p> <p>Lot Line Location (Street Name): N/A</p> <p>PROJECT IS SEEKING WAIVER - REDUCTION OF REQUIRED FRONT YARD SETBACK TO ALLOW 1'-6".</p> |
| 8 | Setback (Side) | 7'-8" (NORTH) 5'-6" (SOUTH) | 6' | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | 12.13. C.2. | <p>Offset/plane break met: <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A</p> <p>PROJECT IS SEEKING WAIVER - REDUCTION OF REQUIRED SOUTH SIDE YARD SETBACK TO ALLOW 5'-6".</p> |

¹¹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER _____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹² | Comments and Additional Information |
|----------|-------------------|----------|-------------------|--|--------------------------------------|-------------------------------------|
| 9 | Setback (Rear) | 15' | 15' PER C1 | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | 12.13. C.3. | N/A |
| 10 | Building Line | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | Ordinance No.: N/A | N/A |

¹² Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹³ | Comments and Additional Information |
|----------|---|---|---|--|---|--|
| 11 | Parking (automobile) | Residential: 21 SPACES Non-Residential: 3 SPACES | Residential: 21 SPACES Non-Residential: 3 SPACES | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | LAMC Section 12.21 A.4 (if code prevails) N/A | Design standards met(12.21 A5): <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Improvement standards met (12.21 A.6 (except landscaping, to be determined by City Planning)): <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO N/A |
| 12 | Bicycle Parking (residential) | Long-term: 14 SPACES Short-term: 2 SPACES | Long-term: 14 SPACES Short-term: 2 SPACES | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | LAMC Section 12.21 A.16 (if code prevails) N/A | Facility standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Design standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO N/A |

¹³ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹⁴ | Comments and Additional Information |
|----------|---|---|--|--|---|---|
| 13 | Bicycle Parking (non-residential) | Long-term: 2 SPACES Short-term: 2 SPACES | Long-term: 2 SPACES Short-term: 2 SPACES | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | LAMC Section 12.21 A.16 (if code prevails) N/A | Facility standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Design standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO N/A |
| 14 | Open Space | Total (sq. ft.): 2,438 SF Common (sq. ft.): 2,188 SF Private (sq. ft.): 250 SF | Total: 1,500 SF Common: 750 SF Private: N/A | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | LAMC Section 12.21 G (if code prevails) N/A | Units/Habitable Room <3: 8 UNITS @ 100 SF =3: 6 UNITS @ 125 SF >3: 0 UNITS @ 175 SF Dimensions met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO N/A |

¹⁴ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹⁵ | Comments and Additional Information |
|----------|---|--|--|--|--|-------------------------------------|
| 15 | Retaining Walls in Special Grading Areas | Max Height: N/A Max Quantity: N/A | Max Height: N/A Max Quantity: N/A | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A | LAMC Section 12.21 C.8 (if code prevails) N/A | N/A |
| 16 | Grading (Zoning and Planning limitations) | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | N/A | N/A |

¹⁵ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹⁶ | Comments and Additional Information |
|----------|-----------------|----------|-------------------|--|--------------------------------------|-------------------------------------|
| 17 | Lot Coverage | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | N/A | N/A |
| 18 | Lot Width | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | N/A | N/A |

¹⁶ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹⁷ | Comments and Additional Information |
|----------|-------------------------|-------------------------------|-------------------------------|--|--|-------------------------------------|
| 19 | Space between Buildings | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | LAMC Section 12.21 C.2(a) (if code prevails) N/A | N/A |
| 20 | Passageway | DIRECT ACCESS TO RIGHT OF WAY | DIRECT ACCESS TO RIGHT OF WAY | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | LAMC Section 12.21 C.2(b) (if code prevails) N/A | N/A |

¹⁷ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹⁸ | Comments and Additional Information |
|----------|---------------------------------|----------|-------------------|--|--|-------------------------------------|
| 21 | Location of Accessory Buildings | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | LAMC Section 12.21 C.5 (if code prevails) N/A | N/A |
| 22 | Loading Area | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | N/A | N/A |

¹⁸ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ¹⁹ | Comments and Additional Information |
|----------|-------------------|---|-------------------|--|--------------------------------------|-------------------------------------|
| 23 | Trash & Recycling | 31.5 SF | 30 SF | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A | 12.21 A.19. C.2.(i). N/A | N/A |
| 24 | Landscape | Conformance determined by Los Angeles City Planning | | | N/A | N/A |

¹⁹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER____ (LADBS Staff Initials)

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. ²⁰ | Comments and Additional Information |
|----------|--|--|--|--|--------------------------------------|---|
| 25 | Private Street | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A | N/A | N/A |
| | Other (e.g., ground floor transparency, lighting, utilities, signage, walls, lot area, minimum frontage, etc.) | See additional sheets, if applicable | | | | Additional Sheet(s) attached: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO N/A |

²⁰ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

ER____ (LADBS Staff Initials)

ADDITIONAL ZONING AND LAND USE STANDARDS REVIEWED
to be completed by LADBS Plan Check Staff

| Item No. | Zoning Standard | Proposed | Required/ Allowed | Standard Met | Applicable Section No. | Comments and Additional Information |
|----------|-----------------|----------|-------------------|---|------------------------|-------------------------------------|
| N/A | N/A | N/A | N/A | <input type="checkbox"/> YES <input type="checkbox"/> NO | N/A | N/A |
| | | | | <input type="checkbox"/> YES <input type="checkbox"/> NO | | |
| | | | | <input type="checkbox"/> YES <input type="checkbox"/> NO | | |
| | | | | <input type="checkbox"/> YES <input type="checkbox"/> NO | | |
| | | | | <input type="checkbox"/> YES <input type="checkbox"/> NO | | |
| | | | | <input type="checkbox"/> YES <input type="checkbox"/> NO | | |

ER____ (LADBS Staff Initials)

SB 8 Replacement Requirements: Eligibility Criteria Checklist

PIN Number: 156A217 82

Site Address: 4002 N VERDUGO ROAD

Tract: TR 5943

Map Reference: M B 71-22/34

Block: 7

Lot: 32

Arb (Lot Cut Reference): None

This checklist is intended to be used by City staff to verify the eligibility of a Housing Development Project^[1] to use a SB 8 No Net Loss Declaration form in lieu of obtaining a Replacement Unit Determination (RUD) from the Los Angeles Housing Department (LAHD)^[2] for the purpose of implementing the Housing Crisis Act (HCA). The 2023 Housing Crisis Act Interdepartmental Memorandum and the HCA Replacement and Occupant Protection Matrix may be referenced for additional guidance.

A copy of this checklist must be included on the administrative file of the applicable City Planning application or building permit record.

Checklist 1: Housing Replacement Screening for ALL Housing Development Projects

Environmental Standards

If the response is "No", no further action is required. The replacement provisions and occupant protections of the Housing Crisis Act do not apply to a Housing Development Project on the site. **The project is not required to obtain a SB 8 RUD from LAHD nor to submit a No Net Loss Property Owner Declaration.**

If the answer is "Yes" and the project is proposing a multi-unit project or a stand-alone subdivision, proceed to Checklist 2 ^[3]. If the answer is "Yes" and the project is proposing a single unit development, proceed to Checklist 3 ^[4].

Please note that a site located within a Very High Fire Hazard Severity Zone (VHFHSZ) that is also identified on the City's Housing Element sites inventory may still require replacement units as a condition of any development of the site. Information on whether the site is identified on the City's Housing Element sites inventory may be found on ZIMAS under "Housing Element Sites".

| | | |
|----|---|----|
| 1. | The project requires Housing Crisis Act Replacement Review. | No |
|----|---|----|

Checklist 2 - Housing Replacement Screening for Multi-unit Projects and Stand-alone Subdivisions ^[3]

Checklist 2: Step 1 - Verify whether the proposed project is located on a site that has/had residential uses

All answers must be "No" to qualify for a No Net Loss Declaration, unless permit record or aerial site photos show units in the past five (5) years. If any of the answers are "Yes", proceed to Step 2.

| | | |
|----|---|----|
| 1. | The project is located on a site where the owner had withdrawn or removed rental units pursuant to the Ellis Act within the past 10 years. | No |
| 2. | <p>The proposed project is located on a site that had at least one residential unit in the past five years.</p> <p>This determination is based on historical assessor data. <u>LADBS permit records</u> must be used to substantiate determinations. In addition, ZIMAS with aerial imagery turned on can be used as a visual confirmation.</p> <p>If the answer is "Yes" but assessor records are potentially inconsistent with building permit records, applicants may obtain a Records Research Request from LADBS and submit a copy to Planning staff, for projects that require a City Planning application. Final determination will be made based on building permit records ^[5].</p> | No |

Checklist 2: Step 2 - Verify whether the proposed project involves the demolition of one or more housing units ^[6]

If any of the answers is "Yes", the project must obtain a Replacement Unit Determination (RUD) letter from LAHD. All answers must be "No" to qualify for a No Net Loss Declaration.

| | | |
|----|---|---|
| 1. | <p>The project is proposing the demolition or removal of one or more Housing Units.</p> <p>Existing or to-be demolished residential units may be identifiable on the architectural plans.</p> | Verify with the project plans |
| 2. | <p>The proposed project is located on a site that has removed one or more residential units in the past five years.</p> <p><u>LADBS permit records</u> must be used to substantiate determinations. In addition, ZIMAS with aerial imagery turned on can be used as a visual confirmation.</p> <p>Applicants may obtain a Records Research Request from LADBS and submit a copy to Planning staff, for projects that require a City Planning application. Final determination will be made based on building permit records ^[5].</p> | Verify with <u>LADBS permit records</u> |

Checklist 3: Housing Replacement Screening for Single-unit Projects ^[4]

Checklist 3: Step 1 - Verify whether the proposed project is located on a site that has/had residential uses

All answers must be "No" to qualify for a No Net Loss Declaration. If any of the answers are "Yes", continue with Step 2.

| | | |
|----|---|----|
| 1. | The project is located on a site where the owner had withdrawn or removed rental units pursuant to the Ellis Act within the past 10 years. | No |
| 2. | <p>The proposed project is located on a site that had at least one residential unit in the past five years.</p> <p>This determination is based on historical assessor data. <u>LADBS permit records</u> must be used to substantiate determinations. In addition, ZIMAS with aerial imagery turned on can be used as a visual confirmation.</p> <p>If the answer is "Yes" but assessor records are potentially inconsistent with building permit records, applicants may obtain a Records Research Request from LADBS and submit a copy to Planning staff, for projects that require a City Planning application. Final determination will be made based on building permit records ^[5].</p> | No |

Checklist 3: Step 2 - Verify whether the site has more than one dwelling unit

All answers must be "No" to qualify for a No Net Loss Declaration. If any of the answers are "Yes", proceed to Step 3.

| | | |
|----|---|----|
| 1. | The project is located on a site that has units subject to the Rent Stabilization Ordinance (RSO). | No |
| 2. | <p>More than one dwelling unit was on the site within the past 5 years.</p> <p>This determination is based on historical assessor data. <u>LADBS permit records</u> must be used to substantiate determinations. In addition, ZIMAS with aerial imagery turned on can be used as a visual confirmation.</p> <p>If the answer is "Yes" but assessor records are potentially inconsistent with building permit records, applicants may obtain a Records Research Request from LADBS and submit a copy to Planning staff, for projects that require a City Planning application. Final determination will be made based on building permit records ^[5].</p> | No |

Checklist 3: Step 3 - Verify whether the proposed project involves the demolition of two or more housing units ^[6]

If the response is "Yes", the project must obtain a Replacement Unit Determination (RUD) letter from LAHD and must replace all units removed or proposed to be removed. If the response is "No", the project qualifies for a No Net Loss Declaration ^[7] ^[8]

| | | |
|----|--|-------------------------------|
| 1. | The project is proposing the demolition or removal of two or more Housing Units. Existing or to-be demolished residential units may be identifiable on the architectural plans. ^[4] | Verify with the project plans |
|----|--|-------------------------------|

| | |
|---|--|
| <p>2. Demolition permit records show that more than one unit was removed in the past five years.</p> <p><u>LADBS permit records</u> must be used to substantiate determinations. In addition, ZIMAS with aerial imagery turned on can be used as a visual confirmation.</p> <p>Applicants may obtain a Records Research Request from LADBS and submit a copy to Planning staff, for projects that require a City Planning application. Final determination will be made based on building permit records ^[5]</p> | <p>Verify with <u>LADBS permit records</u></p> |
|---|--|

8/19/2024

Footnotes:

[1] Information on whether the development type is a "Housing Development Project" for the purpose of implementing the HCA and when the PZA, RUD, No Net Loss, and optional vesting procedures may apply can be found on the Housing Development Project Applicability Matrix.

[2] Information on submitting for the SB 8 Replacement Unit Determination from LAHD can be found here: SB 8 Determinations – LAHD

[3] A Housing Development Project that **does not involve the removal of any number of units**, is not on a site that has removed any housing units within five years, and where no units were subject to an Ellis Act withdrawal within the past 10 years may be eligible to use a SB 8 No Net Loss Declaration form in lieu of obtaining a Replacement Unit Determination (RUD) from the Los Angeles Housing Department (LAHD).

[4] A project proposing only one residential unit that **does not involve the removal of more than one unit**, is not on a site that has removed any housing units within five years, and where no units were subject to an Ellis Act withdrawal within the past 10 years may be eligible to use a SB 8 No Net Loss Declaration form in lieu of obtaining a Replacement Unit Determination (RUD) from the Los Angeles Housing Department (LAHD).

[5] In order to obtain a Record Research Request, applicants may fill out a records research request form and submit it online to records.ladbs@lacity.org.

[6] Housing Development Projects requiring the demolition or removal of one or more residential units must replace at least as many residential units as will be demolished. The removal of a housing unit can be done under various permit types. For example, the conversion of a duplex to a single-family dwelling is a Housing Development Project that results in the removal of units. Housing Development Projects consisting of a single unit may require additional replacement units if demolishing more than one unit. For example, a duplex must be replaced by at least two units.

[7] When only one single unit replaces one single unit, the replacement unit may be of any size and income level consistent with State and City rules and regulations. The 2023 Housing Crisis Act Interdepartmental Memorandum and the HCA Replacement and Occupant Protection Matrix may be referenced for additional guidance.

[8] A proposed single-family project located on a site identified on the City's Housing Element sites inventory and that had an existing housing unit occupied by a lower-income tenant within the past five years may require replacement units. Information on whether the site is identified on the City's Housing Element sites inventory may be found on ZIMAS under "Housing Element Sites".

COUNTY CLERK'S USE

CITY OF LOS ANGELES
 OFFICE OF THE CITY CLERK
 200 NORTH SPRING STREET, ROOM 395
 LOS ANGELES, CALIFORNIA 90012

Environmental Clearance:
 ENV-2023-7709-CE
 CPC-2023-7708-DB-CDO-HCA

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

CPC-2023-7708-DB-CDO-HCA / Density Bonus, Community Design Overlay Plan Approval

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2023-7709-CE

PROJECT TITLE

4002 N Verdugo Rd

COUNCIL DISTRICT

13

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

4002-4006 North Verdugo Road / 3067 North Delevan Drive

Map attached.

PROJECT DESCRIPTION:

Additional page(s) attached.

The project consists of 3 lots that were previously developed with a church, garage, and one (1) dwelling unit. All structures on-site have been demolished. The project includes the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet pursuant to the City's Density Bonus program. The building will include 14 dwelling units, including two (2) dwelling units set aside for Very Low Income Households, and one (1) ground-floor commercial space measuring 1,071 square feet. The building will have a maximum building height of 44 feet 6 inches. The project will include 21 residential parking spaces and three (3) commercial parking spaces. The project will include 20 bicycle parking spaces (16 long-term spaces and 4 short-term spaces). The project will provide 2,188 square feet of common open space on the roof deck level. There are no Protected Trees on-site, and the project does not require any tree removals. The proposed project will also require a Haul Route for the proposed export of 2,965 cubic yards of earth materials.

NAME OF APPLICANT / OWNER:

Khajak Harootun – KAS Verdugo, LLC

CONTACT PERSON (If different from Applicant/Owner above)

Chris Manasserian – Gonzales Law Group

(AREA CODE) TELEPHONE NUMBER

(213) 279-6965

EXT.

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)

CEQA Guideline Section(s) / Class(es) Section 15332 Class 32

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:

Additional page(s) attached

In-fill development meeting the conditions described in CEQA Guidelines 15332: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.

The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Nashya Sadono-Jensen *Nashya Sadono-Jensen*

STAFF TITLE

City Planning Associate

ENTITLEMENTS APPROVED

Density Bonus, Community Design Overlay Plan Approval

DISTRIBUTION: County Clerk, Agency Record

Rev. 6-22-2021

CITY PLANNING COMMISSION

MONIQUE LAWSHE
PRESIDENT

ELIZABETH ZAMORA
VICE-PRESIDENT

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DIRECTOR

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

HAYDEE URITA-LOPEZ
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2023-7709-CE

The Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject project as Categorical Exempt under Article 19, Section 15332, Class 32. The proposed project is located at 4002-4006 North Verdugo Road/3067 North Delevan Drive.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- 1) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- 2) The proposed developed occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- 3) The project site has no value as habitat for endangered, rare or threatened species;
- 4) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- 5) The site can be adequately served by all required utilities and public services.

Project Description:

The project site is comprised of three (3) lots measuring approximately 13,696.2 square feet, and was previously developed with a church, garage, and one (1) dwelling unit. All structures on-site have been demolished. The project site is a corner lot and bounded by Verdugo Road to the west, and Delevan Drive to the south. The project site is currently undeveloped with no existing structures.

The proposed project involves the construction, use, and maintenance of a new, three (3)-story over one (1) basement story mixed-use building totaling 18,799 square feet, including 14 residential units with two (2) units set aside for Very Low Income Households, one (1) commercial space measuring 1,071 square feet, and 24 automobile parking spaces. The building will have a maximum building height of 44 feet, 6 inches.

The project includes one (1) studio unit, seven (7) one (1)-bedroom units, and six (6) two (2)-bedroom units, and a total of 2,188 square feet of common open space. The project will provide a total of 20 bicycle parking spaces, 16 long-term and four (4) short-term spaces. The proposed project will include 18,799 square feet with a maximum floor area ratio (FAR) of 1.9:1. There are no Protected Trees on-site, and the project does not require any tree removals. The proposed

project will also require a Haul Route for the proposed export of 2,965 cubic yards of earth materials.

The project requires the following:

1. Pursuant to Los Angeles Municipal Code (LAMC) Section 12.22 A.25(g), a Density Bonus for a housing development project consisting of 14 dwelling units, reserving two (2) units for Very Low Income occupancy for a period of 55 years, with the following requested off menu incentives and waivers:
 - A) An off-menu incentive to permit a 12-foot building height increase in lieu of the transitional height limitations pursuant to LAMC 12.21.1.A.10.
 - B) An off-menu incentive to permit a 26.7 percent increase in FAR to allow a 1.9:1 FAR in lieu of the 1.5:1 FAR permitted in the [Q]C1.5-1VL-CDO Zone.
 - C) A waiver of development standard to permit a front yard setback of one and one-half (1.5) feet in lieu of the 10 feet as required in the [Q]C1.5-1VL-CDO Zone.
 - D) A waiver of development standard to permit a southerly side yard setback of five and one-half (5.5) feet in lieu of the six (6) feet as required in the [Q]C1.5-1VL-CDO Zone.
2. Pursuant to LAMC Section 13.08 and the Cypress Park and Glassell Park Community Design Overlay (CDO), a CDO Plan Approval for the construction, use, and maintenance of a new, three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet.

The project is located within the Northeast Los Angeles Community Plan which designates the project site for Neighborhood Commercial land uses with corresponding zones of C1, C1.5, C2, C4, and RAS3. The project site is zoned [Q]C1.5-1VL-CDO. The project is consistent with the applicable general plan land use designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.

The project site is wholly within the City of Los Angeles, on a site that is approximately 0.31 acres in size. Lots adjacent to the project site are developed with the following urban uses: commercial, single-family, and multi-family developments. The site was previously developed with a church, garage, and one dwelling unit that has since been demolished. The site is surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. In addition, there are zero (0) Protected Trees on-site.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a transportation study. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

The project site will be adequately served by all public utilities and services given that the construction of a three (3)-story over one (1) basement-story mixed-use building totaling 18,799 square feet, including 14 residential units, one (1) ground-floor commercial space, and 24

automobile parking spaces will be on a site that has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

Exceptions to Class 32 Categorical Exemption

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

There is not a succession of known projects of the same type and in the same place as the project site. As mentioned, the project proposes a new, three (3)-story over one (1) basement story mixed-use building totaling 18,799 square feet, including 14 residential units with two (2) units set aside for Very Low Income Households, one (1) ground floor commercial space measuring 1,071 square feet, and 24 automobile parking spaces, in an area zoned and designated for such development. All adjacent lots are developed with commercial, single-family, and multi-family structures, and the project site is of a similar size and slope to nearby properties. Thus, there are no unusual circumstances which may lead to a significant effect on the environment. Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The proposed project is located over 24 miles away from Topanga State Park. Therefore, the project site will not create any impacts within a designated as a state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the project site, nor any site in the vicinity, is identified as a hazardous waste site. The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.


INITIAL SUBMISSIONS

The following submissions by the public are in compliance with the Commission Rules and Operating Procedures (ROPs), Rule 4.3a. Please note that “compliance” means that the submission complies with deadline, delivery method (hard copy and/or electronic) AND the number of copies. The Commission’s ROPs can be accessed at <http://planning.lacity.org>, by selecting “Commissions & Hearings” and selecting the specific Commission.

The following submissions are not integrated or addressed in the Staff Report but have been distributed to the Commission.

Material which does not comply with the submission rules is not distributed to the Commission.

ENABLE BOOKMARKS ONLINE:

**If you are using Explorer, you will need to enable the Acrobat  toolbar to see the bookmarks on the left side of the screen.

If you are using Chrome, the bookmarks are on the upper right-side of the screen. If you do not want to use the bookmarks, simply scroll through the file.

If you have any questions, please contact the Commission Office at (213) 978-1300.

September 11, 2024

Holly Harper
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 Los Angeles, California 90012
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 (213) 847-3706

Subject: City of Los Angeles - Citywide Adaptive Reuse Ordinance
City Planning Case: CPC-2023-5986-CA

Dear Ms. Harper,

We are an architecture firm with in-house specialists focused on repurposing existing and historic buildings. Over the years, we have analyzed hundreds of structures for adaptive reuse (AR) conversions. Our team includes experts who have contributed to AR policy, including advising on state measures such as AB-3068 (Haney), AB-2910 (Santiago), and AB-A529 (Gabriel). We have also participated in local AR working groups and served in advisory roles for cities like Santa Monica, Pasadena, and San Jose.

We recognize that successfully revitalizing business districts, addressing the housing crisis, and mitigating the climate crisis will require collaboration across federal, state, and local jurisdictions. Removing barriers and offering financial incentives—such as streamlining AR approvals—are essential steps toward achieving these goals.

At the same time, we understand the importance of tailoring policies to the distinct needs of individual neighborhoods. Therefore, we welcome the opportunity to support the expansion of the City of Los Angeles’ current Adaptive Reuse Ordinance (ARO) citywide, while continuing to evaluate and refine these policies at the more granular Community Plan level.

Below, we have provided our recommendations regarding the draft ARO (Chapter 1).

DRAFT ADAPTIVE REUSE ORDINANCE (CHAPTER 1)
JUNE 2024
AXIS Recommendations

1. Expand the Rooftop Additions Incentive

The current limitation of a one-story rooftop addition solely for amenity use is restrictive, especially when ample amenity spaces can often be accommodated within other parts of the building. Office buildings, in particular, often have deep floor plates, with significant distance from the windows to the central core spaces. These core areas—comprising redundant elevators, restrooms, and utility rooms—are prime candidates for conversion into amenity spaces, such as gyms, game rooms, or even more unconventional uses like wine cellars or saunas, which do not require natural light or natural ventilation.

By confining rooftop additions to one-story amenities, there is a risk of creating an oversupply of luxury units with excessive amenities, rather than prioritizing housing production. Rooftop amenities do not directly generate revenue for Developers but may lead to higher rents to offset the costs of providing these extensive spaces.

Instead, we believe that allowing rooftop additions to include both residential units and amenities would offer a more balanced and financially viable incentive. This flexibility would provide Developers with more options—either to increase revenue through higher rent or by increasing the number of residential units, both of which could help meet the city’s housing goals.

Moreover, this approach is more consistent with the previous ARO policy, which allowed one-story penthouses as long as they were accessible from within the existing building envelope and did not result in a net increase in floor area. By reinstating this flexibility, the policy would align more closely with the city’s stated goals of providing “greater design flexibility” and expanding “existing incentives to encourage converting underutilized buildings into new housing.”

We respectfully urge Los Angeles City Planning (LACP) to reconsider the rooftop addition incentive to better reflect its vision and stated goals.

2. Clarify Affordable Housing Incentives

As currently written, the DRAFT Ordinance appears unclear in its prioritization of “incentives.” A simple word strikeout could provide greater clarity, allowing for revisions that would better align the policies with LACP’s objectives.

Therefore, we recommend striking the following from the DRAFT language:

“(h) Incentives for ~~Unified~~ Adaptive Reuse Projects Providing Affordable Housing.”

Removing this word would allow the primary tools for incentivizing affordable housing to be more clearly defined, creating a more effective framework.

We also recommend further revisions to clarify and strengthen the incentives for adaptive reuse projects providing affordable housing:

“(1) Type I ~~Adaptive Reuse Projects Providing Affordable Housing: Unified Adaptive Reuse Projects: Density Bonus for New Construction.~~”

“(2) Type II ~~Adaptive Reuse Projects Providing Affordable Housing: Unified Adaptive Reuse Projects: Density Bonus for Two Additional Stories.~~”

These revisions would enable LACP to continue refining the DRAFT ordinance to ensure that incentives not only promote the reuse of existing buildings but also encourage affordable housing production. This aligns with the goals outlined in our recommendations 3 and 4, which follow in this letter.

3. Expand the Affordable Housing Incentives

While we understand that allowing all adaptive reuse projects a one-story residential addition may compete with affordable housing incentives, we propose extending the affordable housing incentive to include up to four stories (three stories for residential units plus one story for rooftop amenities). This approach would preserve the competitive advantage of affordable housing incentives by distinguishing them from market-rate adaptive reuse projects through the additional number of stories.

Additionally, we encourage LACP to reconsider the following language in the current DRAFT:

*“In addition to incentives in Subsection 12.22 A.26(g) (Incentives) of Chapter 1 of the Code, such Adaptive Reuse Projects providing affordable housing may select **one** of the following incentives:”*

Rather than limiting Developers to select between Type I or Type II incentives, we recommend allowing them to choose both. This change would provide adaptive reuse projects focused on affordable housing with a more substantial advantage over leaving office buildings underutilized, thereby increasing the incentive for Developers to pursue these projects and contribute to addressing the city’s housing crisis.

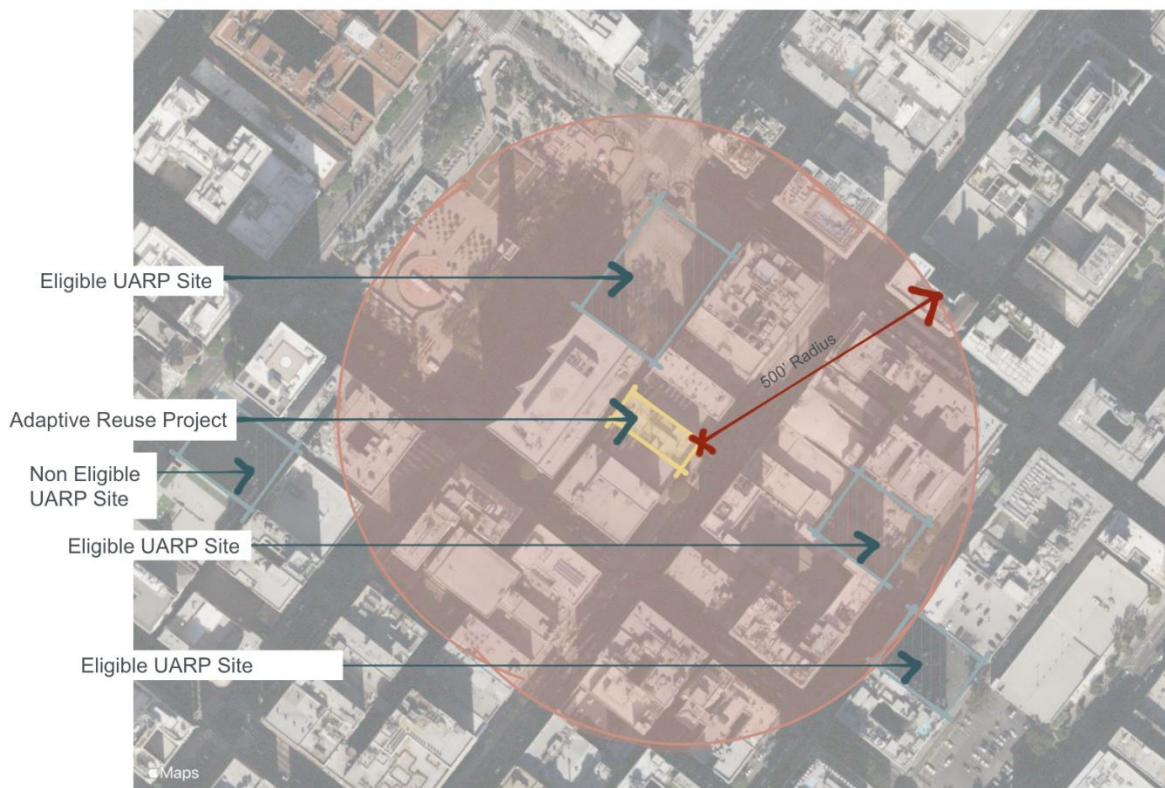
4. Expand the Unified Adaptive Reuse Project (UARP) Incentives

While we recognize the positive intentions behind the new Unified Adaptive Reuse Project (UARP) planning tool, we believe its current framework is overly prescriptive and may not effectively encourage building reuse or affordable housing production. The differentiation between UARP projects approved via “Administrative Review” for those including affordable housing, and those requiring a “Conditional Use Permit (CUP)” for projects without affordable housing, is a good start. However, further revisions are needed.

We propose the following changes to both the Administrative Review and CUP mechanisms:

i) Expand UARP Radius:

The current restriction that UARP projects must be located on the same site, or separated only by an alley or street, places too many limitations on potential developments. Expanding the allowable radius to 500 feet will increase opportunities for Developers. For example, our 537 S Broadway Case Study highlights how requiring projects to be on directly adjacent lots can lead to the unnecessary demolition of buildings, which directly conflicts with the Citywide ARO’s goal of reusing existing structures.



Site Plan Image of 537 Broadway with 500’ radius of UARP opportunities.

Proposed revision:

*“(i) Unified Adaptive Reuse Project may include development of portions of a lot shared with an Adaptive Reuse Project, or on lots **within or intersected by 500’-0” radius** ~~that abut or are separated only by an alley, or are located directly across the street from any portion of an Adaptive Reuse Project.~~”*

(ii) Remove Overly Prescriptive Site Amenity Requirements:

The current requirements for pedestrian circulation, shared site amenities, and pathways between buildings are unnecessarily restrictive. They impose design mandates that could complicate project development without adding meaningful value.

Proposed revision:

Remove:

~~“(ii) All site amenities provided in the Unified Adaptive Reuse Project, whether located in the existing building(s) or expansion of new floor area, shall be made accessible to all occupants of the Unified Adaptive Reuse Project, which shall be constructed to link pedestrian circulation between buildings and site amenities. All circulation pathways must be clearly delineated, through raised crosswalks, contrasting paving materials or surface treatments, enhanced lighting, directional or wayfinding signage, or other elements; and”~~

And remove:

~~“(3) the access for all occupants of the Unified Adaptive Reuse Project to all site amenities, and the pedestrian circulation between buildings and site amenities shall be maintained and not reduced.”~~

(iii) Remove from the “X. Further Authority of the Zoning Administrator for Other Similar Quasi-Judicial” Section the following language:

“(i) For buildings listed as a Designated Historic Resource or a Surveyed Historic Resource that are incorporated as part of a Unified Adaptive Reuse Project, the existing floor area, up to a maximum of 50,000 square feet, shall be exempted from the maximum floor area limit for the lot or lots. This incentive shall not be utilized if the Unified Adaptive Reuse Project involves any demolition or facade alteration of any portion of a Designated Historic Resource or Surveyed Historic Resource which is not in conformance with the Secretary of the Interior’s Standards.”

And allow it to be approved via “Administrative Review” for Affordable Housing projects and via “CUP” for non-Affordable Housing projects.

(iv) Expand the incentive to include non-historic buildings to be able to utilize the “maximum of 50,000 square feet” incentive and increase the incentive to 65,000 square feet (sf) for Historic Resources.

For reasons articulated in more detail in the previously issued [Council File 22-0617 Letter linked here.](#)

5. Provide Clarification on Rooftop Addition Incentives for Conforming Adaptive Reuse Projects (existing conforming adaptive reuse projects in terms of both height and floor area)

The current guidelines on incentives for additional stories and floor area are ambiguous, particularly regarding their application to existing conforming AR projects. The 445 S Broadway Case Study

illustrates this confusion: the existing four-story office building, when converted to residential use, would result in approximately 26,000 sf of floor area. In contrast, a new construction on the same site could achieve up to 61,000 sf at a 6:1 Floor Area Ratio (FAR) under current zoning regulations.

Given this discrepancy, the incentives like the “Type II Unified Adaptive Reuse Projects: Density Bonus for Two Additional Stories” allow for a development of only about 42,000 sf—significantly less than the zoning permits for new constructions. This underutilization of allowable floor area poses a disincentive rather than an incentive for Developers considering AR.

To address this, **we request that the LACP provide clear guidelines stating that rooftop addition incentives should apply specifically to existing non-conforming office-to-residential projects in terms of both floor area and height. Furthermore, existing conforming AR projects should be permitted “by right” to add additional floors up to the allowable maximum floor area and height district requirements, along with other AR benefits such as adjustments in yards, setbacks, and density.**

Without such clarifications, there is a real risk that these buildings might be demolished in favor of new ground-up developments, which typically face lower opportunity costs. AR projects, while more challenging and riskier due to potential unforeseen construction issues, play a critical role in preserving urban fabric and reducing environmental impact. It is essential that incentives are structured to truly encourage the retention and conversion of existing buildings.

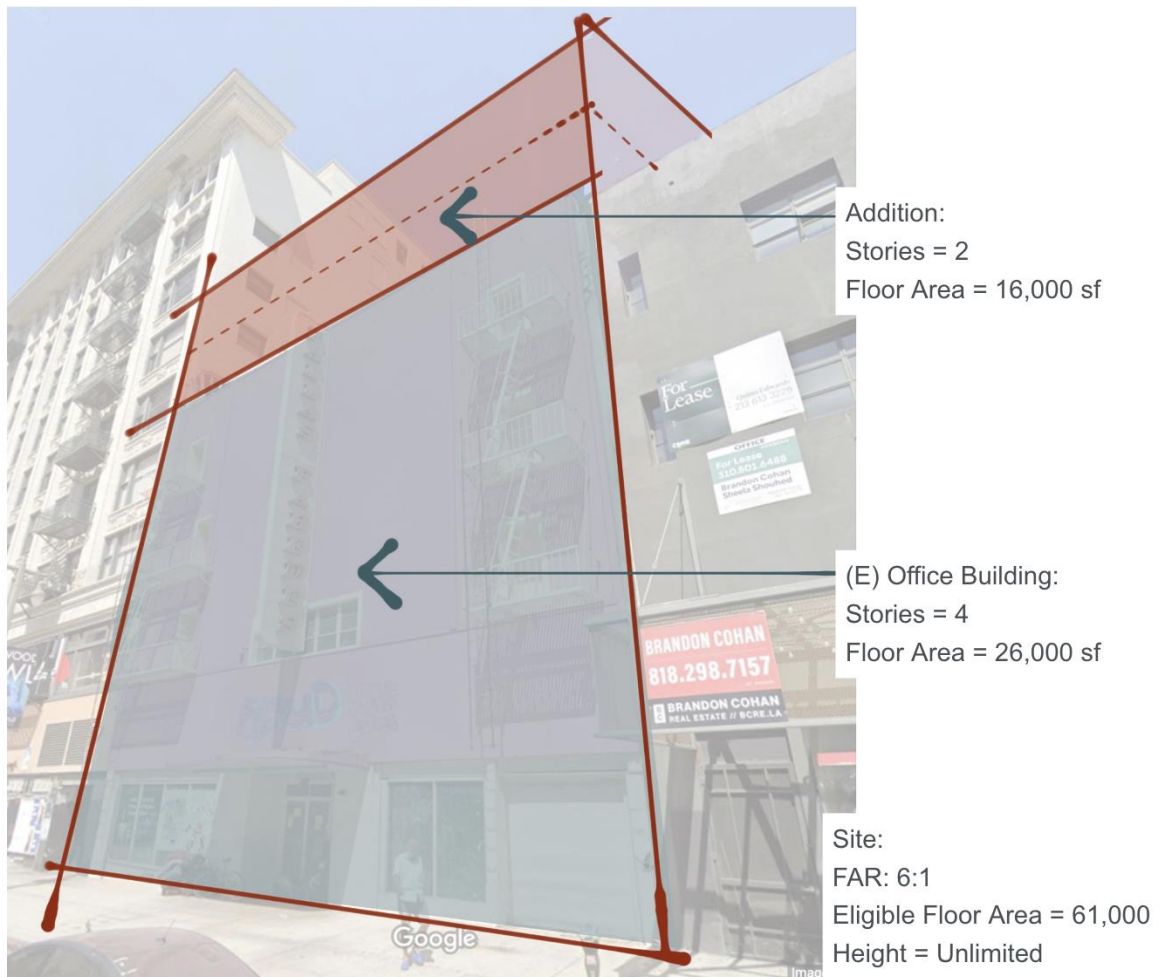


Image of 455 S Broadway Case Study

6. Revise Incentive Eligibility Criteria

AR projects should respect and reflect the intrinsic characteristics of existing buildings. For instance, some structures are better suited to house smaller, numerous units, while others are more conducive to fewer, larger units. The 537 S Broadway Case Study, [linked here](#), highlights that current Eligibility Criteria would disqualify this particular building from the ARO. This approach is not unique; similar configurations are successfully implemented in projects like the [Singer Lofts DTLA](#) and [Tomahawk Building](#) in Downtown Los Angeles (DTLA).

However, the current stipulation that *“Only Adaptive Reuse Projects resulting in the creation of five or more residential units shall be eligible for the incentives and procedures set forth in this Subdivision”* restricts the potential for such tailored adaptations. **We propose revising this requirement to allow projects resulting in the creation of two or more residential units to be eligible for these incentives.** This change will not only align more closely with the DTLA Community Plan 9.4.5, which states:

“The provisions of this Section shall apply to adaptive reuse projects in all or any portion of the following buildings and structures in the Downtown community Plan Area,”

but also provide greater flexibility in phasing AR conversion projects.

Implementing this revision will encourage a more diverse range of AR developments, accommodating various building types and market needs, thereby enhancing the vitality and character of our urban landscape.

7. Provide Refinement and Expansion of the Floor Area Reallocation Incentive

We commend the LACP for introducing the “Floor Area Reallocation” incentive, recognizing its potential to overcome some of the common barriers faced by AR projects. However, there are aspects of this incentive that require further refinement to ensure its practical utility and effectiveness.

The current framework of the incentive, which may necessitate the removal of 10% of the existing gross building area, inadvertently increases the effective acquisition cost per square foot. For example, a building purchased for \$115/sf at a total cost of \$23,000,000 (based on 200,000 sf) would effectively cost \$127.78/sf if required to reduce the gross area by 10%. This increase can render AR projects financially unfeasible.

Additionally, the provision to replace the removed floor area “within vacant areas of the project site or on an adjacent property” does not consider that many properties lack sufficient vacant space to accommodate new construction, as suggested by LACP’s own illustrations.

Proposed Expansions:

1. **Expand Relocation Flexibility:** We recommend expanding the Floor Area Relocation incentive to allow the reallocated square footage to be added atop existing buildings, including non-conforming structures. This expansion should include the option to add floor area as a rooftop addition without being subject to the Affordable Housing Rooftop requirement.
2. **Radius for Floor Area Transfer:** For projects utilizing the UARP incentive, the reallocated floor area should be permitted to be transferred to any new building within a 500-foot radius of the original site. Furthermore, this transferred floor area should not count towards the total floor area of the receiving site, thus facilitating more flexible site planning and utilization.

These modifications will enhance the feasibility of AR projects by providing more practical and flexible options for Developers to meet both financial and regulatory challenges. By allowing for a broader application of the Floor Area Reallocation incentive, LACP can significantly contribute to the

preservation and AR of more buildings, aligning with broader urban development and sustainability goals.

8. Streamline the Adaptive Reuse Process for Seismically Vulnerable Buildings in M Zones

Since the City of Los Angeles passed the Mandatory Retrofit Ordinance for Non-Ductile Concrete (NDC) Buildings in October 2015, compliance has been low. As of now, only 12% of these buildings have met the 10-year compliance date for plan submission, and just 6% have completed the construction requirements within the 25-year compliance period. Notably, most of the projects that have complied were either change-of-use projects or were completed before the enactment of the NDC Ordinance.

Given this slow progress, there is a significant opportunity to strengthen our most vulnerable structures while also encouraging new housing developments. Thus, we recommend that the Citywide ARO be expanded to allow all seismically vulnerable buildings, even those in M Zones, to undergo AR “by-right” or via an Administrative Review process.

Currently, the process for converting seismically vulnerable buildings in M Zones to residential uses involves a discretionary review, which can deter building owners from pursuing AR projects due to the uncertainty, delays, and additional costs associated with such reviews:

“(ii) A Zoning Administrator may, upon application, allow Adaptive Reuse Projects in the MR1, MR2, M1, M2 and M3 zones, subject to the procedures set forth in Subparagraph 12.22 A.26 (e)(4) of Chapter 1 of the Code.”

“(4) Class 1 Conditional Use The Zoning Administrator shall review the following Adaptive Reuse Projects pursuant to Subdivision 12.24 X.1 of Chapter 1 and Sec. 13B.2.1. (Class 1 Conditional Use Permit) of Chapter 1A of the Code.”

To encourage more building owners to consider AR, transitioning to a “by-right” or Administrative Review process would eliminate the uncertainties and high costs associated with the current discretionary review process. This change would not only expedite the retrofitting and reuse of these critical structures but also help Los Angeles strengthen its housing stock and improve the resilience of its building infrastructure against seismic risks.

9. Revise the Intermediate Levels Incentive

One significant advantage for Developers considering AR projects is the potential to generate additional revenue by introducing intermediate floors for residential units in buildings where existing ceiling heights permit. Currently, implementing such features under the existing ARO requires obtaining approvals via a Conditional Use Permit (CUP), a process many Developers avoid due to the complexities and uncertainties outlined earlier in this letter.

The Citywide ARO draft thoughtfully includes incentives that do not count the addition of intermediate floors as new floor area, which could significantly enhance the viability of many AR projects. **However, the Intermediate Level incentives still require further refinement to fully unlock the potential of AR.**

Working within the constraints of existing building structures often makes it challenging to control the height of infill floors or mezzanines. For instance, in projects like the one located at 125 W 4th Street, intermediate floors often do not vertically align with upper units, necessitating complex adjustments such as horizontal transitions for plumbing lines and mechanical ducts. These adaptations frequently lead to the installation of dropped ceilings to enclose these transitions, thereby reducing the usable height even though other parts of the unit may offer expanded ceiling heights above the code minimum.

To better accommodate these realities and encourage more Developers to undertake AR projects, we propose the following revision to the Intermediate Levels Incentive:

“An intermediate level may consist of either a partial or full floor, and the clear height above and below the intermediate level shall be not less than ~~8 feet~~ the building code minimum height 1208.2 Minimum Ceiling Heights.”

This revision provides clearer guidance and greater flexibility for Developers, helping to simplify the regulatory process and enhance the feasibility of adding intermediate floors. By modifying this incentive, we can better support the unique challenges of AR, making these projects more attractive and financially viable.



Image of 125 W 4th St Case Study—featuring a [link](#) to the 125 W 4th St leasing website. This case study highlights the innovative solutions required to create livable and healthy units using intermediate floors. Flexibility and creative design approaches are essential.

10. Remove the Ground Floor Use Requirements in Adaptive Reuse Projects

We recommend that the LACP consider removing section (c)(4) from the current ARO due to its overly prescriptive nature, which may hinder housing production. Mandating specific uses such as Live/Work Units or common residential amenity spaces, as outlined below, is likely to increase costs and lead to underutilized or unoccupied ground-floor spaces compared to a more flexible ordinance:

“(4) Existing ground floor commercial uses may be converted to Residential Use, provided that at least the first 15 feet of depth as measured from the street-facing facade shall be limited to such active uses as Live/Work Units, or common residential amenity spaces such as fitness rooms, lounges, lobbies or co-working space, to maintain active uses at the ground floor. The new ground floor use shall maintain or may increase transparency, and shall not reduce the existing condition of exterior glazing on any portion of a ground floor fronting a public street, unless such reductions

~~are required for seismic reinforcement, fire/life safety concerns, or other upgrades to improve performance of the existing building.”~~

If section (c)(4) cannot be entirely removed, we alternatively propose that its requirements be carefully considered only for specific commercial zones. A revised version might state:

“(4) Existing ground floor commercial uses may be converted to Residential Use, unless predetermined by a preceding CPIO, CDO, Specific Plans, etc., that required commercial uses. For such zones ~~provided that~~ at least the first 15 feet of depth as measured from the street-facing facade shall be limited to such active uses as Live/Work Units, or common residential amenity spaces such as fitness rooms, lounges, lobbies or co-working space, to maintain active ‘uses at the ground floor.’”

Our concern is that adopting the DRAFT requirements citywide could have unintended consequences. For instance, in our [linked](#) Case Study Project, a market demand analysis determined that large units were desirable on the ground floor. By limiting the use to Live/Work Units—restricted by building code to a maximum of 3,000 sf—the project faces financial market challenges.

Moreover, this proposed change marks a regression from the current ARO, which is silent on ground floor uses and does not impose such restrictive requirements, thereby avoiding creating barriers to AR projects.

11. Expand the Citywide Adaptive Reuse Ordinance to Include Office-to-Hotel Conversions

We understand that the city’s Housing Element limits the Citywide ARO to be a housing initiative. Despite this, we believe it is critical to leverage this opportunity to expand the ARO’s scope to include office-to-hotel conversions, particularly since hotels are already covered under the current ordinance. As we consider expanding the ARO citywide, it logically follows that hotel conversions should also be encompassed to maximize the ordinance’s impact.

Recent trends, as highlighted in the article [“Beyond Tradition: Innovating Hospitality with Historic Reuse and Boutique Hotels”](#) show that the most common type of office conversion projects nationwide involves transitioning to hotel uses. This suggests a strong market viability for such conversions, which could subsequently be adapted for residential use, aligning with the city’s housing goals.

Moreover, evidence from the research report [“Can Adaptive Reuse of Commercial Real Estate Address the Housing Crisis in Los Angeles?”](#) supports this strategy by demonstrating the cost-effectiveness of hotel to residential conversions. The report indicates that AR projects, particularly those involving hotels, can reduce construction costs by approximately 48 percent compared to new builds. This substantial construction cost saving arises from the lower foundational and structural changes required in adapting existing hotel buildings for residential purposes.

By including hotel conversions within the Citywide ARO, we could not only increase the hotel supply but also provide a pathway for underperforming hotels to transition to residential uses at a significantly lower cost. This approach would undoubtedly help increase the housing supply and provide a sustainable solution to underutilized commercial real estate in the city.

Therefore, we recommend that the Citywide ARO explicitly includes provisions for office-to-hotel conversions, ensuring that these projects can benefit from the same streamlined processes and incentives as other AR initiatives. This expansion will better serve the city’s broader urban development and housing objectives by making AR more comprehensive and economically viable.

In Closing

We commend LACP for all the hard work and dedication it has taken to craft such a comprehensive and thoughtful document. **At the same time, we agree that the most important thing is adopting the Citywide ARO.** We are hopeful that these recommendations will be considered and implemented. We believe minor adjustments are required to ensure its success, and success should be measured by the number of housing units generated using this new ordinance.

Sincerely,

Roberto Vazquez, AIA
Associate Principal
AXIS Architecture + Design



As a sought-after adaptive reuse expert, Roberto has helmed some of the most significant adaptive reuse projects throughout Southern California.