



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date: December 12, 2024
Time: after 8:30 a.m.
Place: Los Angeles City Hall
Council Chambers, Room 340
200 North Spring Street
Los Angeles, CA 90012

This meeting may be available virtually, in a hybrid format. Please check the meeting agenda approximately 72 hours before the meeting for additional information at:

<https://planning.lacity.org/about/commissions-boards-hearings> and/or by contacting cpc@lacity.org

Public Hearing: September 4, 2024
Appeal Status: Off Menu Density Bonus
Incentives are not appealable.
Conditional Use Permit is appealable to City Council.
Expiration Date: January 31, 2025
Multiple Approval: Yes

PROJECT LOCATION: **1463 – 1467 South Wellesley Avenue**
(legally described as Tract 5598, Block None, Lots 82 & 83)

PROPOSED PROJECT: The project is the construction, use, and maintenance of a three-story, 40-foot 4 inch high 17-unit residential development including three (3) units set aside for Very Low Income Households, with one subterranean parking level including 24 parking spaces. The project will be approximately 28,918 square feet in floor area with a Floor Area Ratio ("FAR") of 2.56:1. The site is currently improved with two one- and two-story residential buildings which will be demolished for the project. There are four existing non-protected trees on site proposed to be removed. There are also seven existing non-protected street trees, of which one will be removed as a part of the project.

REQUESTED ACTION: The City Planning Commission will consider:

1. Pursuant to California Environmental Quality Act ("CEQA") Guidelines, an exemption from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. Pursuant to LAMC Section 12.24 U.26, a Conditional Use Permit for a 54 percent increase in density over the Project site, in lieu of the otherwise permitted 35 percent increase in density allowable under LAMC Section 12.22 A.25.

Case No.: CPC-2023-6287-CU-DB-HCA
CEQA No.: ENV-2023-6288-CE
Incidental Cases: None
Related Cases: None
Council No.: 11 - Park
Plan Area: West Los Angeles
Plan Overlay: West Los Angeles
Transportation Improvement
and Mitigation Plan
West Los Angeles Sawtelle
Certified NC:
GPLU: Low Medium I Residential
Zone: R2-1
Applicant: Bo Zarnegin
Wellesley Avenue Holdings,
LLC
Representative: Eric Lieberman
QES, Inc.

3. Pursuant to LAMC Section 12.22 A.25(g)(2) and (3), a Density Bonus/Affordable Housing Incentive Program Compliance Review to permit the construction of a Housing Development Project totaling 17 dwelling units, reserving 3 units for Very Low Income Household occupancy for a period of 55 years, with the following requested incentives and waivers:
 - a. An On-Menu Incentive to allow up to an 11-foot increase in the height requirement, allowing up to 44-feet in height in lieu of the 33-feet otherwise allowed in the R2-1 Zone.
 - b. An On-Menu Incentive to allow up to a 20 percent reduction in required front yard setback, for a minimum front yard of 16-feet in lieu of the otherwise required 20-feet.
 - c. A Waiver of Development Standards to allow multiple dwellings on lots having a side lot line adjoining a lot in a commercial zone to extend more than 65 feet from the boundary of the less restrictive zone which it adjoins, as otherwise required by LAMC Section 12.09 A.3.a.

RECOMMENDED ACTIONS:

1. **DETERMINE** that based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 (Class 32 - Infill Development), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. **Approve**, pursuant to LAMC Section 12.24 U.26, a Conditional Use to allow greater than a 35 percent increase in Density to allow a 54 percent increase in Density.
3. **Approve**, pursuant to LAMC Section 12.22 A.25, a Density Bonus Compliance Review for a Housing Development Project totaling 17 dwelling units and setting aside 27 percent (3 units) as Very Low Income Restricted Affordable Units for a period of 55 years, with the following requested incentives and waivers:
 - a. An On-Menu Incentive to allow up to 44-feet in height in lieu of the 33-feet otherwise allowed in the R2-1 Zone.
 - b. An On-Menu Incentive to allow up to a 20 percent reduction in required front yard setback to allow 16-feet in lieu of the otherwise required 20-feet.
 - c. A Waiver of Development Standards to allow multiple dwellings on lots having a side lot line adjoining a lot in a commercial or industrial zone extend more than 65 feet from the boundary of the less restrictive zone which it adjoins as otherwise required by LAMC Section 12.09 A.3.a.

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ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 273, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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PROJECT ANALYSIS

PROJECT SUMMARY

The project is the construction, use, and maintenance of a three-story, 40-foot 4 inch high 17-unit residential development including three (3) units set aside for Very Low Income Households, with one subterranean parking level including 24 parking spaces and a total of 2,302 square feet of common and private open space. The project includes a unit mix of four (4) one-bedroom units, eight (8) two-bedroom units, and five (5) three-bedroom units. There are four existing un-protected trees on site proposed to be removed. There are also seven existing un-protected street trees in the public right-of-way, of which one will be removed as a part of the project. The project will be approximately 28,918 square feet in floor area with a Floor Area Ratio ("FAR") of 2.56:1. The site is currently improved with two one- and two-story residential buildings which will be demolished for the project. There are four existing non-protected trees on site proposed to be removed. There are also seven existing nonprotected street trees, of which one will be removed as a part of the project.

BACKGROUND

Subject Property

The property is rectangularly shaped, consisting of two parcels, approximately 15,524 square-feet (0.356 net acres). The property has approximately 100 feet of frontage along the west side of Wellesley Avenue with a uniform depth of approximately 155 feet.

Zoning and Land Use Designation

The project site is located in the West Los Angeles Community Plan, and is designated for Low Medium I Residential land uses, with the corresponding zones of R2, RD3, RD4, RZ3, RZ4, RU, and RW1. The site is zoned R2-1 and is consistent with the land use designation. The site is located within the West Los Angeles Transportation Improvement and Mitigation Specific Plan (ZI 2192), which is regulated by the Los Angeles Department of Transportation. The site is also located in the Alquist-Priolo Earthquake Fault zone (ZI 2441) and Preliminary Fault Rupture Study Area (ZI 2442); and is listed on the Housing Element Inventory of Sites (ZI – 2512). Projects within a Preliminary Fault Study Rupture Area and/or the Alquist-Priolo Earthquake Fault Zone are required to comply with the fault investigation requirements of the Alquist-Priolo Earthquake Fault Zoning Act.

Surrounding Uses

The surrounding neighborhood is characterized by multi-family residential, single family residential, and a variety of commercial uses. The property adjacent to the north along Santa Monica Boulevard is zoned C2-1VL and is developed with a three-story commercial office building; other properties along Santa Monica Boulevard are similarly developed with commercial uses including a grocery store. The property to the east across Wellesley Avenue is zoned R3-1 and serves as surface parking. The property adjacent to the south is zoned R2-1 and is developed with two (2) dwelling units. The property adjacent to the west is zoned R2-1 and is developed with a single-family residential dwelling.

Wellesley Avenue is designated by the Mobility Plan 2035 as a Local Standard Street, with a designated Right-of Way width of 60 feet with concrete curb, gutter, and sidewalk.

Public Transit/ Mobility Options

Metro Bus Line 1 is approximately 200 feet away from the subject site at the corner of Wellesley Avenue and Santa Monica Boulevard. Metro Bus Lines 1, 4 and 14, as well as the Santa Monica Bus Line R10 all have stops just two blocks from the subject site at the intersection of Santa Monica Boulevard and Bundy Drive.

Relevant Cases and Building Permits

Subject Site:

The applicant has applied for permits with the Los Angeles Department of Building and Safety for the construction of the proposed new building (Permit No. 22010-10000-03863), grading (Permit No. 24030-10000-00529) and shoring (Permit No. 24020-10000-00150) related to the project.

Surrounding Sites:

There are no relevant cases within a 500-foot radius of the subject site.

HOUSING REPLACEMENT

Pursuant to Government Code Section 65915(c)(3), applicants of Density Bonus projects filed as of January 1, 2015 must demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low-Income Households. Pursuant to the Determination made by the Los Angeles Housing Department (LAHD) dated May 25, 2023, LAHD determined that there were three residential units on the property in the last 5 years, therefore the replacement requirements will consist of two (2) units restricted to Very Low Income Households and one (1) unit restricted for Low Income Households (Exhibit D).

REQUESTED ACTIONS

Density Bonus / Affordable Housing Incentives Program

In accordance with California State Law (including Senate Bill 1818, and Assembly Bills 2280, 2222, and 2556), the applicant is proposing to utilize LAMC Section 12.22 A.25 (Affordable Housing Incentives – Density Bonus) to set aside three (3) dwelling units for Very Low Income household occupancy for a period of 55 years. Because the applicant is providing 27 percent of base 11 dwelling units to be affordable for Very Low Income household occupancy, the project is eligible for three (3) Density Bonus Incentives.

On- and Off-Menu Incentives

As a result of setting aside 27 percent (3 dwelling units) of the base 11 dwelling units as Restricted Affordable Units for Very Low Income Households, the applicant requests three (3) On- and Off-Menu Density Bonus Incentives, as follows:

- a. An On-Menu Incentive to allow up to 44-feet in height in lieu of the 33-feet otherwise allowed in the R2-1 Zone.

- b. An On-Menu Incentive to allow up to a 20 percent reduction in required front yard setback to allow 16-feet in lieu of the otherwise required 20-feet.
- c. A Waiver of Development Standards to allow multiple dwellings on lots having a side lot line adjoining a lot in a commercial or industrial zone extend more than 65 feet from the boundary of the less restrictive zone which it adjoins as otherwise required by LAMC Section 12.09 A.3.a.;

Conditional Use

Additionally, the City's Density Bonus Ordinance (Ordinance No. 179,581), codified in LAMC Section 12.22 A.25, permits a maximum density increase of up to 35 percent in exchange for setting aside 11 percent of the base density units for Very Low Income Households in accordance with the State Density Bonus Law (Government Code Section 65915). The State Density Bonus Law (Government Code Section 65915(n)) also allows a city to grant a density bonus greater than 35 percent for a development, if permitted by a local ordinance. The City adopted the Value Capture Ordinance (Ordinance No. 185,373), codified in LAMC Section 12.24 U.26, to permit a density increase greater than 35 percent with the approval of a Conditional Use. In exchange for the increased density, the Value Capture Ordinance requires projects to set aside one (1) additional percent of base density units above the 11 percent for Very Low Income Households for every additional 2.5 percent density increase above the 35 percent.

Below is a table showing the requisite percentage of affordable housing units for Very Low Income Households based on the percentage of density increase.

Percentage of Base Density to be Restricted to Very Low Income Households	Percentage of Density Increase Granted
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55

The project site is zoned R2-1, however LAMC Section 12.09 A.3 permits RD1.5 density for the subject site, which allows a base density of 11 units on the subject property. The Density Bonus Ordinance allows a density bonus of up to 35 percent in exchange for setting aside 11 percent of the 11 base density units for Very Low Income Households. With the Density Bonus Ordinance, the project would be permitted a density bonus of 4 units allowing a total of 15 units on site in exchange for setting aside two (2) unit for Very Low Income Households.

The applicant requests a Conditional Use for a density increase in excess of 35 percent pursuant to LAMC Section 12.24 U.26, to allow a 54 percent increase in density for a total of 17 dwelling units in lieu of 11 base density dwelling units as otherwise permitted by-right in the R2-1 Zone. In accordance with LAMC Section 12.22 A.25(c)(7), in calculating Density Bonus and Restricted

Affordable units any number resulting in a fraction shall be rounded up to the next whole number. As provided in the table above, the applicant is required to set aside 19 percent, or three (3) units, of the base 11 density units for Very Low Income Households in order to be granted a 54 percent density bonus. The applicant proposes to set aside three (3) units for Very Low Income Households for a period of 55 years, which is 19 percent of the 11 base density units. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low Income Households to be eligible for a 55 percent density increase.

CEQA

The Department of City Planning determined based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to California Environmental Quality Act ("CEQA") Guidelines Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies. The Notice of Exemption and Justification for Environmental Case No. ENV-2022-6288-CE is provided in the case file and attached as Exhibit E.

ISSUES

Public Testimony

A public hearing was held by a Hearing Officer on behalf of the City Planning Commission on September 4, 2024. The public hearing was attended by the representative (Eric Lieberman) and approximately two (2) members from the community.

Applicant Presentation:

The applicant's representative described the site location, project description, requested entitlements, and community outreach, which had been completed.

There were two (2) comments from the community raising concern about the potential impacts of construction on the office building tenants adjacent to the north and concern that all the street trees would be removed as a part of the project. The applicant responded that the project would comply with standard regulatory compliance measures pertaining to construction impact measures and that only one street tree was proposed to be removed as a part of the project, with six others to remain.

Staff

There are eleven (11) trees associated with the project, (4 on-site and 7 within the public right-of-way), of which 5 will be removed (the four on-site consisting of a Camphor tree, a Jacaranda Mimosifolia, an Avocado tree and a Sequoia sempervirens; and one Jacaranda Mimosifolia in the public right-of-way). All trees removed will be replaced at a 2:1 ratio or to the satisfaction of the Board of Public Works and Bureau of Street Services Urban Forestry Division as required by Condition No. 16 of this Determination.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations, and Best Management Practices for stormwater runoff. These RCMs will reduce any potential impacts to less than significant and will ensure the project will not have significant impacts on noise and water.

Projects within a Preliminary Fault Study Rupture Area and/or the Alquist-Priolo Earthquake Fault Zone are required to comply with the fault investigation requirements of the Alquist-Priolo Earthquake Fault Zoning Act (ZI File No. 2441).

CONCLUSION

Based on the information submitted to the record, staff recommends that the City Planning Commission approve the construction of the 17-unit residential building with a Density Bonus Compliance Review and Conditional Use and determine based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Article 19, Section 15332 (Infill Development), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

CONDITIONS OF APPROVAL

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped "Exhibit A," with a date of ____, attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Project Planning Bureau, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 17 multi-family residential dwelling units, including On-Site Restricted Affordable Units.
3. **On-Site Restricted Affordable Units.** Three (3) units shall be reserved for Very Low Income household, as defined by the California Government Code 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in On-Site Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.25.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make three (3) units available to Very Low Income Households or equal to 27 percent of the project's total base residential density allowed, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD, and in consideration of the project's Replacement Unit Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD.
6. **Floor Area Ratio (Incentive).** The project total Floor Area shall be limited to 28,918 square feet and a 2.56:1 FAR.
7. **Height (Incentive).** The project shall be limited to a maximum height of 44 feet per Exhibit "A".
8. **Setback (Incentive).** The project shall have a minimum 16-foot front yard setback.
9. **Use (Incentive/Waiver).** The project is permitted to have the use, including accessory buildings and uses and required yards, to extend more than 65 feet from the boundary of the less restrictive zone which it adjoins.
10. **Parking Per AB 2097.** The project shall be permitted to provide a minimum of zero parking spaces pursuant to California Government Code Section 65863.2 (AB 2097). However, this project provides 24 parking spaces.

11. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC 12.21 A.16 and Exhibit "A".
12. **Electric Vehicle Parking.** All electric vehicle charging spaces (EV Spaces) and electric vehicle charging stations (EVCS) shall comply with the regulations outlined in Sections 99.04.106 and 99.05.106 of Article 9, Chapter IX of the LAMC.
13. **Unbundled Parking.** Residential parking shall be unbundled from the cost of the rental units, with the exception of parking for Restricted Affordable Units.
14. **Landscape Plan.** The landscape plan shall indicate landscape points for the project equivalent to **10% more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
15. **Soil Depths.** Shrubs, perennials, and groundcover shall require a minimum soil depth as follows:
 - a. A minimum soil depth with a height ranging from 15 to 40 feet shall be 42 inches.
 - b. A minimum soil depth with a height ranging from 1 to 15 feet shall be 24 to 36 inches.
 - c. A minimum soil depth with a height of less than 1 foot shall be 18 inches.
 - d. A minimum soil depth of an extensive green roof shall be 3 inches.

Trees shall require a 42-inch minimum soil depth. Further, the minimum amount of soil volume for tree wells on the rooftop or any above grade open spaces shall be based on the size of the tree at maturity:

- e. 220 cubic feet for trees with a canopy diameter ranging from 15 to 19 feet.
 - f. 400 cubic feet for trees with a canopy diameter ranging from 20 to 24 feet.
 - g. 620 cubic feet for trees with a canopy diameter ranging from 25 to 29 feet.
 - h. 900 cubic feet for trees with a canopy diameter ranging from 30 to 34 feet.
16. **Street Trees.**
- a. New street trees shall be planted within the public right-of-way, where feasible, at a ratio of at least one (1) tree for every 25 feet of lot length, to the satisfaction of the Bureau of Street Services, Urban Forestry Division, Department of Public Works.
 - b. Project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design should be considered and implemented to retain healthy mature street trees. A permit is required for the removal of any street tree and shall be replaced 2:1 as approved by the Board of Public Works and Urban Forestry Division.
 - a. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously been paid for tree plantings. The subdivider or contractor shall notify

the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

17. **Stormwater/irrigation.** The project shall implement on-site stormwater infiltration as feasible based on the site soils conditions, the geotechnical recommendations, and the City of Los Angeles Department of Building and Safety Guidelines for Storm Water Infiltration. If on-site infiltration is deemed infeasible, the project shall analyze the potential for stormwater capture and reuse for irrigation purposes based on the City Low Impact Development (LID) guidelines.
18. **Lighting.** All pedestrian walkways and vehicle access points will be well-lit. All outdoor lighting will be shielded to prevent excessive illumination and mitigate light impacts on adjacent residential properties and the public right-of-way. Utilize adequate, uniform, and glare-free lighting, such as dark-sky compliant fixtures, to avoid uneven light distribution, harsh shadows, and light spillage.
19. **Lighting Design.** Areas where nighttime uses are located shall be maintained to provide sufficient illumination of the immediate environment so as to render objects or persons clearly visible for the safety of the public and emergency response personnel. All pedestrian walkways, storefront entrances, and vehicular access ways shall be illuminated with lighting fixtures. Lighting fixtures shall be harmonious with the building design. Wall mounted lighting fixtures to accent and complement architectural details at night shall be installed on the building to provide illumination to pedestrians and motorists.
20. **Heat Island Effect.** To reduce the heat island effect, a minimum of 50% of the area of pathways, patios, driveways or other paved areas shall use materials with a minimum initial Solar Reflectance value of 0.35 in accordance with ASTM (American Society of Testing Materials) standards.
21. **Solar and Electric Generator.** Generators used during the construction process shall be electric or solar powered. Solar generator and electric generator equipment shall be located as far away from sensitive uses as feasible.

Or: Where power poles are available, electricity from power poles and/or solar-powered generators rather than temporary diesel or gasoline generators shall be used during construction. (WL)
22. **Solar-ready Buildings.** The Project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
23. **Signage.** There shall be no off-site commercial signage on construction fencing during construction.

Administrative Conditions

24. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
25. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of

Approval herein attached as a cover sheet and shall include any modifications or notations required herein.

26. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
27. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
28. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
29. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.

30. Indemnification and Reimbursement of Litigation Costs.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

DENSITY BONUS / AFFORDABLE HOUSING INCENTIVES PROGRAM FINDINGS

1. **Government Code Section 65915 and LAMC Section 12.22 A.25(c) state that the Commission shall approve a density bonus and requested incentive(s) unless the Commission finds that:**
 - a. ***The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.***

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very-low, low, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

Based on the set-aside of 27 percent of base units for Very Low Income households, the applicant is entitled to three (3) Incentives under both the Government Code and LAMC. Therefore, the two (2) On-Menu requests and one (1) Waiver of Development Standards qualify as the proposed development's Incentives.

Height: The subject site is zoned R2-1, with a Height District No. 1 that allows a maximum 33-foot building height. The applicant has requested an increase for an additional 11 feet to allow for 44 feet through an On-Menu Incentive. The limitation on the height would remove one (1) story from the proposed building which contains five (5) units and residential amenity space, and will limit the ability to construct the residential dwelling units permitted by-right and the Restricted Affordable Units which are of a sufficient size. As proposed, the additional height will allow for the construction of the affordable residential units. The requested incentive will allow the developer to expand the building envelope so the additional units can be constructed and the overall space dedicated to residential uses is increased.

Yards: The subject site is zoned R2-1 which requires a front yard setback equal to 20% of the total depth of the lot, up to a maximum 20-feet. The applicant has requested a 20% reduction of the required front yard to allow for a minimum setback of 16 feet. As proposed, the additional square footage will allow the developer to expand the building footprint, to allow for the construction of the affordable residential units and floor area, whose rents will provide for the operational costs of the affordable units. The requested incentive will allow the project to expand the building envelope so that additional units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased.

Proximity: LAMC Section 12.09 A.3.a requires the use, including the accessory buildings and uses and required yards, to not extend more than 65 feet from the boundary of the less restrictive zone which it adjoins. The property abuts the less restrictive C2-1VL Zone adjacent to the north of the subject property. The subject site is approximately 100 feet

wide. Strict application of this development standard would severely restrict the allowable building footprint, thus reducing the amount of units provided on site. The applicant has requested a waiver of development standards for relief from this requirement to allow for the construction of a three-story residential development with 17 dwelling units including three (3) set aside for Very Low Income households.

- b. The incentive(s) will have a specific adverse impact upon public health and safety, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Government Code Section 65915(d)(1)(B) and 65589.5(d)).**

There is no substantial evidence in the record that the proposed incentive(s) will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project is not located on a substandard street in a Hillside area or a Very High Fire Hazard Severity Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Therefore, there is no substantial evidence that the proposed incentive(s) will have a specific adverse impact on public health and safety, or on property listed in the California Register of Historic Resources. Based on the above, there is no basis to deny the requested incentives.

- c. The incentive(s) are contrary to state or federal law.**

There is no evidence in the record that the proposed incentives are contrary to state or federal law.

CONDITIONAL USE FINDINGS

- 5. The project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.**

The project site is zoned R2-1, however LAMC Section 12.09 A.3 permits RD1.5 density for the subject site, which allows a base density of 11 dwelling units on the subject property. The Density Bonus Ordinance allows a density bonus of up to 35 percent in exchange for setting aside 11 percent of the 11 base density units for Very Low Income Households. With the Density Bonus Ordinance, the project would be permitted a density bonus of 4 units allowing a total of 15 units on site in exchange for setting aside two (2) units for Very Low Income Households.

The State Density Bonus Law (Government Code Section 65915(n)) allows a city to grant a density bonus greater than 35 percent for a development, if permitted by a local ordinance. The City adopted the Value Capture Ordinance (Ordinance No. 185,373), codified in LAMC

Section 12.24 U.26, to permit a density increase greater than 35 percent with the approval of a Conditional Use. In exchange for the increased density, the Value Capture Ordinance requires projects to set aside one (1) additional percent of base density units above the 11 percent for Very Low Income Households for every additional 2.5 percent density increase above the 35 percent. Below is a table showing the requisite percentage of affordable housing units for Very Low Income Households based on the percentage of density increase.

Percentage of Base Density to be Restricted to Very Low Income Households	Percentage of Density Increase Granted
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55

The applicant requests a Conditional Use for a density increase in excess of 35 percent pursuant to LAMC Section 12.24 U.26, to allow a 54 percent increase in density for a total of 17 dwelling units in lieu of 11 dwelling units as otherwise permitted by-right in the R2-1 Zone. As provided in the table above, the applicant is required to set aside at least 17 percent, or 3 units, of 11 by-right density units for the 54-percent density increase. The applicant proposes a project totaling 17 dwelling units, 3 of which will be restricted to Very Low Income Households for a period of 55 years, which is 19 percent of the 11 base density units. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low Income Households to be eligible for a 55 percent density increase

According to the 2013 Housing Element of the City of Los Angeles General Plan, pages 1-14, 29 percent of total households in the City are in the Very Low Income Category and 16.1 percent are in the Low Income Category; therefore, almost half of the City's residents are in the Very Low or Low Income Categories. The City has determined that the shortage of affordable housing is an ongoing crisis in Los Angeles. The increased intensity and density of the proposed development will be offset by the project's ability to provide the number of affordable units required by the City's Density Bonus policy. Therefore, the proposed project would provide a service that is essential and beneficial to the community, city and region.

- 6. The project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.**

The project is the is the construction, use, and maintenance of a three-story, 17-unit residential development including three (3) units set aside for Very Low-Income Household, with one subterranean parking level including 24 parking spaces and a total of 2,302 square feet of common and private open space. The project includes a unit mix of four (4) one-bedroom units, eight (8) two-bedroom units, and five (5) three-bedroom units. The site is currently improved with two one- and two-story residential buildings which will be demolished for the project. There are four existing un-protected trees on site proposed to be removed. There are

also seven existing un-protected street trees in the public right-of-way, of which one will be removed as a part of the project. The project will be approximately 28,918 square feet in floor area with a Floor Area Ratio ("FAR") of 2.56:1. The site is currently improved with two one- and two-story residential buildings which will be demolished for the project.

The surrounding neighborhood is characterized by multi-family residential, single family residential, and a variety of commercial uses. The property adjacent to the north is zoned C2-1VL and is developed with a three-story commercial structure. The property to the east across South Wellesley Avenue is zoned R3-1 and serves as a surface parking lot for a grocery store. The property adjacent to the south is zoned R2-1 and is developed with a single-family dwelling. The property adjacent to the west is zoned R2-1 and is developed with a single-family residential dwelling. The Proposed Project has a height of 40'-4", which is appropriate with existing and future developments, as the allowable height with the Density Bonus incentive is 44 feet. Additionally, the Site is located just under 1,000 feet away from the relatively busy intersections of Santa Monica Boulevard and Bundy Drive with Metro Bus Lines 1, 4 and 14, as well as the Santa Monica Bus Line R10.

The residential development is permitted at this location on the subject site as an allowable use by the underlying R2-1 zone. As provided under Finding No. 1, the project's density, height, FAR, parking, yards, and use are allowed by the underlying zone in combination with Density Bonus law.

The project has been designed with a prominent ground floor entrance with architectural glazing that is architecturally highlighting the central corridor. The project will enhance the pedestrian experience and streetscape by removing an existing curb cut and providing additional landscaping and street trees along Wellesley Avenue.

The Project will provide trash collection within the building and has designed the trash enclosure to be accessible from the parking garage and circulation hallway for the residential lobby, thus not adversely affecting adjacent properties or degrading public health.

The Project proposes to provide landscaping along the street level in the front, side and rear yard setbacks, as well as on the rooftop deck. All landscaping is intended to be native, drought-tolerant planting which is compatible with the climate of the surrounding area. The project provides 2,285-square feet of open space including and a 568 square foot ground floor recreation room, and a 1,517 square foot courtyard.

Given the project's location and proximity to public transit, and the surrounding uses, the project's location, size, height, operations, and other significant features will be compatible with and will not adversely affect adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.

7. The project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.

The Los Angeles General Plan sets forth goals, objectives and programs that guide both Citywide and community specific land use policies. The General Plan is comprised of a range of State-mandated elements, including, Land Use, Transportation, Noise, Safety, Housing and Conservation. The City's Land Use Element is divided into 35 community plans that establish parameters for land use decisions within those sub-areas of the City.

The General Plan is a long-range document determining how a community will grow, reflecting community priorities and values while shaping the future. Policies and programs set forth in the General Plan are subjective in nature, as the General Plan serves as a constitution for

development and foundation for land use decisions. The project substantially conforms with the following purposes and objectives of the General Plan Elements: Framework Element, Land Use Element (West Los Angeles Community Plan), Housing Element, and Mobility Element.

The project site is located in the West Los Angeles Community Plan area with Low Medium I Residential land uses, with the corresponding zones of R2, RD3, RD4, RZ3, RZ4, RU, and RW1. The site is zoned R2-1 and is consistent with the land use designation. The R2 Zone allows for density at a ratio of one dwelling unit per 1,500 square feet of lot area, however LAMC Section 12.09 A.3 permits RD1.5 density for the subject site, which allows a base density of 11 units on the subject property. The Zone allows a maximum building height of 33 feet with unlimited stories and a FAR of 3:1 on the subject site. The site is also located within the West Los Angeles Transportation Improvement Mitigation Plan area (Zoning Information or "ZI" File No. 2192) and Transit Priority Area (ZI File No. 2452).

Consistent with the Community Plan, the proposed 17-unit residential development, which includes 3 Very Low Income units, adds new multi-family housing and much needed affordable housing to Los Angeles's housing supply, in a neighborhood that is conveniently located to a variety of regional destinations, community services and amenities, and multi-modal transportation options.

Framework Element

The General Plan designates the subject site with Low Medium I Residential land uses, with the corresponding zones of R2, RD3, RD4, RZ3, RZ4, RU, and RW1. The site is zoned R2-1 and is consistent with the land use designation. The R2-1 zone estimates 30 dwelling units per acre.

The Framework Element is a strategy for long-term growth which sets a citywide context to guide the update of the Community Plan and Citywide Elements. The Framework Element is a comprehensive, long range document containing purposes, policies and programs for the development of the City of Los Angeles. The Citywide General Plan Framework text defines policies related to growth and includes policies for land use, housing, urban form/neighborhood design, open space/conservation, economic development, transportation, and infrastructure/public services.

General Plan Framework Element Chapter 3 - Land Use:

The primary objectives of the policies in the Framework Element's Land Use Chapter are to support the viability of the City's residential neighborhoods and commercial districts, and when growth occurs, to encourage sustainable growth in a number of higher-intensity commercial and mixed-use districts, centers and boulevards and industrial districts particularly in proximity to transportation corridors and transit stations. The project is consistent with and advances the following objectives and policies of the General Plan Framework:

Objective 3.4. Encourage new multi-family residential, retail commercial, and office development in the City's neighborhood districts, community, regional, and downtown centers as well as along primary transit corridors/boulevards, while at the same time conserving existing neighborhoods and related districts.

Objective 3.7: Provide for the stability and enhancement of multi-family residential neighborhoods and allow for growth in areas where there is sufficient public

infrastructure and services and the residents' quality of life can be maintained or improved.

General Plan Framework Element Chapter 4 - Housing:

Goal 4A. *An equitable distribution of housing opportunities by type and cost accessible to all residents of the City.*

Objective 4.1. *Plan the capacity for and develop incentives to encourage production of an adequate supply of housing units of various types within each City sub region to meet the projected housing needs by income level of the future population to the year 2010.*

Objective 4.2. *Encourage the location of new multi-family housing development to occur in proximity to transit stations, along some transit corridors, and within some high activity areas with adequate transitions and buffers between higher-density developments and surrounding lower-density residential neighborhoods.*

Objective 4.3. *Conserve scale and character of residential neighborhoods.*

The project will provide 17 apartment units, including three units set aside for Very Low Income households. Thus, supplementing the existing housing stock in the West Los Angeles Community Plan area with diversity and contributing to the affordable housing supply. The subject property is less than a 10-minute walk from multiple Metro and Santa Monica bus lines. The project is in close proximity and access to bus options that provide robust public transportation options around the site and greater Los Angeles metropolitan area. This provides regional connectivity from the Beach cities, through West Los Angeles, and to Downtown Los Angeles and the larger Los Angeles Region, including the Los Angeles International Airport.

The Proposed Project has a height of 40'-4", which is appropriate with existing and future developments. Additionally, the Site is located just under 1,000 feet away from the relatively busy intersections of Santa Monica Boulevard and Bundy Drive and is next door to a commercial office building that is also three stories, similar to the proposed project. Therefore, the Project is consistent with the General Plan as it supports the addition of residential units near commercial districts with transit options.

Consistent with the Goal and Policies noted above, the project proposes to develop a mixed-use development with 17 residential apartment units including 19% of the base density units set aside for Very Low Income households, having a variety of unit sizes and types, to meet the diverse economic and physical needs and overall demand for the projected increased population in the community plan area. The project contains a range of units from one- to three-bedroom units, which are intended to accommodate families of all types, as well as three (3) units of which will be set aside for Very Low Income households, in order to generate a mixed-income project where families can support each other's stability and growth. As discussed above, the Project will help to alleviate the ongoing housing crisis in Los Angeles and will address the critical demand for affordable housing in the City without displacing existing residential tenants.

Housing Element 2021 - 2029

The proposed project also conforms with the applicable policies of the Housing Element, including:

- Goal 1: A City where housing production results in an ample supply of housing to create more equitable and affordable options that meet existing and projected needs.
- Objective 1.2: Facilitate the production of housing, especially projects that include Affordable Housing and/or meet Citywide Housing Priorities.
- Policy 1.2.1: Expand rental and for-sale housing for people of all income levels. Prioritize housing developments that result in a net gain of Affordable Housing and serve those with the greatest needs.
- Policy 1.3.1: Prioritize housing capacity, resources, policies and incentives to include Affordable Housing in residential development, particularly near transit, jobs, and in Higher Opportunity Areas.
- Goal 3: A City in which housing creates healthy, livable, sustainable, and resilient communities that improve the lives of all Angelenos.
- Objective 3.2: Promote environmentally sustainable buildings and land use patterns that support a mix of uses, housing for various income levels and provide access to jobs, amenities, services and transportation options.
- Policy 3.1.5: Develop and implement environmentally sustainable urban design standards and pedestrian centered improvements in development of a project and within the public and private realm such as shade trees, parkways and comfortable sidewalks.
- Policy 3.2.2: Promote new multi-family housing, particularly Affordable and mixed-income housing, in areas near transit, jobs and Higher Opportunity Areas, in order to facilitate a better jobs-housing balance, help shorten commutes, and reduce greenhouse gas emissions.

The proposed project will result in a net increase of 15 new residential units to the City's housing stock and conforms with the applicable provisions of the Housing Element. The applicant has requested deviations from code requirements under the Density Bonus program for increased height, and reduced setbacks, thereby allowing the creation of affordable units. Pursuant to Density Bonus requirements, 27 percent (3 units) of the base 11 density units, will be set aside for Very Low Income units. Additionally, this mixed-income development is in close proximity to public transit options, and a variety of retail, commercial, recreational, and employment opportunities. Locating new housing in this portion of the City will allow residents to have better access to employment centers and places of interest in area. Maintaining the existing street trees will help achieve the City's goals for environmentally sustainable urban design standards and pedestrian-oriented improvements.

Mobility Plan 2035

The proposed project also conforms with the following additional policies of the Mobility Plan, including:

- Policy 2.3: Pedestrian Infrastructure: Recognize walking as a component of every trip, and ensure high quality pedestrian access in all site planning and public right-of-way modifications to provide a safe and comfortable walking environment.
- Policy 3.1: Access for All: Recognize all modes of travel, including pedestrian, bicycle, transit, and vehicular modes - including goods movement – as integral components of the City's transportation system.
- Policy 3.3: Land Use Access and Mix: Promote equitable land use decisions that result in fewer vehicle trips by providing greater proximity and access to jobs, destinations, and other neighborhood services.

The project utilizes Density Bonus incentives for the construction of a residential mixed-income development that provides housing opportunities in proximity to public transit along the Santa Monica Boulevard and utilizes AB 2097 to reduce parking consistent with state law, encouraging multi-modal transportation and decreasing vehicle miles traveled in the

neighborhood. The site is located along a portion of Wellesley Avenue that is designated by the Mobility Plan as a Local Street. The project will also provide 17 long-term and 2 short-term bicycle parking spaces, which exceeds LAMC Section 12.21 A.16 bicycle parking requirements. Maintaining the six of the seven existing street trees will help achieve the City's goals for environmentally sustainable urban design standards and pedestrian-oriented improvements.

8. The project is consistent with and implements the affordable housing provisions of the Housing Element of the General Plan

The City's Housing Element for 2021-2029 was adopted by City Council on November 24, 2021. The Housing Element identifies the City's housing conditions and needs, establishes the goals, objectives, and policies that are the foundation of the City's housing and growth strategy, and provides an array of programs the City intends to implement to create sustainable, mixed-income neighborhoods across the City. The Housing Element aims to provide affordable housing and amenity-rich, sustainable neighborhoods for its residents, answering the variety of housing needs of its growing population. Specifically, the Housing Element encourages affordable units to accommodate all income groups that need assistance. The Housing Element includes the following goals, policies, objectives:

Goal 1: *A City where housing production results in an ample supply of housing to create more equitable and affordable options that meet existing and projected needs.*

Objective 1.2: *Facilitate the production of housing, especially projects that include Affordable Housing and/or meet Citywide Housing Priorities.*

Policy 1.2.1: *Expand rental and for-sale housing for people of all income levels. Prioritize housing developments that result in a net gain of Affordable Housing and serve those with the greatest needs.*

Policy 1.2.2: *Facilitate the construction of a range of different housing types that addresses the particular needs of the city's diverse households.*

Policy 1.2.4: *Strengthen the capacity of housing providers to build Affordable Housing.*

Objective 1.3: *Promote a more equitable distribution of affordable housing opportunities throughout the city, with a focus on increasing Affordable Housing in Higher Opportunity Areas and in ways that further Citywide Housing Priorities.*

Policy 1.3.1: *Prioritize housing capacity, resources, policies and incentives to include Affordable Housing in residential development, particularly near transit, jobs, and in Higher Opportunity Areas.*

Goal 3: *A City creates healthy, livable, sustainable, and resilient communities that improve the lives of all Angelenos.*

Objective 3.2: *Promote environmentally sustainable buildings and land use patterns that support a mix of uses, housing for various income levels and provide access to jobs, amenities, services and transportation options.*

Policy 3.2.1: *Promote the integration of housing with other compatible land uses at both the building and neighborhood level.*

Policy 3.2.2: *Promote new multi-family housing, particularly Affordable and mixed-income housing, in areas near transit, jobs and Higher Opportunity Areas, in order to facilitate a better jobs-housing balance, help shorten commutes, and reduce greenhouse gas emissions.*

Goal 4: *A City that fosters racially and socially inclusive neighborhoods and corrects the harms of historic racial, ethnic, and social discrimination of the past and present.*

Objective 4.1: *Ensure that housing opportunities are accessible to all residents without discrimination on the basis of race, color, ancestry, sex, national origin, color, religion, sexual orientation, gender identity, marital status, immigration status, family status, age, intellectual, developmental, and physical disability, source of income and student status or other arbitrary reason.*

Policy 4.1.1: *Promote and facilitate equal opportunity practices in the construction, provision, sale and rental of housing.*

Objective 4.3: *Affirmatively further fair housing in all housing and land use programs by taking proactive measures to promote diverse, inclusive communities that grant all Angelenos access to housing, particularly in Higher Opportunity Areas, increase place-based strategies to encourage community revitalization and protect existing residents from displacement.*

Policy 4.3.1: *Increase access and transparency in the lease-up process for restricted Affordable Housing units, particularly for those who have experienced or are at-risk of displacement and those who may not be aware of Affordable Housing choices.*

Policy 4.3.2: *Ensure that all neighborhoods have a range of housing typologies to provide housing options for residents to remain in the same community, when and if their needs change.*

The proposed project is a 17unit residential development, with 27% of the base density (3 units) dedicated to Very Low Income households with a range of unit types from one- to three-bedrooms. Therefore, the project is consistent with the goals, objectives, and policies of the Housing Element of the General Plan.

9. **The project contains the requisite number of Restricted Affordable Units, based on the number of units permitted by the maximum allowable density on the date of application, as follows:**

- A. **11% Very Low Income Units for a 35% density increase; or**
- B. **20% Low Income Units for a 35% density increase; or**
- C. **40% Moderate Income Units for a 35% density increase in for-sale projects.**

The project may then be granted additional density increases beyond 35% by providing additional affordable housing units in the following manner:

- D. **For every additional 1% set aside of Very Low Income Units, the project is granted an additional 2.5% density increase; or**
- E. **For every additional 1% set aside of Low Income Units, the project is granted an additional 1.5% density increase; or**
- F. **For every additional 1% set aside of Moderate Income Units in for-sale projects, the project is granted an additional 1% density increase; or**

- G. In calculating the density increase and Restricted Affordable Units, each component of any density calculation, including base density and bonus density, resulting in fractional units shall be separately rounded up to the next whole number.**

The project site is zoned R2-1, however LAMC Section 12.09 A.3 permits RD1.5 density for the subject site, which allows a base density of 11 dwelling units. Per the Density Bonus Ordinance, the project is permitted a 35 percent density increase in exchange for setting aside 11 percent, or two (2) of the 11 base density units for Very Low Income Households. The project is permitted additional density increase beyond 35 percent by setting aside one (1) additional percent of base density units above the 11 percent for Very Low Income Households for every additional 2.5 percent density increase above the 35 percent. Below is a table showing the requisite percentage of affordable housing units for Very Low Income Households based on the percentage of density increase.

The applicant requests a Conditional Use for a density increase in excess of 35 percent pursuant to LAMC Section 12.24 U.26, to allow a 54 percent increase in density for a total of 17 dwelling units in lieu of 11 dwelling units as otherwise permitted by-right in the R2-1 Zone. As provided in the table above, the applicant is required to set aside at least 19 percent, or 3 units, of 11 by-right density units for the 54-percent density increase. The applicant proposes a project totaling 17 dwelling units, 3 of which will be restricted to Very Low Income Households for a period of 55 years, which is 27 percent of the 11 base density units. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low Income Households to be eligible for a 54 percent density increase.

- 10. The project meets any applicable dwelling unit replacement requirements of California Government Code Section 65915(c)(3).**

Pursuant to Government Code Section 65915(c)(3), applicants of Density Bonus projects filed as of January 1, 2015 must demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households. Pursuant to the Determination made by the Los Angeles Housing Department (LAHD) dated May 25, 2023, LAHD determined that three units existed on the property in the last 5 years, therefore three (3) SB 8 replacement affordable units are required.

- 11. The project's Restricted Affordable Units are subject to a recorded affordability restriction of 55 years from the issuance of the Certificate of Occupancy, recorded in a covenant acceptable to the Housing and Community Investment Department, and subject to fees as set forth in Section 19.14 of the Los Angeles Municipal Code.**

The applicant proposes to set aside a total of 3 units for Restricted Affordable Units. Per the Conditions of Approval, the applicant is required to execute a covenant to the satisfaction of LAHD to make 3 Restricted Affordable Units available to Very Low Income Households for rental as determined to be affordable to such households by LAHD for a period of 55 years. The applicant is required to present a copy of the recorded covenant to the Department of City Planning and the proposed project shall comply with any monitoring requirements established by LAHD. Therefore, as conditioned, the project satisfies this finding in regards to subjected restricted affordable units to recorded affordability per LAHD, and is subject to fees as set forth in Section 19.14 of the LAMC.

12. The project addresses the policies and standards contained in the City Planning Commission's Affordable Housing Incentives Guidelines.

The City Planning Commission approved the Affordable Housing Incentives Guidelines (CPC-2005-1101-CA) on June 9, 2005. The Guidelines were subsequently approved by City Council (CF 05-1345) on February 20, 2008, as a component of the City of Los Angeles Density Bonus Ordinance. The Guidelines describe the density bonus provisions and qualifying criteria, incentives available, design standards, and the procedures through which projects may apply for a density bonus and incentives. LAHD utilizes these Guidelines in the preparation of Housing Covenants for Affordable Housing Projects. On April 9, 2010, the City Council adopted updates to the City's Density Bonus Ordinance (CF 05-1345-S1, Ordinance No. 181,142). However, at that time, the Affordable Housing Incentives Guidelines were not updated to reflect changes to the City's Density Bonus Ordinance or more recent changes in State Density Bonus Law located in the Government Code. Therefore, where there is a conflict between the Guidelines and current laws, the current law prevails. Additionally, many of the policies and standards contained in the Guidelines, including design and location of affordable units to be comparable to the market-rate units, equal distribution of amenities, monitoring requirements, and affordability levels, are covered by the State Density Bonus Laws.

The project requests a 54 percent density increase above the 11 base density units to permit a total of 17 dwelling units. The project will set aside 3 units for Very Low Income Households. As such, the project is consistent with the State Density Bonus Law and the local Density Bonus Ordinance, which the Affordable Housing Incentives Guidelines implement. Therefore, the project complies with the City Planning Commission's Affordable Housing Incentives Guidelines.

CEQA FINDINGS

The Categorical Exemption prepared for the proposed project is appropriate pursuant to CEQA Guidelines, Article 19, Section 15332, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

a. The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations:

The subject site is located within the West Los Angeles Community Planning Area and is designated for Low Medium I Residential land uses, with the corresponding zones of R2, RD3, RD4, RZ3, RZ4, RU, and RW1. The site is zoned R2-1 and is consistent with the land use designation. The proposed project is for the construction of a 3-story, residential building with 17 dwelling units, totaling 28,918 square-feet of floor area on an approximately 15,524 square foot lot in the R2-1 zone. The project provides 24 automobile spaces on-site. Additionally, 17 long-term and 2 short-term bicycle parking spaces are included in the project. As such, the project is consistent with the applicable West Los Angeles Community Planning Area designation and policies and all applicable zoning designations and regulations in combination with State Density Bonus Law.

b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses:

The subject site consists of a level, rectangular site measuring 0.356 acres and is wholly within the City of Los Angeles. The surrounding neighborhood is characterized by multi-family residential, single family residential, and a variety of commercial uses. The property adjacent

to the north is zoned C2-1VL and is developed with a three-story commercial structure. The property to the east across South Wellesley Avenue is zoned R3-1 and serves as a surface parking lot for a grocery store. The property adjacent to the south is zoned R2-1 and is developed with a single-family dwelling. The property adjacent to the west is zoned R2-1 and is developed with a single-family residential dwelling.

c. *The project site has no value as habitat for endangered, rare or threatened species:*

The subject site is currently developed with one- and two-story residential dwellings and associated structures proposed to be demolished. Further, the subject site is surrounded by existing commercial and residential properties, and according to the tree report dated June 5, 2023 as prepared by certified arborist John Windsor and signed off on by Albert Vera of the Urban Forestry Division on June 13, 2023, there are no protected trees on the subject site. There are eleven (11) trees associated with the project, (4 on-site and 7 within the public right-of-way), of which 5 will be removed (the four on-site consisting of a Camphor tree, a Jacaranda Mimosifolia, an Avocado tree and a Sequoia sempervirens; and one Jacaranda Mimosifolia in the public right-of-way). All trees removed will be replaced at a 2:1 ratio or to the satisfaction of the Board of Public Works and Bureau of Street Services Urban Forestry Division as required by Condition No. 16 of this Determination. Therefore, the subject site is not, and has no value as a habitat for endangered, rare, or threatened species.

d. *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality:*

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations, and Best Management Practices for stormwater runoff. These RCMs will reduce any potential impacts to less than significant and will ensure the project will not have significant impacts on noise and water.

Furthermore, The Department of Transportation (LADOT) Referral Form dated September 18, 2023 and the Vehicle Miles Traveled (VMT) calculator indicated that the number of daily vehicle trips will be 72 which is under the threshold of 250 or more daily vehicles trips to require VMT analysis. As such, the project will not have any significant impacts to traffic. In regard to Air Quality, interim thresholds were developed by the Los Angeles Department of City Planning staff based on California Emissions Estimator Model (CalEEMod) runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

e. *The site can be adequately served by all required utilities and public services:*

The utilities and public services have been servicing the neighborhood continuously for over 70 years. In addition, the California Green Code requires new construction to meet stringent efficiency standards for both water and power, such as high-efficiency toilets, dual-flush water closets, minimum irrigation standards, LED lighting, etc.

As a result of these new building codes that are required of all projects, it can be anticipated that the project will not create any impact on existing utilities and public services.

The project can be characterized as in-fill development within an urbanized area and meets the five conditions listed above. Therefore, the project qualifies for a Class 32 Categorical Exemption consistent with the California Environmental Quality Act.

Exceptions Narrative for Class 32 Categorical Exemption

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

- a. Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

There is no cumulative impact of successive projects of the same type in the same place as the proposed project.

- b. Significant Effect Due to Unusual Circumstances.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

The proposed project is for the construction of a 3-story, residential building with 17 dwelling units, totaling 28,918 square feet of floor area on an approximately 15,524 square foot lot in the R2-1 zone. All surrounding properties are developed with commercial and residential buildings. The subject site is of a similar size and massing to nearby properties. There are no known unusual circumstances which may lead to a significant effect on the environment.

- c. Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The portion of State Route 27 which travels through the Los Angeles city limits is approximately 7 miles from the subject site. Therefore, the subject site will not create any impacts within a highway designated as a state scenic highway.

- d. Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code*

According to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site within a 1,000-foot radius of the subject site, is identified as a hazardous waste site.

- e. Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource*

The project site is developed and has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register. Further, the project site was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Neither the State nor the City choose to treat the site as a historic resource, therefore, the proposed

project cannot cause a substantial adverse change in the significance of a historical resource and this exception does not apply.



WELLESLEY APARTMENTS

A PROPOSED MULTI-RESIDENTIAL PROJECT

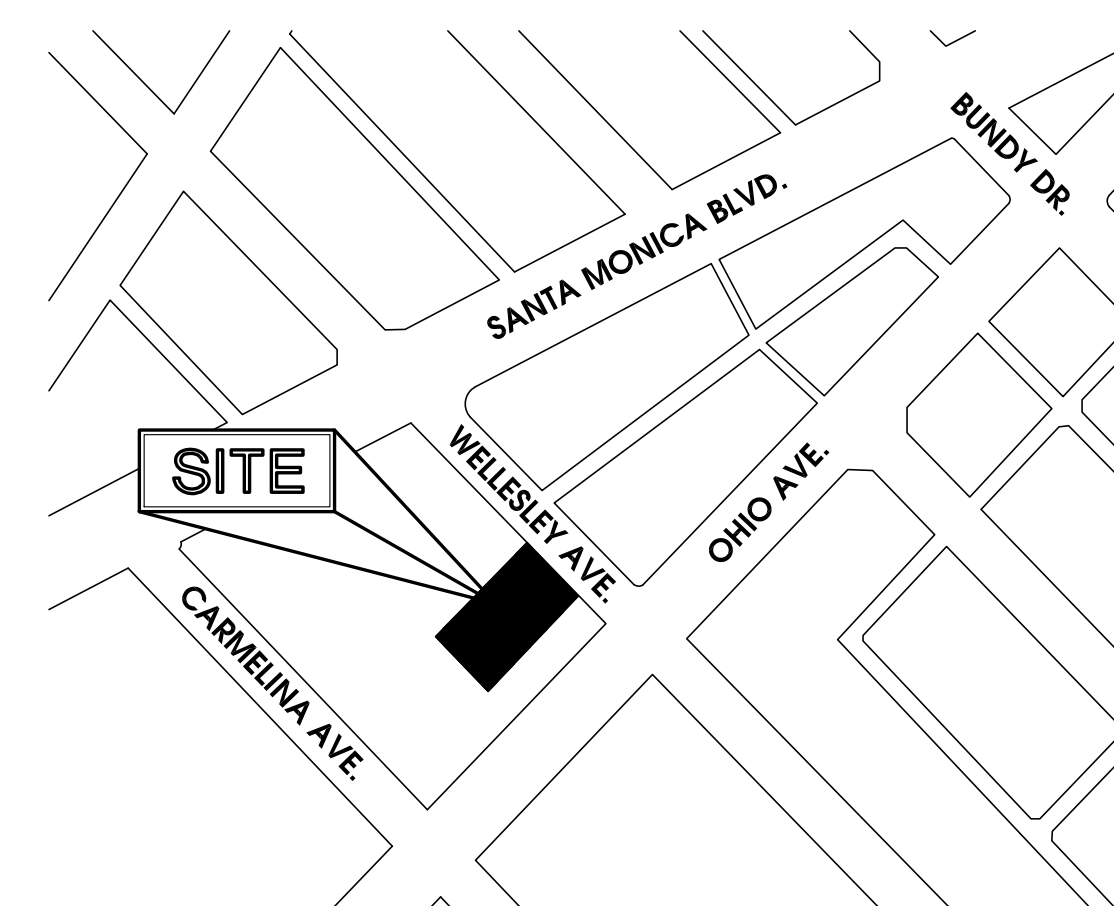
1463 WELLESLEY AVE., LOS ANGELES, CA 90026

DEVELOPER
 WELLESLEY AVENUE HOLDINGS
 9901 GLOAMING DR.
 LOS ANGELES, CA 90025
 E-MAIL: mlgenc@waha.com

ARCHITECT
 PLUS ARCHITECTS
 1770 SAWTELLE BLVD.
 LOS ANGELES, CA 90025
 TEL: 310-478-6149
 FAX: 310-478-6149
 E-MAIL: plusarch@aol.com

SURVEYOR
 M&G CIVIL ENGINEERING
 AND LAND SURVEYING
 341 S. ROBERTSON BLVD.
 BEVERLY HILLS, CA 90211
 TEL: 310-659-0911
 FAX: 310-659-0949
 E-MAIL: info@mglansur.com

PROJECT TEAM



VICINITY MAP

ARCHITECTURAL

A0.1	COVER SHEET
A0.1g	BUILDING AREA DIAGRAM
A0.2g	RENDERING
SV-1	SURVEY
A1.1	SITE PLAN
A2.1	BASEMENT PLAN
A2.2	FIRST FLOOR PLAN
A2.3	SECOND FLOOR PLAN
A2.4	THIRD FLOOR PLAN
A2.5	ROOF PLAN
A3.1	EAST ELEVATION
A3.2	SOUTH ELEVATION
A3.3	WEST ELEVATION
A3.4	NORTH ELEVATION
A4.1	BUILDING SECTION
A4.2	BUILDING SECTION

DRAWING INDEX

BUILDING DATA:

EXISTING BUILDING: 2, 1-STORY SINGLE FAMILY DWELLING & 1, 2-STORY SINGLE FAMILY DWELLING TO BE DEMOLISHED

PROPOSED PROJECT: 3-STORY, 17-UNIT, DENSITY BONUS APARTMENT PROJECT WITH 1 LEVEL SUBTERRANEAN GARAGE

ZONE: R2-1

LOT AREA: 15,524.4 SQ.FT.

OCCUPANCY: R-2, S-2, A-2

BUILDING CODE: 2023 L.A. B.C., 2023 L.A. GREEN BLDG. CODE

CONSTRUCTION: TYPE VA OVER TYPE I SUBTERRANEAN GARAGE, FULLY SPRINKLERED NFPA 13R

BUILDING HEIGHT: ALLOWABLE: 44'-0", PROPOSED: 40'-4"

SETBACK: FRONT 20'-0", SIDE 8'-0", REAR 15'-0"

FUNDING: 100% PRIVATELY FUNDED. THIS IS NOT HOUSING FACILITIES OWNED AND OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL. THIS IS NOT PUBLIC HOUSING.

SEPARATE PERMITS ARE REQUIRED FOR THE FOLLOWING:

- 1 - MECH. ELECT. PLUMBING
- 2 - FIRE SPRINKLER SYSTEMS
- 3 - DEMOLITION
- 4 - BLOCK FENCE WALLS
- 5 - SHORING
- 6 - GRADING WORK
- 7 - EMERGENCY RESPONDER RADIO COVERAGE
- 8 - FIRE ALARM & MONITORING

DENSITY PER R2-1

15,524.4 SQ.FT./1,500 = 10.35
 PER LAMC SECTION 12.09 A.3(g)

DENSITY PER AFFORDABLE HOUSING:

I) BASE DENSITY: 10.35 = 11 UNITS
 II) 50% DENSITY BONUS PER LAMC 12.24 U26
 11 X 50% = 5.5
 TOTAL ALLOWABLE UNITS: = 17 UNITS
 III) VERY LOW INCOME: 3 UNITS

PROPOSED: 17 UNITS = 14 MARKET RATE & 3 VERY LOW INCOME UNITS

AFFORDABLE HOUSING ORDINANCE:

BONUS:
 I) PARKING OPTION 1

INCENTIVES:
 ON-MENU
 I) 20% FRONT YARD REDUCTION
 II) ADDITIONAL HEIGHT FROM 33' TO 44'

OFF-MENU
 I) 50% DENSITY BONUS PER 12.24 U 26
 II) TO ALLOW APARTMENTS BEYOND THE 65 FT LINE OF THE C ZONE
 RELIEF FROM LAMC SECTION 12.09 A.3.(g)

FLOOR AREA CALCULATION PER ZONING CODE:

F.A.R. ALLOWED (3:1 FAR) : 11,277 X 3 = 33,831 SQ.FT.
 F.A.R. PROPOSED : 28,852 / 11,277 = 2,56 FAR

BASEMENT = 1,770 SQ.FT.
 1ST FLOOR = 8,887 SQ.FT.
 2ND FLOOR = 9,131 SQ.FT.
 3RD FLOOR = 9,130 SQ.FT.
 TOTAL FLOOR AREA PROPOSED = 28,918 SQ.FT.
 BASEMENT PARKING = 13,105 SQ.FT.

UNIT COUNT:

	1-BEDRM.	2-BEDRM.	3-BEDRM.	TOTAL
1ST FLOOR	2	2	2	6
2ND FLOOR	2	3	1	6
3RD FLOOR		3	2	5
TOTAL	4	8	5	17

OPEN SPACE CALCULATION:

OPEN SPACE REQUIRED:

(4) 1-BEDRM. UNITS X 100 SQ.FT. = 400 SQ.FT.
 (8) 2-BEDRM. UNITS X 125 SQ.FT. = 1,000 SQ.FT.
 (5) 3-BEDRM. UNITS X 175 SQ.FT. = 875 SQ.FT.
 TOTAL REQUIRED = 2,275 SQ.FT.

OPEN SPACE PROVIDED:

PRIVATE OPEN SPACE: 2 UNITS X 100 SQ.FT. = 200 SQ.FT.
 REC. ROOM @ GROUND FLOOR (25% OF REQUIRED) = 568 SQ.FT.
 GROUND FLOOR COURTYARD = 1,617 SQ.FT.
 TOTAL PROVIDED = 2,285 SQ.FT.

PARKING CALCULATIONS:

REQUIRED PER PARKING OPTION 1 (PER GC 65915):

(4) 1-BEDRM UNITS X 1.0 = 4 SPACES
 (8) 2-BEDRM UNITS X 1.5 = 12 SPACES
 (5) 3-BEDRM UNITS X 1.5 = 7.5 SPACES
 TOTAL = 23.5 SPACES
 = 24 SPACES

PROVIDED:

STANDARD = 17 SPACES
 DA UNIT DESIGNATED SPACE = 1 SPACES
 COMPACT/TANDEM = 5 SPACES
 COMPACT = 1 SPACE
 TOTAL = 24 SPACES

NON-REQUIRED COMPACT/TANDEM = 1 SPACE

BICYCLE PARKING CALCULATIONS:

PER BICYCLE ORDINANCE:

	LONG-TERM	SHORT-TERM
REQUIRED/PROVIDED	17	2

LEGAL DESCRIPTION:

LOT 82 AND 83 OF TRACT NO. 5598 IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 60, PAGES 3 AND 4 OF MAPS IN THE OFFICE OF THE COUNTRY RECORDER OF SAID COUNTY.

APN: 4267-031-025 / 4267-031-026

PROJECT SUMMARY

THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE PLANS AND SPECIFICATIONS FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF PLUS ARCHITECTS IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

DATE	REVISIONS	DATE	ISSUED FOR

CONSULTANT

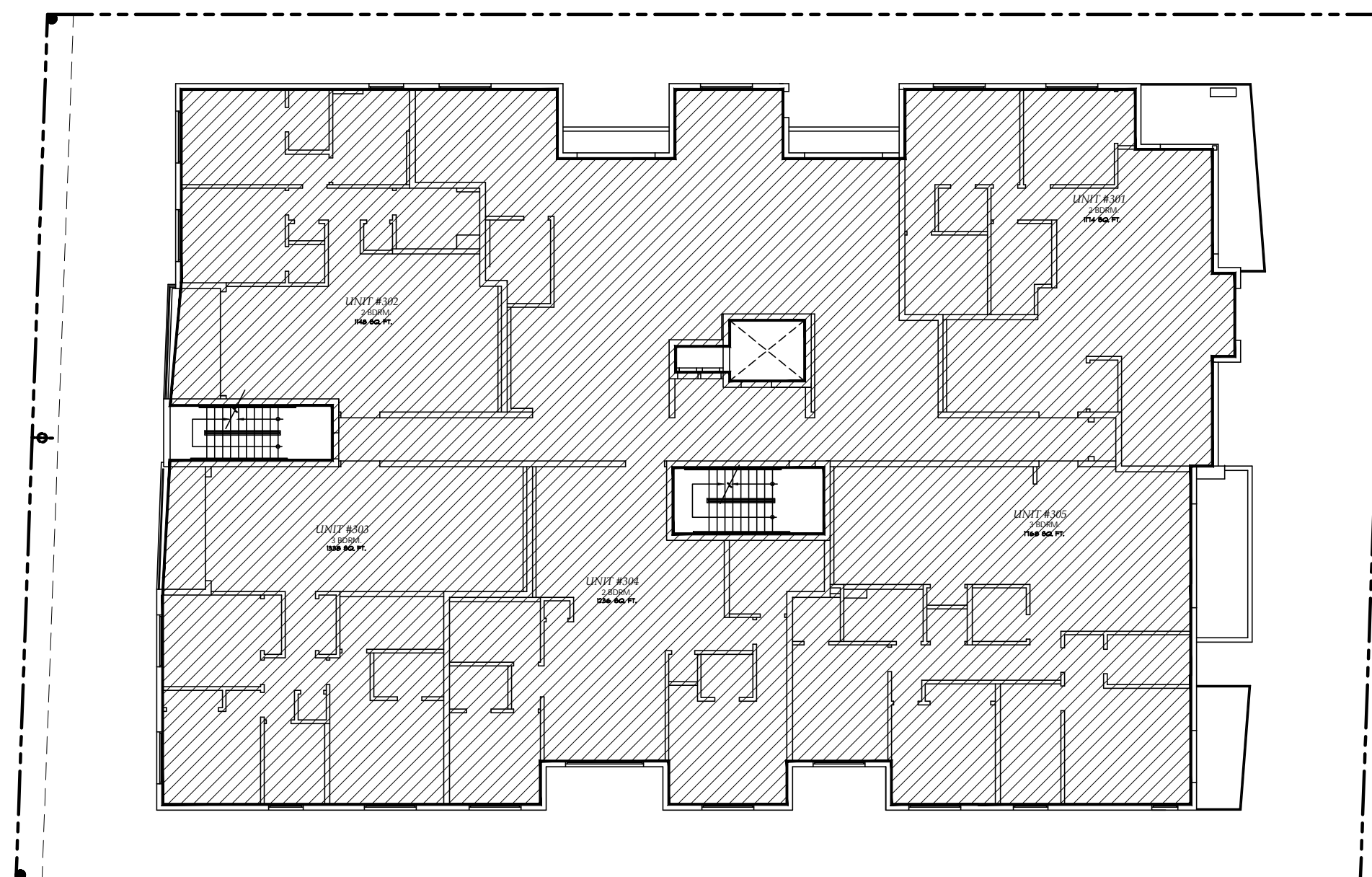
SIGNATURE

PLUS ARCHITECTS
 ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN
 1770 SAWTELLE BOULEVARD ■ LOS ANGELES, CA 90025 ■ 310-478-6149

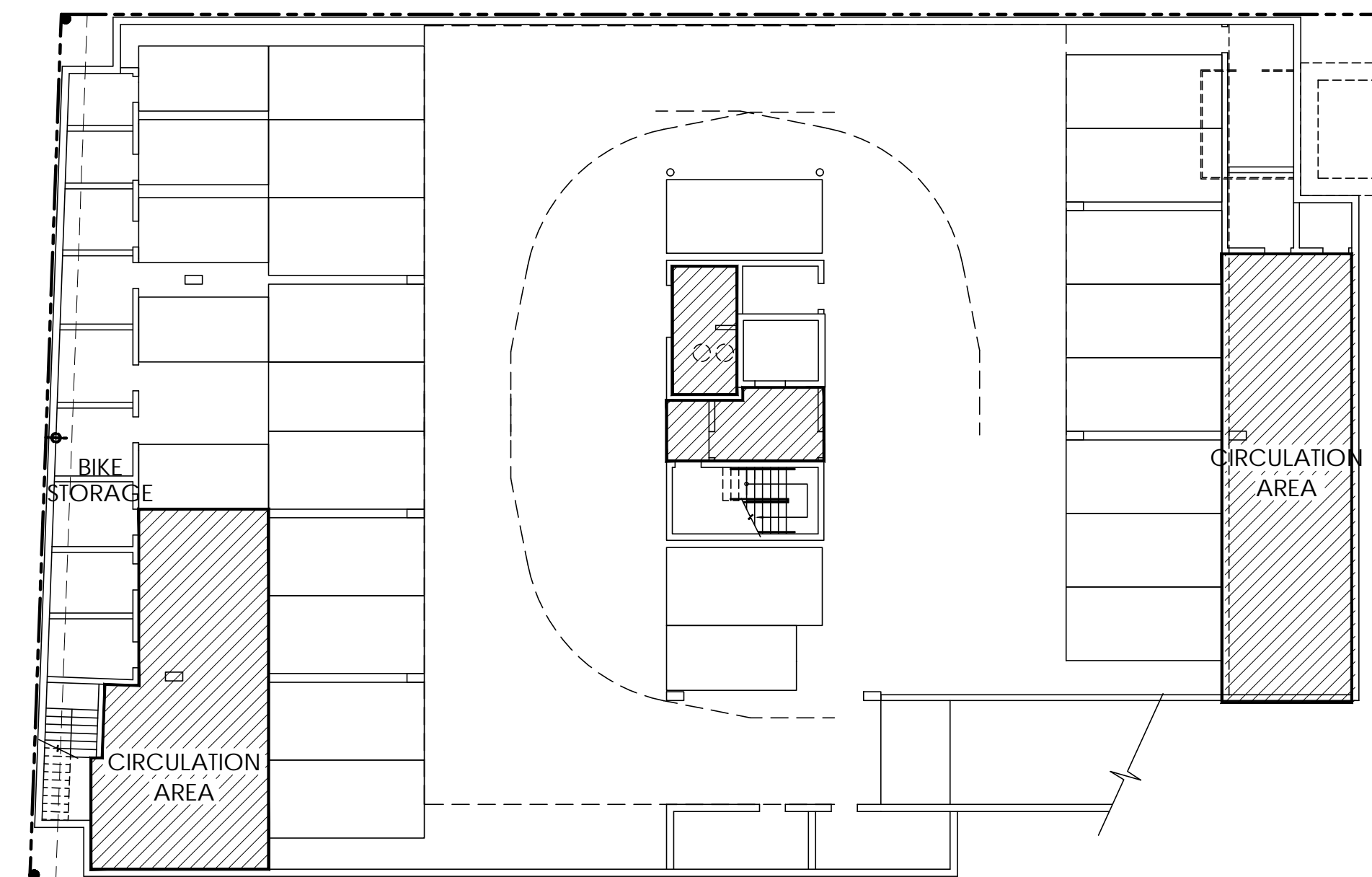
WELLESLEY APARTMENTS
 A MULTI-RESIDENTIAL PROJECT
 LOS ANGELES, CA 90026

DATE: JULY 28, 2022
 DRAWN: []
 CHECKED: []
 PROJECT: 2021-05

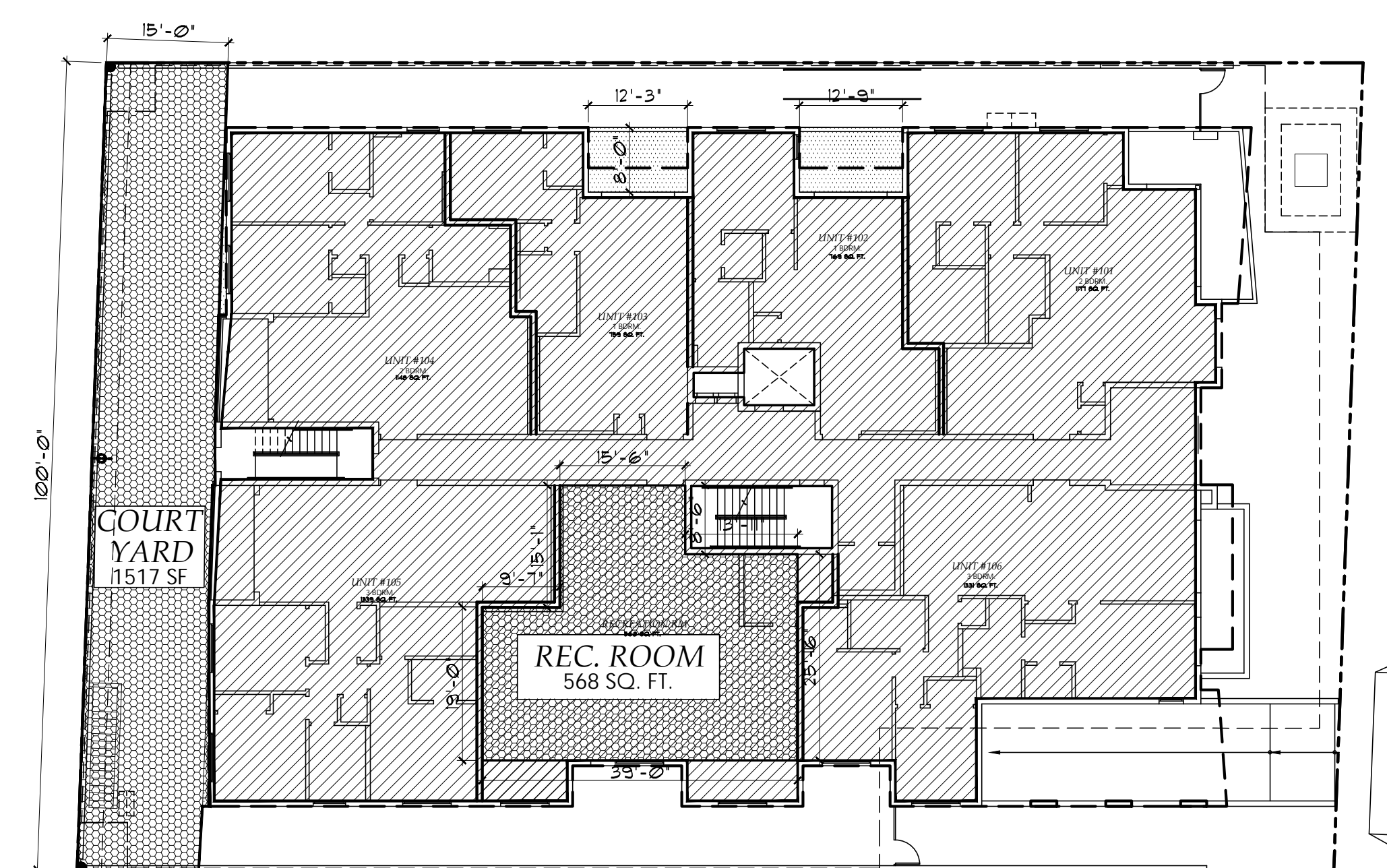
SHEET OF
A0.1



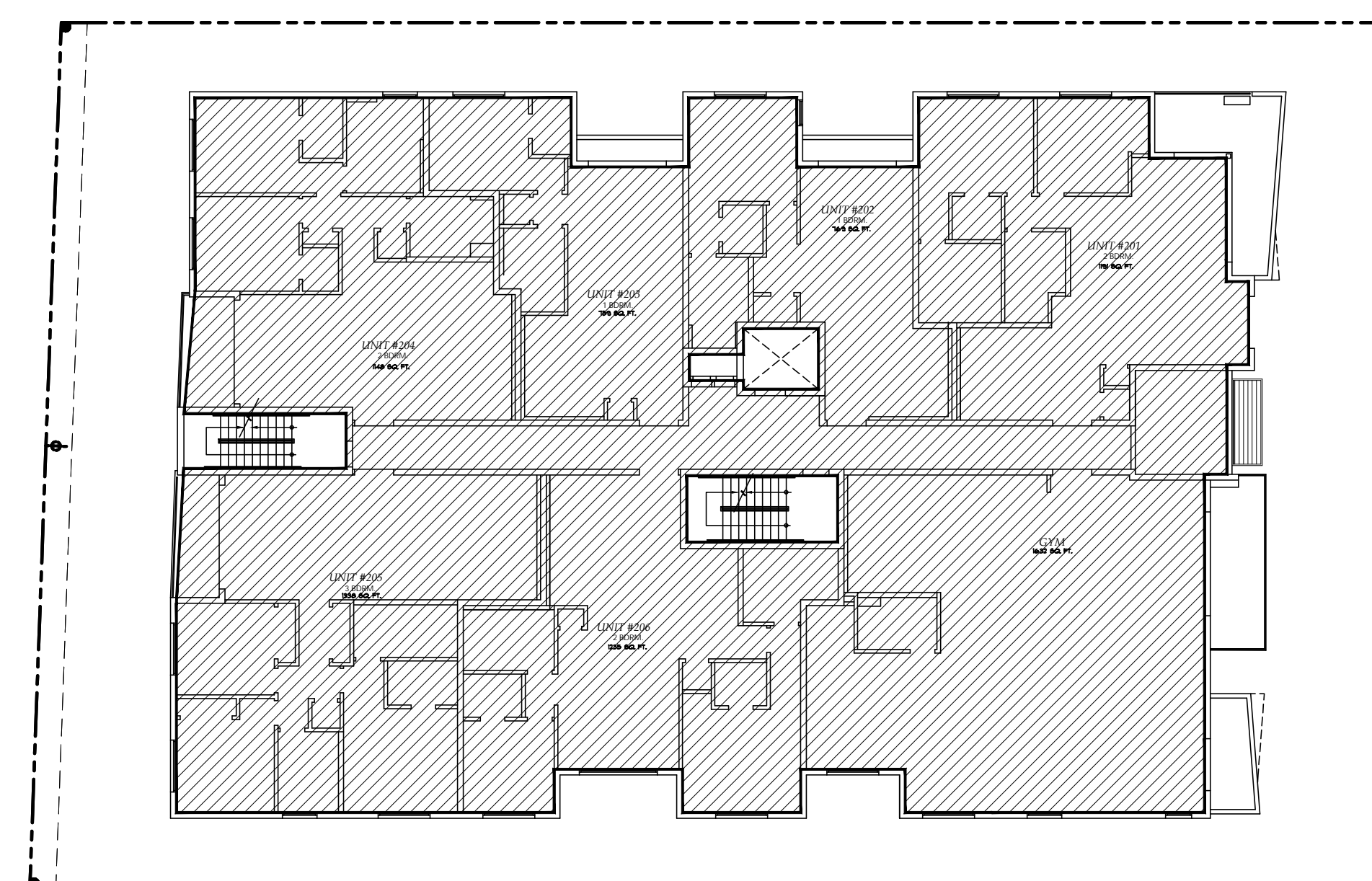
D 3RD FLOOR
SCALE: 1/16" = 1'-0"



A BASEMENT
SCALE: 1/16" = 1'-0"



B 1ST FLOOR
SCALE: 1/16" = 1'-0"



C 2ND FLOOR
SCALE: 1/16" = 1'-0"

FLOOR AREA CALCULATION PER ZONING CODE:

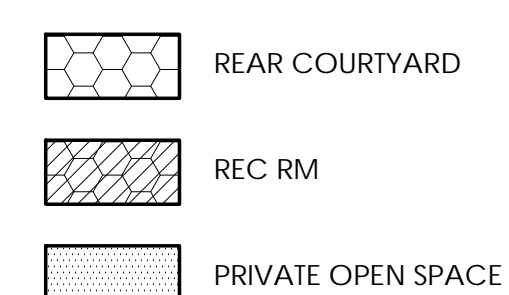
LEGEND/AREAS INCLUDED:



F.A.R. ALLOWED (3:1 FAR) : 11,277 X 3	= 33,831 SQ.FT.
F.A.R. PROPOSED : 28,852 / 11,277	= 2.56 FAR
BASEMENT	= 1,770 SQ.FT.
1ST FLOOR	= 8,887 SQ.FT.
2ND FLOOR	= 9,131 SQ.FT.
3RD FLOOR	= 9,130 SQ.FT.
TOTAL FLOOR AREA PROPOSED	= 28,918 SQ.FT.
BASEMENT PARKING	= 13,105 SQ.FT.

OPEN SPACE CALCULATION:

LEGEND:



OPEN SPACE REQUIRED:

(4) 1-BEDRM. UNITS X 100 SQ.FT.	400 SQ.FT.
(8) 2-BEDRM. UNITS X 125 SQ.FT.	1,000 SQ.FT.
(3) 3-BEDRM. UNITS X 175 SQ.FT.	525 SQ.FT.
TOTAL REQUIRED	2,275 SQ.FT.

OPEN SPACE PROVIDED:

PRIVATE OPEN SPACE: 2 UNITS X 100 SQ.FT.	200 SQ.FT.
REC ROOM @ GROUND FLOOR (25% OF REQUIRED)	568 SQ.FT.
GROUND FLOOR COURTYARD	1,517 SQ.FT.
TOTAL PROVIDED	2,285 SQ.FT.

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DATE	REVISIONS

CONSULTANT

SIGNATURE

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1770 SAWTELLE BOULEVARD ■ LOS ANGELES, CA 90025 ■ 310-478-6149

BUILDING AREA DIAGRAM
PROJECT TITLE
WELLESLEY APARTMENTS
A MULTI-RESIDENTIAL PROJECT
LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
JULY 28, 2022			2021-05

P:\Projects\2021-05_Wellesley_Apts\Drawings\A0.1a_BuildingAreaDiagram.dwg, 8/21/2022 10:51:11 AM, Saram, A010111, 13



SHEET
A0.2a

DATE
JULY 28, 2022
DRAWN
CHECKED
PROJECT
2021-05

SHEET TITLE
RENDERINGS
PROJECT TITLE
WELLESLEY APARTMENTS
A MULTI-RESIDENTIAL PROJECT
LOS ANGELES, CA 90025

PLUS ARCHITECTS
ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN
1770 SAWTELLE BOULEVARD ■ LOS ANGELES, CA 90025 ■ 310-478-6149

SIGNATURE

CONSULTANT

DATE	REVISIONS

DATE	ISSUED FOR

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SANTA MONICA BOULEVARD
N 2715° 07' E 386.12'

FD SSDM ON CL INTER
PER FB 126-145 PG 189

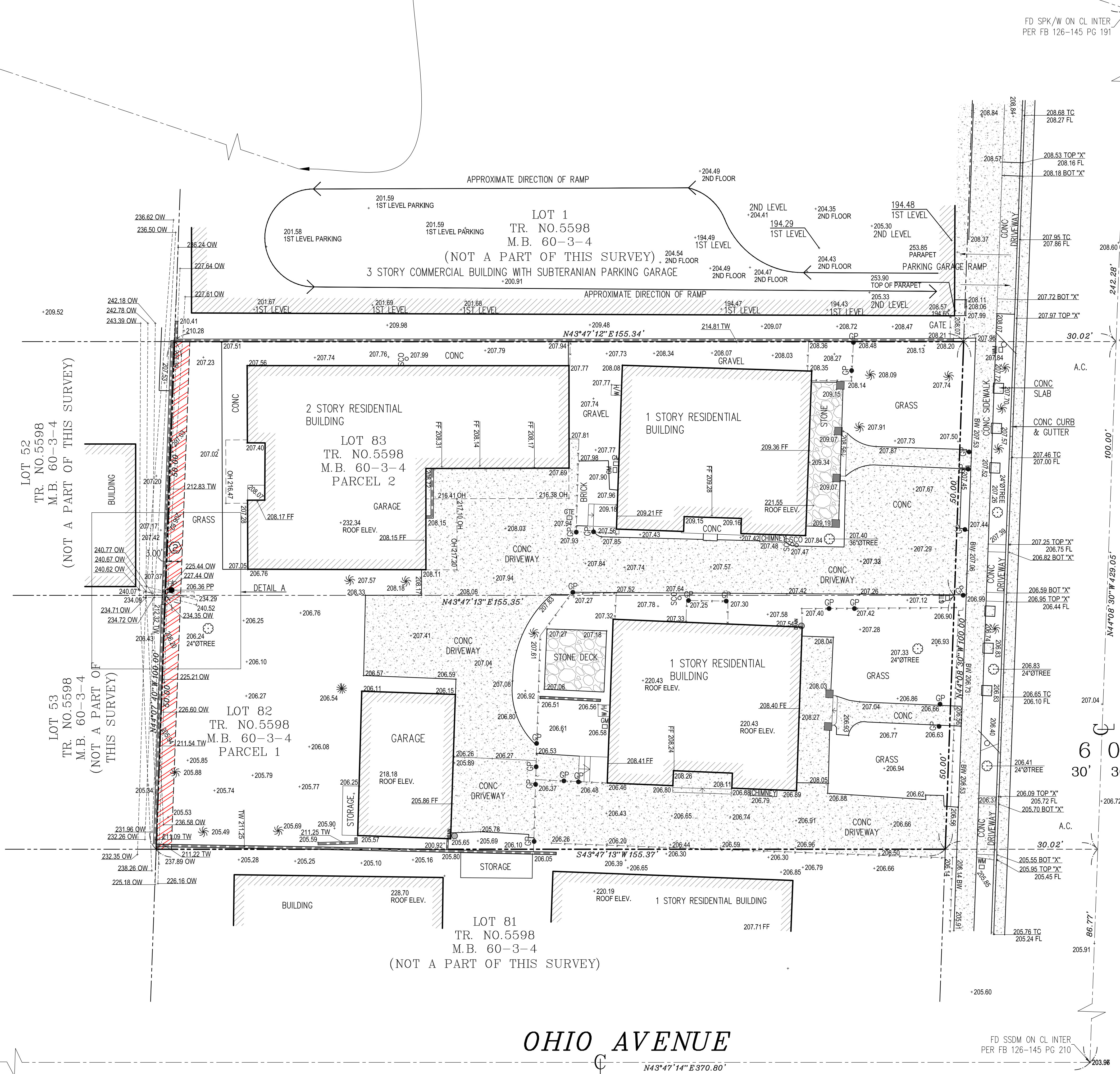
FD SPK/W ON CL INTER
PER FB 126-145 PG 191

OHIO AVENUE
S 44° 07' 38" E 551.42'

WELLESLEY AVENUE
N 47° 08' 30" W 428.05'

EST CL INTER BY FD TIES
PER FB 126-145 PG 208

FD SSDM ON CL INTER
PER FB 126-145 PG 210



LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT 83 OF TRACT NO. 5598, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 60, PAGES 3 AND 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4267-031-025

PARCEL 2:
LOT 83 OF TRACT NO. 5598, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 60, PAGES 3 AND 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4267-031-026

REFERENCE DOCUMENT:

PER PRELIMINARY TITLE REPORT FROM LAWYERS TITLE COMPANY
ORDER NO. 12107159
DATED AS OF: JULY 19, 2021

SCHEDULE B / EASEMENT(S):

- 2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THEREOF AS SET FORTH IN A DOCUMENT:
- PURPOSE: PUBLIC UTILITIES
- RECORDING NO: BOOK 1601, PAGE 190, OF OFFICIAL RECORDS
- AFFECTS: THE ROAD 3 FEET OF SAID LAND
- PLOTTED HEREON

BASIS OF BEARINGS:

THE BEARING NORTH 44° 07' 38" WEST, ON THE CENTERLINE OF WELLESLEY STREET AS SHOWN ON TRACT NO. 5598, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 60, PAGES 3-4, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

PARCEL 1-CONTAINING AN AREA OF 7,762.24 SQ. FT., OR 0.1782 ACRES, MORE OR LESS.
PARCEL 2-CONTAINING AN AREA OF 7,762.89 SQ. FT., OR 0.1782 ACRES, MORE OR LESS.
TOTAL-CONTAINING AN AREA OF 15,525.09 SQ. FT., OR 0.3564 ACRES, MORE OR LESS.

BENCHMARK:

BM ID: 14-0055 (NAVD 1988)
DESCRIPTION: WIRE SPIKE IN NORTH CURB SANTA MONICA BLVD; 2FT WEST OF SE CURB REGION EAST OF WELLESLEY AVENUE.
ELEV.: 212.451 FT.

SURVEYOR'S NOTE:

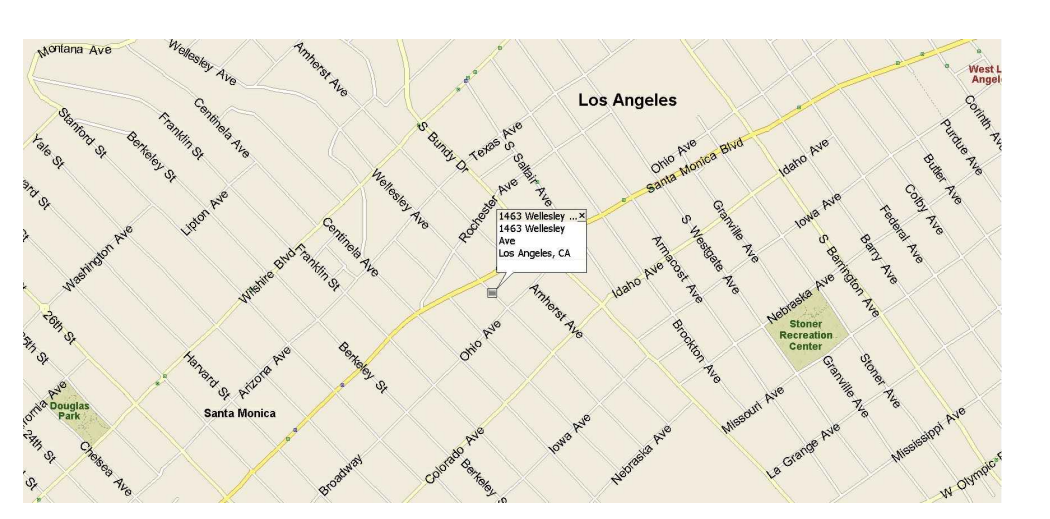
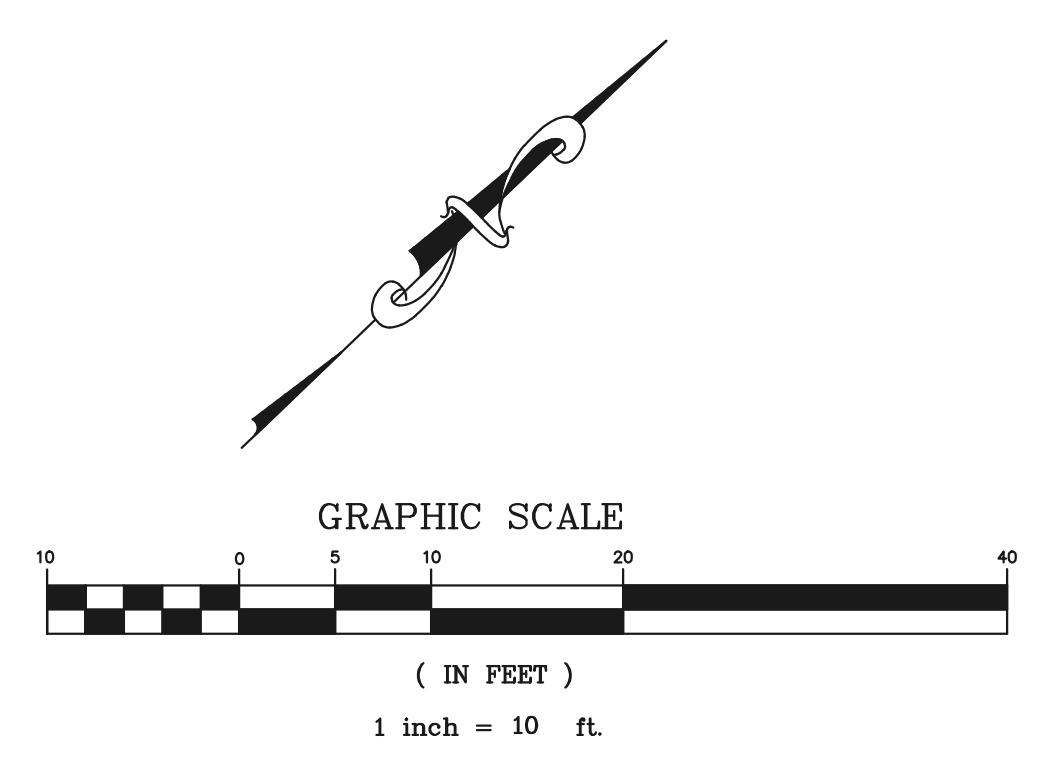
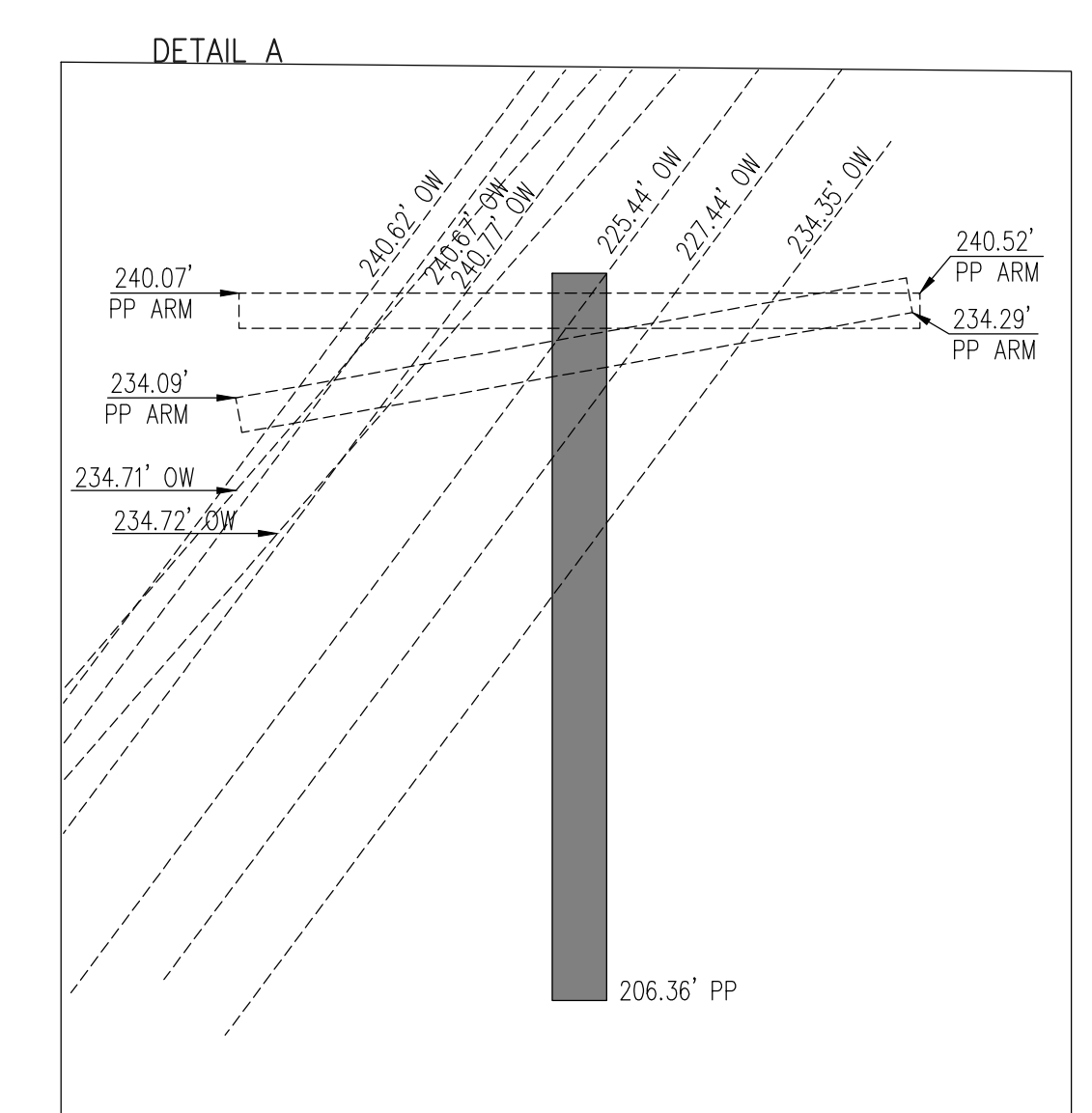
1. THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
2. SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.
3. RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.

LEGEND:

- | | | | |
|-------|----------------------------|--------|---------------------------------|
| APN | - ASSESSOR'S PARCEL NUMBER | P.C. | - PROPERTY CORNER |
| A.C. | - ASPHALT CONCRETE | PG | - PAGE |
| BM | - BENCHMARK | E.P.L. | - PROPERTY LINE |
| BW | - BACK OF WALK | PROD | - PRODUCED (PROLONGED) |
| C/L | - CENTERLINE | RCE | - REGISTERED CIVIL ENGINEER |
| CONC | - CONCRETE | SSDM | - STANDARD SURVEY DISC MONUMENT |
| EST | - ESTABLISH | SPK/W | - SPIKE & WASHER |
| FB | - FIELD BOOK | TC | - TOP OF CURB ELEV. |
| FF | - FOUND | TR | - TRACT MAP |
| FD | - FINISH FLOOR ELEV. | TW | - TOP OF WALL ELEV. |
| FL | - FLOWLINE ELEV. | | |
| INTER | - INTERSECTION | | |
| L&T | - LEAD & TACK | | |
| M.B. | - MAP BOOK | | |

SYMBOLS:

- | | | | |
|--|-----------------------|--|---------------|
| | AIR CONDITIONING UNIT | | PINE TREE |
| | COLUMN | | POWER POLE |
| | DRAIN | | SEWER MANHOLE |
| | GAS METER | | SIGN POST |
| | GATE PULL BOX | | TREE |
| | GATE POST | | WATER HEATER |
| | PALM TREE | | WATER METER |



NOT TO SCALE
M&G CIVIL ENGINEERING AND LAND SURVEYING

TITLE: TOPOGRAPHIC SURVEY		
1463 WELLESLEY AVENUE, LOS ANGELES, CA 90025		
CLIENT: Mr. David Zarnegin	JOB NO: 21-18224	DATE: 09/01/2021
SCALE: 1" = 10'	DESIGNED BY: F.G. / WG	REVISION (S):
DRAWN BY: MK	CHECKED BY: C.D.L.	SHEET 1 OF 1 SHEET

THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF PLUS ARCHITECTS IS STRICTLY PROHIBITED. PLUS ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN ANY REUSE OF THESE PLANS OR SPECIFICATIONS.

DATE	REVISIONS

DATE	ISSUED FOR

CONSULTANT
SIGNATURE

PLUS ARCHITECTS
ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN

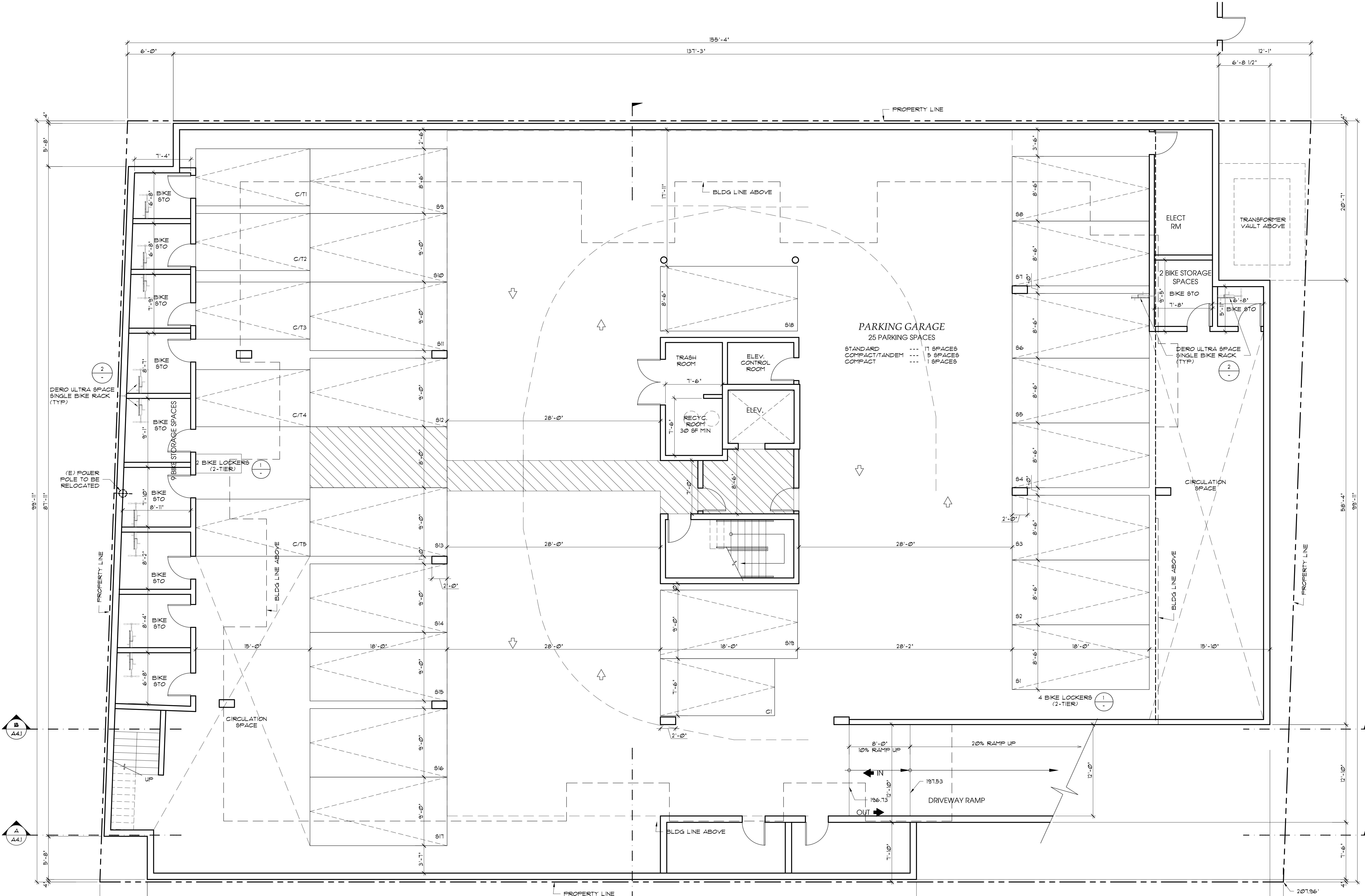
1770 SAWTELLE BOULEVARD ■ LOS ANGELES, CA 90025 ■ 310-478-6149

BASMENT FLOOR PLAN

WELLESLEY APARTMENTS
A MULTIFAMILY RESIDENTIAL PROJECT
LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
JULY 28, 2022			2021-05

SHEET	OF
A2.1	



Bike-Shell™ Model 301-ECO

Product: Bike-Shell™ Model 301-ECO
Capacity: 1 Heavy Bike

Features: Locking shell in manufacture of recycled Polypropylene reinforced plastic composite with a smooth "T" and "U" interior to shield wheels and lock. Locking shell is made of 300 mesh on roof and 300 mesh on wheels.

MADE WITH 100% RECYCLED CONTENT

NO ON SITE ASSEMBLY SHALL BE REQUIRED

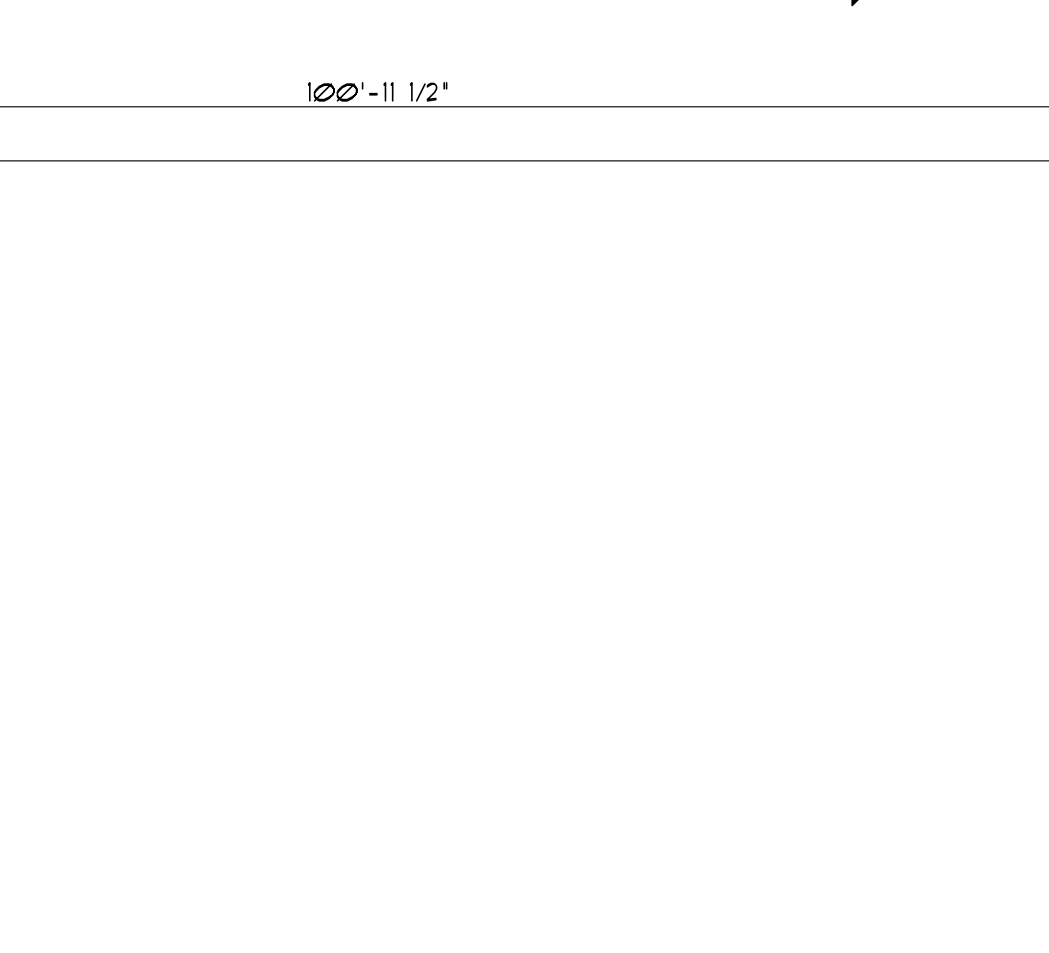
Assembly: Place shell on concrete floor. Insert front and rear wheels into the shell. Tighten the front and rear wheels. Insert the lock into the shell. Tighten the lock. The shell is now ready for use.

Hardware: 1 6000/1 3000

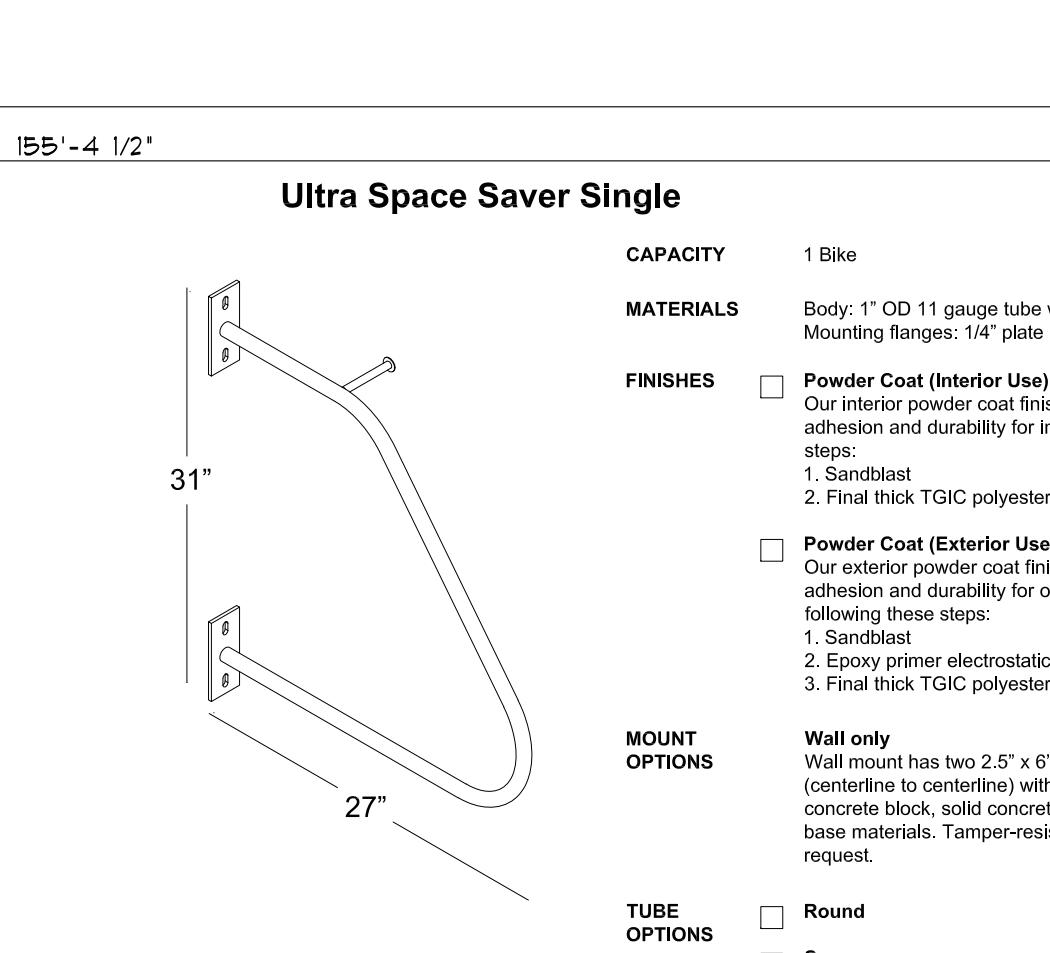
Locks: 2 Standard Lock Options (No charge)
When lock is in place, the lock will engage the door frame over the lock hole.

Colors: 2 Standard Color Options (No charge)
Tan, Reddish-brown

2-TIER BIKE LOCKER DETAIL



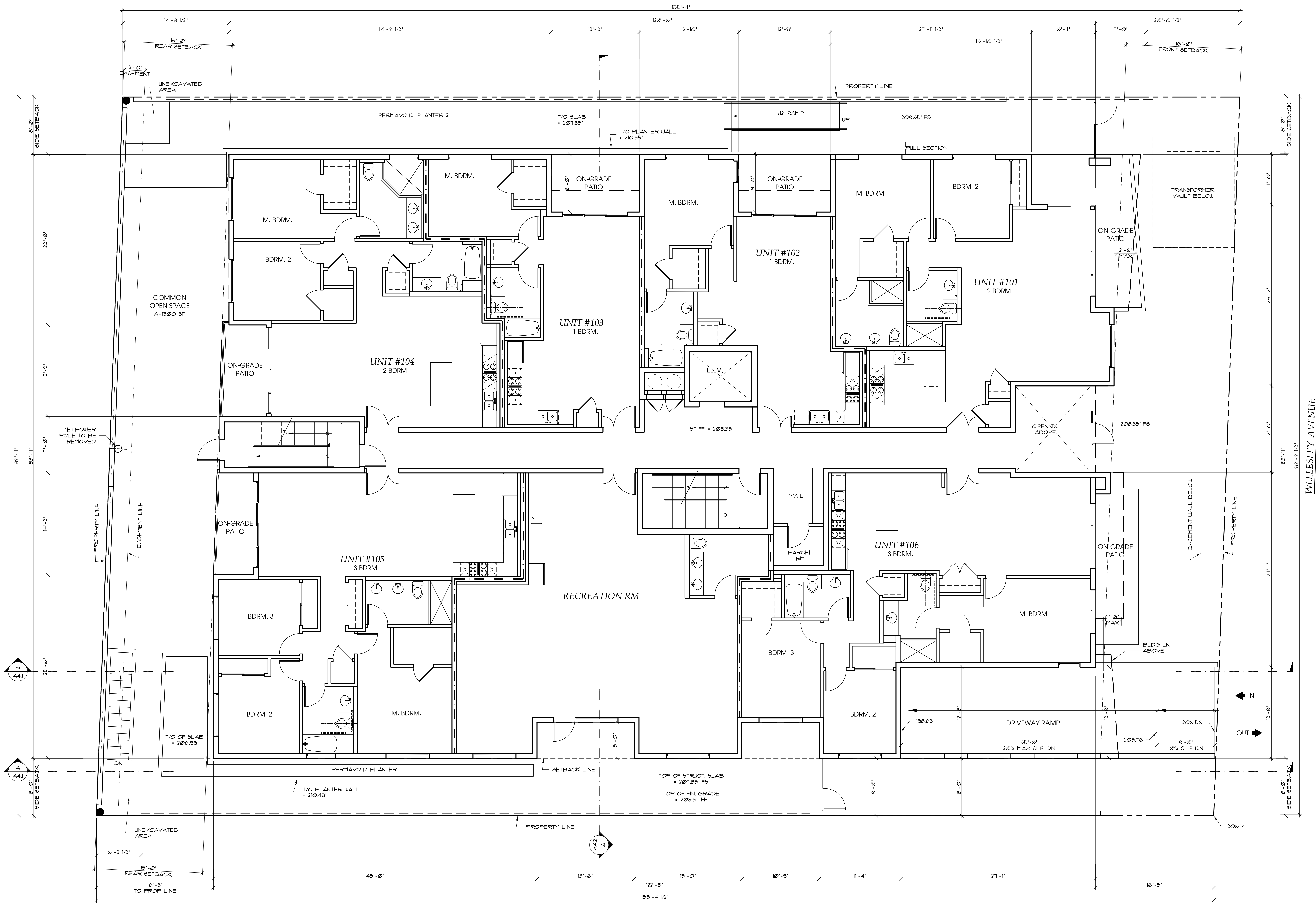
BIKE RACK DETAIL



A BASMENT FLOOR PLAN

SCALE: 3/16"=1'-0"

P:\Projects\2021-05_Wellesley_Apartments\2021-05_A2.1_Basement_Floor_Plan.dwg, 6/28/2022, 10:00:00 AM, 6/28/2022, 10:00:00 AM



DIMENSION & FINISH NOTES:
 1. ALL DIMENSIONS ARE FINISH TO FINISH UNO.

GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"

THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PLUS ARCHITECTS IS STRICTLY PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS FROM THE APPLICABLE AGENCIES AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO PLUS ARCHITECTS. PLUS ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF THE USER'S FAILURE TO OBTAIN NECESSARY PERMITS AND REGULATORY APPROVALS.

DATE	REVISIONS

CONSULTANT

SIGNATURE

PLUS ARCHITECTS
 ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN

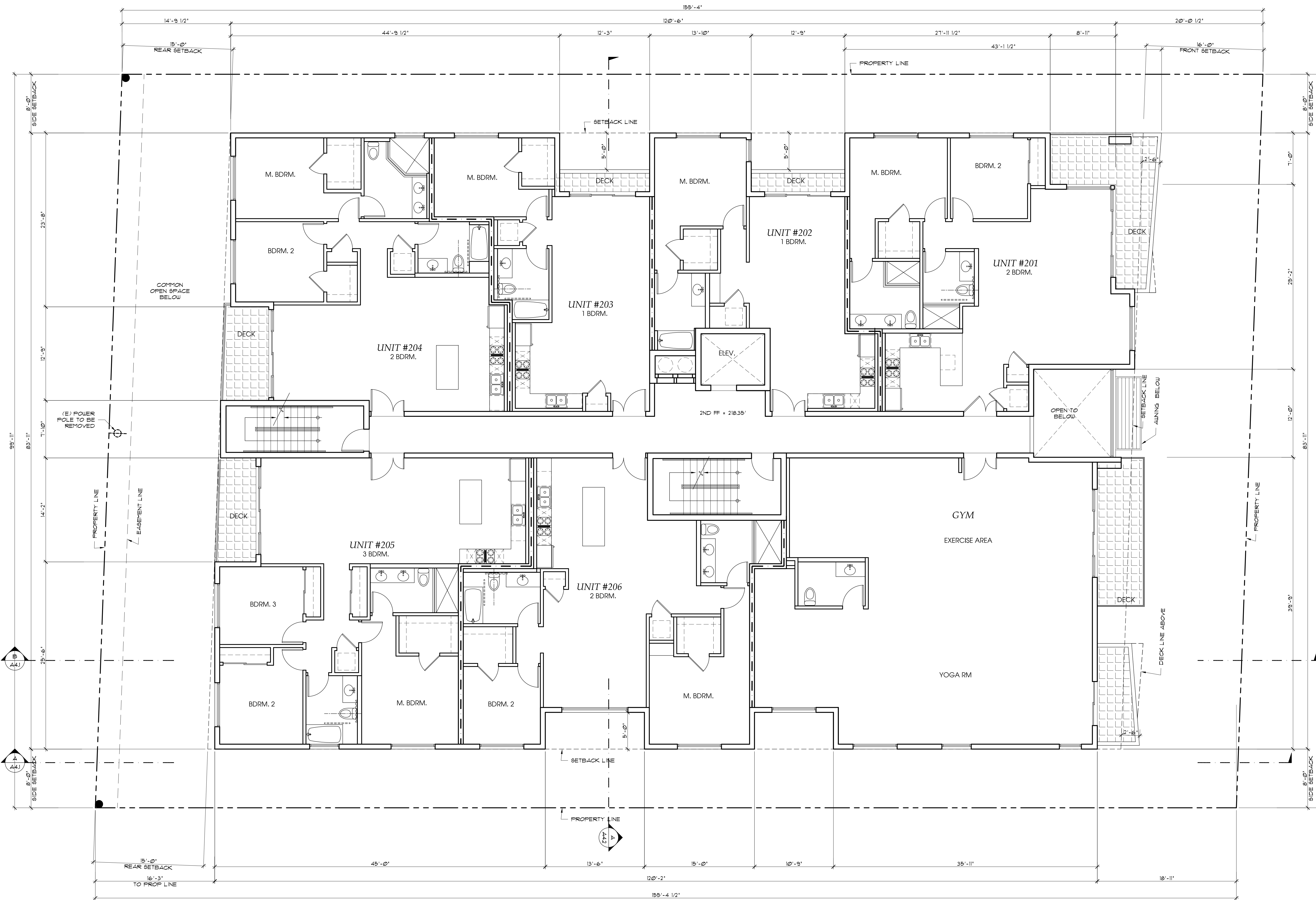
1770 SAWTELLE BOULEVARD ■ LOS ANGELES, CA 90025 ■ 310-478-6149

SHEET TITLE
 GROUND FLOOR PLAN

PROJECT TITLE
 WELLESLEY APARTMENTS
 A MULTI-RESIDENTIAL PROJECT
 LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
JULY 28, 2022			2021-05

SHEET **A2.2** **OF**



DIMENSION & FINISH NOTES:
 1. ALL DIMENSIONS ARE FINISH TO FINISH UNO.

2ND FLOOR PLAN
 SCALE: 3/16"=1'-0"

THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PLUS ARCHITECTS IS STRICTLY PROHIBITED. PLUS ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN ANY REUSE OF THESE PLANS OR SPECIFICATIONS.

DATE	REVISIONS

CONSULTANT

SIGNATURE

PLUS ARCHITECTS
 ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN

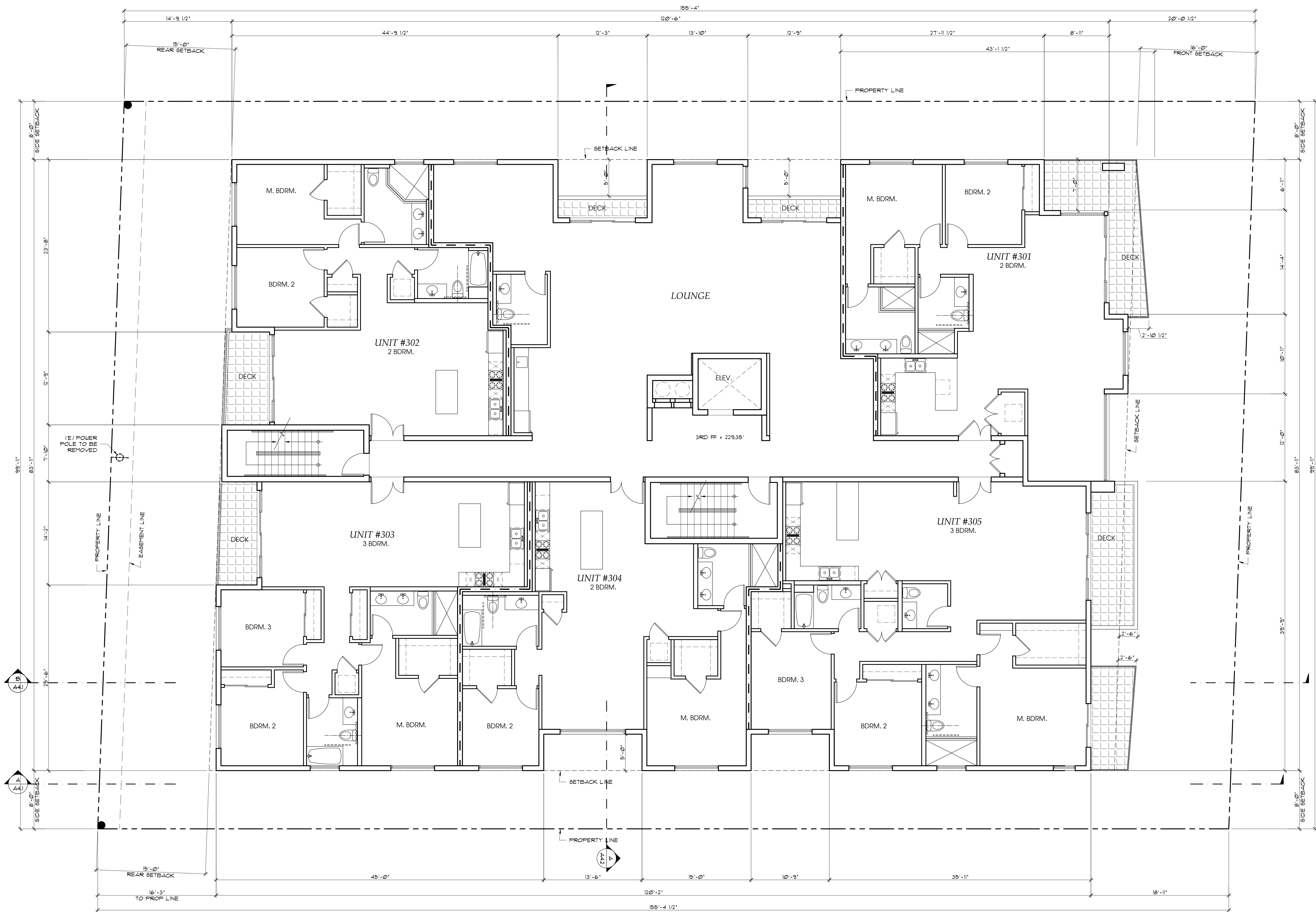
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SHEET TITLE
 SECOND FLOOR PLAN

PROJECT TITLE
 WELLESLEY APARTMENTS
 A MULTI-RESIDENTIAL PROJECT
 LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
JULY 28, 2022			2021-05

SHEET **OF**
A2.3



DIMENSION & FINISH NOTES:
 1. ALL DIMENSIONS ARE FINISH TO FINISH UNO.

3RD FLOOR PLAN
 SCALE: 3/16"=1'-0"

THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PLUS ARCHITECTS IS STRICTLY PROHIBITED. PLUS ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN ANY REUSE OF THESE PLANS OR SPECIFICATIONS.

DATE	REVISIONS

CONSULTANT

SIGNATURE

PLUS ARCHITECTS
 ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN

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SHEET TITLE
 THIRD FLOOR PLAN

PROJECT TITLE
 WELLESLEY APARTMENTS
 A MULTI-RESIDENTIAL PROJECT
 LOS ANGELES, CA 90025

DATE
 JULY 28, 2022

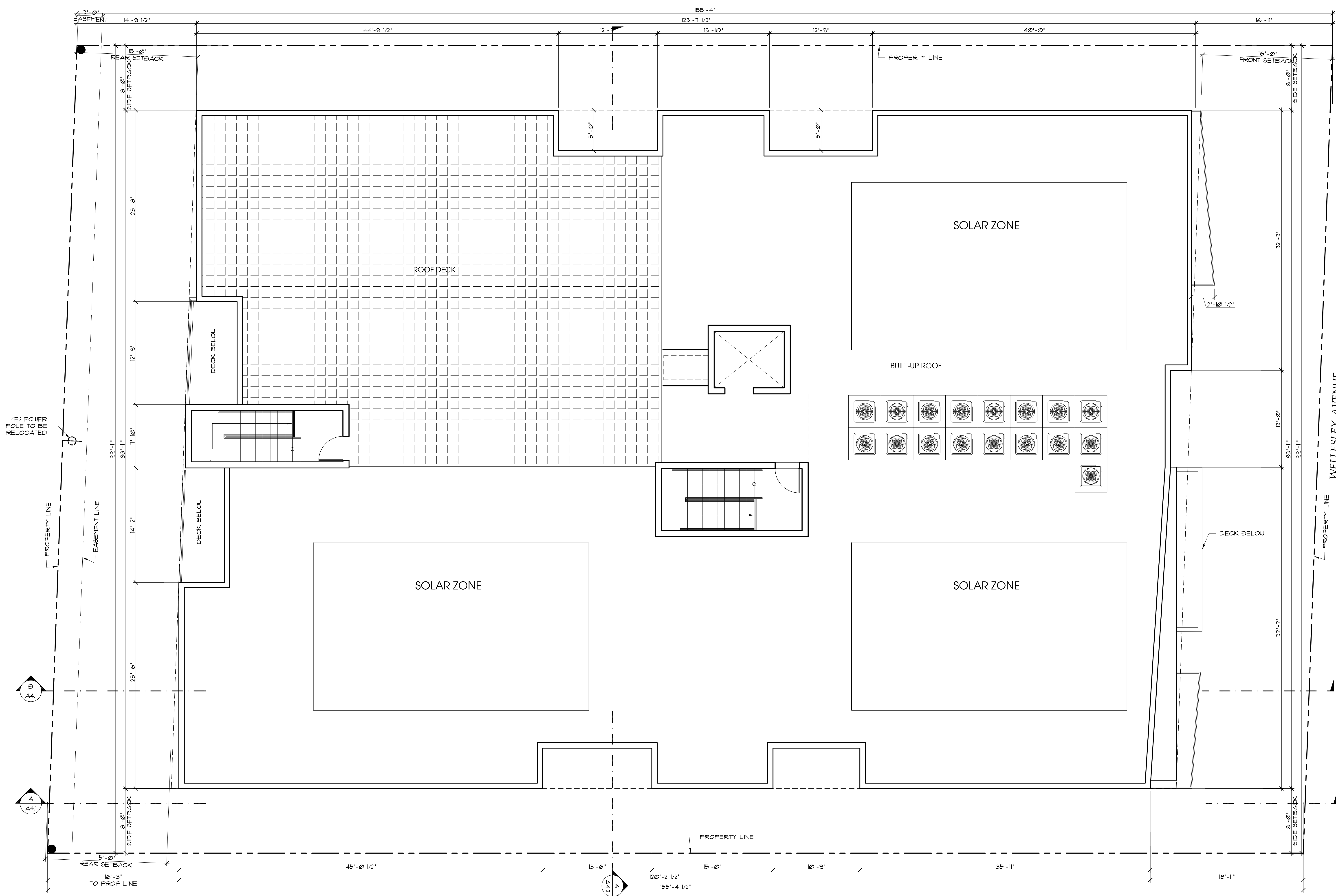
DRAWN

CHECKED

PROJECT
 2021-05

SHEET
 A2.4

OF



DIMENSION & FINISH NOTES:
 1. ALL DIMENSIONS ARE FINISH TO FINISH UNO.

A

ROOF PLAN
 SCALE: 3/16"=1'-0"



THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PLUS ARCHITECTS IS STRICTLY PROHIBITED. THE CLIENT AGREES TO HOLD PLUS ARCHITECTS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM ANY SUCH REUSE.

DATE	REVISIONS

DATE	ISSUED FOR

CONSULTANT

SIGNATURE

PLUS ARCHITECTS
 ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN

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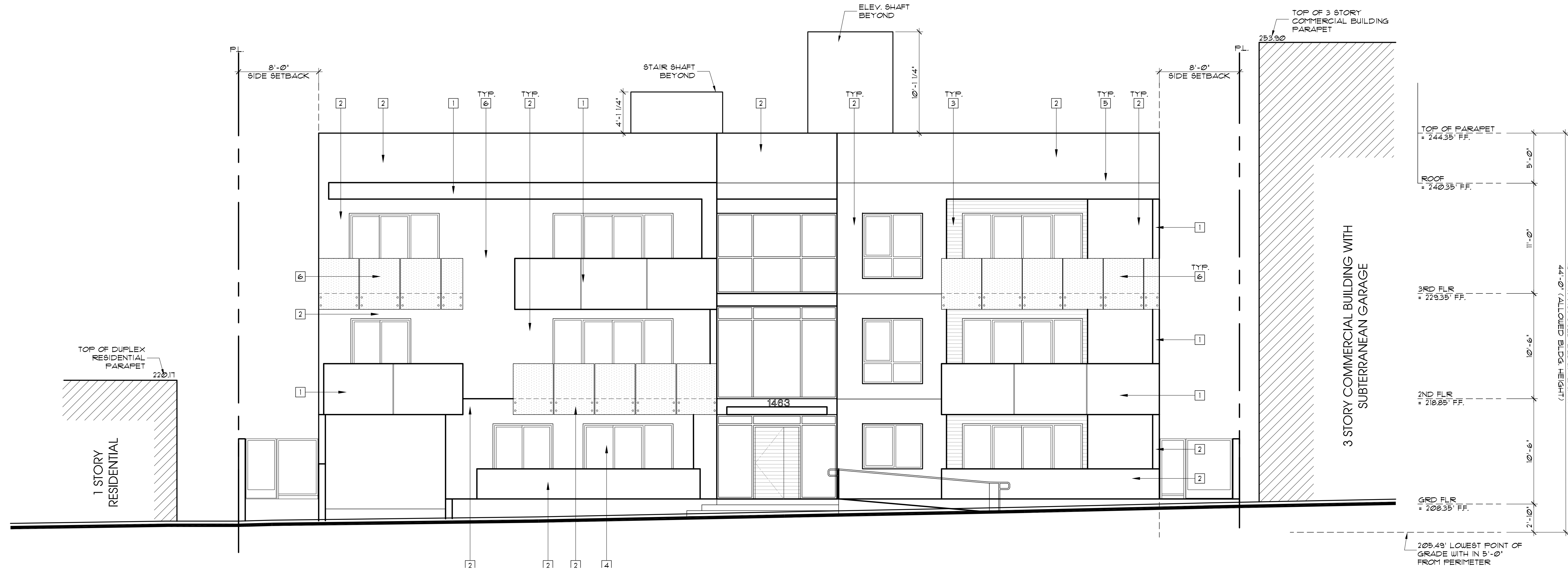
SHEET TITLE
ROOF PLAN

PROJECT TITLE
WELLESLEY APARTMENTS
 A MULTI-RESIDENTIAL PROJECT
 LOS ANGELES, CA 90025

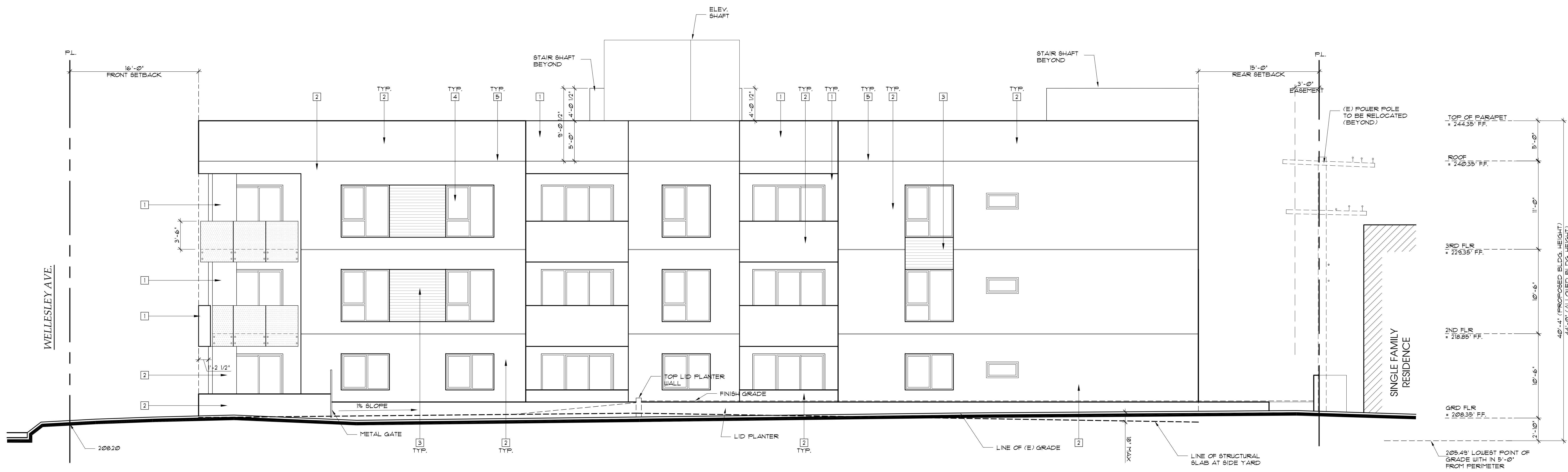
DATE	DRAWN	CHECKED
JULY 28, 2022		

PROJECT	2021-05

SHEET **A2.5** OF



A EAST ELEVATION
SCALE: 3/16" = 1'-0"



B NORTH ELEVATION
SCALE: 3/16" = 1'-0"

COLOR & FINISH MATERIALS:

EXTERIOR FINISHES
STUCCO
2-HR EXTERIOR WALL CONST. - STUCCO
X6 STUDS @ 16" OC W/ 2-LAYERS 5/8" TYPE 'X'
GYF. BD. @ INTERIOR FACE + 2 COATS OF 1/2"
CEMENT PLASTER O/ 5/8" TYPE 'X' GYP. BD. @
EXTERIOR FACE + R-19 INSULATION
CONTRACTOR TO PROVIDE FOUR FINISH/COLOR
SAMPLES ON SITE FOR ARCHITECT'S APPROVAL
PRIOR TO APPLICATION OF FINISH COAT.

- 1 SMOOTH FINISH STUCCO
COLOR: LEGENDARY GRAY DE 6369
BY: 'DUNN EDWARDS'
- 2 SMOOTH FINISH STUCCO
COLOR: VAPOR DE 6358
BY: 'DUNN EDWARDS'
- 3 WOOD COMPOSITE CLADDING
BY: TREX (TRANSCEND SERIES)
COLOR: 'TIKI TORCH'
ICC ESR-3168

- EXTERIOR DOORS & WINDOWS:**
- 4 ANODIZED ALUM. DOOR & WINDOW
BY: 'ARGADIA' OR APPROVED EQUAL
COLOR: 'BLACK'
- MISCELLANEOUS:**
- 5 CONTROL JOINT
3/4" REVEAL OR EQUAL COLOR
TO MATCH STUCCO COLOR
 - 6 GLASS RAILING SYSTEM
BY: FOR FURTHER SPECIFICATION

INTERIOR GYPSUM BOARD FINISHES & SPECS.
5/8" THK. TYPE 'X' GYPSUM BOARD; TAPE, MUD AND
SAND, SKIM COAT FINISH WITH SQUARE EDGE PROVIDE
GREEN BOARD AT ALL WET WALLS
EXTERIOR PAINT FIN.
TIMELESS EXTERIOR SATIN ACRYLIC PAINT 13-410X1
SERIES OR APPROVED EQUAL
APPLY PER MANUFACTURER INSTRUCTIONS

THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF PLUS ARCHITECTS IS PROHIBITED. PLUS ARCHITECTS ASSUMES NO LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

DATE	REVISIONS	DATE	ISSUED FOR

CONSULTANT

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PLUS ARCHITECTS
ARCHITECTURE ■ SPACE PLANNING ■ INTERIOR DESIGN
1770 SAWTELLE BOULEVARD ■ LOS ANGELES, CA 90025 ■ 310-478-6149

BUILDING ELEVATION
WELLESLEY APARTMENTS
A MULTIFAMILY RESIDENTIAL PROJECT
LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
JULY 28, 2022			2021-05



A EAST ELEVATION
SCALE: 3/16" = 1'-0"



B NORTH ELEVATION
SCALE: 3/16" = 1'-0"

COLOR & FINISH MATERIALS:

EXTERIOR FINISHES:

STUCCO:
2-HR EXTERIOR WALL CONST. - STUCCO
X6 STUDS @ 16" OC W/ 2 LAYERS 5/8" TYPE 'X'
GYF. BD. @ INTERIOR FACE + 2 COATS OF 1/2"
CEMENT PLASTER O/ 5/8" TYPE 'X' GYP. BD. @
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BY: 'DUNN EDWARDS'
- 2 SMOOTH FINISH STUCCO
COLOR: VAPOR DE 6358
BY: 'DUNN EDWARDS'
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BY: TREX (TRANSCEND SERIES)
COLOR: 'TIKI TORCH'
ICC ESR-3168

EXTERIOR DOORS & WINDOWS:

- 4 ANODIZED ALUM. DOOR & WINDOW
BY: 'ARGADIA' OR APPROVED EQUAL
COLOR: 'BLACK'

MISCELLANEOUS:

- 5 CONTROL JOINT
3/4" REVEAL OR EQUAL COLOR
TO MATCH STUCCO COLOR
- 6 GLASS RAILING SYSTEM
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SAND, SKIM COAT FINISH WITH SQUARE EDGE PROVIDE
GREEN BOARD AT ALL WET WALLS

EXTERIOR PAINT FIN.

TIMELESS EXTERIOR SATIN ACRYLIC PAINT 13-410X1
SERIES OR APPROVED EQUAL
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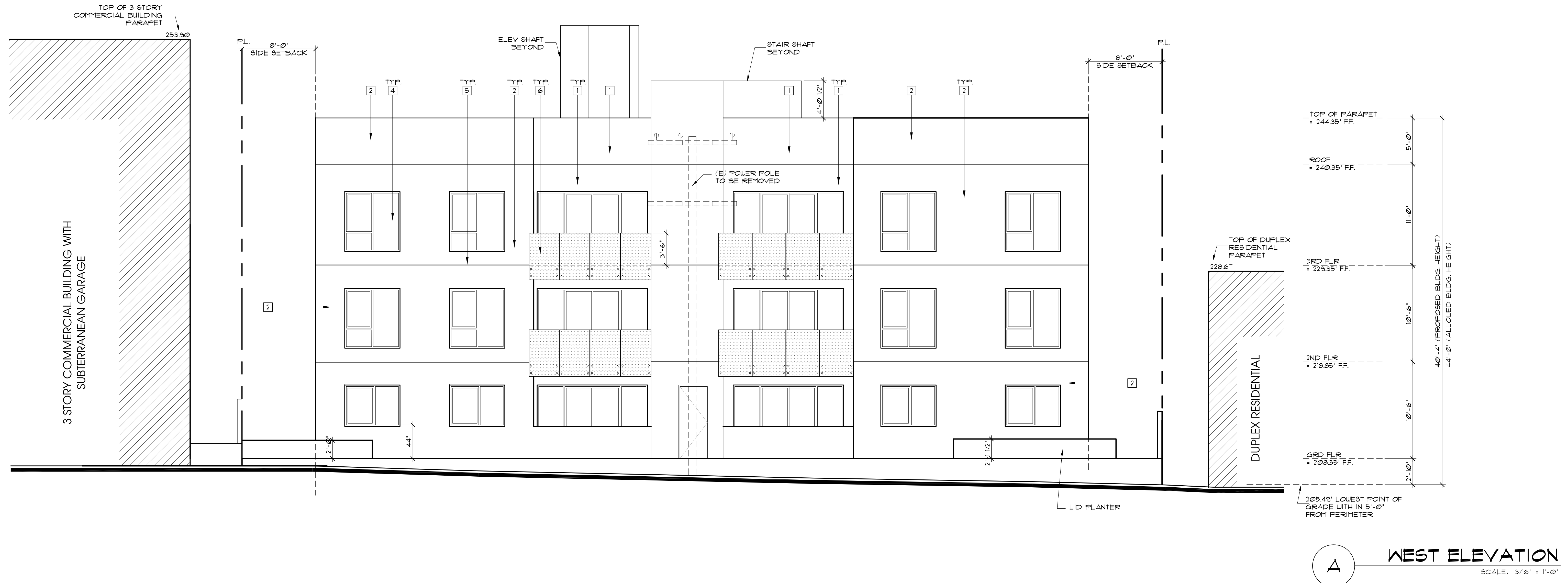
1770 SAWTELLE BOULEVARD ■ LOS ANGELES, CA 90025 ■ 310-478-6149

BUILDING ELEVATION

PROJECT TITLE
WELLESLEY APARTMENTS
A MULTI-RESIDENTIAL PROJECT
LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
JULY 28, 2022			2021-05

SHEET **A3.1a** **OF**



A WEST ELEVATION
SCALE: 3/16" = 1'-0"



B SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

COLOR & FINISH MATERIALS:

EXTERIOR FINISHES
STUCCO:
2-HR EXTERIOR WALL CONST. - STUCCO
X6 STUDS @ 16" O.C. W/ 2-LAYERS 5/8" TYPE 'X'
GYF. BD. @ INTERIOR FACE + 2 COATS OF 1/2"
CEMENT PLASTER O/ 5/8" TYPE 'X' GYP. BD. @
EXTERIOR FACE + R-19 INSULATION
CONTRACTOR TO PROVIDE FOUR FINISH/COLOR
SAMPLES ON SITE FOR ARCHITECT'S APPROVAL
PRIOR TO APPLICATION OF FINISH COAT.

- 1 SMOOTH FINISH STUCCO
COLOR: LEGENDARY GRAY DE 6369
BY: 'DUNN EDWARDS'
- 2 SMOOTH FINISH STUCCO
COLOR: VAPOR DE 6358
BY: 'DUNN EDWARDS'
- 3 WOOD COMPOSITE CLADDING
BY: TREX (TRANSCEND SERIES)
COLOR: 'TIKI TORCH'
ICC ESR-3168

- EXTERIOR DOORS & WINDOWS:**
- 4 ANODIZED ALUM. DOOR & WINDOW
BY 'ARCADIA' OR APPROVED EQUAL
COLOR: 'BLACK'
- MISCELLANEOUS:**
- 5 CONTROL JOINT
3/4" REVEAL OR EQUAL COLOR
TO MATCH STUCCO COLOR
 - 6 GLASS RAILING SYSTEM
BY: FOR FURTHER SPECIFICATION

INTERIOR GYPSUM BOARD FINISHES & SPECS.
5/8" THK. TYPE 'X' GYPSUM BOARD; TAPE, MUD AND
SAND, SKIM COAT FINISH WITH SQUARE EDGE PROVIDE
GREEN BOARD AT ALL WET WALLS
EXTERIOR PAINT FIN.
TIMELESS EXTERIOR SATIN ACRYLIC PAINT 73-410X1
SERIES OR APPROVED EQUAL.
APPLY PER MANUFACTURER INSTRUCTIONS

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SHEET TITLE	PROJECT TITLE
BUILDING ELEVATION	WELLESLEY APARTMENTS A MULTI-RESIDENTIAL PROJECT LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
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A WEST ELEVATION
SCALE: 3/16" = 1'-0"



B SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

COLOR & FINISH MATERIALS:

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STUCCO:
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X6 STUDS @ 16" OC W/ 2-LAYERS 5/8" TYPE 'X'
GYF. BD. @ INTERIOR FACE + 2 COATS OF 1/2"
CEMENT PLASTER O/ 5/8" TYPE 'X' GYP. BD. @
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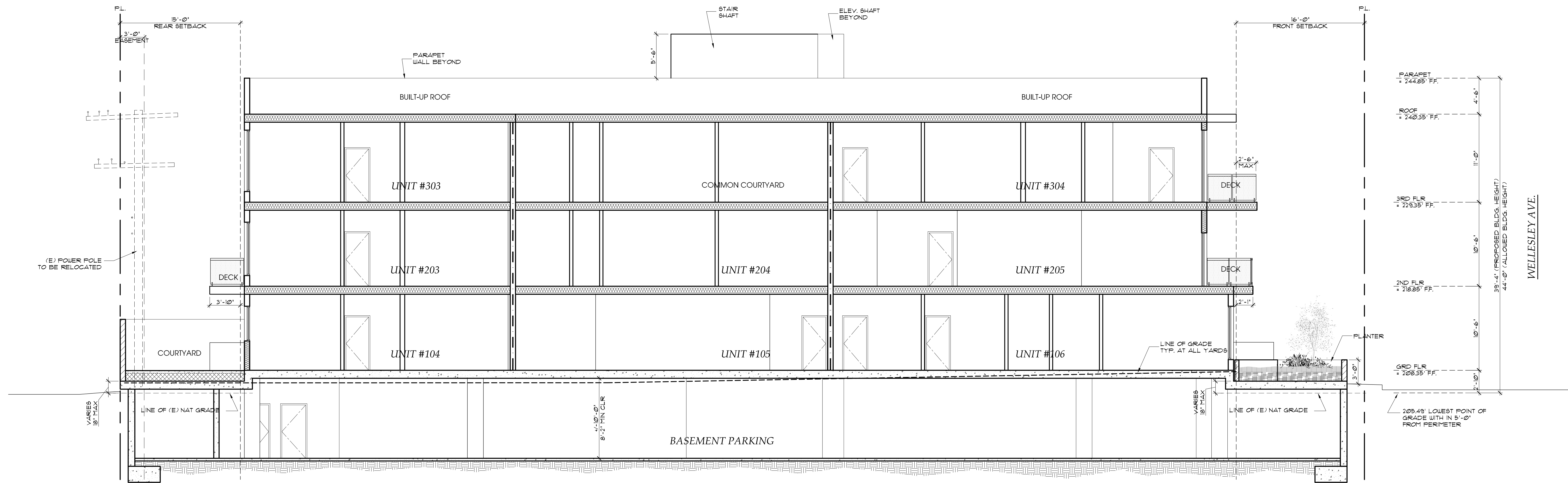
CONSULTANT

SIGNATURE

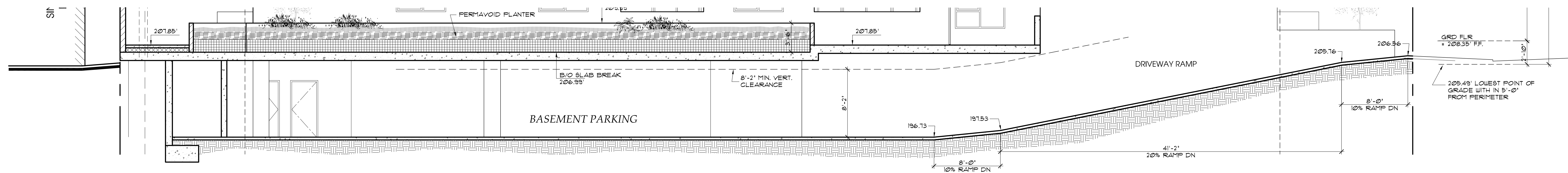
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SHEET TITLE	PROJECT TITLE
BUILDING ELEVATION	WELLESLEY APARTMENTS A MULTI-RESIDENTIAL PROJECT LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED	PROJECT
JULY 28, 2022			2021-05



B BLDG. SECTION
SCALE: 3/16" = 1'-0"



A BLDG. SECTION
SCALE: 3/16" = 1'-0"

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DATE	REVISIONS	DATE	ISSUED FOR

CONSULTANT

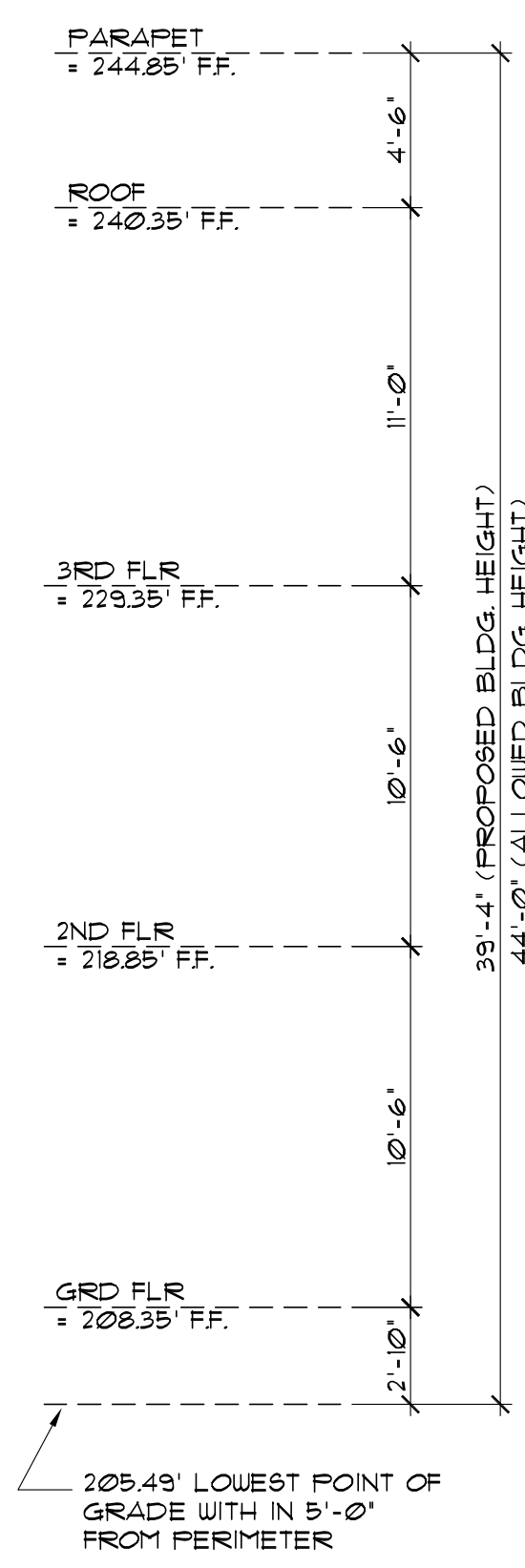
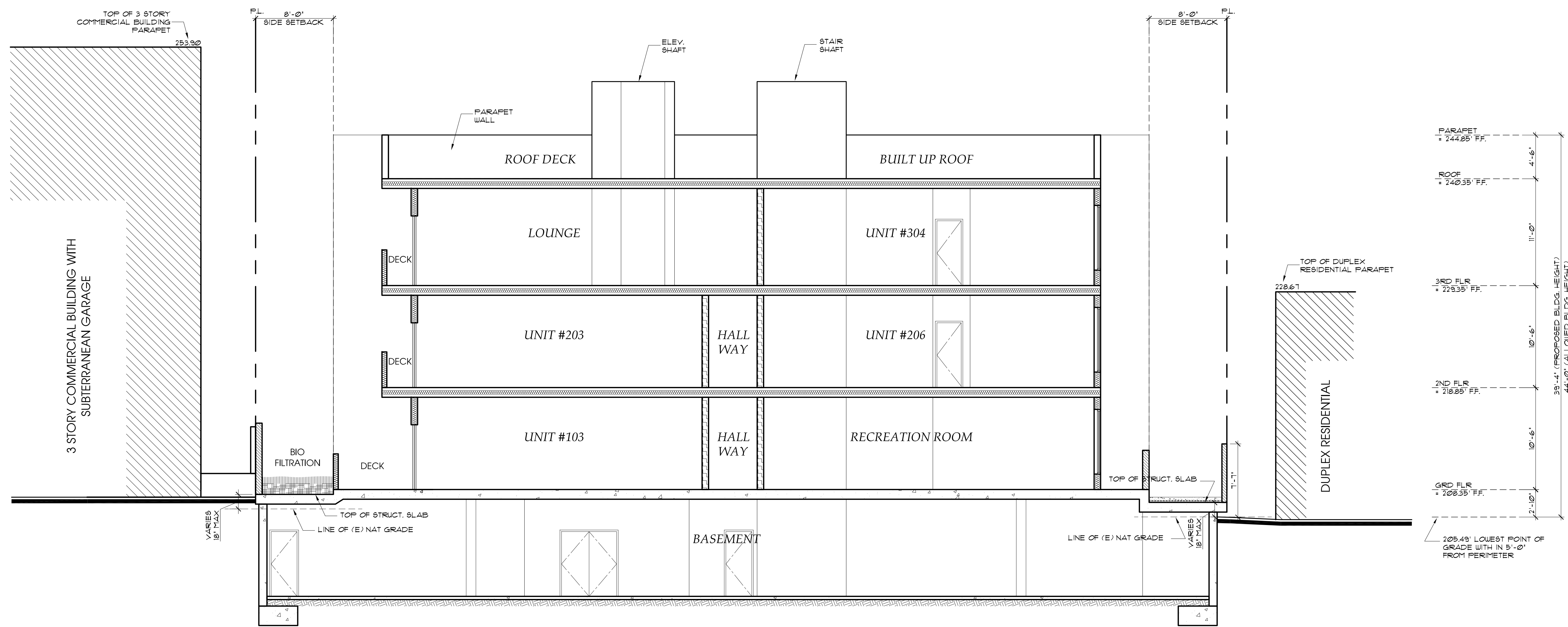
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BUILDING SECTIONS
PROJECT TITLE
WELLESLEY APARTMENTS
A MULTI-RESIDENTIAL PROJECT
LOS ANGELES, CA 90025

DATE: JULY 28, 2022
DRAWN: []
CHECKED: []
PROJECT: **2021-05**

SHEET **A4.1** OF []



A BLDG. SECTION
SCALE: 3/16" = 1'-0"

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CONSULTANT

SIGNATURE

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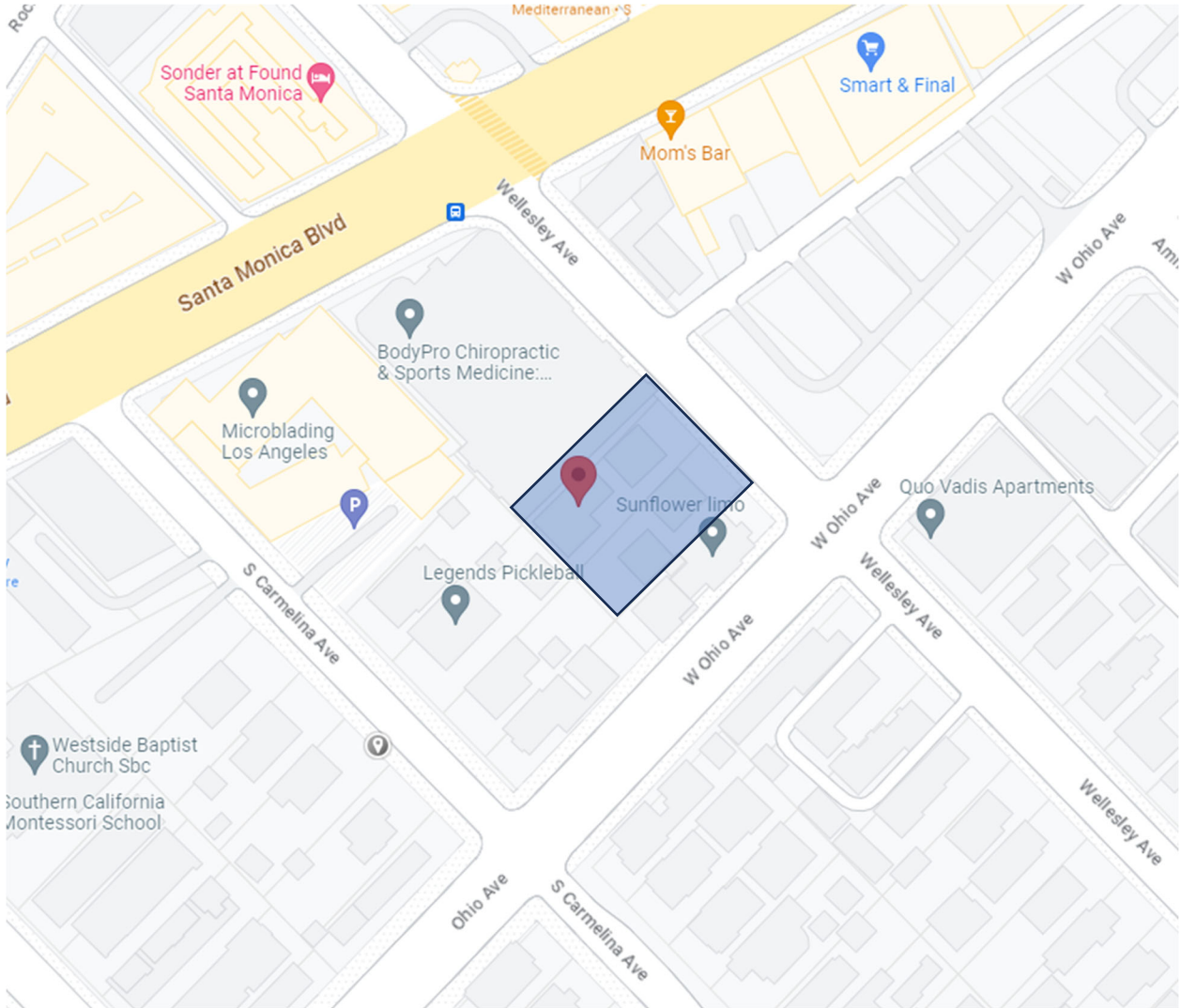
BUILDING SECTION

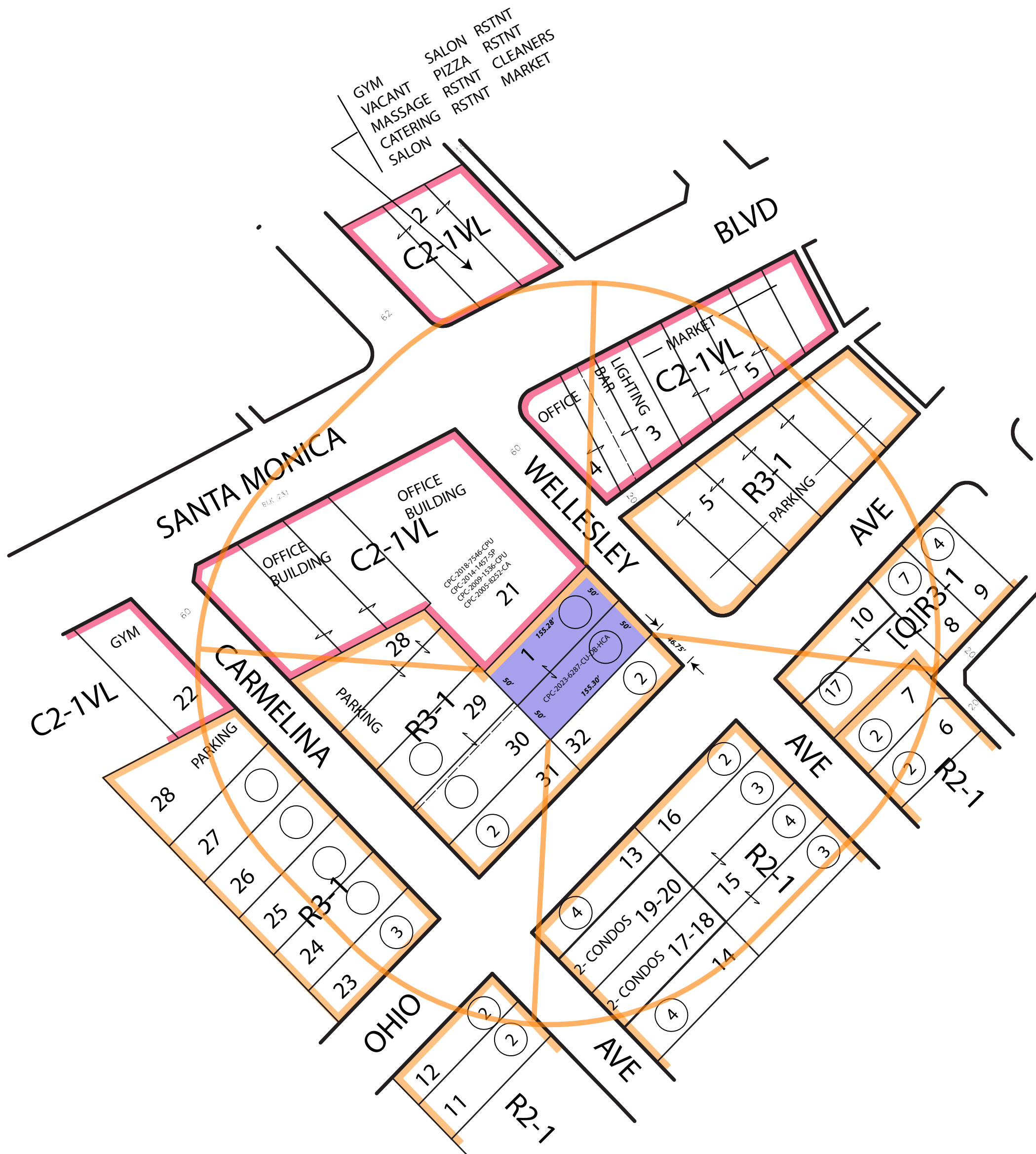
WELLESLEY APARTMENTS
A MULTI-RESIDENTIAL PROJECT
LOS ANGELES, CA 90025

DATE	DRAWN	CHECKED
JULY 28, 2022		

PROJECT	2021-05
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VICINITY MAP





CONDITIONAL USE DENSITY BONUS OFF-MENU



Quality Mapping Service

14549 Archwood St. Suite 301
 Van Nuys, California 91405
 Phone (818) 997-7949 - Fax (818) 997-0351
 qmapping@qesqms.com

THOMAS BROTHERS
 Page: 631 Grid: H-6

LEGAL

LOT: 82-83
TRACT: 5598
 M.B. 60-3/4

CONTACT: QES INC.

ASSESSOR PARCEL NUMBER: 4267-031-(025-026)

SITE ADDRESS: 1463-1467 WELLESLEY AVE

CD: 11
CT: 2675.02
PA: WEST LOS ANGELES
USES: FIELD/RECORD

CASE NO:
SCALE: 1" = 100'
D.M.: 126B145

PHONE: 818-997-8033



DATE: 04-17-2024
 Update: _____

NET AC: 0.356 +/-
QMS: 24-097



City of Los Angeles Department of City Planning

3/29/2022 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

1463 S WELLESLEY AVE

ZIP CODES

90025

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2018-7546-CPU

CPC-2014-1457-SP

CPC-2009-1536-CPU

CPC-2005-8252-CA

ORD-186108

ORD-171492

ORD-171227

ORD-163205

ENV-2014-1458-EIR-SE-CE

ENV-2009-1537-EIR

ENV-2005-8253-ND

Address/Legal Information

PIN Number	126B145 908
Lot/Parcel Area (Calculated)	7,761.8 (sq ft)
Thomas Brothers Grid	PAGE 631 - GRID H6
Assessor Parcel No. (APN)	4267031026
Tract	TR 5598
Map Reference	M B 60-3/4
Block	None
Lot	83
Arb (Lot Cut Reference)	None
Map Sheet	126B145

Jurisdictional Information

Community Plan Area	West Los Angeles
Area Planning Commission	West Los Angeles
Neighborhood Council	West Los Angeles Sawtelle
Council District	CD 11 - Mike Bonin
Census Tract #	2675.02
LADBS District Office	West Los Angeles

Permitting and Zoning Compliance Information

Administrative Review	None
-----------------------	------

Planning and Zoning Information

Special Notes	None
Zoning	R2-1
Zoning Information (ZI)	ZI-2498 Local Emergency Temporary Regulations - Time Limits and Parking Relief - LAMC 16.02.1 ZI-2442 Preliminary Fault Rupture Study Area ZI-2452 Transit Priority Area in the City of Los Angeles ZI-2192 Specific Plan: West Los Angeles Transportation Improvement and Mitigation ZI-2441 Alquist-Priolo Earthquake Fault Zone
General Plan Land Use	Low Medium I Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	WEST LOS ANGELES TRANSPORTATION IMPROVEMENT AND MITIGATION
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

POD: Pedestrian Oriented Districts	None
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Not Eligible
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	4267031026
APN Area (Co. Public Works)*	0.178 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$67,005
Assessed Improvement Val.	\$345,873
Last Owner Change	10/08/2015
Last Sale Amount	\$9
Tax Rate Area	67
Deed Ref No. (City Clerk)	947813
	885065
	883840
	7-576
	2849201
	2849200
	212475
	1621207
	1536945
	1536944
	1248826
	1248825
	100171
	1-180
	0027505
Building 1	
Year Built	1923
Building Class	D6B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	1
Building Square Footage	1,299.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 4267031026]

Additional Information

Airport Hazard	None
Coastal Zone	None

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	0.18636996
Nearest Fault (Name)	Santa Monica Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	13.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	-75.00000000
Maximum Magnitude	6.60000000
Alquist-Priolo Fault Zone	Yes
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 4267031026]
Ellis Act Property	No
AB 1482: Tenant Protection Act	See Notes
Assessor Parcel No. (APN)	4267031026
Address	1463 WELLESLEY AVE
Year Built	1923
Use Code	0100 - Residential - Single Family Residence
Notes	The property is subject to AB 1482 only if the owner is a corporation, limited liability company, or a real estate investment trust.

Public Safety

Police Information	
Bureau	West
Division / Station	West Los Angeles
Reporting District	851

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Fire Information

Bureau	West
Batallion	9
District / Fire Station	59
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2018-7546-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	ADOPT COMMUNITY PLAN POLICY DOCUMENT, GENERAL PLAN AMENDMENTS, AND ZONE CHANGES TO APPLY RE-CODE LA ZONING.
Case Number:	CPC-2014-1457-SP
Required Action(s):	SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	SPECIFIC PLAN AMENDMENT
Case Number:	CPC-2009-1536-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	<p>THE COMMUNITY PLAN WILL IMPLEMENT CHANGES TO ZONING, AMENDMENTS TO LAND USE PLAN DESIGNATIONS AND ESTABLISH OVERLAY ZONES, AS APPROPRIATE. PLAN AMENDMENTS WILL POTENTIALLY CHANGE OR REFINE PLAN DESIGNATIONS, FOOTNOTES OR STREET DESIGNATIONS AND MAKE CHANGES TO OTHER CITYWIDE ELEMENTS, AS NECESSARY. IN CONCERT WITH THE PROPOSED PLAN AMENDMENTS, NEW ZONES MAY BE NECESSARY TO MAINTAIN PLAN CONSISTENCY TO REGULATE DEVELOPMENT STANDARDS SUCH AS: HEIGHTS OF STRUCTURES, SETBACKS, LOT COVERAGE, DENSITY AND INTENSITY, OPEN SPACE, USE OF LAND, PARKING AND DESIGN. OVERLAY ZONES, DISTRICTS AND OTHER PLANS WOULD ADDITIONALLY BE ESTABLISHED TO REGULATE DEVELOPMENT THAT IS CONSISTENT WITH THE GENERAL PLAN, ENHANCE THE UNIQUE CHARACTER OF NEIGHBORHOODS AND ACCOMMODATE GROWTH. AREAS OF FOCUSED STUDY WILL INCLUDE, BUT NOT BE LIMITED TO, PROTECTING ESTABLISHED SINGLE FAMILY NEIGHBORHOODS, PEDESTRIAN AND DESIGN IMPROVEMENTS TO COMMERCIAL CORRIDORS SUCH AS PICO BOULEVARD, WESTWOOD BOULEVARD, SAWTELLE BOULEVARD, SANTA MONICA BOULEVARD, AND WILSHIRE BOULEVARD, ENHANCEMENT OF THE WEST LOS ANGELES CIVIC CENTER, MIXED-USE NODES ALONG MAJOR TRANSPORTATION AND TRANSIT ROUTES, APPROPRIATE LAND USE AND STREETScape IMPROVEMENTS SURROUNDING FUTURE LIGHT-RAIL (EXPO LINE) TRANSIT STOPS, DESIGN AND USE PLANS FOR INDUSTRIAL DISTRICTS, AND DESIGN STANDARDS FOR MULTIFAMILY RESIDENTIAL AREAS.</p> <p>WITHIN THE PALMS STUDY AREA, THE CITY INTENDS TO EXTEND THE LIVABLE BOULEVARDS STUDY BEYOND THE WEST LOS ANGELES CPA TO CREATE VIABLE COMMERCIAL CENTERS AND RESIDENTIAL NEIGHBORHOODS IN THE PALMS COMMUNITY AND IMPLEMENT GOALS AND POLICIES IN THE PALMS-MAR VISTA-DEL REY COMMUNITY PLAN AND FRAMEWORK ELEMENT. WITHIN THE PALMS AREA, IMPROVEMENTS TO THE LOCAL TRANSPORTATION NETWORK FOR PEDESTRIAN, BICYCLES, AND AUTOS WILL BE RECOMMENDED. ZONING TOOLS SUCH AS OVERLAY DISTRICTS MAY BE USED IN SELECTED AREAS TO COMPLEMENT STREET ENHANCEMENTS BY IMPROVING BUILDING DESIGN AND WALKABILITY, RESULTING IN ZONE CHANGES.</p>
Case Number:	CPC-2005-8252-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.
Case Number:	ENV-2014-1458-EIR-SE-CE
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT SE-STATUTORY EXEMPTIONS CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	ENVIRONMENTAL IMPACT REPORT
Case Number:	ENV-2009-1537-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	<p>THE COMMUNITY PLAN WILL IMPLEMENT CHANGES TO ZONING, AMENDMENTS TO LAND USE PLAN DESIGNATIONS AND ESTABLISH OVERLAY ZONES, AS APPROPRIATE. PLAN AMENDMENTS WILL POTENTIALLY CHANGE OR REFINE PLAN DESIGNATIONS, FOOTNOTES OR STREET DESIGNATIONS AND MAKE CHANGES TO OTHER CITYWIDE ELEMENTS, AS NECESSARY. IN CONCERT WITH THE PROPOSED PLAN AMENDMENTS, NEW ZONES MAY BE NECESSARY TO MAINTAIN PLAN CONSISTENCY TO REGULATE DEVELOPMENT STANDARDS SUCH AS: HEIGHTS OF STRUCTURES, SETBACKS, LOT COVERAGE, DENSITY AND INTENSITY, OPEN SPACE, USE OF LAND, PARKING AND DESIGN. OVERLAY ZONES, DISTRICTS AND OTHER PLANS WOULD ADDITIONALLY BE ESTABLISHED TO REGULATE DEVELOPMENT THAT IS CONSISTENT WITH THE GENERAL PLAN, ENHANCE THE UNIQUE CHARACTER OF NEIGHBORHOODS AND ACCOMMODATE GROWTH. AREAS OF FOCUSED STUDY WILL INCLUDE, BUT NOT BE LIMITED TO, PROTECTING ESTABLISHED SINGLE FAMILY NEIGHBORHOODS, PEDESTRIAN AND DESIGN IMPROVEMENTS TO COMMERCIAL CORRIDORS SUCH AS PICO BOULEVARD, WESTWOOD BOULEVARD, SAWTELLE BOULEVARD, SANTA MONICA BOULEVARD, AND WILSHIRE BOULEVARD, ENHANCEMENT OF THE WEST LOS ANGELES CIVIC CENTER, MIXED-USE NODES ALONG MAJOR TRANSPORTATION AND TRANSIT ROUTES, APPROPRIATE LAND USE AND STREETScape IMPROVEMENTS SURROUNDING FUTURE LIGHT-RAIL (EXPO LINE) TRANSIT STOPS, DESIGN AND USE PLANS FOR INDUSTRIAL DISTRICTS, AND DESIGN STANDARDS FOR MULTIFAMILY RESIDENTIAL AREAS.</p> <p>WITHIN THE PALMS STUDY AREA, THE CITY INTENDS TO EXTEND THE LIVABLE BOULEVARDS STUDY BEYOND THE WEST LOS ANGELES CPA TO CREATE VIABLE COMMERCIAL CENTERS AND RESIDENTIAL NEIGHBORHOODS IN THE PALMS COMMUNITY AND IMPLEMENT GOALS AND POLICIES IN THE PALMS-MAR VISTA-DEL REY COMMUNITY PLAN AND FRAMEWORK ELEMENT. WITHIN THE PALMS AREA, IMPROVEMENTS TO THE LOCAL TRANSPORTATION NETWORK FOR PEDESTRIAN, BICYCLES, AND AUTOS WILL BE RECOMMENDED. ZONING TOOLS SUCH AS OVERLAY DISTRICTS MAY BE USED IN SELECTED AREAS TO COMPLEMENT STREET ENHANCEMENTS BY IMPROVING BUILDING DESIGN AND WALKABILITY, RESULTING IN ZONE CHANGES.</p>
Case Number:	ENV-2005-8253-ND

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Required Action(s): ND-NEGATIVE DECLARATION

Project Descriptions(s): AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.

DATA NOT AVAILABLE

ORD-186108

ORD-171492

ORD-171227

ORD-163205



Address: 1463 S WELLESLEY AVE

APN: 4267031026

PIN #: 126B145 908

Tract: TR 5598

Block: None

Lot: 83

Arb: None









Zoning: R2-1

General Plan: Low Medium I Residential



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL





-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial




PARKING

-  Parking Buffer



PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES













-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

















INDUSTRIAL

-  Limited Industrial
-  Light Industrial






CIRCULATION

STREET





































-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off-Ramp
-  Railroad
-  Scenic Freeway Highway


























MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor





POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

COASTAL ZONE



 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)





























 Tier 1	 Tier 3
 Tier 2	 Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells
 Building Outlines 2014	 Tract Map	
 Building Outlines 2008	 Parcel Map	



Address: 1463 S WELLESLEY AVE

APN: 4267031026

PIN #: 126B145 908

Tract: TR 5598

Block: None

Lot: 83

Arb: None

Zoning: R2-1

General Plan: Low Medium I Residential





1. Wellesley Ave looking Northwesterly.



2. Subject site street frontage



3. Subject site street frontage



4. Subject site Northwesterly PL – C2 zone adjacent



5. Wellesley Ave looking Southeasterly

Coastal Development Permit per LAMC Section 12.20.2 or 12.20.2.1

Tract or Parcel Map per LAMC Section 17.00 or 17.50

Other (specify): _____

5. ENVIRONMENTAL REVIEW

Project is Exempt⁴

Not Yet Filed

Filed (Case No.): _____

6. HOUSING DEVELOPMENT PROJECT TYPE

CHECK ALL THAT APPLY:

For Rent For Sale Mixed-Use Project Residential Hotel

Extremely Low Income Very Low Income Low Income Moderate Income

Market Rate Supportive Housing Senior

Special Needs (describe): _____

Other Category (describe): _____

7. DENSITY CALCULATION

A. Base Density: Maximum density allowable per zoning

Lot size (including any 1/2 of alleys)⁵ 5,524.4 SF (a)

Density allowed by Zone 1,500 SF of lot area per DU (b)

No. of DUs allowed by right (per LAMC) 10 DUs (c) [c = a/b, round down to whole number]

Base Density 11 DUs (d) [d = a/b, round up to whole number]

B. Maximum Allowable Density Bonus⁶ 15 DUs (e) [e = dx1.35, round up to whole number]

RD1.5 Density permitted for R2 lots adjoining C2. (LAMC Section 12.09 A.3)

⁴ Project may be exempt from CEQA review if it qualifies for a CEQA Exemption or is a Ministerial Project (aka, "By Right").

⁵ If there is a related subdivision case, the lot area shall be calculated based on the site area after a dedication of land has been provided.

⁶ Per AB 2345, 100% affordable housing developments may request an 80% density increase or unlimited density if the project site is within 0.5 miles of a Major Transit Stop.

C. Proposed Project: Please indicate total number of DUs requested and break down by levels of affordability set by each category (California Department of Housing and Community Development [HCD] or United States Department of Housing and Urban Development [HUD]). For information on HCD and HUD levels of affordability please contact LAHD at lahd-landuse@lacity.org.

	Total	HCD (State)	HUD (TCAC)
Market Rate	13	N/A	N/A
Managers Unit(s) - Market Rate	1	N/A	N/A
Extremely Low Income (ELI)			
Very Low Income (VLI)	3	3	
Low Income (LI)			
Moderate Income			
Permanent Supportive Housing — ELI			
Permanent Supportive Housing — VLI			
Permanent Supportive Housing — LI			
Seniors — Market Rate		N/A	N/A
Other _____			
Other _____			
Other _____			
Other _____			
TOTAL No. of DUs Proposed	<u>17</u>	(f)	
TOTAL No. of Affordable Housing DUs	<u>3</u>	(g)	
No. of Density Bonus DUs	<u>6</u>	(h) [If f>c, then h=f-c; if f<c, then h= 0]	
Percent of Density Bonus Requested	<u>54</u>	(i) {i = 100 x [(f/d) – 1]} (round down)	
Percent of Affordable Set Aside	<u>27</u>	(j) [g/d, round down to a whole number]	

8. SITE PLAN REVIEW CALCULATION

An application for Site Plan Review (SPR) may be required for projects that meet any of the SPR thresholds as outlined in LAMC Section 16.05 C, unless otherwise exempted per LAMC Section 16.05 D. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the SPR threshold for unit count. If the project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05 D, please confirm the exemption with City Planning's DSC AHSS.

10 units allowed by right (permitted by LAMC) – 3 existing units = 7 units

YES, SPR is required.

Proposed by-right units minus existing units is equal to or greater than 50⁷

NO, SPR is not required.

Base Density units minus existing units is less than 50

Exempt.

Specify reason: _____

II. DENSITY BONUS (LAMC SECTION 12.22 A.25, ORDINANCE NO. 179,681)

9. PARKING OPTIONS

CHECK ALL THAT APPLY:

Automobile Parking Reductions via Bicycle Parking for Residential Uses⁸. Choose only one of the options, if applicable:

10%

15% (*Only for residential projects or buildings located within 1,500 feet of a Major Transit Stop*)

30% (*If selecting the 30% parking reduction, the project will be ineligible for any of the Parking Options listed below*)

If selecting the 30% parking reduction, provide the following information:

Required Parking per LAMC: _____

Required Parking after the 30% reduction: _____

⁷ Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in LAMC Section 16.05.

⁸ Any project utilizing Parking Option 3 may not further reduce automobile parking via bicycle parking.

Automobile Parking for Residential Uses (choose only one of the following options):

Note: Any fractional numbers are rounded up.

Parking Option 1. Based on # of bedrooms, inclusive of Handicapped and Guest parking.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
0-1 Bedroom	4	1	4	4
2-3 Bedrooms	8	1.5	20	20
4 or more Bedrooms		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				24

Parking Option 2. Reduced only for Restricted Affordable Units and up to 40% of required parking for Restricted Affordable Units may be compact stalls.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
Market Rate (Including Senior Market Rate)		Per Code		
Restricted Affordable		1		
VLI/LI Senior or Disabled		0.5		
Restricted Affordable in Residential Hotel		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

Parking Option 3 [AB 2345 (2020)]. Applies to two types of projects:

- 100% affordable housing developments consisting solely of affordable units, exclusive of a manager’s unit(s), with an affordable housing cost to lower income families; or
- Mixed-income developments consisting of 11% VLI or 20% LI units.

100% Affordable Housing Developments. There is no minimum parking requirement for any of the following 100% affordable housing developments described below. Check all that apply:

- A housing development located within 0.5 miles of a Major Transit Stop.
- A housing development for individuals who are 62 years of age or older with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.

- Special Needs Housing Development**, as defined in Section 51312 of the Health and Safety Code (H&SC), with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.
- Supportive Housing Development**, as defined in Section 50675.14 of the H&SC.
- Mixed-Income Developments** consisting of 11% VLI or 20% LI units.

	Spaces/Unit	Parking Required	Parking Provided
Located within 0.5 miles of Major Transit Stop with unobstructed access to project	0.5		

Major Transit Stop is defined as a site containing an existing rail or bus rapid transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

Bus Rapid Transit is defined as public mass transit service provided by a public agency or by a public-private partnership that includes all of the following features:

- 1) Full-time dedicated bus lanes or operation in a separate right-of-way dedicated for public transportation with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.
- 2) Transit signal priority.
- 3) All-door boarding.
- 4) Fare collection system that promotes efficiency.
- 5) Defined stations.

10. INCENTIVES

A. Qualification for Incentives

Below is the minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application. Check only one:

Incentives	% Very Low Income	% Low Income	% Moderate Income
One	<input type="checkbox"/> 5% to <10%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 10% to <20%
Two	<input type="checkbox"/> 10% to <15%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 20% to <30%
Three	<input checked="" type="checkbox"/> 15% or greater	<input type="checkbox"/> 30% or greater	<input type="checkbox"/> 30% or greater

- 100% Affordable Housing Developments may request up to four (4) incentives and one (1) Waiver of Development Standard.** Check this box if this applies to the project.

B. Project Zoning Compliance & Incentives (Only for projects requesting a Density Bonus with Incentives/Waivers)

	Permitted w/o Incentives	Proposed per Incentives	On-Menu	Off-Menu
<input checked="" type="checkbox"/> Yard/Setback (each yard counts as one incentive)				
<input checked="" type="checkbox"/> Front (1)	20 ft	16 ft	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Front (2)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Side (1)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Side (2)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Rear	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Coverage	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Width	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Floor Area Ratio ⁹	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Height/Stories ¹⁰	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Overall Height	33 ft	44 ft 39 ft	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Transitional Height(s)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Open Space	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Density Calculation	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Averaging (all count as one incentive — check all that are needed)				
<input type="checkbox"/> FAR				
<input type="checkbox"/> Density				
<input type="checkbox"/> Parking				
<input type="checkbox"/> Open Space				
<input type="checkbox"/> Vehicular Access				
<input type="checkbox"/> Other Off-Menu Incentives (specify): _____				

Waiver of Development Standards (specify): restrictive zone for uses in th R2 zone. See restrictive zone for uses in th R2 zone. See LAMC Section 12.09 A.3.(a)

100% Affordable Housing Development shall receive a height increase of three additional stories up to 33 additional feet. Check the box if this applies to your project.

TOTAL No. of Incentives Requested: On-Menu 4 ~~2~~ Off-Menu _____

TOTAL No. of Waivers Requested: 1

⁹ See LAMC Section 12.22 A.25(f)(4) for additional requirements.

¹⁰ See LAMC Section 12.22 A.25(f)(5) for additional requirements.

11. COVENANT

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the LAHD's Occupancy Monitoring Unit **before** a building permit can be issued. For more information, please contact the LAHD at lahd-landuse@lacity.org.

III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SEC. 12.22 A.29, ORDINANCE NO. 179,076)

12. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

A. Eligibility for Floor Area Bonus

NOTE: The affordability levels required are set by the HUD/TCAC. For information on HCD and HUD levels of affordability please contact the LAHD at lahd-landuse@lacity.org.

- 5% of the total number of DUs provided for VLI households; and
- One of the following shall be provided:
 - 10% of the total number of DUs for LI households; or
 - 15% of the total number of DUs for Moderate Income households; or
 - 20% of the total number of DUs for Workforce Income households, and
- Any DU or Guest Room occupied by a household earning less than 50% of the Area Median Income (AMI) that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan area in which it is located

B. Incentives

NOTE: Must meet all three (3) eligibility requirements from 12.A above and provide a Covenant & Agreement (See #11).

CHECK ALL THAT APPLY:

- A 35% increase in total floor area
- Open Space requirement pursuant to LAMC Section 12.21 G reduced by one-half, provided that a fee equivalent to amount of the relevant park fee, pursuant to LAMC Section 19.17, shall be paid for all dwelling units. See LAMC Section 12.29 A.29(c) for exceptions
- No parking required for units for households earning less than 50% AMI
- No more than one parking space required for each dwelling unit

C. Additional Incentives to Produce Housing in the GDHIA

- No yard requirements except as required by the Urban Design Standards and Guidelines
- Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)

- Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions, as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units
- No prescribed percentage of the required open space that must be provided as either common open space or private open space

IV. MEASURE JJJ¹¹ (LAMC Sec. 11.5.11, Ordinance No. 184, 745)

13. AFFORDABLE REQUIREMENTS

A certain percentage of affordable units is required based on the total number of units in the project.

Fill out either A or B below:

A. Rental Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____ % VLI **OR** _____ % LI
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 6% VLI **OR** 15% LI
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 11% VLI **OR** 20% LI

Required Number of Affordable Units

ELI _____ VLI _____ LI _____

B. For Sale Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____% VLI **OR** _____% LI **OR** _____% Moderate Income
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35% or allows a residential use where not previously allowed:
 - 11% VLI **OR** 20% LI **OR** 40% Moderate Income

Required Number of Affordable Units

VLI _____ LI _____ Moderate Income _____

¹¹ All fractional amounts in Sections 13 and 14 shall be rounded up to the next whole number.

14. ALTERNATIVE COMPLIANCE OPTIONS

In lieu of providing the affordable units on site, there are three (3) other options available to comply with Measure JJJ Affordable Requirements. Select one, if applicable; otherwise leave this section blank.

A. Off-Site Construction – Construction of affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 3 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

B. Off-Site Acquisition – Acquisition of property that will provide affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 1 mile of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

C. In-Lieu Fee – From the Affordability Gaps Study published by the Los Angeles City Planning

Total In-Lieu Fee _____ (Note: Final fee TBD if/when the project is approved)

15. DEVELOPER INCENTIVES

Please describe up to a maximum of three (3) incentives:

- 1) _____

- 2) _____

- 3) _____

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with LADBS.

Ann Sewill, General Manager
Tricia Keane, Executive Officer

City of Los Angeles



LOS ANGELES HOUSING DEPARTMENT
1200 West 7th Street, 9th Floor
Los Angeles, CA 90017
Tel: 213.808.8808
housing.lacity.org

Daniel Huynh, Assistant General Manager
Anna E. Ortega, Assistant General Manager
Luz C. Santiago, Assistant General Manager

Karen Bass, Mayor

DATE: May 25, 2023
TO: Wellesley Avenue Holdings LLC, a California Limited Liability Company, Owner
FROM: Marites Cunanan, Senior Management Analyst II *M. Cunanan*
Los Angeles Housing Department
SUBJECT: **Housing Crisis Act of 2019 (SB 8)**
(DB) Replacement Unit Determination
RE: 1463 S. Wellesley Ave., Los Angeles, CA 90025
1465 S. Wellesley Ave., Los Angeles, CA 90025
1467 S. Wellesley Ave., Los Angeles, CA 90025

Based on the SB 8 Application for a Replacement Unit Determination (RUD) submitted by Wellesley Avenue Holdings LLC, a California Limited Liability Company (Owner), for the above referenced property located at 1463-1465 S. Wellesley Ave. and 1467 S. Wellesley Ave. (APNs 4267-031-025, 4267-031-026) (hereinafter collectively referred to as Property) the Los Angeles Housing Department (LAHD) has made the following determination in regards to the above-referenced application. 3 units existed on the Property within the last 5 years. 3 units are subject to replacement pursuant to the requirements of California Government Code Section 66300, as “Protected Units” with 3 of the 3 subject to replacement as an affordable “Protected Unit.”

PROJECT SITE REQUIREMENTS:

The Housing Crisis Act of 2019, as amended by SB 8 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed housing development project (“Project”) on a site (“Property”) that will require demolition of existing dwelling units or occupied or vacant “Protected Units” unless the Project replaces those units as specified below. The replacement requirements below apply to the following projects:

- Discretionary Housing Development Projects that receive a final approval from Los Angeles City Planning (LACP) on or after January 1, 2022,
- Ministerial On-Menu Density Bonus, SB 35 and AB 2162 Housing Development Projects that submit an application to LACP on or after January 1, 2022, and
- Ministerial Housing Development Projects that submit a complete set of plans to the Los Angeles Department of Building & Safety (LADBS) for Plan Check and permit on or after January 1, 2022.

Replacement of Existing Dwelling Units

The Project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the Property within the past 5 years.

Replacement of Existing or Demolished Protected Units

The Project must also replace all existing or demolished “Protected Units”. Protected Units are those residential dwelling units on the Property that are, or were, within the 5 years prior to the owner’s application for a SB 8 Replacement Unit Determination (SB 8 RUD): (1) subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, (2) subject to any form of rent or price control through a public entity’s valid exercise of its police power within the 5 past years (3) occupied by lower or very low income households (an affordable Protected Unit), or (4) that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the INCOME level of the occupants (i.e. W-2 forms, tax return, pay stubs, etc.). The Los Angeles Housing Department (LAHD) will send requests for information to each occupant of the existing project. Requests for information can take two (2) or more weeks to be returned. It is the owner's responsibility to work with the occupants to ensure that the requested information is timely produced.

- ***In the absence of occupant income documentation:*** Affordability will default to the percentage of extremely low, very low or low income renters in the jurisdiction as shown in the latest HUD Comprehensive Housing Affordability Strategy (CHAS) database, which as of October 1, 2021, is at 28% extremely low income, 18% very low income and 18% low income for Transit Oriented Communities (TOC) projects and 46% very low income and 18% low income for Density Bonus projects. In the absence of specific entitlements, the affordability will default to 46% very low income and 18% low income. The remaining 36% of the units are presumed above-low income. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

Replacement of Protected Units Subject to the Rent Stabilization Ordinance (RSO), Last Occupied by Persons or Families at Moderate Income or Above

The City has the option to require that the Project provide: **(1)** replacement units affordable to low income households for a period of 55 years (rental units subject to a recorded covenant), OR **(2)** require the units to be replaced in compliance with the RSO.

Relocation, Right to Return, Right to Remain:

All occupants of Protected Units (as defined in California Government Code Section 66300(d)(2)(F)(vi)) being displaced by the Project have the right to remain in their units until six (6) months before the start of construction activities with proper notice subject to Chapter 16 (Relocation Assistance) of Division 7, Title I of the California Government Code ("Chapter 16"). However, all **Lower Income Household** (as defined in California Health and Safety Code Section 50079.5) occupants of Protected Units are **also** entitled to: **(a)** Relocation benefits also subject to Chapter 16, and **(b)** the right of first refusal ("Right to Return") to a comparable unit (same bedroom type) at the completed Project. If at the time of lease up or sale (if applicable) of a comparable unit, a returning occupant remains income eligible for an "affordable rent" (as defined in California Health and Safety Code Section 50053) or if for sale, an "affordable housing cost" (as defined in California Health and Safety Code Section 50052.5), owner must also provide the comparable unit at the "affordable rent" or "affordable housing cost", as applicable. This provision does not apply to: **(1)** a Project that consists of a Single Family Dwelling Unit on a site where a Single Family Dwelling unit is demolished, and **(2)** a Project that consists of 100% lower income units except Manager's Unit.

THE PROPOSED HOUSING DEVELOPMENT PROJECT:

Per the statement received by LAHD on July 24, 2022, the Owner plans to construct a new thirteen (13)-unit complex using the Density Bonus.

PROPERTY STATUS (AKA THE "PROJECT SITE"):

Owner submitted an Application for a RUD for the Property on July 24, 2022. In order to comply with the required **5-year** look back period, LAHD collected and reviewed data from July 2017 to July 2022.

Review of Documents:

Pursuant to the Grant Deed, the Owner received the Property from Carol Lee Butte, as Sole Trustee of The Butte Bypass Trust, a sub-Trust of the Butte Family Trust u/d/t dated June 13, 1991, as to parcel 1 (APN 4267-031-025); and Carol Lee Butte, as Sole Trustee of the Butte Survivor's Trust, a Sub-Trust of the Butte Family Trust u/d/t dated June 13, 1991, as to Parcel 2 (APN 4267-031-026) on or around January 7, 2022.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, the Code, Compliance, and Rent Information System (CRIS) database, Google Earth, Google Street View, and an Internet Search indicates the following:

APN#	Commonly known address	Land Use code	Currently on site
4267-031-025	1467 S. Wellesley Ave.	0100 – Residential – Single Family Residence	Single family residence
4267-031-026	1463 S. Wellesley Ave.	0100 – Residential – Single Family Residence	Two single family residences

LAHD confirmed with the RSO unit that for the Property under APN 4267-031-026, the front single family residence is subject to the RSO while the rear single family residence over a garage (under Certificate of Occupancy 1980WL32391) is not subject to the RSO.

The Owner filed for a new building permit application (#22010-10000-03863) with the Los Angeles Department of Building and Safety (LADBS) on August 5, 2022. The Owner has not filed for a demolition permit with LADBS.

LAHD mailed tenant letter packets on July 27, 2022 to the Property. As of May 11, 2023, LAHD has not received any returned documents as a result of the tenant letter packets.

REPLACEMENT UNIT DETERMINATION:

The Existing Residential Dwelling Units at the Property within the last five years:

ADDRESS	BEDROOM TYPE	“PROTECTED?”	BASIS OF “PROTECTED” STATUS
1463 S. Wellesley Ave.	3 Bedrooms	Yes	Affordable unit
1465 S. Wellesley Ave.	2 Bedrooms	Yes	RSO
1467 S. Wellesley Ave.	2 Bedrooms	Yes	Affordable unit
Totals: 3 Units	7 Bedrooms		

Pursuant to (SB 8), where incomes of existing or former tenants are unknown, the required percentage of affordability is determined by the percentage of extremely low, very low, and low income rents in the jurisdiction as shown in the HUD Comprehensive Housing Affordability Strategy (CHAS) database. At the time of receipt of the application, the Comprehensive Housing Affordability Strategy (CHAS) database shows 28% extremely low income, 18% very low income and 18% low income for TOC projects and 46% very low income and 18% low income for DB projects. In the absence of specific entitlements, the affordability will default to 46% very low income and 18% low income. The remaining 36% of the units are presumed above-low income.

[Remainder of this page left intentionally blank]

Number of Existing Residential Dwelling Units and Protected Units within five (5) years of Owner's application:			3
Number of Protected Units Ellised within the last (10) years:			0
Number of Affordable Replacement Units required per CHAS:			3
	Project using <u>TOC</u>	Project using <u>DB or No Entitlements</u>	
3 Units x 64%	3 Units	3 Units	
Extremely Low	1 Unit	0 Units	
Very Low	1 Unit	2 Units	
Low	1 Unit	1 Unit	
Market Rate RSO units	0 Units	0 Units	
Number of Affordable Replacement Units per tenant income verification:			0
Number of Unit(s) presumed to be above-lower income subject to replacement:			0

For Rental:

For TOC projects, the replacement requirements will consist of one (1) unit restricted to Extremely Low Income Households, one (1) unit restricted to Very Low Income Households, and one (1) unit restricted to Low Income Households. For DB projects or projects not using any entitlements, the replacement requirements will consist of two (2) units restricted to Very Low Income Households and one (1) unit restricted for Low Income Households.

NOTE: This determination is provisional and is subject to verification by LAHD's Rent Division.

If you have any questions about this RUD, please contact Richard Truong at richard.s.truong@lacity.org.

cc: Los Angeles Housing Department File
 Wellesley Avenue Holdings LLC, a California Limited Liability Company, Owner
 planning.PARP@lacity.org, Los Angeles Department of City Planning

MAC:rt



PRELIMINARY LAND USE REPORT
(PLANNING CASE REFERRAL FORM (PCRF))

The City of Los Angeles, Bureau of Engineering (BOE) / Department of City Planning (DCP)

This is a Preliminary Land Use Report to provide the applicant with a general understanding of what may be required by BOE for a City Planning Case if, after filing, it is referred to BOE; and what may otherwise be required by BOE per Los Angeles Municipal Code Section 12.37 (Highway and Collector Street Dedication) if the City Planning Case is not referred to BOE.

Part I: To be completed by Applicant

DCP Case Number (If Available): _____

Applicant: Eric Lieberman

Address: 14549 Archwood Street Suite 308

Van Nuys 91405

Phone: 818-997-8033

Email: ericl@gesqms.com

Owner: Wellesley Avenue Holdings, LLC

Address: 9501 Gloaming Drive Beverly Hills

CA 91210

Project Address: 1463 - 1467 S. Wellesley Ave

APN: 4267-031-025 and 026

Engineering District: WEST LA

Project Description (attach ZIMAS Map with highlighted Parcel(s)):

Demolition of the existing structures and construction of a 17 unit multi-family complex.

Is there a Tract or Parcel Map being filed in conjunction with this:

If yes; provide Map No. _____

Has the Tract / Parcel report been prepared and submitted to DCP by BOE:

Will new building(s)/structure(s) be constructed as part of this project:

The Preliminary Land Use Report may be voluntarily filed to provide a general understanding of potential required dedication and improvements on existing streets but is not intended to provide preliminary requirements for a Subdivision (Tract or Parcel Map), Private Street Case, or Street/Alley Vacation. If a Tract/Parcel report has been prepared and submitted to DCP by BOE, please refer to the Tract/Parcel map conditions.

Part II: To be Completed by BOE Staff:

Is property within the Hillside Ordinance area (Sections 12.21A17 & 12.21 C10 of LAMC)?:

Is the property subject to Section 12.37 of the LAMC? :

Is the project in the Historic Overlay Preservation Zone? :

Does the project adjoin a State Highway?

Is the project within 100' of the intersection of the intersection of the building lines of a corner lot?

(Per Section 91.106.4.7.1 of LAMC)

Is the project within a streetscape area?

The Preliminary Land Use Report does not provide preliminary information for projects subject to the Baseline Hillside Ordinance. (Obtain a Hillside Referral Form from BOE for Hillside Ordinance project requirements.)

DEDICATIONS

Street/Alley	Classification	Ex Full R/W	Req Full R/W	Ex Adj. Half R/W	Req Adj. Half R/W	Adjacent Dedication Required	Required under 12.37	Required under a DCP Referred Planning Action
Wellesley Ave	Local Street Standard	60	60	30	30	0'	NO	NO
							SELECT	SELECT
							SELECT	SELECT
							SELECT	SELECT
							SELECT	SELECT

Corner	Classification	Dimensions	Required under 12.37	Required under a DCP Referred Planning Action
			SELECT	SELECT
			SELECT	SELECT
			SELECT	SELECT
			SELECT	SELECT

ADDITIONAL NOTES:

~~No Dedication required .~~

IMPROVEMENTS

Street/Alley	Classification	Ex Full Roadway	Req Full Roadway	Ex adjacent half Roadway	Required adjacent Half Roadway	Missing Improvements	Exist. Trees	Exist. CB	Potential Widening	Required under 12.37	Required under a DCP Referred Planning Action
Wellesley Ave	Local Street Standard	40	36	20	18	None	7	6"	0'	NO	NO
										SELECT	SELECT
										SELECT	SELECT
										SELECT	SELECT
										SELECT	SELECT

Corner	Classification	Provide/ Upgrade Corner Ramp	Required under 12.37	Required under a DCP Referred Planning Action
Wellesley Ave and Ohio Ave	Intersection (non-Arterial with non-arterial)	YES	YES	YES
		SELECT	SELECT	SELECT
		SELECT	SELECT	SELECT
		SELECT	SELECT	SELECT

Street Trees: If the recommendation for Street Widening is marked “Yes”, street tree removals may be required. Street Tree removals must be approved by the Board of Public Works. Applicants shall contact the Urban Forestry Division (UFD) of StreetsLA at (213)-847-3077 before proceeding with the Master Land Use Application. Applicants are also advised to contact Urban Forestry Division (UFD) of Streets LA for proposed driveway location impacting existing street trees.

ADDITIONAL NOTES:

No widening required along Wellesley Ave. Repair and/or replace any broken or off-grade asphalt, sidewalk (to ADA standards) or curb and gutter. Remove all nonstandard landscaping. Close all unused driveways (with full width sidewalk, new integral curb and gutter. Construct a pedestrian access ramp at the intersection of Ohio Ave and Welsley Ave to current ADA standards.

Repairs: In all cases, applicants may be required to close any unused driveways; repair any sidewalks not compliant with ADA requirements, and install/replace public improvements such as driveway aprons and access ramps to meet ADA requirements. In cases referred to BOE by DCP, applicants will also be required to remove and reconstruct broken, off-grade, or bad order concrete curb, gutter, driveways or sidewalks.

Newly Dedicated Areas: In all cases referred by DCP to BOE, applicant may be required to fill in newly dedicated areas with concrete sidewalk, and will be required to remove or obtain Revocable Permit for any encroachments. In cases not referred but subject to L.A.M.C. Section 12.37, where there is existing sidewalk, applicant will have the option to either: fill in newly dedicated areas with concrete sidewalk, obtain revocable permit for existing or new encroachments, or install/retain standard plant materials such as grass.

Other Public Improvements: Planning Cases may also have requirements for Public Improvements determined by Bureau of Street Lighting (BSL), Urban Forestry Division (UFD) of StreetsLA, and Los Angeles Department of Transportation (LADOT)

SEWERS

Does the lot have a legal connection to the sewer?

Distance from subject lot to the nearest mainline sewer?

25 Ft.

Sewers Exist in the following Rights-of-Way	Street/R/W	Street/R/W	Street/R/W	Street/R/W
Enter street names (select from options provided above)	Wellesley Ave			

Sewer easement within the project site?

Sewer facilities within easements?

ADDITIONAL NOTES:

Sewer Permit No. 120-27, 119-27, C80850298

STORM DRAINS

Are there storm drain catch basins existing in the right-of-way adjacent to the project site?

0 (Number)

Storm Drain easement within the project site?

Storm Drain facilities within easements?

ADDITIONAL NOTES:

ADDITIONAL NOTES (cont.):


NOTE: This is a Preliminary Land Use Report to provide the applicant with a general understanding of what may be required by BOE for a City Planning Case if, after filing, it is referred to BOE; and what may otherwise be required by BOE per Los Angeles Municipal Code Section (LAMC) 12.37 (Highway and Collector Street Dedication) if the City Planning Case is not referred to BOE.

For City Planning Cases, a formal investigation and engineering report may be required, if so determined by the City Planning Department. If so, the Engineering Report will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the Engineering Report.

For cases not referred by City Planning to BOE, requirements of LAMC Section 12.37 may be applicable. To determine requirements of LAMC Section Section 12.37, a formal investigation and engineering report may be required during the Building Permit Plan Check clearance process as applicable. If so, the Highway Dedication (“R3”) letter will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the Highway Dedication (“R3”) letter. [LAMC Section 12.37 provides for minimum dedication and improvement requirements which do not preclude conditions established by City Planning actions]

Prepared by: Jason Ng

Date: 02/14/2023

Reviewed by: Nikta Mousavi 

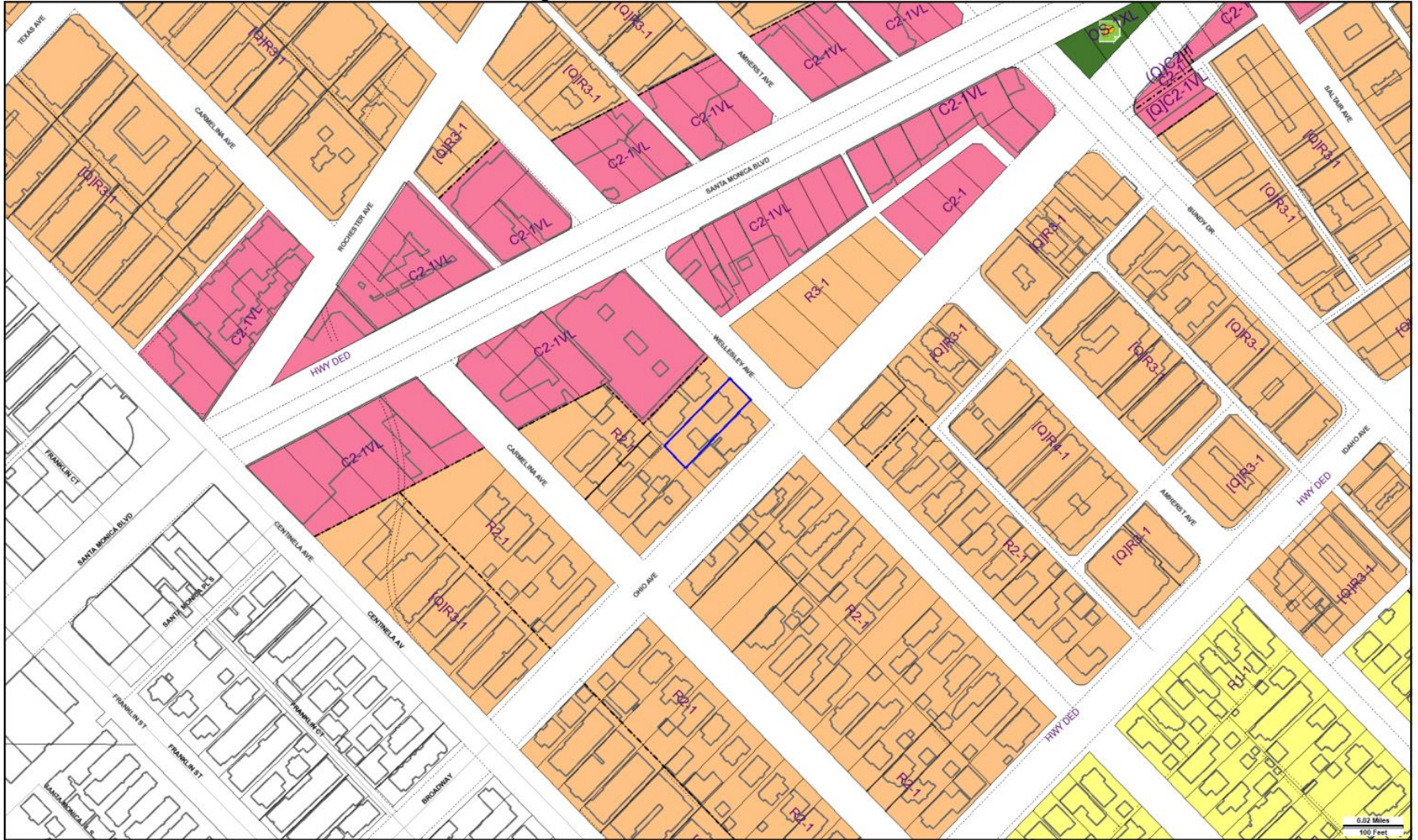
Date: 02/14/2023

ZIMAS INTRANET

Generalized Zoning

02/14/2023

City of Los Angeles
Department of City Planning



Address: 1467 S WELLESLEY AVE
 APN: 4267031025
 PIN #: 126B145 917

Tract: TR 5598
 Block: None
 Lot: 82
 Arb: None

Zoning: R2-1
 General Plan: Low Medium I Residential

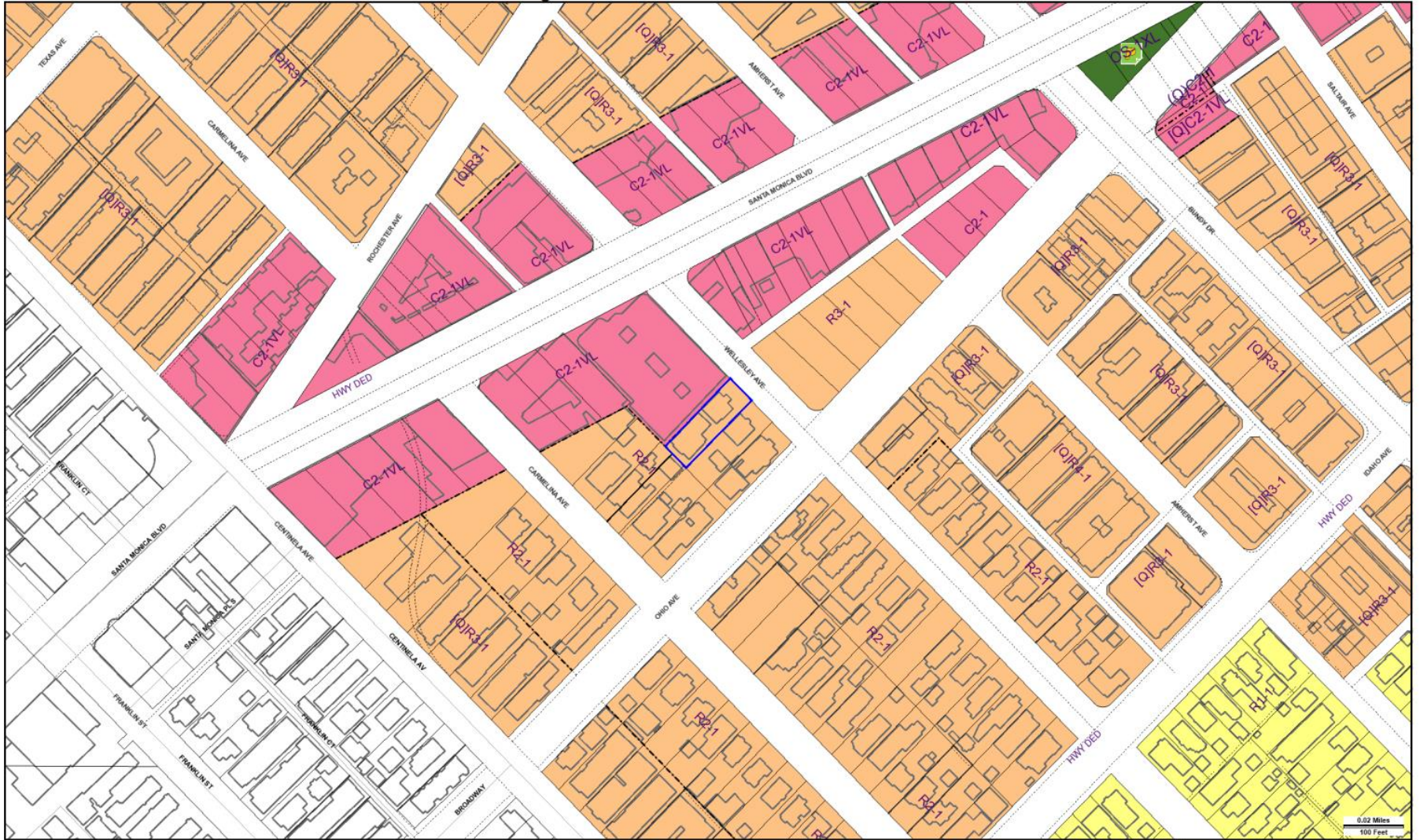


ZIMAS INTRANET

Generalized Zoning

02/14/2023

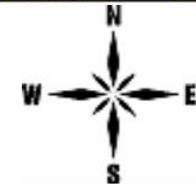
City of Los Angeles
Department of City Planning



Address: 1463 S WELLESLEY AVE
 APN: 4267031026
 PIN #: 126B145 908

Tract: TR 5598
 Block: None
 Lot: 83
 Arb: None

Zoning: R2-1
 General Plan: Low Medium I Residential



City Planning Case Referral



Project Information

LA Sanitation Case Referral #: 1094

Date: 6/7/2023

<p>Site Information</p> <p>Project Address: <u>1463 - 1467 Wellesley Ave</u></p> <p>APN: <u>4267031026</u></p> <p>Type of Project: <input checked="" type="checkbox"/> New / <input type="checkbox"/> Redevelopment</p> <p>• <input checked="" type="checkbox"/> Res <input type="checkbox"/> Comm <input type="checkbox"/> Indus. <input type="checkbox"/> Mixed Use</p> <p>• Other: _____</p> <p>Hillside Grading: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N ESA: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p> <p>Liquefaction: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p> <p>Percolation test done: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p>	<p>Applicant Information</p> <p>Name: <u>ERIC LIEBERMAN</u></p> <p>Email: <u>EricL@quesqms.com</u></p> <p>Phone: <u>(818) 997-8033</u></p> <p>Address: <u>14549 Archwood Street, Suite 308</u> <u>VAN NUYS, 91405</u></p>
<p>Project Information</p> <p>Total site area (Ac): <u>0.350</u> Design Storm (85th Percentile): <u>1.1</u></p> <p>Approx Impervious area (Ac): <u>0.310</u> Approx Pervious Area (Ac): <u>0.036</u></p>	
<p>Note: The information on this City Planning Case Referral Form is only a “preliminary review” by LA Sanitation. It informs the applicant of the stormwater requirements that will need to be implemented on the project in order to satisfy Low Impact Development (LID) requirements.</p>	
<p>Possible BMP (Subject to Soils testing and Site conditions)</p> <p>Infiltration: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Capture & Use: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p> <p>Bio-Filtration: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p>	<p>Sanitation Plan Checker</p> <p>Reviewer: <u>S. Garcia</u></p> <p>Date Reviewed: <u>6/7/2023</u></p>
<p>Comment(s):</p> <p>Site is in a liquefaction area therefore infiltration is infeasible. Provide City of LA LID Handbook Appendix F calculation for Capture and Use. If infeasible provide biofiltration BMP per the requirements of the LID Handbook.</p>	

REFERRAL FORM



PRELIMINARY ZONING ASSESSMENT

This form is to serve as an inter-agency referral for City Planning applications associated with a project creating two or more residential units. As a part of a City Planning application, a completed Preliminary Zoning Assessment (PZA) form, accompanied by architectural plans, shall be submitted to Plan Check staff at the Department of Building and Safety (LADBS). LADBS Plan Check staff will sign the PZA form and the architectural plans once the informational Zoning Plan Check verifications are completed. Following the completion of the PZA process, a City Planning application may be filed along with all other applicable filing requirements.

Review of the referral form by City staff is intended to determine compliance with City zoning and land use requirements necessary to achieve the proposed project and to identify any zoning issues or necessary approvals that would need to be resolved through a City Planning application. The informational Zoning Plan Check done through the PZA process does not constitute a zoning approval and does not require compliance with development standards to be completed.

To check if a project type qualifies for and requires the PZA form, see the "[Housing Development Project Applicability Matrix](#)" available on the City Planning Forms [webpage](#).

CONTACT INFORMATION

Department of Building and Safety, Affordable Housing Section

201 N. Figueroa St., Ste 830

Los Angeles, CA 90012

Phone: (213) 482-0455

Web: <https://ladbs.org/services/special-assistance/affordable-housing>

Email: LADBS.AHS@lacity.org

Department of City Planning, Development Services Center

For locations and hours:

<https://planning.lacity.org/contact/locations-hours>

THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF ONLY

LADBS Plan Check Staff Name and Title Starr Chen	LADBS Plan Check Staff Signature¹ <i>Starr Chen</i>
Plan Check Application No.² 22010 10000 03863	Date 9/18/23
Notes <input type="checkbox"/> ED1 Eligible	

- 1 LADBS Plan Check staff will sign the Preliminary Zoning Assessment Form once the Zoning Plan Check verifications are complete.
- 2 This completed form shall be accompanied by plans signed by a DBS Plan Check staff following the completion of a Zoning Plan Check.

PROJECT INFORMATION
THIS SECTION TO BE COMPLETE BY THE APPLICANT³

I. PROJECT LOCATION, ZONING & LAND USE JURISDICTION

Project Address: 1463 and 1467 S. Wellesley Ave.

Project Name (if applicable): _____

Assessor Parcel Number(s): 4267-031-025 and 4267-031-026

Legal Description (Lot, Block, Tract): Lot(s): 82 and 83, Block: None, Tract: TR5598

Community Plan: West Los Angeles **Number of Parcels:** 2 **Site Area:** 15,524 sq. ft.

Current Zone(s) & Height District(s): R2-1 **Land Use Designation:** Low Med I Res

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Alley in Rear | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Site Contains Historical Features |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Coastal Zone | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Downtown Design Guide Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Hillside Area (Zoning) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Special Grading Area (BOE) Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Enterprise Zone | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Very High Fire Hazard Severity Zone |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Greater Downtown Housing Incentive Area | | |

Specific Plan: West Los Angeles Transportation Improvement Mitigation

Historic Preservation Overlay Zone (HPOZ): _____

Design Review Board (DRB): _____

Redevelopment Project Area: _____

Overlay Zone (CPIO/CDO/POD/NSO/RIO/CUGU/etc.): _____

Q Condition/ D Limitation/ T Classification (Ordinance No. and Subarea): _____

Description of Condition: _____

Legal (Lot Cut Date) _____

Related City Planning Cases _____

Z.I.(s) ZI-2498, ZI-2512, ZI-2441, ZI-2192

Affidavits _____

Easements _____

TOC Tier⁴ (if applicable to project) _____

³ All fields in this form must be completed. If an item is not applicable, write N/A.
⁴ Must be verified by the City Planning Affordable Housing Services Section. A Tier Verification for projects using the TOC guidelines is required to initiate a Preliminary Zoning Assessment with LADBS. Contact Planning.PriorityHousing@lacity.org.

II. PROJECT DESCRIPTION

Project Description/Proposed Use 3-Story 17 unit density bonus apartment project with one level subterranean parking, 40'-4" in height, 24 parking spaces, 2,285 sf open space, 28,918 sf of floor area.

No. of Stories: 3 **No. of Dwelling Units:** 17 **Floor Area (Zoning):** 28918

Present Use/No. of Units: 2 1-story single family dwellings and 1 s-story single family dwelling

III. CITY PLANNING ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request to City Planning and (if applicable) the Section in the LAMC or the Specific Plan/Overlay from which relief is sought; follow with a description of the requested action.

Authorizing Code Section: LAMC 12.24 U 26

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: DB for Housing Development Project greater than 35%

Authorizing Code Section: _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Additional Requests Attached YES NO

IV. APPLICANT INFORMATION⁵

Name: Bo Zarnigan / Wellesley Avenue Holdings, LLC

Phone: 310-859-0860

Email: bozarnegin@gmail.com

V. REPRESENTATIVE INFORMATION

Name: Eric Lieberman / QES, Inc.

Phone: 818-997-8033

Email: EricL@qesqms.com

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing a case on behalf of a client (i.e. usually not the agent/representative).

VI. PRELIMINARY ZONING ASSESSMENT SUMMARY
THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF⁶

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable LAMC Section No. ⁷	Comments and Additional Information
1	Use	apartment	apartment but within 65 feet from less restrictive zone	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.09 A 3	<input type="checkbox"/> Conditional Use (LAMC Section 12.24) for <hr/> off menu incentive request apartment extends more than 65 feet from less restrictive zone
2	Height	40'-4"	45'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1	<input type="checkbox"/> Transitional Height applies (LAMC Section 12.21.1 A.10) <input type="checkbox"/> Commercial Corner Development/Mini-Shopping Center height applies (LAMC Section 12.22 A.23(a)(1))

6 LADBS Plan Check staff will sign Section IV of the Preliminary Zoning Assessment (PZA) form and provide signed architectural plans once the Zoning Plan Check verifications are complete.

7 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ⁸	Comments and Additional Information
3	No. of Stories	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21.1 (if code prevails)	
4	FAR (Floor Area Ratio)	2.56:1	3:1	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1	buildable area = 11,277 SF allowable = 33,831 SF proposed= 28,918 SF

8 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC

_____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ⁹	Comments and Additional Information
5	RFAR (Residential Floor Area Ratio)	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
6	Density	17	11	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.22 A 25 12.24 U 26	Density Ratio: <input type="checkbox"/> Site Plan Review (16.05) / Major Project CUP (12.24 U.14) off menu incentive request $1/1500 = 10.35 = 11$ $35\% \text{ bonus} = 14.85 = 15$

9 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC
 _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁰	Comments and Additional Information
7	Setback (Front)	16'	20'	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.22 A 25	Lot Line Location (Street Name): Wellesley Ave Lot Line Location (Street Name): 20% reduction of 20' = 16'
8	Setback (Side)	8'	8'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	12.08 C 2	Offset/plane break met: <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A

10 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹¹	Comments and Additional Information
9	Setback (Rear)	15'	15'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.08 C 3	
10	Building Line	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	Ordinance No.:	

11 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹²	Comments and Additional Information
11	Parking (automobile)	Residential: 25 Non-Residential: n/a	Residential: 24 Non-Residential: n/a	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 A.4 (if code prevails) GC 65915	Design standards met(12.21 A5): <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Improvement standards met (12.21 A.6 (except landscaping, to be determined by City Planning)): <input type="checkbox"/> YES <input type="checkbox"/> NO (4) one bed unit x 1 = 4 (8) two bed unit x 1.5 = 12 (5) three bed unit x 1.5 = 7.5
12	Bicycle Parking (residential)	Long-term: 17 Short-term: 2	Long-term: 17 Short-term: 2	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 A.16 (if code prevails)	Facility standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Design standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

12 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹³	Comments and Additional Information
13	Bicycle Parking (non-residential)	Long-term: n/a Short-term:	Long-term: n/a Short-term:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 A.16 (if code prevails)	Facility standards met: <input type="checkbox"/> YES <input type="checkbox"/> NO Design standards met: <input type="checkbox"/> YES <input type="checkbox"/> NO
14	Open Space	Total (sq. ft.): 2285 Common (sq. ft.): 2085 Private (sq. ft.): 200	Total: 2275 Common: 2275 Private: 0	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 G (if code prevails)	Units/Habitable Room <3: 4 =3: 8 >3: 5 Dimensions met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

13 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁴	Comments and Additional Information
15	Retaining Walls in Special Grading Areas	Max Height: n/a Max Quantity:	Max Height: n/a Max Quantity:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.8 (if code prevails)	
16	Grading (Zoning and Planning limitations)	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		

14 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁵	Comments and Additional Information
17	Lot Coverage	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
18	Lot Width	100'	50'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.09 C 4	lot tie required

15 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁶	Comments and Additional Information
19	Space between Buildings	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.2(a) (if code prevails)	
20	Passageway	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.2(b) (if code prevails)	

16 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁷	Comments and Additional Information
21	Location of Accessory Buildings	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.5 (if code prevails)	
22	Loading Area	n/a	n/a	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		

17 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁸	Comments and Additional Information
23	Trash & Recycling	30 SF	30 SF	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21 A 19	
24	Landscape	<i>Conformance determined by Los Angeles City Planning</i>				

18 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁹	Comments and Additional Information
25	Private Street	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
	Other (e.g., ground floor transparency, lighting, utilities, signage, walls, lot area, minimum frontage, etc.)	See additional sheets, if applicable				Additional Sheet(s) attached: <input type="checkbox"/> YES <input type="checkbox"/> NO

19 Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

SC (LADBS Staff Initials)

ADDITIONAL ZONING AND LAND USE STANDARDS REVIEWED
to be completed by LADBS Plan Check Staff

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No.	Comments and Additional Information
26	basement in required yard	18">	18" max	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.22 C 20	basement in required yards exceeds 18" from existing grade
27	raised platform in required yards	6'> projection	6' max projection	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.22 C 20	raised platform in required yards
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		

SC _____ (LADBS Staff Initials)

CITY OF LOS ANGELES

CALIFORNIA



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SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

GEOLOGY AND SOILS REPORT APPROVAL LETTER

September 8, 2022

LOG # 122778
SOILS/GEOLOGY FILE - 2
LIQ/AP-Santa Monica Fault Zone

Wellesley Avenue Holdings, LLC
9501 Gloaming Drive
Los Angeles, CA 90210

TRACT: 5598
LOTS: 82 & 83
LOCATION: 1463 & 1467 S. Wellesley Avenue

<u>CURRENT REFERENCE REPORT/LETTER(S)</u>	<u>REPORT No.</u>	<u>DATE OF DOCUMENT</u>	<u>PREPARED BY</u>
Geology/Soils Report	21-633-26	06/15/2022	Applied Earth Sciences
Oversized Doc(s).	"	"	"
Soil Age Report	--	12/15/2021	Rockwell Consulting
Carbon Date Report	610491	12/06/2021	Beta Analytic, Inc.

The Grading Division of the Department of Building and Safety has reviewed the referenced reports that provide a surface fault study hazard evaluation and recommendations for the proposed construction of a 4-level apartment building with 1-level subterranean parking level. The basement level is expected to be established at 10 feet below grade. The earth materials at the subsurface exploration locations consist of up to 2.5 feet of uncertified fill underlain by Holocene alluvium to a depth of approximately 15 feet of underlain by older unfaulted Pleistocene alluvium. The consultants recommend to support the proposed structures on conventional foundations bearing on native undisturbed soils.

Groundwater was not encountered during exploration to a depth of 50 feet below the existing grade and the historically highest groundwater level in the area is approximately 30 feet below the ground surface, according to the consultants.

The site is located in a designated liquefaction hazard zone as shown on the Seismic Hazard Zones map issued by the State of California. The Liquefaction study included as a part of the report/s demonstrates that the site does not possess a liquefaction potential. This satisfies the requirement of the 2020 Los Angeles City Building Code Section 1803.5.12.

The project is located within a Fault Zone identified by the State of California Alquist-Priolo Act. According to the referenced reports, no evidence of active fault rupture was found on and within 50 feet of the subject site. This conclusion is predicated on subsurface data obtained from the subject site and adjacent public right of way.

The referenced reports are acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis () refer to applicable sections of the 2020 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

1. Approval shall be obtained from the Department of Public Works, Bureau of Engineering, Development Services and Permits Program where removal of support and/or retaining of slopes adjoining to a public way is proposed (3307.3.2).

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2. Secure the notarized written consent from all owners upon whose property proposed grading/construction access is to extend, in the event off-site grading and/or access for construction purposes is required (7006.6). The consent shall be included as part of the final plans.
3. The geologist and soils engineer shall review and approve the detailed plans prior to issuance of any permits. This approval shall be by signature on the plans that clearly indicates the geologist and soils engineer have reviewed the plans prepared by the design engineer; and, that the plans include the recommendations contained in their reports (7006.1).
4. All recommendations of the reports that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
5. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans (7006.1). Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit.
6. A grading permit shall be obtained for all structural fill and retaining wall backfill (106.1.2).
7. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.
8. Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
9. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
10. Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Division of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cubic yards (7007.1).

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11. All loose foundation excavation material shall be removed prior to commencement of framing (7005.3).
12. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).

13. Temporary excavations that remove lateral support to the public way, adjacent property, or adjacent structures shall be supported by shoring, as recommended. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
14. Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).
15. The soils engineer shall review and approve the shoring plans prior to issuance of the permit (3307.3.2).
16. Prior to the issuance of the permits, the soils engineer and the structural designer shall evaluate the surcharge loads used in the report calculations for the design of the retaining walls and shoring. If the surcharge loads used in the calculations do not conform to the actual surcharge loads, the soil engineer shall submit a supplementary report with revised recommendations to the Department for approval.
17. Unsurcharged temporary excavation may be cut vertical up to 4 feet, as recommended. Excavations over 4 feet shall be trimmed back at a uniform gradient not exceeding 1H:1V, from top to bottom of excavation.
18. Shoring shall be designed for a minimum EFP of 25 PCF; all surcharge loads shall be included into the design, as recommended.
19. Shoring shall be designed for a maximum lateral deflection of ½ inch where a structure is within a 1:1 plane projected up from the base of the excavation, and for a maximum lateral deflection of 1 inch provided there are no structures within a 1:1 plane projected up from the base of the excavation, as recommended.
20. A shoring monitoring program shall be implemented to the satisfaction of the soils engineer.
21. All foundations shall derive entire support from native undisturbed soils, as recommended and approved by the geologist and soils engineer by inspection.
22. Footings supported on approved compacted fill or expansive soil shall be reinforced with a minimum of four (4), ½-inch diameter (#4) deformed reinforcing bars. Two (2) bars shall be placed near the bottom and two (2) bars placed near the top of the footing.
23. The foundation/slab design shall satisfy all requirements of the Information Bulletin P/BC 2017-116 "Foundation Design for Expansive Soils" (1803.5.3).
24. Slabs placed on approved compacted fill shall be at least 5 inches thick and shall be reinforced with ½-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
25. Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 5 inches thick and shall be reinforced with ½-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
26. The seismic design shall be based on a Site Class D, as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check.

27. Retaining walls shall be designed for the lateral earth pressures specified in the section titled "Basement Walls" starting on page 26 of the 06/15/2022 report. All surcharge loads shall be included into the design.

28. Retaining walls/basement walls higher than 6 feet shall be designed for lateral earth pressure due to earthquake motions as specified on page 27 of the 06/15/2022 report (1803.5.12).

Note: Lateral earth pressure due to earthquake motions shall be in addition to static lateral earth pressures and other surcharge pressures.

29. Basement walls and other walls in which horizontal movement is restricted at the top shall be designed for at-rest pressure as specified on page 26 of the 06/15/2022 report (1610.1). All surcharge loads shall be included into the design.

30. All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted in a non-erosive device to the street in an acceptable manner (7013.11).

31. With the exception of retaining walls designed for hydrostatic pressure, all retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soils report shall be incorporated into the foundation plan which shall be reviewed and approved by the soils engineer of record (1805.4).

32. Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector (108.9).

33. Basement walls and floors shall be waterproofed/damp-proofed with an LA City approved "Below-grade" waterproofing/damp-proofing material with a research report number (104.2.6).

34. Prefabricated drainage composites (Miradrain, Geotextiles) may be only used in addition to traditionally accepted methods of draining retained earth.

35. The structure shall be connected to the public sewer system per P/BC 2020-027.

36. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS (7013.10).

37. Sprinkler plans for irrigation shall be submitted and approved by the Mechanical Plan Check Section (7012.3.1).

38. Any recommendations prepared by the geologist and/or the soils engineer for correction of geological hazards found during grading shall be submitted to the Grading Division of the Department for approval prior to use in the field (7008.2, 7008.3).

39. The geologist and soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading (7008, 1705.6 & 1705.8).

40. Prior to pouring concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the work inspected meets the conditions of the report. No concrete shall be poured until the LADBS Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)

- 41. Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; shoring; protection fences; and, dust and traffic control will be scheduled (108.9.1).
- 42. Installation of shoring shall be performed under the inspection and approval of the soils engineer and deputy grading inspector (1705.6, 1705.8).
- 43. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included (7011.3).
- 44. No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.


CASEY LEE JENSEN
Engineering Geologist Associate III


LEILA ETAAT
Structural Engineering Associate II

CLJ/LE:clj/le
Log No. 122778
213-482-0480

cc: Applied Earth Sciences, Project Consultant
Rockwell Consulting, Project Consultant
Beta Analytic, Inc., Project Consultant
WL District Office



URBAN FORESTRY REFERRAL – PILOT PROGRAM

This form shall be required for any project:

- Located within the Mt. Washington/Glassell Park Specific Plan, or
- For an SB 9 Urban Lot Split or Preliminary Parcel Map within the Valley geography, or
- Other projects as determined by City Planning,

if there are any protected trees or protected shrubs on the project site and/or or any trees within the adjacent public right-of-way that may be impacted or removed as a result of the project (e.g., any changes to the building footprint, including construction, demolition, or grading).

If required, the applicant shall complete the following **PRIOR TO FILING AN APPLICATION**:

1. Complete the Tree Disclosure Statement ([CP-4067](#)).
2. Prepare a Tree Report in accordance with the Tree Report Template ([CP-4068](#)). If using an existing Tree Report, it must be prepared within 12 months of submission.
3. Submit the Urban Forestry Referral Form (Referral Form), Tree Disclosure Statement, and Tree Report to the [Customer Service Request Portal for Urban Forestry Division Clearances](#). An Angeleno Account will be required.

The completed Referral Form signed by Urban Forestry staff shall be submitted with case filing materials.

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Project Site Address: 1463 - 1467 S. Wellesley Ave

Description of Proposed Project:

Development of a three story 17 unit apartment building.

THIS SECTION TO BE COMPLETED BY CITY STAFF ONLY

URBAN FORESTRY PRELIMINARY EVALUATION

Protected Trees and Protected Shrubs

- Ready to File.** No changes required at this time.
- Ready to File with Modifications.** See attached **Tree Protection Plan** (if applicable, include any Notices to Comply [NTCs]).
- Not Ready to File.** See Urban Forestry Comments below. Note that filing with this box checked will result in delays in case processing.

Trees within the Public Right-of-Way

- Ready to File.** No changes required at this time.
- Ready to File with Modifications.** See attached **Tree Protection Plan** (if applicable, include any NTCs or Street Tree Notices [STNs]).
- Not Ready to File.** See Urban Forestry Comments below. Note that filing with this box checked will result in delays in case processing.

Urban Forestry Comments

UFD wishes to preserve all parkway trees by seeking redesign/shifting of any driveway aprons, ramping and/or reduction of sidewalks if feasible.

Urban Forestry Staff Signature: _____



Print Name: **Albert Vera**

Review Date: **6/13/23**

- Additional Documents Attached
- Additional Consultation required by:
 - Bureau of Engineering
 - Department of Transportation



REFERRAL FORMS:

TRANSPORTATION STUDY ASSESSMENT

DEPARTMENT OF TRANSPORTATION - REFERRAL FORM

RELATED CODE SECTION: Los Angeles Municipal Code Section 16.05 and various code sections.

PURPOSE: The Department of Transportation (LADOT) Referral Form serves as an initial assessment to determine whether a project requires a Transportation Assessment.

GENERAL INFORMATION

- Administrative: Prior to the submittal of a referral form with LADOT, a Planning case must have been filed with Los Angeles City Planning.
- All new school projects, including by-right projects, must contact LADOT for an assessment of the school's proposed drop-off/pick-up scheme and to determine if any traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones are needed.
- Unless exempted, projects located within a transportation specific plan area may be required to pay a traffic impact assessment fee regardless of the need to prepare a transportation assessment.
- Pursuant to LAMC Section 19.15, a review fee payable to LADOT may be required to process this form. The applicant should contact the appropriate LADOT Development Services Office to arrange payment.
- LADOT's Transportation Assessment Guidelines, VMT Calculator, and VMT Calculator User Guide can be found at <http://ladot.lacity.org>.
- A transportation study is not needed for the following project applications:
 - Ministerial / by-right projects
 - Discretionary projects limited to a request for change in hours of operation
 - Tenant improvement within an existing shopping center for change of tenants
 - Any project only installing a parking lot or parking structure
 - Time extension
 - Single family home (unless part of a subdivision)
- This Referral Form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, and other issues. These items require separate review and approval by LADOT.

SPECIAL REQUIREMENTS

When submitting this referral form to LADOT, include the completed documents listed below.

- Copy of Department of City Planning Application ([CP-7771.1](#)).
- Copy of a fully dimensioned site plan showing all existing and proposed structures, parking and loading areas, driveways, as well as on-site and off-site circulation.
- If filing for purposes of Site Plan Review, a copy of the Site Plan Review Supplemental Application.
- Copy of project-specific VMT Calculator analysis results.

CPC-2023-6287

TO BE VERIFIED BY PLANNING STAFF PRIOR TO LADOT REVIEW

LADOT DEVELOPMENT SERVICES DIVISION OFFICES: Please route this form for processing to the appropriate LADOT Development Review Office as follows (see [this map](#) for geographical reference):

Metro
213-972-8482
100 S. Main St, 9th Floor
Los Angeles, CA 90012

West LA
213-485-1062
7166 W. Manchester Blvd
Los Angeles, CA 90045

Valley
818-374-4699
6262 Van Nuys Blvd, 3rd Floor
Van Nuys, CA 91401

1. PROJECT INFORMATION

Case Number: _____

Address: 1463 - 1467 S. Wellesley Ave _____

Project Description: Demolition of three SF dwellings and construction of a 17 unit apartment complex _____

Seeking Existing Use Credit (will be calculated by LADOT): Yes No _____ Not sure _____

Applicant Name: Wellesley Avenue Holdings, LLC (c/o Eric Lieberman, QES, Inc.) _____

Applicant E-mail: EricL@qesqms.com _____ Applicant Phone: (818) 997-8033 _____

Planning Staff Initials: _____ Date: _____

2. PROJECT REFERRAL TABLE

	Land Use (list all)	Size / Unit	Daily Trips ¹
Proposed ¹	17 Unit Apartment Building	17	
	Total trips ¹ :		

a. Does the proposed project involve a discretionary action? Yes No
b. Would the proposed project generate 250 or more daily vehicle trips²? Yes No
c. If the project is replacing an existing number of residential units with a smaller number of residential units, is the proposed project located within one-half mile of a heavy rail, light rail, or bus rapid transit station³? Yes No
 If YES to a. and b. or c., or to all of the above, the Project must be referred to LADOT for further assessment.
 Verified by: Planning Staff Name: Ashley Rodarte Phone: 818 374 5070
 Signature: [Signature] Date: 9/18/23

¹ Qualifying Existing Use to be determined by LADOT staff on following page, per LADOT's Transportation Assessment Guidelines.

² To calculate the project's total daily trips, use the VMT Calculator. Under 'Project Information', enter the project address, land use type, and intensity of all proposed land uses. Select the '+' icon to enter each land use. After you enter the information, copy the 'Daily Vehicle Trips' number into the total trips in this table. Do not consider any existing use information for screening purposes. For additional questions, consult LADOT's [VMT Calculator User Guide](#) and the LADOT Transportation Assessment Guidelines (available on the LADOT website).

³ Relevant transit lines include: Metro Red, Purple, Blue, Green, Gold, Expo, Orange, and Silver line stations; and Metrolink stations.

TO BE COMPLETED BY LADOT

3. PROJECT INFORMATION

	Land Use (list all)	Size / Unit	Daily Trips
Proposed			
	<i>Total new trips:</i>		
Existing			
	<i>Total existing trips:</i>		
	<i>Net Increase / Decrease (+ or -)</i>		

- a. Is the project a single retail use that is less than 50,000 square feet? Yes No
- b. Would the project generate a net increase of 250 or more daily vehicle trips? Yes No
- c. Would the project generate a net increase of 500 or more daily vehicle trips? Yes No
- d. Would the project result in a net increase in daily VMT? Yes No
- e. If the project is replacing an existing number of residential units with a smaller number of residential units, is the proposed project located within one-half mile of a heavy rail, light rail, or bus rapid transit station? Yes No
- f. Does the project trigger Site Plan Review (LAMC 16.05)? Yes No
- g. Project size:
 - i. Would the project generate a net increase of 1,000 or more daily vehicle trips? Yes No
 - ii. Is the project's frontage 250 linear feet or more along a street classified as an Avenue or Boulevard per the City's General Plan? Yes No
 - iii. Is the project's building frontage encompassing an entire block along a street classified as an Avenue or Boulevard per the City's General Plan? Yes No

VMT Analysis (CEQA Review)

If **YES** to a. and **NO** to e. a VMT analysis is **NOT** required.
 If **YES** to both b. and d.; or to e. a VMT analysis **is** required.

Access, Safety, and Circulation Assessment (Corrective Conditions)

If **YES** to c., a project access, safety, and circulation evaluation may be required.
 If **YES** to f. and either g.i., g.ii., or g.iii., an access assessment may be required.

LADOT Comments:

Please note that this form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, and other issues. These items require separate review and approval by LADOT. Qualifying Existing Use to be determined per LADOT's Transportation Assessment Guidelines.

4. Specific Plan with Trip Fee or TDM Requirements: Yes No

Fee Calculation Estimate: _____

VMT Analysis Required (Question b. satisfied): Yes No

Access, Safety, and Circulation Evaluation Required (Question c. satisfied): Yes No

Access Assessment Required (Question c., f., and either g.i., g.ii. or g.iii satisfied): Yes No

Prepared by DOT Staff Name: _____ Phone: _____

Signature: _____ Date: _____

CITY OF LOS ANGELES VMT CALCULATOR Version 1.4



Project Screening Criteria: Is this project required to conduct a vehicle miles traveled analysis?

Project Information

Project:

Scenario:

Address:



Existing Land Use

Land Use Type	Value	Unit
Housing Single Family	1	DU
Housing Single Family	1	DU
Housing Single Family	1	DU

Click here to add a single custom land use type (will be included in the above list)

Proposed Project Land Use

Land Use Type	Value	Unit
Housing Multi-Family	17	DU

Is the project replacing an existing number of residential units with a smaller number of residential units AND is located within one-half mile of a fixed-rail or fixed-guideway transit station?

Yes No

Project Screening Summary

Existing Land Use	Proposed Project
21 Daily Vehicle Trips	72 Daily Vehicle Trips
135 Daily VMT	459 Daily VMT
Tier 1 Screening Criteria Project will have less residential units compared to existing residential units & is within one-half mile of a fixed-rail station. <input type="checkbox"/>	
Tier 2 Screening Criteria The net increase in daily trips < 250 trips Net Daily Trips: 51	
The net increase in daily VMT ≤ 0 Net Daily VMT: 324	
The proposed project consists of only retail land uses ≤ 50,000 square feet total. 0.000 ksf	
The proposed project is not required to perform VMT analysis.	

Click here to add a single custom land use type (will be included in the above list)




City of Los Angeles Tree Report
Wellesley Project
1463-1467 Wellesley Avenue
Los Angeles, CA 90025

Community Plan Area: Santa Monica/Venice
City Council District: District 11

Applicant Name: Bo Zarnegin
Contact: (310) 926-9400

ALBERT V.
For BR

**REVIEWED
BY**

 6/12/23

Bryan Ramirez, St. Tree Superintendent
Urban Forestry Division
Reviewing Tree Report Only
Review of report does not
indicate UFD approval for
any tree removal

Preparer Information:

JOHN WINDSOR
CERTIFIED ARBORIST
I.S.A. #WE-1890-A
DPR# QC18416-B-Ret.
27305 Live Oak Rd. A-407
Castaic, Ca. 91384
(661) 904-6895

June 5, 2023

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LIST OF FIGURES & TABLES

- Plot Map
- Tree List
- Site Map

EXECUTIVE SUMMARY

Project Location:

1463-1467 Wellesley Avenue
Los Angeles, CA 90025

Proposed Development:

Property owner wishes to build an apartment complex on the site

Proposed Tree Removals:

All trees will be removed and new trees will be planted according to guidelines set forth by the city

PROJECT OVERVIEW

Project Name:

Wellesley Project

Project APNs:

- 4267-031-025, Lot 82, Tract No. 5598
- 4267-031-026, Lot 83, Tract No. 5598

Project Address:

1463-1467 Wellesley Avenue
Los Angeles, CA 90025

Combined Lot Size:

15,524 sf

Proposed Development:

Apartment complex

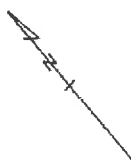
- 3 stories
- 17 units
- 28,918 sf of existing development + 13,105 sf garage

Plot Map:

4267 31
SCALE 1" = 80'

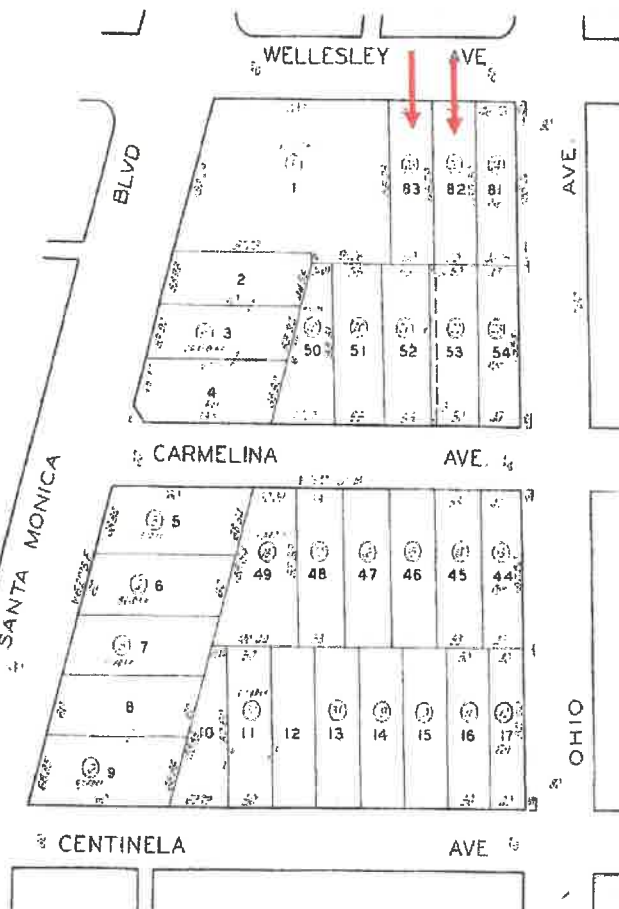
1989

TRACT NO 5598
M.B. 80-3-4



CODE
67

FOR PREV ASSMT. SEE 4267-31



RECORD
INDEXED

COUNTY OF LOS ANGELES, CALIF.

BROADWAY

5-17-2023

JOHN WINDSOR
CERTIFIED ARBORIST
I.S.A. #WE -1890-A
27305 Live Oak Rd. A-407
Castaic, Ca. 91384
(661) 904-6895

CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Avenue
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree survey: Tag and Identify all Trees on Property

Species: Multiple, including Queen Palms, Jacarandas, Eucalyptus and Camphor

Size: Mature and semi-mature, see individual reports and pictures

Notes: All trees with a diameter greater than 8" were tagged and reported.

No trees or shrubs on property were native or protected.

Tags were placed on the North side of trees @ approximately 5'6".

Site map is enclosed with all trees shown.

All trees were in good health unless otherwise noted.

Owner will follow all guidelines set forth by the City of Los Angeles regarding tree removal and replacement.

For further information contact the Bureau of Street Services (BOSS).

NOTES: No protected trees on property. No Oaks, Sycamore, Walnut, etc.

Thank you, John Windsor Certified Arborist

johnwindsor51@aol.com

TREE LIST

#	Species	D.B.H. "	Height '	Width '	Health
1	Queen Palm	9	16	12	A
2	Queen Palm	10	16	14	A
3	Queen Palm	8	20	12	B
4	Queen Palm	9	20	14	B
5	Camphor tree	17	45	50	A
6	Eucalyptus sp.	32	30	24	B
7	Jacaranda mimosifolia	11	35	35	A
8	Jacaranda mimosifolia	10	35	25	B
9	Jacaranda mimosifolia	2 trunks at ground level			
	1 st trunk	8			
	2 nd trunk	10	40	40	A-
10	Avocado	13	50	35	A
11	Sequoia sempervirens	12	50	20	A

5-16-2023

JOHN WINDSOR
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27305 Live Oak Rd. A-407
Castaic, Ca. 91384
(661) 904-6895

CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 01 Location: Wellesley Ave., N.E. Street tree
Species: Queen Palm
Size: 9" D.B.H., 16' tall, 12' wide
Tree Health Rating: A
Diagnosis: No insect or disease problems observed.
Remediations: Tree may be removed for future construction.
Contractor accepts all responsibility for following guidelines set forth by
the city.
See enclosed pictures.
Notes: Be advised of L.A.City Tree Protection Ordinance.
Tree is not a native or protected tree.
Labor: Tree inspection and tagging.
Materials: Tree report and tree tags.
Thank you, John Windsor Certified Arborist WE1890-A
johnwindsor51@aol.com

5-16-2023

JOHN WINDSOR
CERTIFIED ARBORIST
I.S.A. #WE -1890-A
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CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 02 Location: Wellesley Ave., N.E. Street tree (2nd)

Species: Queen Palm

Size: 10" D.B.H., 16' tall, 14' wide

Tree Health Rating: A

Diagnosis: No insect or disease problems observed.

Remediations: Tree may be removed for future construction.

Contractor accepts all responsibility for following guidelines set forth by the City.

See enclosed pictures.

Notes: Be advised of L.A. City Tree Protection Ordinance.

Tree is not a Native or protected tree.

Labor: Tree inspection and tagging.

Materials: Tree report and tree tags.

Thank you, John Windsor Certified Arborist WE1890-A

johnwindsor51@aol.com

5-16-2023

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To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 03 Location: Wellesley Ave. N.E. Street tree (3rd)
Species: Queen Palm
Size:8" D.B.H. 20' tall, 12' wide
Tree Health Rating: B Crown impeded by a Eucalyptus tree.
Diagnosis: No insect or disease problems observed.
Remediations: Tree may be removed for future construction.
Contractor accepts all responsibility for following guidelines set forth by
the City.
See enclosed pictures.
Notes: Be advised of L.A.City Tree Protection Ordinance.
Tree is not a Native or protected tree.
Labor: Tree inspection and tagging.
Materials: Tree report and tree tags.
Thank you, John Windsor Certified Arborist WE1890-A
johnwindsor51@aol.com

5-16-2023

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CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 04 Location: Wellesley Ave., E. Street tree (4th)
Species: Queen Palm
Size: 9" D.B.H., 20' tall, 14' wide
Tree Health Rating: B Crown impeded by a Jacaranda tree.
Diagnosis: No insect or disease problems observed.
Remediations: Tree may be removed for future construction.
Contractor accepts all responsibility for following guidelines set forth by the City.
See enclosed pictures.
Notes: Be advised of L.A. City Tree Protection Ordinance.
Tree is not a Native or protected tree.
Labor: Tree inspection and tagging.
Materials: Tree report and tree tags.
Thank you, John Windsor Certified Arborist WE1890-A
johnwindsor51@aol.com

5-16-2023

JOHN WINDSOR
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CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 05 Location: Front yard of residence, 6' from house.
Species: Camphor tree (Cinnamomum camphora)
Size: 17" D.B.H., 45' tall, 50' wide
Tree Health Rating: A, no structural damage.
Diagnosis: No insect or disease problems observed.
Remediations: Tree may be removed for future construction.
Contractor accepts all responsibility for following guidelines set forth by the City.
See enclosed pictures.
Notes: Be advised of L.A.City Tree Protection Ordinance.
Tree is not a Native or protected tree.
Labor: Tree inspection and tagging.
Materials: Tree report and tree tags.
Thank you, John Windsor Certified Arborist WE1890-A
johnwindsor51@aol.com

5-16-2023

JOHN WINDSOR
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CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 06 Location: Street tree near driveway
Species: Eucalyptus sp.
Size: 32" D.B.H., 30' tall, 24' wide
Tree Health Rating: B, structural damage to sidewalk from roots of the tree.
Diagnosis: No insect or disease problems observed.
Remediations: Tree may be removed for future construction.
Contractor accepts all responsibility for following guidelines set forth by the City.
See enclosed pictures.
Notes: Be advised of L.A.City Tree Protection Ordinance.
Tree is not a Native or protected tree.
Labor: Tree inspection and tagging.
Materials: Tree report and tree tags.
Thank you, John Windsor Certified Arborist WE1890-A
johnwindsor51@aol.com

5-16-2023

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CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310)926-9400

Tree tag# 07 Location: Street tree South of driveway.

Species: Jacaranda mimosifolia

Size: 11" D.B.H., 35' tall, 35' wide

Tree Health Rating: A

Diagnosis: No insect or disease problems observed.

Remediations: Tree may be removed for future construction.

Contractor accepts all responsibility for following guidelines set forth by the City.

See enclosed pictures.

Notes: Be advised of L.A.City Tree Protection Ordinance.

Tree is not a Native or protected tree.

Labor: Tree inspection and tagging.

Materials: Tree report and tree tags.

Thank you, John Windsor Certified Arborist WE1890-A

johnwindsor51@aol.com

5-16-2023

JOHN WINDSOR
CERTIFIED ARBORIST
I.S.A. #WE -1890-A
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Castaic, Ca. 91384
(661) 904-6895

CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 08 Location: Street tree North of driveway.
Species: Jacaranda mimosifolia
Size: 10" D.B.H., 35' tall, 25' wide
Tree Health Rating: B Asymmetric crown.
Diagnosis: No insect or disease problems observed.
Remediations: Tree may be removed for future construction.
Contractor accepts all responsibility for following guidelines set forth by
the City.
See enclosed pictures.
Notes: Be advised of L.A.City Tree Protection Ordinance.
Tree is not a Native or protected tree.
Labor: Tree inspection and tagging.
Materials: Tree report and tree tags.
Thank you, John Windsor Certified Arborist WE1890-A
johnwindsor51@aol.com

5-16-2023

JOHN WINDSOR
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I.S.A. #WE -1890-A
27305 Live Oak Rd. A-407
Castaic, Ca. 91384
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CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 09 Location: In front yard @1465 Wellesley.

Species: Jacaranda mimosifolia

Size: 2 trunks at ground level, 1st is 8" D.B.H. and 2nd is 10" D.B.H., 40' tall,
40' wide

Tree Health Rating: A-, some included bark between trunks.

Diagnosis: No insect or disease problems observed.

Remediations: Tree may be removed for future construction.

Contractor accepts all responsibility for following guidelines set forth by
the City.

See enclosed pictures.

Notes: Be advised of L.A.City Tree Protection Ordinance.

Tree is not a Native or protected tree.

Labor: Tree inspection and tagging.

Materials: Tree report and tree tags.

Thank you, John Windsor Certified Arborist WE1890-A

johnwindsor51@aol.com

5-16-2023

JOHN WINDSOR
CERTIFIED ARBORIST
I.S.A. #WE -1890-A
27305 Live Oak Rd. A-407
Castaic, Ca. 91384
(661) 904-6895

CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310) 926-9400

Tree tag# 10 Location: In back yard @1467 Wellesley, 8' to property line.

Species: Avocado

Size: 13" D.B.H., 50' tall, 35' wide

Tree Health Rating: A

Diagnosis: No insect or disease problems observed.

Remediations: Tree may be removed for future construction.

Contractor accepts all responsibility for following guidelines set forth by the City.

See enclosed pictures.

Notes: Be advised of L.A.City Tree Protection Ordinance.

Tree is not a Native or protected tree.

Labor: Tree inspection and tagging.

Materials: Tree report and tree tags.

Thank you, John Windsor Certified Arborist WE1890-A

johnwindsor51@aol.com

5-16-2023

JOHN WINDSOR
CERTIFIED ARBORIST
I.S.A. #WE -1890-A
27305 Live Oak Rd. A-407
Castaic, Ca. 91384
(661) 904-6895

CERTIFIED ARBORIST REPORT

To: Bo Zarnegin
Address: 1463-1467 Wellesley Ave.
City & State: Los Angeles, Ca.
Phone: (310)926-9400

Tree tag# 11 Location: In the backyard, near the driveway, between residences.

Species: Sequoia sempervirens

Size: 12" D.B.H., 50' tall, 20' wide

Tree Health Rating: A

Diagnosis: No insect or disease problems observed.

Remediations: Tree may be removed for future construction.

Contractor accepts all responsibility for following guidelines set forth by the City.

See enclosed pictures.

Notes: Be advised of L.A.City Tree Protection Ordinance.

Tree is not a Native or protected tree.

Labor: Tree inspection and tagging.

Materials: Tree report and tree tags.

Thank you, John Windsor Certified Arborist WE1890-A

johnwindsor51@aol.com

Tree #1



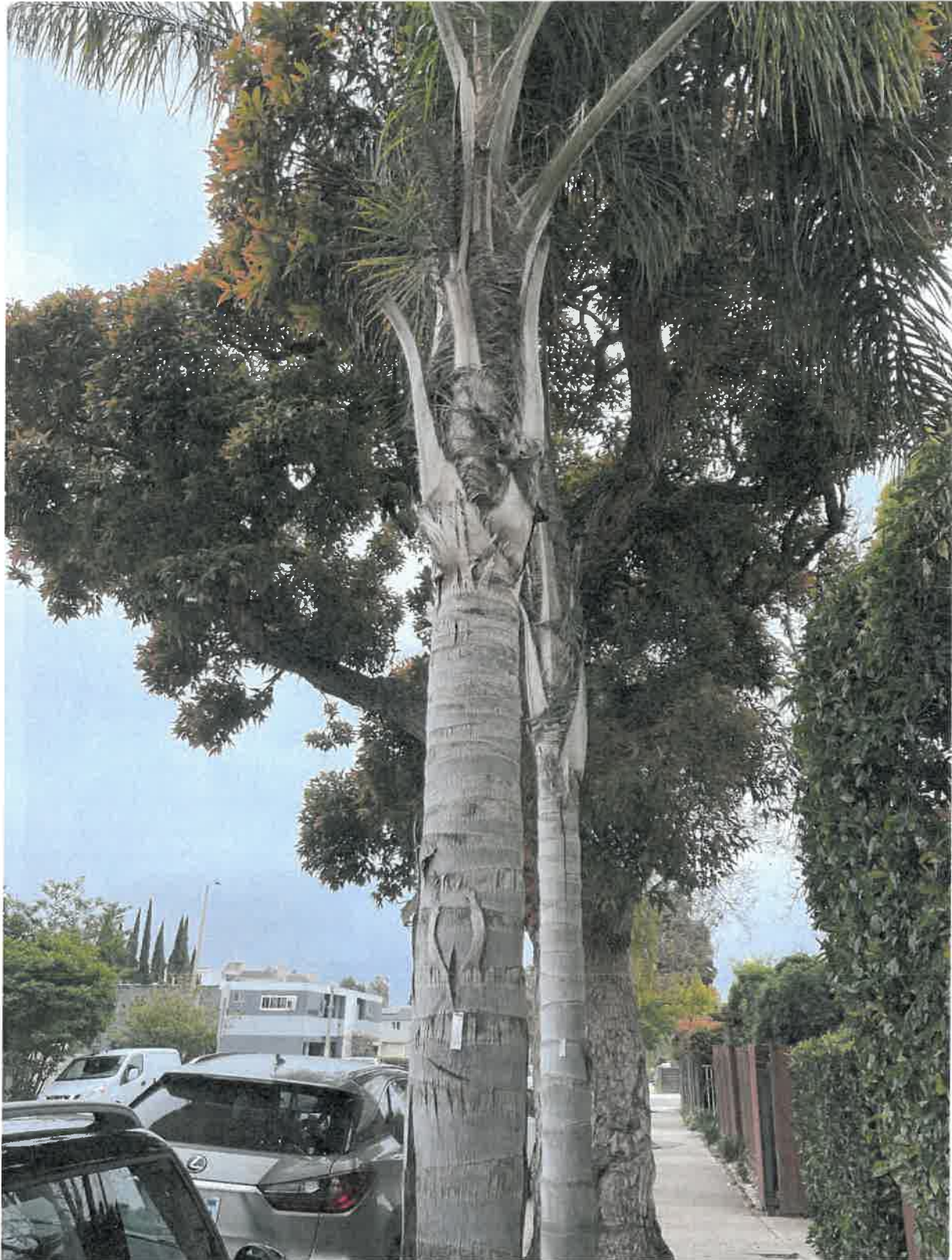
Tree #1



Tree #2



Tree #2



Tree #3



Tree #3



Tree #4



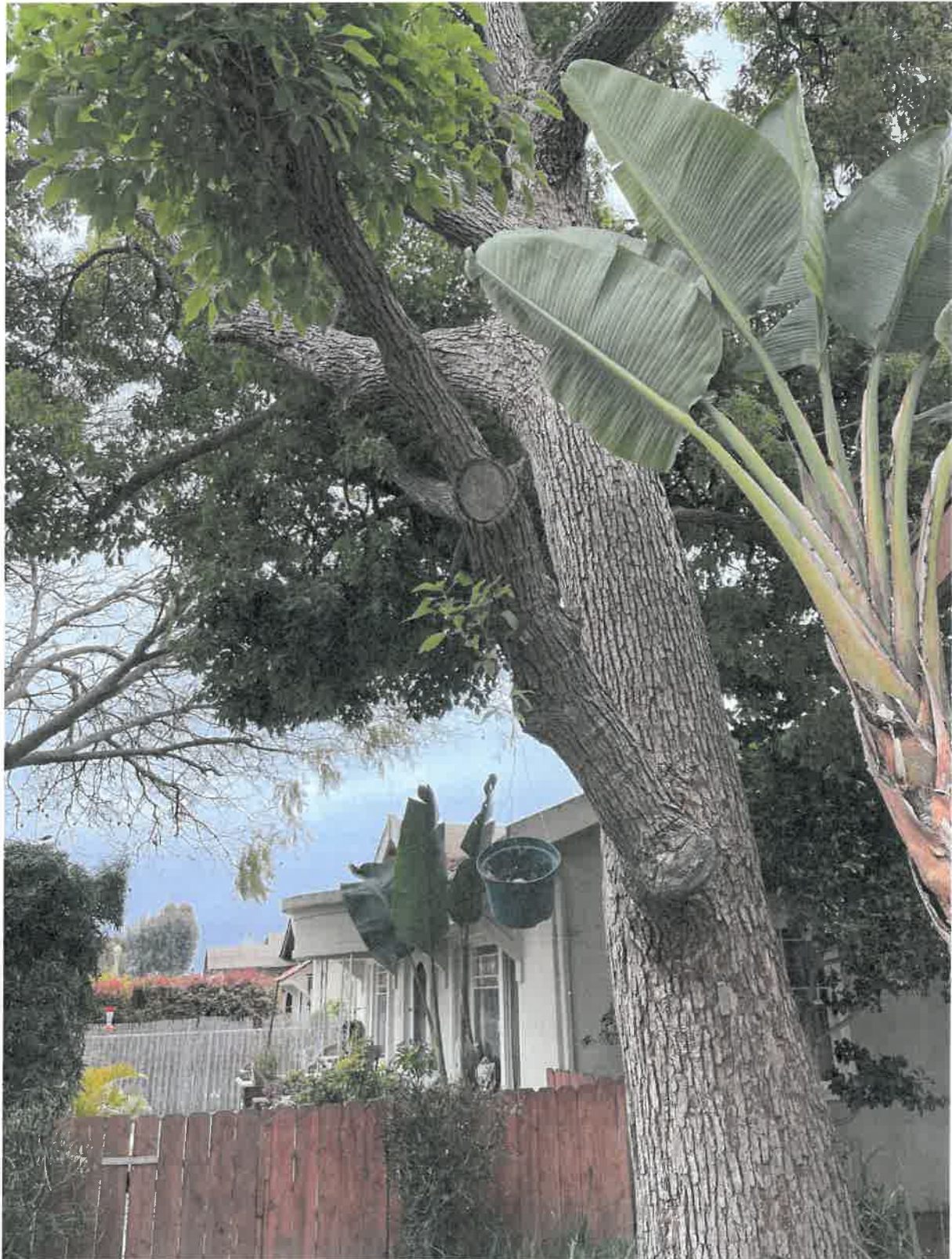
Tree #4



Tree #5



Tree #5



Tree #6



Tree #6



Tree #7



Tree #7



Tree #8



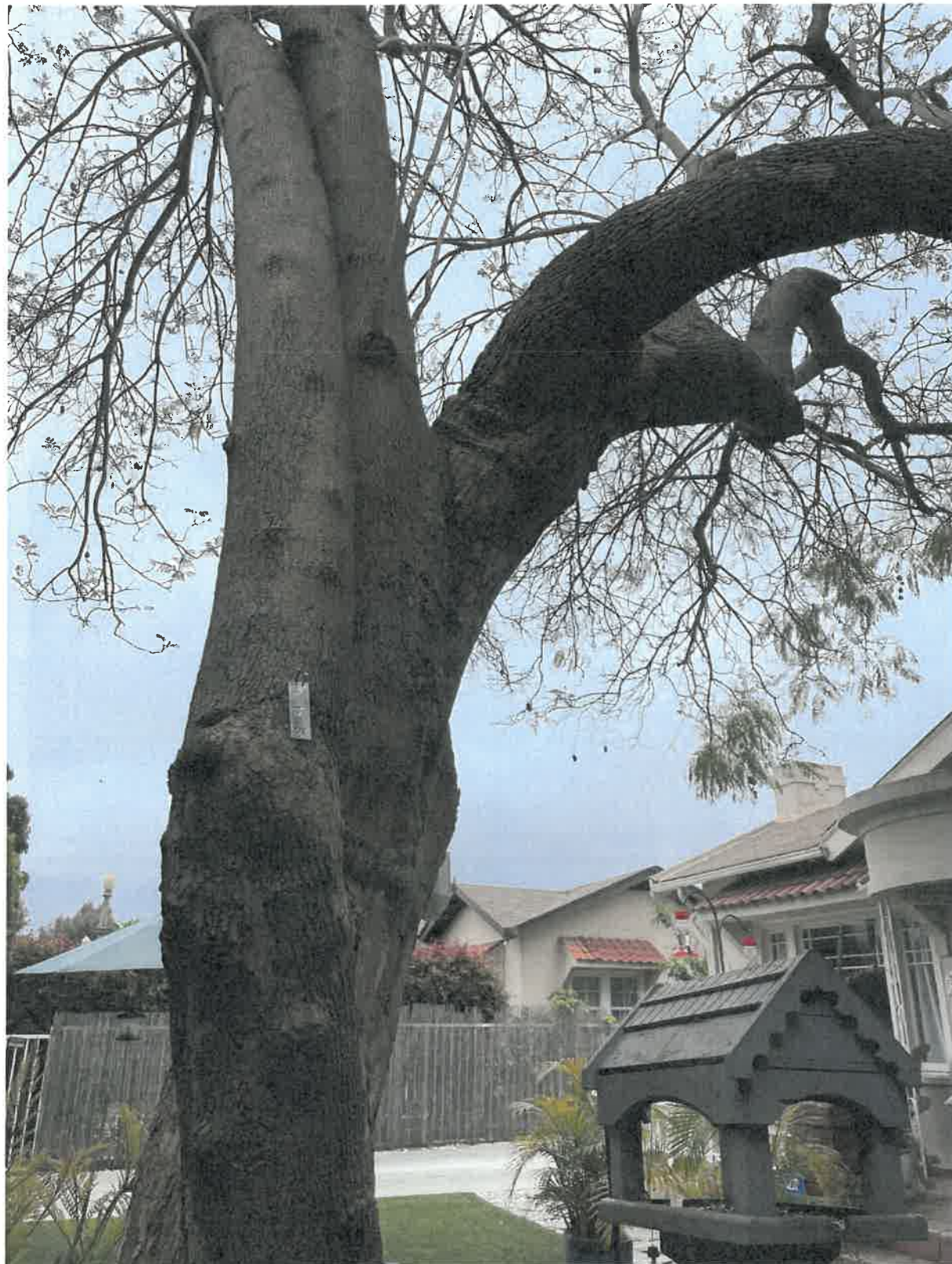
Tree #8



Tree #9



Tree #9



Tree #10



Tree #10



Tree #11



Tree #11



COUNTY CLERK'S USE

CITY OF LOS ANGELES
OFFICE OF THE CITY CLERK
200 NORTH SPRING STREET, ROOM 395
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION
(PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS
CPC-2023-6287-CU-DB-HCA

LEAD CITY AGENCY
City of Los Angeles (Department of City Planning)

CASE NUMBER
ENV-2023-6288-CE

PROJECT TITLE
Wellesley Apartments

COUNCIL DISTRICT
11 - Park

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)
1463 – 1467 South Wellesley Avenue

Map attached.

PROJECT DESCRIPTION:
Density Bonus project for a 17-unit residential development with 3 units set aside for Very Low Income Households.

Additional page(s) attached.

NAME OF APPLICANT / OWNER:
Bo Zarnegin

CONTACT PERSON (If different from Applicant/Owner above)
Eric Lieberman

(AREA CODE) TELEPHONE NUMBER | EXT.
818-997-8033


EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)
STATE CEQA STATUTE & GUIDELINES
 STATUTORY EXEMPTION(S)
Public Resources Code Section(s) _____
 CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)
CEQA Guideline Section(s) / Class(es) **15332 (Class 32)**
 OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:
In-fill development meeting the conditions described in CEQA Guidelines 15332: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.
 None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.
 The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

Additional page(s) attached

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.
If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE
Kyle Winston 

STAFF TITLE
City Planner

ENTITLEMENTS APPROVED
Density Bonus; Conditional Use

FEE:

RECEIPT NO.

REC'D. BY (DCP DSC STAFF NAME)

12304 Santa Monica Blvd., LLC

Wellesley Courtyard

12304 Santa Monica Blvd., Suite 300
Los Angeles, CA 90025
PH: 310-820-2031

November 5, 2024

Kyle Winston, City Planner
200 N. Spring Street, Room 721
Los Angeles, CA 90012

RE: Proposed residential development at 1463-1467 Wellesley Ave., Los Angeles, CA 90025.
Case# CPC-2023-6287-CU-DB-HCA.

Dear Mr. Winston:

I am the Chief Operating Officer of 12304 Santa Monica Blvd., LLC, the commercial office building immediately adjacent to the north of above referenced proposed residential development. I am writing this letter on behalf of our building ownership and concerned tenants of our office building.

We understand the need for more housing and support the referenced residential development except for the following concerns.

We are very concerned about the effects that the construction noise/vibrations and dust will have on the normal every day operation of our building. We are demanding that a temporary sound and dust wall, at least 30' in height, be erected to protect our building from the construction noise, vibrations and dust during the construction phase of the proposed housing development.

Another concern we have is the roof/deck located on the top of the proposed development. We feel that the proposed roof deck will ruin the privacy and cause potential disruptive noise permanently affecting our office building. While there is a need for more housing throughout the greater Los Angeles area, the roof deck does not provide any additional housing, and will only cause privacy and noise problems.

We sincerely request that you address these two issues by requiring the sound and dust wall, and removing the roof deck prior to approving the proposed residential project. Please contact me if you wish to discuss these concerns.

Respectfully yours,

Michael S. Papayans, COO
12304 Santa Monica Blvd., LLC
mpaps@cox.net
310-980-2059