



DEPARTMENT OF CITY PLANNING APPEAL RECOMMENDATION REPORT

City Planning Commission

Date: February 27, 2025
Time: After 8:30 a.m.
Place: Van Nuys City Hall
14410 Sylvan Street
Room 201
Van Nuys, CA 91401

This meeting may be available virtually in a hybrid format. Please check the meeting agenda approximately 72 hours before the meeting for additional information at:

[Commissions, Boards, and Hearings | Los Angeles City Planning](#)

Case No.: ADM-2024-5202-DB-PHP-VHCA-1A
Related Cases: PAR-2024-4645-VHCA;
PAR-2024-3365-AHRF-PHP
CEQA No.: Exempt pursuant to CA PRC Section 21080(b)(1)
Council No.: 12 - Lee
Plan Area: Canoga Park-Winnetka-Woodland Hills-West Hills
Specific Plan: N/A
Certified NC: West Hills
GPLU: Low Residential
Zone: A2-1
Applicant Owner: Jeff Zbikowski, JZ Development LLC
Jill Ross Meer and Ron William Ross,
Co-Trustees of the William G. Ross and Joy A. Ross Survivor's Trust

Public Hearing: N/A

Appellants: Eric Anderson
Robert J. Ball
Jeronnell Barican
Carlos L. Morales (Robert C. Baker, Representative)

Appeal Status: Not further appealable

Expiration Date: March 3, 2025
Multiple Approval: No

PROJECT LOCATION: 7556-7572 N. Woodlake Avenue

PROPOSED PROJECT: The construction, use, and maintenance of a 332 unit, 187,902 square foot, 100 percent affordable senior citizen housing development. The structure will be five stories and 73 feet 2 inches in height. The 332 unit senior housing development will reserve 66 units for Moderate Income Household occupancy, and 265 units for Low Income Household occupancy for a period of 55 years. One on site Manager's unit will be provided. The project is providing 154 automobile parking spaces; 38 long-term bicycle parking spaces and 19 short-term bicycle parking spaces; 28,800 square feet of open space; and 7,220 square feet of landscaping. A minimum total of 83 24-inch box trees will be provided.

APPEALS: Appeals of the December 5, 2024 Letter of Compliance for a Ministerial On-Menu Density Bonus under Case No. ADM-2024-5202-DB-PHP-VHCA which:

1. **Determined**, based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (“CEQA”) as a ministerial project, pursuant to California Public Resources Code (“CA PRC”) Section 21080(b)(1); and
2. **Approved with Conditions**, pursuant to CA GC Section 65915 and Los Angeles Municipal Code Section 12.22 A.25, a Ministerial On-Menu Density Bonus Compliance Review for a 100 percent Affordable Housing Development (as defined in CA GC Section 65915(b)(1)(C) and (G)) for a project totaling 332 units in a senior citizen housing development, reserving one Manager’s Unit, 66 units set aside for Moderate Income Household occupancy, and 265 units set aside for Low Income Household occupancy for a period of 55 years. As the project requested a waiver from maximum controls on density, the project is allowed five incentives and one waiver pursuant to CA GC Section 65915(e)(3) and the following were granted:
 - a. **Side Yard (On-Menu Incentive)**. An up to 20 percent reduction in the required north side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.
 - b. **Side Yard (On-Menu Incentive)**. An up to 20 percent reduction in the required south side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.
 - c. **Open Space (On-Menu Incentive)**. An up to 20 percent decrease in the required open space, allowing a minimum of 28,800 square feet of open space in lieu of the required 36,100 square feet of open space.

RECOMMENDED ACTIONS:

1. **DETERMINE** that based on the whole of the administrative record, the project is statutorily exempt from the California Environmental Quality Act (“CEQA”) as a ministerial project, pursuant to CA PRC Section 21080(b)(1).
2. **DENY** the appeal and **SUSTAIN** the Department of City Planning’s (“City Planning”) determination as conditioned to approve a Ministerial Density Bonus Compliance Review for a 100 percent Affordable Housing Development (as defined in CA GC Sections 65915(b)(1)(C) and (G)), for a project totaling 332 units in a senior citizen housing development, reserving one Manager’s Unit, 66 units set aside for Moderate Income Household occupancy, and 265 units set aside for Low Income Household occupancy for a period of 55 years. As the project has requested a waiver from maximum controls on density, the project is allowed five incentives and one waiver pursuant to California Government Code Section 65915(e)(3) and the following are granted:
 - a. **Side Yard (On-Menu Incentive)**. An up to 20 percent reduction in the required north side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.

- b. **Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required south side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.
 - c. **Open Space (On-Menu Incentive).** An up to 20 percent decrease in the required open space, allowing a minimum of 28,800 square feet of open space in lieu of the required 36,100 square feet of open space.
3. **ADOPT** the conditions of approval and findings of the December 5, 2024 Director of Planning Letter of Compliance.

VINCENT P. BERTONI, AICP
Director of Planning

Approved by:

Blake Lamb
Blake Lamb, Principal Planner

Reviewed by:

Claudia Rodriguez
Claudia Rodriguez, Senior City Planner

Prepared by:

Laura Frazin Steele
Laura Frazin Steele, City Planner
laura.frazinsteel@lacity.org

BL:CR:LFS

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Planning Commission Secretariat, 200 North Spring Street, Room 272, Los Angeles, CA 90012 (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agenda itemized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to the programs, services, and activities. Sign language interpreters, Communication Access Real-Time Transcription (CART), Assistive Listening Devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting you wish to attend. Due to difficulties in securing Sign Language Interpreters, five or more business days' notice is strongly recommended. For additional information, please contact the Commission Secretariat (213) 978-1300.

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PROJECT ANALYSIS

PROJECT SUMMARY

The proposed project was approved under Case No. ADM-2024-5202-DB-PHP-VHCA on December 5, 2024 by the Director of Planning as a 332 unit, 187,902 square foot senior citizen housing development (see “**Exhibit A**” – project plans and “**Exhibit B**” – Letter of Compliance). The project is five stories, 73 feet 2 inches in height. The 332 unit senior citizen housing development will reserve 100 percent of the units for affordable senior housing with 265 units available for Low Income Household occupancy, 66 units available for Moderate Income Household occupancy, and one Manager’s unit. Pursuant to California Government (“CA GC”) Code Section 65915(b), a city is required to grant one density bonus, incentives and concessions, waivers, and parking ratios as described in CA GC 65915 et seq. if the housing development project will contain a senior housing development. Pursuant to State Density Bonus Law under GC Section 65915(d)(2)(D), a project located within one-half mile of a Very Low Vehicle Miles Traveled (Very Low VMT) area (State AB 2334) may receive a waiver from any maximum controls on density, a height increase of up to three additional stories or up to 33 additional feet, and an applicant may request that the city not impose any minimum vehicular parking requirement for 100 percent affordable housing projects. The applicant is utilizing an automobile parking reduction offered under GC Sections 65915(o) and 65915(p)(3)(B) which allows the applicant to provide 0 parking spaces for a 100 percent affordable housing project located within a Very Low VMT area for individuals who are 55 years of age and older (i.e., senior citizens). The applicant’s plans show 154 parking spaces; however, in compliance with State Density Bonus law no parking is required herein. However, the project is voluntarily providing 154 automobile parking spaces. The project is providing a minimum total of 38 long-term bicycle parking spaces and 19 short-term bicycle parking spaces as required pursuant to LAMC Section 12.21 A.16 and as regulated by the Los Angeles Department of Building and Safety (“LADBS”).

As conditioned under Case No. ADM-2024-5202-DB-PHP-VHCA and as shown on “**Exhibit A**,” the project is providing a minimum of 28,800 square feet of open space, and in compliance with LAMC Section 12.40, a minimum total of 7,220 square feet of landscaped open space is required (25 percent of open space shall be landscaped). Further, as shown on “**Exhibit A**,” in compliance with Landscape Ordinance Guidelines “O,” a minimum total of landscape points required for the 95,763 square foot project site is 50 landscaped points. However, the project is proposing on-menu yard incentives pursuant to LAMC Section 12.22 A.25(f)(1), which requires that the project provide landscape points for the project equivalent to 10 percent or more than otherwise required. As such, as conditioned (**Condition No. 15**) and as shown on “**Exhibit A**,” the project is providing a minimum of 55 landscape points.

As conditioned (**Condition No. 12**) and as shown on “**Exhibit A**,” a total of 83 minimum 24-inch box trees shall be provided on site as required pursuant to LAMC Section 12.21 G.2. As conditioned, no on-site protected tree removal is requested or approved herein. Any removal of protected trees requires the review and approval of the Urban Forestry Division. As further conditioned and as shown on “**Exhibit A**,” the on-site protected Southern California Black Walnut Tree located within the 25 foot landscaped setback area abutting Saticoy Street shall be retained and protected in place. As shown on “**Exhibit A**” and as conditioned (**Condition No. 13**), the three protected street trees (one canyon oak and two Southern California black walnut trees) along Saticoy Street shall be retained and protected in place. Further, street trees shall be provided to the satisfaction of the Urban Forestry Division, and any removal of street trees

requires the review and approval of the Urban Forestry Division. “**Exhibit A**” shows one protected canyon oak tree and two Southern California black walnut trees on the neighboring property to the south. As conditioned (**Condition No. 14**), these three protected trees on the neighboring property will be retained and protected in place. Any removal of protected trees requires the review and approval of the Urban Forestry Division.

BACKGROUND

Subject Site

As shown in **Figures 1 and 2**, the subject site is an irregular-shaped, sloping lot located at the southeast corner of Saticoy Street and Woodlake Avenue (see “**Exhibit C**”). The subject site is approximately 95,783 square feet in lot area according to a survey provided by the applicant and stamped by a licensed professional land surveyor. The subject site is located within the Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan area (see “**Exhibit D**”). The subject site is not located within a geographic specific plan area or a community design overlay.

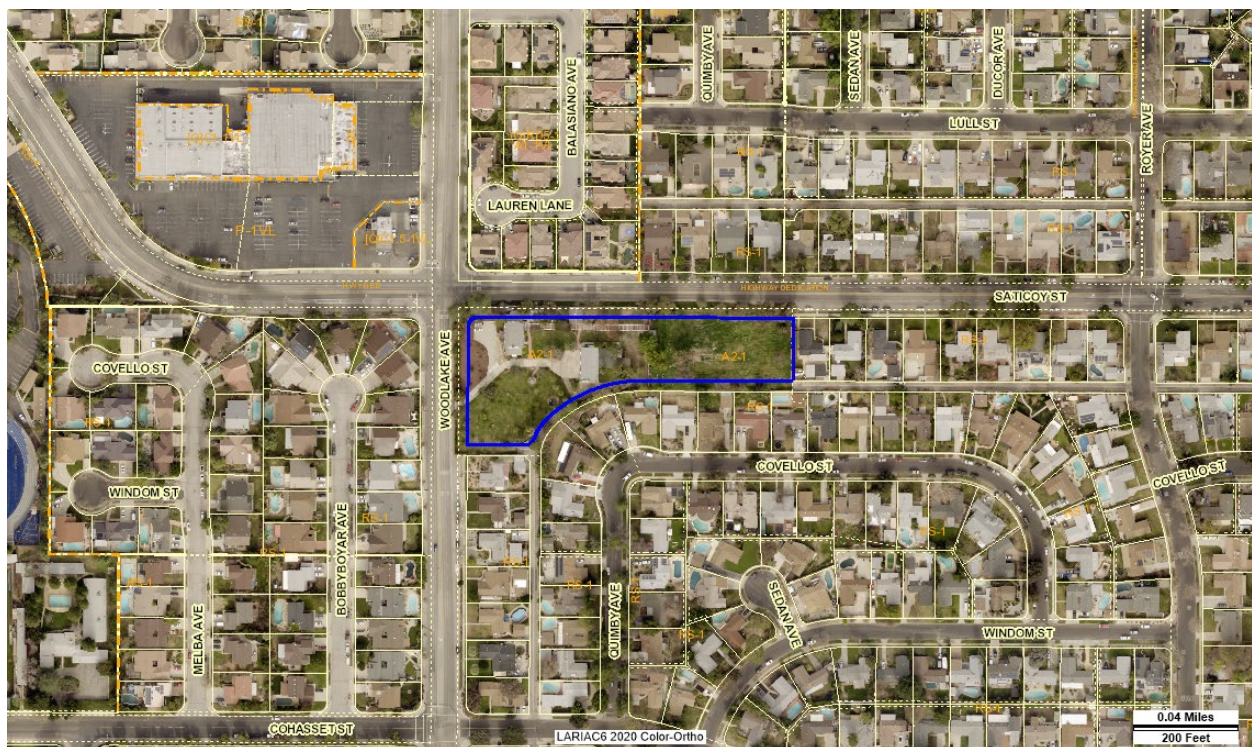


FIGURE 1. AERIAL VIEW

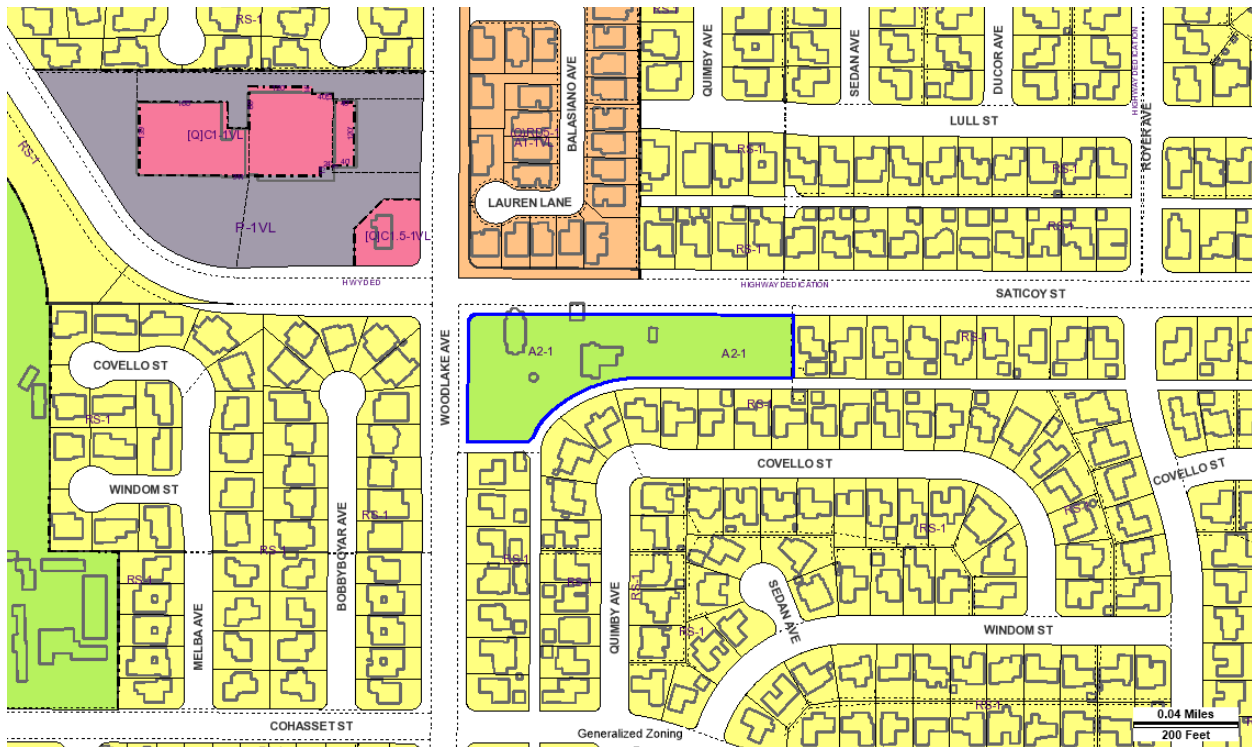


FIGURE 2. ZIMAS MAP

The subject site extends for approximately 606 linear feet along Saticoy Street to the north and 235 linear feet along Woodlake Avenue to the west. The subject site extends for approximately 120 linear feet to the east. To the south, the subject site extends for approximately 115 linear feet along a partially improved 20 foot alley. The site boundary curves to the south along the partially improved 20 foot alley for approximately 535 feet. Although the alley is not fully dedicated and improved, it is recognized as an alley as disclosed on City's Bureau of Engineering ("BOE") Department of Public Works NavigatELA records (**see Figure 3**).

The partially improved 20 foot alley shown in **Figure 3** that abuts the southern property line for the length of the subject site in an east-west direction intersects with Royer Avenue to the east and Woodlake Avenue to the west. A second 20 foot alley (**see Figures 1 and 2**) runs perpendicular to the subject site in a north-south direction and intersects with the first alley to the north and Cohasset Street to the south. The second alley ends in a cul-de-sac approximately 1,000 feet to the south of the subject site.



FIGURE 3. NAVIGATE LA

Saticoy Street is designated an Avenue II by the City's Mobility Plan 2035, with a designated right-of-way width of 86 feet and a designated roadway width of 56 feet. The north side of Saticoy Street is improved with a curb, gutter, and sidewalk; however, the south side of Saticoy Street at the subject site is unimproved. To the west, abutting the subject site, Saticoy Street is improved with a curb, gutter, and sidewalk.

Woodlake Avenue is designated an Avenue II by the Mobility Plan 2035, with a designated right-of-way width of 86 feet and a designated roadway width of 56 feet. Woodlake Avenue is unimproved at the subject site, but is improved with a curb, gutter, and sidewalk to the south of the subject site. Across Woodlake Avenue, the public right-of-way is improved with a curb, gutter, and sidewalk.

A 25 foot building line originally established by the Los Angeles City Council on May 11, 1951 under Ordinance No. 98,019 (Case No. 1252) extends along Saticoy Street to the north. A 26 foot building line originally established by the Los Angeles City Council on October 28, 1958 under Ordinance No. 112,349 (Case No. 1471) extends along Woodlake Avenue to the east.

The subject site zone is zoned A2-1 and is designated for Low Residential land use by the Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan. The Low Residential land use designation corresponds to the RE9, RS, R1, RU, RD6, and RD5 Zones.

ZIMAS records show that subject site is located within an area designated under ZI-2438 Equine Keeping in the City of Los Angeles. Pursuant to ZI-2438, lots that are located within the RA, RE20, RE40, A1, and A2 Zones and are proposing to develop habitable space are required to comply with distance requirements pursuant to LAMC Section 12.21 C.5 as regulated by the Los

Angeles Department of Building and Safety (LADBS) or apply for relief (pursuant to Chapter 1, LAMC Section 12.24 X.5/Chapter 1A, LAMC Section 13B.2.1).

ZIMAS shows that the subject site is located in an area designated as Very Low Vehicle Traveled Area (Very Low VMT) pursuant to State AB 2334. A “Very Low Vehicle Travel Area” is defined by California Government Code Section 65915(o)(9) to mean an urbanized area, as designated by the United States Census Bureau, where the existing residential development generates vehicle miles traveled per capita that is below 85 percent of either regional vehicle miles traveled per capita or city vehicle miles traveled per capita.

The site is also located within an Urban Agriculture Incentive Zone (UAIZ), which allows landowners to enter into a voluntary contract with the City to use vacant properties for active agricultural purposes in exchange for a potential property tax reduction. No agricultural uses under a UAIZ are requested or approved herein.

ZIMAS records show that the subject site is not located within an area designated as a Hillside, Airport Hazard, or Coastal Zone. The site is not located within an area designated under State AB 2097 as a Reduced Parking Area, which would otherwise prohibit the City from imposing or enforcing parking requirements on residential projects located within a one-half mile radius of a Major Transit Stop. The subject site is not located within a Very High Fire Hazard Severity Zone, Flood Zone, Watercourse, Methane Hazard Site, High Wind Velocity Area, or BOE Special Grading Area. There are no known oil wells on the subject site. Further, the site is not located within the Santa Monica Mountains Zone, or an area designated as a Biological Resource Potential, Mountain Lion Potential or Monarch Butterfly Potential.

According to ZIMAS records, the subject site is located approximately 12.2 km from the nearest fault (Simi – Santa Rosa Fault Zone). ZIMAS shows that the subject site is not located within an Alquist-Priolo Fault Zone, Landslide area, Preliminary Fault Rupture Study Area, or Tsunami Hazard Area. The subject site is located within a Liquefaction area, and the project will be reviewed by LADBS for soils and liquefaction in accordance with Code requirements.

The subject site is not an historic resource. The previous development on the site was identified on the City’s Historic Places LA website and in SurveyLA (Canoga Park – Winnetka – Woodland Hills – West Hills Individual Resources) as eligible for the California and National Historic Registers. The 1927 single-family residence that was on the subject site (Circle S Ranch) has since been demolished. Prior to its demolition, the Circle S Ranch was recognized as historically significant for its representation of the earliest pattern of development in the area, as a rare, remaining example of an intact 1920s estate in West Hills, and as an excellent example of the Dutch Colonial Revival style. On August 5, 2015, under Case No. CHC-2015-770-HCM, the Los Angeles City Council denied the inclusion of the Circle S Ranch in the list of Historic-Cultural Monuments. The single-family residence has since been demolished.

City building records, which are maintained by LADBS, disclose an historical record of site demolition and improvements. A summary of building records for the subject site is as follows:

- Permit No. 1931LA02888 - On February 13, 1931, an Application to Alter, Repair or Demolish was issued by LADBS to convert the second story of an existing structure to maid’s quarters. The permit disclosed that two structures were on the subject site.
- Permit Nos. 1944VN50179 and 1944VN50180 – On January 24, 1944, an Application for the Erection of a Building and an Application to Alter, Repair, Move or Demolish was issued by LADBS. The scope of work included re-roofing existing structures on site.

- Permit No. 1955LA21669 - On July 20, 1955, an Application to Relocate Building and for Certificate of Occupancy was issued by LADBS for a new foundation for an existing horse barn. Permit records show an existing dwelling on site.
- Permit No. 1972VN90272 - On October 30, 1972, an Application to Add-Alter-Repair-Demolish and for Certificate of Occupancy was issued for structural repairs and additions to an existing dwelling on the subject site.
- Permit No. 1976VN39860 - On May 31, 1976, June 3, 1976, and June 10, 1976, an Application for Inspection of a New Building and for Certificate of Occupancy were issued by LADBS to construct a chicken house. Records also show an existing guest house and existing dwelling on the subject site.
- Certificate of Occupancy No. 1976VN39860 – On October 13, 1976, a Certificate of Occupancy was issued for a one-story, 12 foot by 24 foot chicken house accessory to R-1 Occupancy.
- Certificate of Compliance No. R-12644 – On March 3, 2002, a Certificate of Compliance was issued for re-roofing a detached single-family dwelling.
- Permit No. B23VN13179 / 23019-20000-03762 – A Pre-Inspection Permit for the demolition of a two-story single-family dwelling was completed on January 10, 2024.
- Permit No. B23VN13310 / 23019-20000-03798 – On May 9, 2024, a Demolition Permit was issued by LADBS for a miscellaneous building/structure (one-story accessory structure).
- Permit No. B23VN13154 / 23019-20000-03756 – On May 14, 2024, a Demolition Permit was issued by LADBS to demolish an existing two-story single-family dwelling on the subject site.

Surrounding Properties

Surrounding properties are currently improved with one- and two story single-family residential and commercial uses. To the north, across Saticoy Street, abutting sites are zoned (Q)RD5-1 with an underlying zone of A1-1VL and designated for Low Medium I Residential land use and RS-1 and designated for Low Residential land use. The sites to the north are improved with one- and two-story single-family dwellings. To the south, across the alley, abutting sites are zoned RS-1 and designated for Low Residential land use. These sites are improved with one-story single family dwellings. Sites abutting the subject site to the east, northeast, and southeast are zoned RS-1 and designated for Low Residential land use. These sites are improved with one-story single-family dwellings. The abutting sites to the west and southwest across Woodlake Avenue are zoned RS-1 and designated for Low Residential land use. These sites are improved with two-story single family dwellings. The abutting site at the northwest corner of Woodlake Avenue and Saticoy Street is zoned [Q]C1.5-1VL and designated for Neighborhood Office Commercial land use. This site is improved with an automotive service station. The automotive service station is located on a larger site that is zoned [Q]C1.5-1VL and P-1VL and designated for Neighborhood Office Commercial land use. This site is improved with one-story commercial retail land uses.

Chaminade College Preparatory School (Chaminade High School) is currently located approximately 0.2 miles to the west at 7500 N. Chaminade Avenue and 23241 W. Cohasset Street. Chaminade College Preparatory submitted an entitlement application with Los Angeles City Planning for the expansion of an existing high school campus under Case Nos. CPC-2023-1254-VZC-HD-ZAD-ZAA and VTT-84101 and associated environmental Case No. ENV-2023-1255-MND (related Case No. CPC-2009-1477-CU-ZV-ZAA-SPR-PA1). Under the proposed expansion, the high school campus would expand to include 23260 W. Saticoy Street, 23217-

23255 W. Saticoy Street, and 7619-7629 N. Woodlake Avenue. As proposed by the applicant, the high school campus boundary would be approximately 200 feet from the subject site. However, as currently proposed, the high school campus would not expand to abut the subject site.

APPROVED ACTION

Case No. ADM-2024-5202-DB-PHP-VHCA

On December 5, 2024, the designee of the Director of Planning issued a Letter of Compliance (“12/5/2024 Letter of Compliance”) for a Ministerial On-Menu Density Bonus under Case No. ADM-2024-5202-DB-PHP-VHCA to approve a 100 percent Affordable Housing Development (as defined in California Government Code Section 65915(b)(1)(C) and (G)), for a project totaling 332 units in a senior citizen housing development, reserving one Manager’s Unit, 66 units set aside for Moderate Income Household occupancy, and 265 units set aside for Low Income Household occupancy for a period of 55 years. As the project meets the criteria outlined in GC Section 65915(d)(2)(D), the project is eligible for base incentives and the non-imposition of maximum controls on density (pursuant to CA GC 65915(f)(3)(D)). As such the project is eligible for and was granted the following base incentives under Case No. ADM-2024-5202-DB-PHP-VHCA:

- **Density.** An unlimited increase in density to allow 332 units in lieu of the otherwise allowed 20 base units.
- **Height.** An up to 33 foot increase in height to allow a maximum building height of 73 feet and 2 inches in lieu of the otherwise allowable 45 feet in height.
- **Parking.** A reduction to zero residential parking spaces. In the event that the composition of units should change (i.e., the number of units made available to senior citizens), and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios regulated under LAMC Section 12.22 A.25(d).

The project is allowed five incentives and one waiver pursuant to California Government Code Section 65915(e)(3). Accordingly, the following On-Menu incentives were granted under Case No. ADM-2024-5202-DB-PHP-VHCA:

1. **Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required north side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.
2. **Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required south side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.
3. **Open Space (On-Menu Incentive).** An up to 20 percent decrease in the required open space, allowing a minimum of 28,800 square feet of open space in lieu of the required 36,100 square feet of open space.

Further, as a ministerial project, the project was found to be statutorily exempt from the California Environmental Quality Act (“CEQA”) pursuant to State Public Resources Code Section 21080(b)(1).

On-Menu Density Bonus Ministerial Review Process

California Government Code (CA GC) Section 65915 et seq. regulates Density Bonus housing development projects. Pursuant to CA GC 65915(a)(1):

When an applicant seeks a density bonus for a housing development within, or for the donation of land for housing within, the jurisdiction of a city, county, or city and county, that local government shall comply with this section..

CA GC 65915(a)(2) continues as follows:

A local government shall not condition the submission, review, or approval of an application pursuant to this chapter on the preparation of an additional report or study that is not otherwise required by state law, including this section.

Further, CA GC 65915(D)(i) requires that a Density Bonus housing development project determination issued by a local government shall determine the following:

(I) The amount of density bonus, calculated pursuant to subdivision (f), for which the applicant is eligible.

(II) If the applicant requests a parking ratio pursuant to subdivision (p), the parking ratio for which the applicant is eligible.

(III) If the applicant requests incentives or concessions pursuant to subdivision (d) or waivers or reductions of development standards pursuant to subdivision (e), whether the applicant has provided adequate information for the local government to make a determination as to those incentives, concessions, waivers, or reductions of development standards.

As further regulated under CA GC 65915(b), a city is required to grant one density bonus as specified in Section 65915(f), incentives and concessions as described in Section 65915(d), waivers as described in Section 65915(e), and parking ratios as described in Section 65915(p) if the housing development project will contain a senior housing development. Further, a local agency is required to grant one density bonus, incentives and concessions, waivers, and parking ratios as described in CA GC 65915 et seq. for a housing development project that is 100 percent affordable (exclusive of Manager's units) for lower income households, except that 20 percent of the units in the development may be for moderate income households.

The project proposes a minimum of 20 percent of the project's total number of dwelling units as affordable to Low Income Household occupancy, and as such was processed utilizing the City's Priority Housing Program (PHP) including a reduced processing timeline. In the event the applicant reduces the project's percentage of affordable units, a substantial conformance review process along with required fees shall be required as conditioned in the 12/5/2024 Letter of Compliance (**Condition No. 6**).

Pursuant to State Density Bonus Law under Government Code Section 65915(d)(2)(D), a project located within one-half mile of a Very Low Vehicle Miles Traveled (Very Low VMT) area (State AB 2334) may receive a waiver from any maximum controls on density, a height increase of up to three additional stories or up to 33 additional feet, and an applicant may request that the city not impose any minimum vehicular parking requirement for 100 percent affordable housing projects. The applicant is utilizing an automobile parking reduction offered under Government Code Sections 65915(o) and 65915(p)(3)(B) which allows the applicant to provide 0 parking spaces for a 100 percent affordable housing project located within a Very Low VMT area for

individuals who are 55 years of age and older (i.e., senior citizens). The applicant's plans show 154 parking spaces; however, in compliance with State Density Bonus law no parking is required herein.

Additionally, 100 percent Affordable Housing Developments are entitled to request unlimited density if the project is within a one-half mile of a major transit stop or within a very low vehicle travel area (CA Govt. Section 65915(f)(3)(D)(ii)). Lastly, the Housing Development that receives a waiver from any maximum controls on density shall be eligible for one waiver unless the City agrees to additional waivers or reductions of development standards (CA GC Section 65915(e)(3)).

The City's Density Bonus Ordinance (codified at LAMC Section 12.22 A.25) and State Density Bonus law (Government Code Section 65915) outline types of relief that minimize restrictions on the size of the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives, concessions, and/or waivers to deviate from development standards in order to facilitate the provisions of affordable housing at the site. The approved incentives and waivers allow the developer to expand the building envelope so the additional affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased.

Given that the applicant is providing 100 percent of dwelling units to be affordable at Low Income and Moderate Income Household occupancy to senior citizens aged 55 years and older for a period of 55 years, and meets the criteria outlined in Government Code Section 65915(d)(2)(D), the project is eligible for the base incentives and up to five incentives and one waiver per California Government Code Section 65915(d)(2)(D). Pursuant to State Density Bonus law, and disclosed above, the applicant has been approved for the following base incentives which are granted by-right:

- **Density.** An unlimited increase in density to allow 332 units in lieu of the otherwise allowed 20 base units.
- **Height.** An up to 33 foot increase in height to allow a maximum building height of 73 feet and 2 inches in lieu of the otherwise allowable 45 feet in height.
- **Parking.** A reduction to zero residential parking spaces. In the event that the composition of units should change (i.e., the number of units made available to senior citizens), and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios regulated under LAMC Section 12.22 A.25(d).

Pursuant to State Density Bonus law and LAMC Section 12.22 A.25, the project is eligible for, and has been granted three on-menu incentives to construct the proposed project as follows:

- **Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required north side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the otherwise minimum required 11 feet and 11 and $\frac{3}{4}$ inches.
- **Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required south side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the otherwise minimum required 11 feet and 11 and $\frac{3}{4}$ inches.

- **Open Space (On-Menu Incentive).** An up to 20 percent reduction in required open space to provide 28,800 square feet of open space in lieu of the otherwise required 38,100 square feet of open space.

As disclosed in Planning’s January 25, 2021 memorandum entitled “On-Menu Density Bonus Ministerial Review Process” (“1/25/2021 Density Bonus Memo” – **see “Exhibit E”**), the City does not have the authority to deny a density bonus or an on-menu incentive in the absence of objectively defined circumstances. Further, the City does not have the authority to require a discretionary approval for a density bonus with an on-menu request absent any additional entitlement requests. Pursuant to CA GC 65915(f)(5) and (j)(1):

(f)(5) The granting of a density bonus shall not require, or be interpreted, in and of itself, to require a general plan amendment, zoning change, or other discretionary approval.

(j)(1) The granting of a concession or incentive shall not require, or be interpreted, in and of itself, to require a general plan amendment, zoning change, or other discretionary approval.

Pursuant to CA GC Section 65915(d)(1), the City has the authority to deny a density bonus or requested incentive only when the City makes a written finding, based upon substantial evidence, of any of the following:

(A) The concession or incentive does not result in identifiable and actual cost reductions, consistent with subdivision (k), to provide for affordable housing costs, as defined in Section 50052.5 of the Health and Safety Code, or for rents for the targeted units to be set as specified in subdivision (c).

(B) The concession or incentive would have a specific, adverse impact, as defined in paragraph (2) of subdivision (d) of Section 65589.5, upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low-income and moderate-income households.

(C) The concession or incentive would be contrary to state or federal law.

The California Health and Safety Code Section 65589.5(d)(2) defines a specific, adverse impact as follows:

(2) ...As used in this paragraph, a “specific, adverse impact” means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete. The following shall not constitute a specific, adverse impact upon the public health or safety:

(A) Inconsistency with the zoning ordinance or general plan land use designation...

As such, density bonus on-menu requests are ministerial and not discretionary based on restrictions in State Density Bonus law. Planning operates under the framework that the on-menu incentives codified in LAMC Section 12.22 A.25 provide additional buildable area that in turn provides additional project income and affordable housing costs. On the basis of State Density Bonus law, a finding is not needed to justify an on-menu density bonus request. Further, incentives and waivers can only be denied when the request has a specific, adverse impact upon public health and safety or an historic resource and there is no feasible method to mitigate or

avoid the specific, adverse impact. Denial of an on-menu density bonus requires that a specific, adverse impact be quantifiable, direct, and unavoidable based on objective, identified, written public health or safety standards or conditions when the application was deemed complete.

Ministerial actions are exempt from CEQA pursuant to State PRC Section 21080. CEQA Guidelines Section 15369 defines “ministerial” as follows:

“Ministerial” describes a governmental decision involving little or no personal judgment by the public official as to the wisdom or manner of carrying out the project. The public official merely applies the law to the facts as presented but uses no special discretion or judgment in reaching a decision. A ministerial decision involves only the use of fixed standards or objective measurements, and the public official cannot use personal, subjective judgment in deciding whether or how the project should be carried out.

As disclosed in the 1/25/2021 Density Bonus Memo (“**Exhibit E**”), Planning has no subjective discretion to approve or deny on-menu density bonus incentives. Planning is unable to address environmental impacts related to the project by State law. The State has determined that for ministerial projects, either no significant impact would exist and/or the public benefits of the 100 percent Affordable Housing Development for seniors will outweigh any impacts.

As applied here, the record does not contain substantial evidence that would allow the decision maker to make a finding that the approved incentives for a north and south side yard reduction and a decrease in open space do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health and Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for low and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels. The Density Bonus incentives result in identifiable and actual cost reductions to provide for affordable housing costs because the incentives by their nature increase the scale of the project and thus facilitates the provision of affordable housing units. The project includes three On-Menu Incentives, which further expand the building envelope and allow for identifiable cost reductions in providing for the affordable units. The requested incentives for a reduction in yard setbacks and open space permit exceptions to zoning requirements that result in building design or construction efficiencies to provide for affordable housing costs. The requested incentives allow the developer to expand the building envelope so the additional units can be constructed, and the overall space dedicated to residential uses is increased.

There is no evidence in the record that the approved incentives would have a specific adverse impact. A “specific adverse impact” is defined as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” per LAMC Section 12.22 A.25(b). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. As previously disclosed, on August 5, 2015, under Case No. CHC-2015-770-HCM, the Los Angeles City Council denied the inclusion of the Circle S Ranch in the list of Historical-Cultural Monuments and the structures on site were subsequently demolished. As conditioned herein, the project shall observe the 26 foot building line setback on Woodlake Avenue (Ordinance No. 98,019) and the 25 foot building line setback on Saticoy Street (Ordinance No. 112,349) (**Condition No. 16**). As further conditioned herein, prior to issuance of a building permit, the project shall comply with ZI No. 2438 “Equine Keeping in the City of Los Angeles” as regulated by the Los Angeles Department of Building and Safety (**Condition No. 17**). Soils will be reviewed by LADBS for compliance with Code requirements prior to issuance of a building permit. Site

ingress and egress will be reviewed and approved for Code compliance by the Los Angeles Department of Transportation (“LADOT”). There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. The project is not located on a substandard street in a Hillside area or in a Very High Fire Severity Zone. Based on the above, there is no basis to deny the incentives.

Findings can only be made by the Director of Planning to deny a density bonus project if the requested incentives would have a specific, adverse impact on health and safety. Planning has very narrow authority regarding Density Bonus Affordable Housing Development projects, and Planning review for project compliance is one step in the process of constructing an Affordable Housing Development. As with all new construction projects, multiple City Departments, including but not limited to LADBS, Los Angeles Fire Department (“LAFD”), and LADOT review a project for compliance with State and local laws during the Plan Check process (see “**Exhibit F**”).

The project applicant has met all requirements for Planning’s compliance review. Specialized requirements for filing a density bonus project are listed on “Findings/Special Requirements: Density Bonus, Conditional Use, Public Benefit Project Housing Incentives” Form No. CP13-3251 (see “**Exhibit G**”). In compliance with filing requirements, the applicant filed an Affordable Housing Referral Form No. CP13-4043 under Case No. PAR-2024-3365-AHRF-PHP (see “**Exhibit H**”). As disclosed under Case No. PAR-2024-3365-AHRF-PHP completed on July 17, 2024, the applicant is providing 265 units affordable to Low Income Household occupancy (80 percent), 66 units affordable to Moderate Income Household occupancy (20 percent), and one Manager’s unit at Market Rate. As conditioned herein (**Condition Nos. 3 and 4**) and as enforced by the Los Angeles Housing Department (“LAHD”), all units will be provided to households at income levels that meet the requirements of the State Department of Housing and Community Development (“HCD”) and U.S. Department of Housing and Urban Development (“HUD”).

Additionally, the applicant filed an optional Housing Crisis Act (HCA) Vesting Preliminary Application (CP13-4062) under Case No. PAR-2024-4645-VHCA (see “**Exhibit I**”). Additional papers and forms filed by the applicant are included in Case File No. ADM-2024-5202-DB-PHP-VHCA and are by reference incorporated herein including but not limited to Preliminary Zoning Assessment Form No. CP-4064; SB 8 Replacement Unit Determination (RUD) Letter; color elevations and renderings; Citywide Design Guidelines Compliance Review Form No. CP-4056; and findings.

Housing Replacement

Pursuant to California Government Code Section 66300 et seq. (Housing Crisis Act of 2019 (“HCA”), as amended by Senate Bill 8 and Assembly Bill 1218), any proposed development project that requires the demolition of existing residential dwelling units or occupied or vacant Protected Units, or is located on a site where Protected Units were demolished in the previous 5 years, is subject to replacement. Pursuant to the Senate Bill 8 (“SB 8”) Replacement Unit Determination letter made by LAHD dated September 3, 2024 (“September 3, 2024 RUD letter” – see “**Exhibit J**”), one residential dwelling unit was sited on the property within the last 5 years, and is subject to replacement as an affordable Protected Unit. The owner was not able to provide income verification for the last known tenant. The owner agreed with the default calculation for the property as calculated by LAHD, which is calculated at one unit restricted to Very Low Income Household occupancy. As disclosed by LAHD, the September 3, 2024 RUD letter is provisional and subject to further verification. As conditioned under Case No. ADM-2024-5202-DB-PHP-VHCA, the project is required to comply with the September 3, 2024 RUD letter to the satisfaction of LAHD (**Condition No. 5**). In the event that additional affordable units or more restrictive affordability levels are required, the most restrictive requirements shall prevail.

CONCLUSION AND STAFF RECOMMENDATIONS

The 100 percent affordable housing development project for senior citizens is requesting three On-Menu incentives (north side yard reduction, south side yard reduction, open space reduction) and is subject to State Density Bonus regulations (California Government Code Section 65915 et seq. and LAMC Section 12.22 A.25) under a ministerial review process. The determination is subject to the authority of the Director of Planning, and was provided a reduced processing timeline under the City PHP. Further, the project solely requests density bonus on-menu incentives, is not subject to other entitlements, and does not trigger analysis under CEQA.

Based on State and municipal Density Bonus law and the rationale herein, staff recommends that the Commission determine that based on the whole of the administrative record, the project is statutorily exempt from the California Environmental Quality Act ("CEQA") as a ministerial project; deny the appeal and sustain Planning's determination as conditioned to approve the ministerial density bonus compliance review for a 100 percent affordable housing development for the 332 unit senior citizen housing development with incentives for reductions in north and south side yard and open space.

APPEAL POINTS/STAFF RESPONSES

A total of seven appeals were submitted to the Planning Development Services Center during the appeal period for Case No. ADM-2024-5202-DB-PHP-VHCA beginning on December 6, 2024 and ending on December 20, 2024 (15 day appeal period pursuant to Chapter 1, LAMC Section 12.22 A.25 and Chapter 1A, LAMC Section 13B.2.5). As codified in Chapter 1A, LAMC Section 13B.2.5.G.3(b), for on-menu density bonus projects subject to LAMC Section 12.22 A.25, only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property aggrieved by the Director's decision may file an appeal. Three of the seven appeals submitted were rejected, because these appeals were not filed by an owner or tenant whose property abuts the subject site.

Accepted appeals (see "**Exhibit K**") were filed by the following abutting property owners who provided proof of residency as required by the LAMC (for example, property tax bill, driver's license, utility bill):

- Eric Anderson, 23119 Covello Street; Appeal of Condition No. 2
- Robert J. Ball, 23069 Covello Street; Appeal of Condition Nos. 1-10, 15-24
- Jeronnel Barican, 7545 Quimby Avenue; Appeal of Condition Nos. 1-17
- Carlos L. Morales (Robert C. Baker, Representative), 7542 Woodlake Avenue; Appeal of Conditions Nos. 1, 2, 5-17

The following points are compiled and summarized from the four accepted appeals. Planning staff responses follow each appeal point.

Appeal Point 1 - Covenant and Restrictions / Discrimination / Equal Access / Constitutionality

- *As my mother was one of the original owners, it is my understanding that the applicant's property is part of Tract 21391 that have Covenants and Restrictions that all the homeowners have been following. Any changes or modifications to these Covenants are to be approved by 66 and 2/35 of the owners in said tract...the Covenants and Restrictions were disclosed in the title report that was part of the residential purchase. In those Covenants and Restrictions (Paragraph 1. (a)) it is specified that the lots shall be used for single family dwelling homes not to exceed one story in height. My family bought into this housing development based upon the fact that if that lot should be developed, it was going to be single family homes as agreed upon in the Covenants and Restrictions...Based on the original Covenants and Restrictions, this entire development (items 1-25) breaks the Covenants and Restrictions and any changes to those Covenants and Restrictions must be approved by 66 and 2/3% of the owners within the Tract, so I do appeal Items 1- 25 of this development as it goes against Paragraph 1 (a) of the Covenants and Restrictions indicating that the homes built shall be single family dwellings not to exceed one story in height. (Robert J. Ball)*
- *VIOLATIONS OF Americans with Disabilities Act (ADA): The City of Los Angeles' requirement for submitting appeals, such as through USB flash drives with PDF files, raise concerns under accessibility and discrimination laws, particularly if it imposes undue barriers on elderly individuals or others who lack access to the necessary technology. Public entities, including city governments, must provide equal access to their programs and services under the ADA. If requiring digital submissions via USB creates a barrier for*

individuals, the city might need to provide alternative submission methods. (Jerommel Barican, Carlos L. Morales)

- *VIOLATION OF California Unruh Civil Rights Act: This act prohibits discrimination based on age, among other protected characteristics. If the process disproportionately affects older residents, the city might need to accommodate this demographic. (Jerommel Barican, Carlos L. Morales)*
- *Equal Access and Procedural Fairness: The due process principle under the U.S. Constitution requires governments to ensure that all individuals have a fair opportunity to participate in legal or administrative processes. Requiring electronic submissions could be challenged if it creates undue hardship for certain groups. (Jerommel Barican, Carlos L. Morales)*
- *The LAMC and requirement that only abutting neighbors can file an appeal is a violation of the due process rights and violation of the California Constitution and our property rights. (Jerommel Barican, Carlos L. Morales)*

Staff response:

Covenants and Restrictions Book 6162, Page 270 of Official Records and Book 51703, Page 343 of Official Records are included herein as “**Exhibit L.**” Racial covenants, such as the restrictions found in Book 6162, Page 270, are illegible, unenforceable, and outlawed in 1947. More recently, however, the California legislature passed in 2022, Assembly Bill 1466, that requires that county officials remove such language. Pursuant to Book 6162, Page 270:

(f) That only one residence shall be erected, placed, or permitted on said premises;

(i) No part of said real property shall ever be leased, rented, sold or conveyed to any person who is not of the White or Caucasian race, nor be used or occupied by any person who is not of the White or Caucasian race...

1. That said premises shall be used for residence purposes only...no hotel, apartment house, lodging house

2...no part of said premises shall ever at any time be sold, conveyed, leased or rented to any person of African, Chinese or Japanese descent.

It is not the role of the Planning staff to evaluate the proposed project herein for compliance with the California Unruh Civil Rights Act, ADA, or a Covenant and Restriction that limits residence based on race and ethnicity. The role of Planning staff is to review the project for compliance with State Density Bonus law.

Moreover, senior housing is legal, consistent with Federal and California state law, specifically the Housing for Older Persons Act under the Fair Housing Act, which allows senior housing exemptions.

Appeal Point 2 – Violates CEQA

- *The Project violates the California Environmental Quality Act (“CEQA”) and the Los Angeles Municipal Code and lacks a Mitigated Negative Declaration (“MND”). (Jerommel Barican)*

- *A strong presumption in favor of requiring preparation of an Environmental Impact Report (“EIR”) is built into CEQA which is reflected in what is known as the “fair argument” standard, under which an agency must prepare an EIR whenever substantial evidence in the record supports a fair argument that a project may have a significant effect on the environment. Despite the numerous pieces of evidence submitted by the community as to severe impact, no EIR was prepared nor presented to the community. (Jerommel Barican)*
- *...noise, air quality impacts, and potential for diminished quality of life has been ignored. (Jerommel Barican, Carlos L. Morales)*
- *Whether or not the Applicant will comply with the health, safe, or environmental or DTSC requirements does not relieve the City of any of its CEQA obligations. CEQA sets out a fundamental policy requiring local agencies to “integrate the requirements of this division with planning and environmental review procedures otherwise required by law or by local practice so that all those procedures, to the maximum feasible extent, run concurrently, rather than consecutively.” (Public Resources Code § 1003(a).) Toward that end, agencies are encouraged to “consult with state and local responsible agencies before and during preparation of an environmental report so that the document will meet the needs of all the agencies which will use it.” (CEQA Guidelines, §15006(g)) A lead agency must consider related regulations and matters of regional significance. (CEQA Guidelines, §15126.6.). It is apparent that the City failed to partake in all of these CEQA requirements. (Jerommel Barican)*

Staff Response:

The project is ministerial in nature and is statutorily exempt from CEQA as a ministerial project, pursuant to CA GC Section 65915(f)(5) and CA PRC Section 21080(b)(1).

CA GC Section 65915(f)(5) discloses the following:

...The granting of a density bonus shall not require, or be interpreted, in and of itself, to require a general plan amendment, local coastal plan amendment, zoning change, or other discretionary approval.

Further, State PRC Section 21080, CEQA Guidelines Section 15369 defines “ministerial” as follows:

“Ministerial” describes a governmental decision involving little or no personal judgment by the public official as to the wisdom or manner of carrying out the project. The public official merely applies the law to the facts as presented but uses no special discretion or judgment in reaching a decision. A ministerial decision involves only the use of fixed standards or objective measurements, and the public official cannot use personal, subjective judgment in deciding whether or how the project should be carried out.

The State provides statutory exemptions under CEQA for projects that will have no significant impact and/or for public benefit projects where the benefit will outweigh any impact. Under State Density Bonus law, a 100 percent affordable Housing Development Project for seniors at this location provides much needed housing, which is a public benefit. Providing affordable housing for seniors at this location outweighs any environmental impact the project may have pursuant to State law.

Additionally, as disclosed in the 1/25/2021 Density Bonus Memo (“**Exhibit E**”), a project that solely requests Density Bonus on-menu incentives and is not subject to other discretionary

actions will not trigger analysis under CEQA. The City's on-menu process, as codified in LAMC Section 12.22 A.25, does not provide objective criteria for approving known, objectively calculated, and standardized incentives. On-menu projects are treated ministerially, and the City has no subjective discretion to approve or deny on-menu density bonus incentives.

The appeal was reviewed by the Planning Environmental Policy Unit ("EPU") staff and the Planning Environmental Section Advisory Committee ("ESAC"). EPU and ESAC concurred with Staff responses to the appeal points herein.

CEQA does not give a municipality any independent authority to impose mitigation. As such, the City is unable to address environmental impacts related to the project.

Appeal Point 3 - Access

3.A - Alleyway Access

- *...on the Project Background page 8 indicates an alley on the south side of the property. There is no alley. In fact, there is no alley along any part of the property. Both the alley from Royer Ave and Cohasset St dead end into the property. There is a 20' easement that runs as the alley is described. This easement is neither paved or graded. The current property owner blocks access to this easement. (Eric Anderson)*
- *I also appeal on the information provided in the Letter of Compliance dated December 5, 2024, under subject property that indicates that there are two 20-foot alley ways. Paragraph 5 under the section Project Background indicates: "One 20-foot alley abuts the southern property line for the length of the subject site in an east-west direction and intersects with Royer Avenue." This statement is false as this alley way does not run the length of the property. The alley way ends by my property. I hereby appeal so that the city can research and correct the statement in its findings. (Robert J. Ball)*
- *Vehicular exit at the rear of the building...could mean connecting the East side of the Property to the garage alley in between Saticoy & Covello (entered off Royer). It is impossible to allow this major flow of traffic through a small very narrow alley (intended for homeowners private garages). This would be another public safety hazard. There simply is not enough space. (Jeronnal Barican)*
- *...the main (and only) vehicle entrance/exit located on Woodlake is entirely a public property alleyway. This also appears to us as a taking of public land for private use. (Jeronnal Barican)*
- *...the proposed property driveway will be connected to the existing paved alleys that provide access to the garages of homes on Woodlake, Quimby, Saticoy and Covello. It is not clear if they will be gated or blocked to prevent through travel to Cohasset or Royer. Presently both alleys terminate directly into the proposed Woodlake apartment property... A homeowner on Woodlake says the alley is so narrow that it can be blocked by trash trucks. Do you know if apartment traffic will have access to these alleys? (Jeronnal Barican)*

3.B - Street Access

- *Insufficient public right of way...1' on Woodlake and 1' on Saticoy is insufficient (Jeronnal Barican)*

3.C Pedestrian Access

- *The list of City requirements in the City's letter dated November 8, 2024 requires entrances on all street facing elevations. However, there are none in the North facing side on Saticoy (Jeronnal Barican)*
- *PEDESTRIANS NOT SAFE – pedestrian access must be separate from car traffic so that egress and ingress is safe and accessible for all. City Planner Laura Frazin-Steele states on the City letter dated 11/8/24 that this safety requirement is met. However, such is not true. Pedestrian access is unsafe because there are not sidewalks, all foot traffic must cross the main and ONLY driveway and narrow traffic lanes. (Jeronnal Barican)*
- *NO SIDEWALKS – There is no sidewalk on the Woodlake of the Project, but a thin patch of road. Attached are photos evidencing the lack of sidewalk, the thin narrow strip of land for the elderly, since this is a Senior Living Facility, to navigate. Attached as Exhibit A are true and correct copies of six (6) photographs showing the narrow road at issue, incorporated herein by this reference. (Jeronnal Barican)*
- *There are no current sidewalks for residents that are disabled or use wheelchair to cross the street safely to catch a bus?...See attached pictures of elderly mitigating this intersection...No bus stops on the East Saticoy Avenue (1/2 miles away)...how will elderly and handicap residents navigate their way...without having a sidewalk...? (Carlos L. Morales)*

Photo #2 – corner of Woodlake & Saticoy, shows single lane of traffic next to street path



- *There is only one pedestrian entrance for the whole project, located on Woodlake with no sidewalk or path available to walk to the Saticoy intersection (a large berm with new trees uses up the space for a path). Pedestrians exiting the building through this one and only entrance/exit would not be able to cross Woodlake because there is no crosswalk there on this very busy street. The only way to legally and safely walk to the Woodlake bus stop or to walk East on Saticoy- would be to walk South on Woodlake to Cohasset, cross at the crosswalk, then walk North on Woodlake to the bus stop or to the Saticoy intersection. At the Saticoy intersection there is no accommodation for a crosswalk on the South side so this hapless pedestrian hoping to walk East on Saticoy would then have to cross Saticoy, then finally cross Woodlake again. It is very likely, that most pedestrians will*

instead walk in the narrow traffic lanes on Saticoy and Woodlake or dodge traffic to cross Woodlake directly to make this journey. We have seen a few people try this extremely unsafe maneuver over the years but with the very limited parking spots provided by the developer, there could be large numbers attempting it daily. We are extremely fearful of the public safety hazard created by this aspect of the project. (Jeronnal Barican)

3.D - Access - Busway

- *Where is the new bus stop for residents going East? (Carlos L. Morales)*

3.E – Access and Circulation

- *There is only one entrance on Woodlake Ave. Is this entrance wide enough for Fire Trucks to service this facility? (Carlos L. Morales)*
- *Where is the entrance on Saticoy? (Carlos L. Morales)*
- *Is there a route that leads out of the facility into the existing neighborhood alley way or street? (Carlos L. Morales)*
- *Doesn't the law require two entrances/exits for a facility of this size with that many residents in case of natural disaster or fire? (Carlos L. Morales)*

Staff Response:

There is no condition in the December 5, 2024 Letter of Compliance that requires entrances on all street facing elevations. There is no zoning or building code requirement in the LAMC that requires more than one building entrance. The Los Angeles Fire Department (“LAFD”), Los Angeles Department of Building and Safety (“LADBS”) and other Departments, as required, will review the project for compliance with their Department’s respective regulations prior to the issuance of a building permit. If modifications are required to the entrance or any other building components they will be imposed by the respective City Department as disclosed below.

The Preliminary Zoning Assessment process implemented by LADBS prior to issuance of a Planning Letter of Compliance for a Ministerial Density Bonus is limited to a review of regulations in the Municipal Zoning Code. The conditions required by Planning under the December 5, 2024 Letter of Compliance for a Ministerial Density Bonus project are bound by the State Density Bonus Law (CA GC 65916 et seq). As such, Planning has narrow authority to impose conditions on a project.

However, as a new construction project in the City of Los Angeles, the applicant is required to obtain permits through the LADBS Plan Check process (“LADBS Plan Check”). Plan Check is completed after the Planning Letter of Compliance for a Ministerial Density Bonus is issued. During Plan Check, the applicant will be required to submit the documents to LADBS including but not limited to plans (architectural, structural, grading, landscape, plumbing, mechanical, electrical); structural calculations signed by a State licensed Civil or Structural Engineer or an Architect; and energy calculations and forms (Title 24).

During the Plan Check process, the applicant is required to show compliance with the December 5, 2024 Letter of Compliance Conditions of Approval. In addition to complying with Planning conditions and requirements of the Zoning Code, the applicant is required to show compliance with the City’s Building, Electrical, Fire, Plumbing, Green, and Mechanical Codes. The applicant is also required to demonstrate compliance with Disabled Access. Once the applicant submits

plans and pays the fee for Plan Check with LADBS, LADBS provides the applicant with a list of Departments that require review of the project.

LADBS will only issue the project's construction permits once Departments have provided their approval. If any Department requires modifications to the project, the applicant is required to revise their plans.

LADOT must review and approve all driveway dimensions, project access, and circulation plans for new developments. Per the City's Vision Zero Plan, LADOT collects injury data for all of the City's roadways and identifies portions of the City streets which are within the High Injury Network. A review of data on High Injury Network (as disclosed in Navigate LA) does not identify this site on the High Injury Network. Therefore, there is no evidence in the City's database to conclude that the intersection poses a safety concern. However, LADOT proactively updates the High Injury Network as new data is reviewed by the department and will target specific locations to make investments for safety improvements.

Finally, bus stops are regulated by the Los Angeles County Metropolitan Transportation Agency ("LA Metro").

Appeal Point 4 – Transportation/Traffic

- *This is not a "very low vehicle travel area" as required. It may have been at one time but new houses to the west, apartments to east and changes in traffic patterns as people try to find alternate routes has changed that. I walk the area every morning and can personally attest to the heavy traffic. (Eric Anderson)*
- *...the letter of compliance references ZIMAS showing the subject site is an area designated as Very Low Vehicle Traveled Areas (Very Low VMT) pursuant to State AB 2334. I appeal, so that the city can do a traffic study as this area is not a low vehicle traveled area. It is in fact a highly impacted area with accidents occurring very frequently as the intersection of Woodlake Avenue and Saticoy Street are the main thorough fares for Pomelo Elementary School, Chaminade High School and is the route used by First Responders to the UCLA Medical Center Hospital. Please note: "Per the West Hills Neighborhood Council Zoning & Planning Committee members conversation with LAFD #106, located at 23004 Roscoe Blvd, West Hills, communications are for fire trucks and EMT/Paramedics to use Woodlake Ave south, the given route to access the UCLA Medical Center Emergency room and Hospital." And with Chaminade High School owned the land diagonal from the subject site, their plans are to expand their campus. A campus expansion shall greatly increase the flow of traffic as pedestrian and vehicle traffic will be impacted by the campus expansion and I appeal so that the city can do a traffic study of the impact of both proposed developments as they are directly across the street from each other. (Robert J. Ball)*
- *The project substantially conflicts with policies by developing a highly impactful high traffic, high density, mini-city next door to a single family residential neighborhood with no close by public transit stops, no markets nearby starting as of January 2025. (Jeronnal Barican)*
- *TRAFFIC GRIDLOCK - there will be significant adverse impact on traffic. Residents who have lived here over 30 years state that there are a lot of pedestrian and automobile accidents at the intersection of Saticoy and Woodlake. The route on Southbound Woodlake is highly traveled by the Fire Department who has informed the West Hills*

Neighborhood Council that they use this route to go from the Fire Department southbound to the UCLA West Hills Hospital just north of Sherman Way at the corner of Woodlake. Add to this the 1,200 Chaminade students commuting daily and children's safety is also at stake here. The Fire Lane seems inadequate and insufficient. In case of evacuation in a fire or earthquake how will 600 plus residents and additional staff and caregivers, for less mobile seniors, safely exist through the narrow passage which serves as the only single point of entry into the property?...Having seniors and disabled individuals (per the Application) living in the Project will likely increase the need for first responders, ambulance and paramedic commute to this Project, thereby worsening the existing traffic congestion and lack of access during school drop off and pick up hours at Chaminade High School. (Jeronnal Barican)

- *This Intersection is used by LAFD #106 for Fire trucks and EMT/Paramedics on their way to UCLA Medical Center. Will the City Planning office guarantee this route is not hampered during construction or operation of this project? if a patient dies on the way to the hospital due to grid lock that will be caused on this intersection with this many residents and expansion of Chaminade preparatory school, City of Los Angeles has to use tax payers money to defend itself for creating this situation. (Carlos L. Morales)*
- *This area is a high traffic corridor on Woodlake and cannot absorb the increase in population and traffic. There simply is not enough space to absorb this type of density and increase in population and traffic. People will get trampled to death in an evacuation, if not while trying to enter and exit the property on the narrow patch of land where there is NO sidewalk on Woodlake or Saticoy. (Jeronnal Barican)*
- *Even if a traffic light were to be installed, the congestion at this intersection is notorious for being substantially heavy and problematic for emergency and first responders. (Jeronnal Barican)*
- *The current traffic situation is currently often described as a challenging, during student pick up and drop off times, is described as one that will turn into a "nightmare" when the Project is occupied and operational. (Jeronnal Barican)*

Staff Response:

ZIMAS shows that the subject site is located in an area designated as Very Low Vehicle Traveled Area (Very Low VMT) pursuant to State AB 2334. A "Very Low Vehicle Travel Area" is defined by California Government Code Section 65915(o)(9) to mean an urbanized area, as designated by the United States Census Bureau, where the existing residential development generates vehicle miles traveled per capita that is below 85 percent of either regional vehicle miles traveled per capita or city vehicle miles traveled per capita.

Very Low VMT areas as disclosed on ZIMAS maps are prepared by the Planning Department's Graphic Information Service ("GIS") unit based on data analysis. No data or substantial evidence presented by a traffic consultant has been prepared or offered by the appellants to show that the proposed senior housing project would have an impact on traffic and transportation.

LAMC Section 65915 et seq. does not give Planning the authority or discretion to consider a density bonus application on the basis of the following issues raised by the appellant: (1) location of market; (2) siting of traffic stops; (3) the proposed expansion of Chaminade High School; and/or

(4) existing fire and emergency vehicular routes. These are external factors that fall outside the scope of Planning's consideration of the pending density bonus entitlement.

Staff's Response to **Appeal Point 3** is also incorporated herein.

Appeal Point 5 – Parking

- *150 parking spaces are gravely insufficient to meet the needs of individuals over 55 who still drive, their caregivers, visiting family, visiting nurses, physical therapists, and other vendors, staff, and services. Where will they all park? There is NO room on the streets. The parking will overflow onto the streets which are, as is, heavily burdened with traffic and parked cars, to the point where Fire Department trucks and Ambulances are well known to get stuck in traffic on Woodlake and Saticoy where there is no traffic light, but a 4-way stop sign. (Jeronnal Barican)*
- *Automobile Parking for Residential Uses. There is no parking zone along Saticoy or Woodlake Ave...Where are service vehicles, guests and the rest of the residents are going to park? Is city issuing special permits to the existing residents of all the adjacent streets within ¼ mile of this facility, so any lack of parking does not over-flow and interrupt the parking situation for the current residents. (Carlos L. Morales)*
- *There is no mention of Motorcycle parking. Where are they going to park? The number of stalls for bicycles is too little for 800 + residents. There are no bike lanes either on Saticoy or Woodlake Ave. Is the city of Los Angeles planning to provide these bike lanes prior to this site being erected? (Carlos L. Morales)*

Staff Response:

Automobile parking requirements for Density Bonus Affordable Housing Developments, including the proposed project, are regulated under CA GC Section 65915 et seq. CA GC 65915(D)(i)(II) requires that a Density Bonus housing development project determination issued by a local government shall determine parking based on CA GC 65915(p) if the housing development project will contain a senior housing development as follows:

(II) If the applicant requests a parking ratio pursuant to subdivision (p), the parking ratio for which the applicant is eligible.

As set forth in CA GC 65915(o) and 65915(p)(3)(B), no parking requirements shall apply for 100 percent affordable housing development projects for individuals who are 55 years of age or older when the housing development project is located within a Very Low Vehicle Travel Area as defined in GC Section 65915(o)(10). Further, CA GC Sections 65915(o) and 65915(p)(3)(B) prohibits the City from imposing vehicular parking standards on a for-rent housing development that is located within one-half mile to a fixed bus route that operates at least eight times per day.

As previously disclosed herein and as disclosed on ZIMAS (AB 2334 Very Low VMT), the subject site is located within a Very Low Vehicle Travel Area. Further, under Case No. ADM-2024-3365-AHRF-PHP completed on July 17, 2024, Planning staff discloses that the project site is located with one-half mile of LA Metro Line 169, a fixed bus route at Saticoy/Woodlake that operates at least 8 times daily. As such, the City is precluded from requiring any parking. However, as disclosed on the applicant's plans (**see "Exhibit A"**), 154 parking spaces are provided on a voluntary basis.

Motorcycle parking is not required under State Density Bonus provisions (CA GC 65915). Motorcycle parking is also not required for residential projects under the Municipal Code.

Bicycle parking is not required under State Density Bonus provisions (CA GC 65915) but is required under LAMC Section 12.21 A.16. As conditioned herein and as shown on “**Exhibit A,**” in accordance with the Municipal Code, a minimum total of 38 long-term bicycle parking spaces and 19 short-term bicycle parking spaces are provided as regulated by LADBS.

Planning cannot require the developer of a 100 percent affordable housing development to provide bicycle lanes under State Density Bonus law and/or Municipal law without sufficient nexus and rough proportionality findings. The City’s Mobility Plan 2035, Map D1 of the Bicycle Enhanced Network and Map D2 of the Bicycle Lane Network do not disclose bicycle path segments at the project site.

Finally, while the applicant submitted personal testimony regarding existing conditions on the site, this personal testimony speaks to existing site conditions, which will not be exacerbated by senior housing.

Appeal Point 6 - No analysis of hazardous conditions posed by release of known contaminants (article from engineering.com provided)

- *...The community has submitted hundreds of letters and over 2,000 signatures attesting that there are suspected soil contamination, adverse impact on health, safety, structural infrastructure of roads and more. Yet, the City has all but ignored said evidence. (Jerommel Barican, Carlos L. Morales)*
- *...hazards and hazardous materials and air quality impacts known to exist both on the Project site and its immediate vicinity...Project is near sites that have a long history of contamination, that were formerly used by companies such as Atomic International, Rocketdyne, Hughes Missile Systems Group, and Raytheon which performed Research and Development (R&D) related to highly classified projects for the defense and military purposes. As part of these R&D processes, materials were used that caused contamination of soil and ground water. Contamination of soil resulting from decayed materials used by these companies (dangerous materials such as arsenic, freon and possible radioactive material) have existed in the area and are reasonably believed to exist on the Project site. There is also a very real possibility of the existence of certain dangerous materials used by such defense related companies that are still unknown to the general public. The MND is lacking in this file and the City has made no effort – known to us - to ascertain this information. (Jerommel Barican)*
- *The Project Site is likely located near Corporate Point which is within the boundaries of the former Hughes Missile Systems facility, the subject of an open Corrective Action Case associated with releases of contaminants from the former Hughes facility. A Corrective Action Consent Agreement between Raytheon and the Department of Toxic Substances Control (“DTSC”) exists for Corporate Point nearby. Based on this agreement, Corporate Point includes, and nearby sites such as the Project are highly likely affected, must be tested for contamination and restored to below regulatory concerns. The Project is nearby the Corporate Point which is listed as a Superfund Site by Los Angeles County. Corporate Point is off Fallbrook and Roscoe, a short walking distance from this Project. (Jerommel Barican)*

- *The Project site is near Rocketdyne R&D site with few meltdowns over the past 50 years. What has the City of Los Angeles has done to make sure that the soil is not contaminated and as the builder will level & grade certain areas of this site, dust from this contamination is not airborne? (Carlos L. Morales)*
- *No analysis has been made to ascertain the reasonably foreseeable extend of the upset/hazardous conditions posed by the release of known contaminants during construction and/or operation of the Project...There are no mitigation measures proposed to deal with this reasonably foreseeable release of the known contaminants into this community...lack of any quantitative and qualitative analysis...no plan to protect workers, the immediate neighbors, or the general public against airborne hazardous material contamination. (Jeronnal Barican)*
- *There is no scientific / engineering analysis provided to ascertain how far the old underground piping (containing arsenic, freon, and other hazardous material) has leaked into the surrounding areas. Due to lack of analysis, it is not clear how many test locations should be drilled, and at what interval of depths these samples should be taken and analyzed...no soil sampling evidence was found in the City file that shows no testing for possible Radioactive Isotopes, a reasonably foreseeable find. (Jeronnal Barican)*
- *INFRASTRUCTURE – Furthermore, the removal of the top 10-12 feet of soil will disturb the existing balance of the site and may cause additional spread of contamination. As an example, working on the Sewer line and Drain line can disturb and increase the probability of spread of contaminants. A review of the builder's plans reveal that there will be significant adverse impact on sewer lines. (Jeronnal Barican)*
- *...assumes that the contaminants will not become airborne (even though the West Hills area has strong winds, including Santa Ana Winds), and will not be mixed with water during construction or rainwater...contaminated soil, if mixed with ground water, can creep and move to adjacent land. (Jeronnal Barican)*
- *The Application failed to check the box (p. 2) for “uses that could release hazardous materials on soil and/or groundwater known to contain radioactive and carcinogenic materials and Valley Fever nearby. (Jeronnal Barican, Carlos L. Morales)*
- *...existence of Valley Fever in the soil at the Property is apparently common knowledge by the long-time residents. Not only has disturbing the soil been counter indicated, but class action and other lawsuits have been filed in the San Fernando Valley and nearby for soil contamination...(Jeronnal Barican, Carlos L. Morales)*
- *...The nuclear fallout has over 100 year half-life... (Jeronnal Barican)*
- *...there is no MND to analyze or provide mitigation for the transportation and disposal of contaminated soils through the residential neighborhood. (Jeronnal Barican)*
- *The City has failed to require any soil testing and/or environmental testing to ensure public health and safety. The statement in the LOC that the community has not provided evidence, when the City itself has failed to require testing or open up the Project for public testing, is incorrect. (Jeronnal Barican)*

- *Soil testing and environmental testing are urgently needed for a reputable third party neutrals with a history of reliability and public disclosure of conflict of interest check, including but not limited to nuclear fallout and valley fever. (Jerommel Barican)*

Staff Response:

LADBS has an Information Bulletin No. P/BC 2023-131 (**see “Exhibit F”**) which prescribes the procedures that are to be taken if hazardous and contaminated materials are encountered during construction. Contaminated materials, in general, are regulated by local, state, and federal agencies. The City of Los Angeles is involved in dealing with contaminated materials, primarily through the Los Angeles Fire Department (“LAFD”) and other regulatory agencies.

The LAFD is designated as the enforcement agency for the City that regulates hazardous materials. Where the LAFD’s authority or ability is exceeded, the case is referred to the appropriate County, State or Federal agency. These other agencies include, but may not be limited to the following:

- California Department of Conservation – Geologic Energy Management Division (“CalGEM”)
- Los Angeles Regional Water Quality Control Board (“LARWQCB”) – State of California
- LARWQCB Health Hazardous Materials Division – Los Angeles County Fire Department (HHMD) - Site Mitigation Unit
- South Coast Air Quality Management District (“SCAQMD”)
- Department of Toxic Substances Control – State of California (“DTSC”)

In California, several hazardous material environmental programs are consolidated into one regulatory program referred to as the Unified Hazardous Materials Program under which, the California Environmental Protection Agency (“CalEPA”) delegates most of the inspection and enforcement activities to certified local agencies, called Certified Unified Program Agency (“CUPA”). Depending on the type of contamination or hazardous materials are found, the applicable agency will be responsible for the cleanup.

As previously disclosed, the personal testimony and websites referenced by the appellants were considered by the Planning staff, Environmental Policy Unit (“EPU”) staff, and the Planning Environmental Section Advisory Committee (“ESAC”). However, websites, articles, and other information that is not produced by experts in the field is not considered to be substantial evidence. For the purpose of processing a ministerial Density Bonus project, Planning reviews State of California GeoTracker and DTSC data to determine whether hazardous materials exist on site.

The project site is not identified on the State of California [GeoTracker](#) website. According to their website, GeoTracker is the State Water Board data management system for all sites that impact or have the potential to impact water quality in the State with an emphasis on groundwater. GeoTracker includes records for cleanup site, including Department of Defense Sites.

The State DTSC enforces hazardous waste laws and regulations and oversees the cleanup of hazardous waste on contaminated properties. The project site is listed as “Inactive” on the DTSC website (CAC003285201). If the project site becomes active at some point in the future, the applicant will be required to work with DTSC.

See also Staff’s Response to **Appeal Point 2**.

Appeal Point 7 – Noise

- *The corner of Saticoy and Woodlake is a sleepy and quiet residential area. The construction noise and pollution of the Project will forever change this neighborhood into a war zone inhabited by over 600 people with only 154 parking spaces on Saticoy and Woodlake where parking is prohibited. (Jeronnal Barican).*

Staff Response:

Construction noise and vibration are regulated by federal and state agencies as well as the City of Los Angeles. Within the City, the General Plan Noise Element includes objectives and policies to reduce or eliminate noise impacts but does not include specific thresholds for analysis. The regulatory mechanism for implementing the General Plan Noise Element is the LAMC. The City's Noise Ordinance codified in LAMC Section 112.05 sets maximum noise levels for construction equipment. LAMC Section 41.40 regulates days and hours of construction. Vibration levels are regulated in LAMC Section 91.3307.1. Construction noise regulations are enforced by LADBS during the Plan Check process.

Moreover, pursuant to Assembly Bill 1307, human noise in residential projects is not considered a CEQA impact. Finally, Appellants have offered no evidence demonstrating that the proposed project will result in noise impacts that exceed the allowable thresholds.

Appeal Point 8 – Actions Requested

- *Side yard reductions should be denied. (Jeronnal Barican)*
- *The City should require more than 30% open space. (Jeronnal Barican)*
- *The City to require a minimum of one normal size, not compact size, parking space per unit, in addition to a substantial percentage per Code for similar sized visitor parking spaces for visitors, staff, nurses, vendors and emergency responders. (Jeronnal Barican)*

Staff Response:

Pursuant to CA GC Section 65915(d)(1), the City has the authority to deny a density bonus or requested incentive only when the City makes a written finding, based upon substantial evidence, of any of the following:

(A) The concession or incentive does not result in identifiable and actual cost reductions, consistent with subdivision (k), to provide for affordable housing costs, as defined in Section 50052.5 of the Health and Safety Code, or for rents for the targeted units to be set as specified in subdivision (c).

(B) The concession or incentive would have a specific, adverse impact, as defined in paragraph (2) of subdivision (d) of Section 65589.5, upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low-income and moderate-income households.

(C) The concession or incentive would be contrary to state or federal law.

The California Health and Safety Code Section 65589.5(d)(2) defines a specific, adverse impact as follows:

(2) ...As used in this paragraph, a “specific, adverse impact” means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete. The following shall not constitute a specific, adverse impact upon the public health or safety:

(A) Inconsistency with the zoning ordinance or general plan land use designation...

Density bonus on-menu requests are ministerial based on restrictions in State Density Bonus law that prevent the City from disapproving such requests unless the City can prove that the concession or incentive does not result in cost reductions or have a specific adverse impact. To deny a concession or incentive, the burden of proof is on the City to show that the requested incentive or concession would not result in cost reductions or would have a specific adverse impact.

Planning operates under the framework that the on-menu incentives codified in LAMC Section 12.22 A.25(f) provide additional buildable area that in turn provides additional project income and affordable housing costs. On-menu incentives codified in LAMC Section 12.22 A.25(f) include the following:

- Yard/Setback Reduction. An up to 20 percent decrease in yard or setback is allowed as an on-menu incentive pursuant to LAMC Section 12.22 A.25(f)(1) except when a site abuts an R1 or more restrictively zoned property provided that the project provides for the number of landscape points equivalent to 10 percent or more than otherwise required by LAMC Section 12.40 and Landscape Ordinance Guidelines “O.”

In compliance with LAMC Section 12.22 A.25(f)(1), the applicant is requesting and has been approved for an up to 20 percent reduction in the north side yard setback and the south side yard setback to provide minimum north and south side yards of 9 feet 7 inches in lieu of the otherwise required 11 feet 11 and $\frac{3}{4}$ inches. In compliance with LAMC Section 12.22 A.25, the project site abuts the public right-of-way to the north (Saticoy Street) and south (future alley). Further, as conditioned and as shown on the project plans (**see “Exhibit A”**), the project will provide landscape points equivalent to 10 percent or more than otherwise required by the Code and Landscape Ordinance Guidelines “O” for a minimum total of 7,220 square feet of landscaped open space and a minimum total of 55 landscape points. The north and south side yard reductions allow the project additional buildable area to provide much needed affordable housing and additional landscaping to combat climate change. Further, no quantifiable evidence prepared by an expert in the field has been provided to the City to show how 9 foot 7 inch north and south side yards will adversely impact public health, safety, and/or an historic resource.

- Open Space. An up to 20 percent decrease in open space is allowed as an on-menu incentive pursuant to LAMC Section 12.22 A.25(f)(6) provided that the project provides for the number of landscape points equivalent to 10 percent or more than otherwise required by LAMC Section 12.40 and Landscape Ordinance Guidelines “O.”

In compliance with LAMC Section 12.22 A.25(f)(6) the applicant is requesting and has been approved for an up to 20 percent decrease in the otherwise required open space to allow a minimum of 28,800 square feet of open space in lieu of the required 36,100 square feet of open space. Further, as conditioned as shown on **“Exhibit A,”** the project will provide landscape points equivalent to 10 percent or more than otherwise required by the

Code and Landscape Ordinance Guidelines “O” for a minimum total of 7,220 square feet of landscaped open space and a minimum total of 55 landscape points. The reduction in required open space will allow the applicant to provide additional buildable area for the provision of 332 units of much needed, 100 percent affordable housing. No specific or quantifiable expert evidence has been provided to the City to show how an up to 20 percent decrease in open space will adversely impact public health, safety, and/or an historic resource.

- Parking – See Staff Response to **Appeal Point 5**.

Appeal Point 9 – Zoning

- *This property is not zoned for this type of building. It is zoned for single family homes and agriculture. (Eric Anderson)*

Staff Response:

Based on State Density Bonus law, CA GC 65915 et seq., the proposed senior housing development use is permitted on this site. This State law supersedes the City’s local land use requirements of the A2-1 Zone as codified under LAMC Section 12.06.

The California legislature has enacted legislation to increase the supply of affordable senior housing. The legislature amended State Density Bonus law under AB 2694 (effective January 1, 2025) to expand the definition of a senior citizen housing development to include a residential care facility for the elderly. CA GC 65915(b)(1)(C). The bill’s author (Ward) states:

Our state is facing a silver tsunami as our population ages creating a demand for senior housing that outpaces supply.

Further, California SB 37, Older Adults and Adults with Disabilities Housing Stability Act, added Section 19905.2, Part 4.6 to the CA Health and Safety Code to begin developing the Older Adults and Adults with Housing Stability Pilot Program. Pursuant to Section 19905.2:

(a) Californians who are older or experience disabilities, many of whom live on fixed incomes, face increasing rental cost burdens, with roughly 8 out of 10 extremely low income older renters paying more than one-half of their monthly income on rent.

(b) The state has also estimated that over 11,000 people living in nursing facilities could be discharged to the community if they had an affordable place to live.

(c) Older adults are at the epicenter of California’s housing affordability and homelessness crisis, with over 40,000 people 55 years of age or older experiencing homelessness. In the four-year period from 2017 to 2021, the number of older Californians, 65 years of age or older, accessing homeless services has increased by 138 percent. The California Master Plan for Aging has a key goal of preventing and ending older adult homelessness.

Appeal Point 10 – Density

- *The density does not fit into the existing layout of the neighborhood. (Jeronnal Barican)*

Staff Response:

The City does not have the authority to deny a density bonus because the “density does not fit into the existing layout of the neighborhood.” CA GC Section 65915 et seq. regulates Density Bonus housing development projects, and pursuant to CA GC 65915(a)(1):

When an applicant seeks a density bonus for a housing development within, or for the donation of land for housing within, the jurisdiction of a city, county, or city and county, that local government shall comply with this section..

Further, CA GC 65915(D)(iii) requires that a Density Bonus housing development project determination issued by a local government shall determine that a 100 percent affordable housing development for seniors aged 55 years located in a very low vehicle travel area shall not impose any maximum controls on density.

As previously disclosed herein and on ZIMAS, the project is located within a very low vehicle travel area, serves seniors aged 55 years or older, and is 100 percent affordable pursuant to State and federal guidelines. The applicant filed an Affordable Housing Referral Form No. CP13-4043 under Case No. PAR-2024-3365-AHRF-PHP (see “**Exhibit G**”). In compliance with CA GC 65915 et seq. and as disclosed under Case No. PAR-2024-3365-AHRF-PHP completed on July 17, 2024, the applicant is providing 265 units affordable to Low Income Household occupancy (80 percent), 66 units affordable to Moderate Income Household occupancy (20 percent), and one Manager’s unit at Market Rate. As conditioned (**Condition Nos. 3 and 4**), and as enforced by the Los Angeles Housing Department (“LAHD”), all units will be provided to households at income levels that meet the requirements of the State Department of Housing and Community Development (“HCD”) and U.S. Department of Housing and Urban Development (“HUD”).

Therefore, the City is not permitted to impose any maximum controls on density for this project under State Density Bonus law.

See also Staff Response to **Appeal Point 15 - Findings**.

Appeal Point 11 – Height

- *...the development is approved for a five-story structure this shall severely impact my quality of life and my right to privacy having said structure look down upon my home...it will allow the subject site’s residents to monitor my movements (Robert J. Ball)*
- *Solar panels were installed in order to take full advantage of the sun to save electricity based on a R1 Zoning. Having 73 feet abutting the building next to you will block the sun. Who will compensate for this oversight? (Carlos L. Morales)*
- *5 to 7 story...building will tower over existing one story single family residences, destroy the privacy, calm, and quiet enjoyment of neighboring occupants and beyond...not suitable for this location (Jeronnell Barican)*

Staff Response:

As previously disclosed, California Density Bonus law under CA GC 65915(d)(2)(D) allows a 100 percent affordable housing development project that is located within one-half mile of a Very Low Vehicle Miles Traveled (Very Low VMT) area (State AB 2334) to receive a height increase of up to three additional stories or up to 33 additional feet. As proposed and as conditioned, the project is 100 percent affordable. As disclosed on ZIMAS, the project is located within a Very Low VMT area (AB 2334). The site’s A2-1 Zone allows a building height of 45 feet and an unlimited number of stories pursuant to LAMC Section 12.21.1. The project proposes five stories as allowed under LAMC Section 12.21.1. The otherwise allowable height of 45 feet may be increased by 33 feet pursuant to State law to allow a maximum building height of 78 feet. As shown on “**Exhibit A,**”

and as conditioned, the project is found to be in compliance with State Density Bonus law and is allowed a height of 73 feet 2 inches as proposed by the applicant.

As to appellant's request for compensation for solar panels, there are no federal or state regulations that prohibit or restrict the development of housing projects based on the alleged shading or blockage of panels on existing structures. Planning's role in this instance is to determine whether the project's requested height complies with State Density Bonus regulation, which it does.

Appeal Point 12 – Housing Replacement

- *Housing Replacement page 12 indicates one residential dwelling. There were in fact two residential buildings on the property. There was a main house and secondary building with multiple apartments. Google maps used to identify it as apartments. You can see both buildings on Google maps. I don't recall the business name. (Eric Anderson)*

Staff Response:

Planning staff conducts research to determine the development history of a site by reviewing City LADBS records, LAHD documents, and Los Angeles County Assessor records. Planning staff conducts in-person site visits and also requests information from the property owner/applicant.

LADBS building records disclose the following improvements:

- Permit No. 1931LA02888 - On February 13, 1931, an Application to Alter, Repair or Demolish was issued by LADBS to convert the second story of an existing structure to maid's quarters. The permit disclosed that two structures were on the subject site.
- Permit Nos. 1944VN50179 and 1944VN50180 – On January 24, 1944, an Application for the Erection of a Building and an Application to Alter, Repair, Move or Demolish was issued by LADBS. The scope of work included re-roofing existing structures on site.
- Permit No. 1955LA21669 - On July 20, 1955, an Application to Relocate Building and for Certificate of Occupancy was issued by LADBS for a new foundation for an existing horse barn. Permit records show an existing dwelling on site.
- Permit No. 1972VN90272 - On October 30, 1972, an Application to Add-Alter-Repair-Demolish and for Certificate of Occupancy was issued for structural repairs and additions to an existing dwelling on the subject site.
- Permit No. 1976VN39860 - On May 31, 1976, June 3, 1976, and June 10, 1976, an Application for Inspection of a New Building and for Certificate of Occupancy were issued by LADBS to construct a chicken house. Records also show an existing guest house and existing dwelling on the subject site.
- Certificate of Occupancy No. 1976VN39860 – On October 13, 1976, a Certificate of Occupancy was issued for a one-story, 12 foot by 24 foot chicken house accessory to R-1 Occupancy.
- Certificate of Compliance No. R-12644 – On March 3, 2002, a Certificate of Compliance was issued for re-roofing a detached single-family dwelling.
- Permit No. B23VN13179 / 23019-20000-03762 – A Pre-Inspection Permit for the demolition of a two-story single-family dwelling was completed on January 10, 2024.
- Permit No. B23VN13310 / 23019-20000-03798 – On May 9, 2024, a Demolition Permit was issued by LADBS for a miscellaneous building/structure (one-story accessory structure).

- Permit No. B23VN13154 / 23019-20000-03756 – On May 14, 2024, a Demolition Permit was issued by LADBS to demolish an existing two-story single-family dwelling on the subject site.

As disclosed in the 12/5/2024 Letter of Compliance, housing replacement requirements are determined by LAHD. The LAHD September 3, 2024 Replacement Unit Determination (“RUD”) letter “9/3/2024 RUD letter” (see “**Exhibit J**”) makes a determination based on the number of units that existed on the property within the last five years referred to as the “five year lookback period” or that were withdrawn from lease or rent per the Ellis Act within the past 10 years. Further, as disclosed in the 9/3/2024 RUD letter, LAHD collected and reviewed data from July 2019 to July 2024 utilizing the resources including but not limited to ownership records, City ZIMAS records, LA County Assessor records, LADBS records, Google images, and internet search.

LA County Assessor records for 7566 Woodlake Avenue, Lot 28 TR 21391, 2021-002-2013 disclose a three-bedroom, three bath, 3,828 square foot single-family residence built in 1927.

Based on visual inspection by Planning staff, the site appears to be vacant. This is consistent with information provided by the applicant. The following photo, taken by Planning staff on December 27, 2024 shows the subject site (see **Figure 4**):



FIGURE 4. SUBJECT SITE

Appeal Point 13 – Senior / Low Income Occupancy

- *Which definition of “Senior” is being used? We respectfully request the City Planner to impose Covenants, Conditions and Restrictions (“CC&R’s”), and/or demand, and make it*

a permanent covenant with the land and the Project, that the Property and Project allow only senior (is it 55 or 62 years and over?) residents permanently and in perpetuity and that said condition not be removable, or negotiable, under any circumstances whatsoever. Certain developments obtain approval under the guise of “100% senior” housing, only to go on and allow anyone to reside therein after the City has closed its file and moved on. That is not acceptable. (Jeronnal Barican)

- *We respectfully request The City to specify in detail the monetary and other penalties that will be imposed upon the Developer, investors, builder, owner and subsequent owners or transferees should any of said covenants be violated. Without said penalties, the restrictions would be rather meaningless. Moreover, the cost to the residents to file claims for the violation of said covenants, conditions and restrictions for non-performance would be an undue burden. (Jeronnal Barican)*
- *What is the procedure for LAHD to make sure that the landlord or builder will follow LAHD guidelines to only rent to low income per defined on incentives to build this project? What is the length of time for this enforcement by LAHD? How often LAHD will audit the facility to make sure that the number of low and moderate tenants are following the guidelines? What is the penalty for the owner if he/she does not abide by these guidelines? What is the LAHD policy for this project if there is a change of ownership to another individual or a corporation? Will the same guidelines be enforced by LAHD to the new owner(s)? How can the citizens of affected communities verify LAHD is following these guidelines? (Carlos L. Morales)*

Staff Response:

For the purpose of State Density Bonus law CA GC 65915(b)(1)(C), a “senior citizen housing development” is defined in Sections 51.3 and 51.12 of the Civil Code. The CA Civil Code, Section 51.3(b)(1) defines a “senior citizen” as a person who is 62 years of age or older, or 55 years of age or older in a senior citizen housing development. A “senior citizen housing development” is defined pursuant to CA Civil Code Section 51.3(b)(4) as “...a residential development developed, substantially rehabilitated, or substantially renovated for, senior citizens that has at least 35 dwelling units...” Section 51.12 applies only to the County of Riverside and is not applicable to the project.

Further, LAMC Section 12.22 A.25(b) defines a “Senior Citizen” as follows:

individuals who are at least 62 years of age, except that for projects of at least 35 units that are subject to this subdivision, a threshold of 55 years of age may be used, provided all applicable City, state and federal regulations are met.

As conditioned (**Condition No. 4**) under the 12/5/2024 Letter of Compliance, a covenant is required to reserve 100 percent of the units for affordable senior housing for a period of 55 years to the satisfaction of the Los Angeles Housing Department. As disclosed in Condition No. 4, monitoring and enforcement is the responsibility of LAHD.

Appeal Point 14 – Site Plan

- *The plan is missing exact property lines. It does not show the exact measurements of the site where it is abutting the neighbors...The Open Space, Side Yard needs to be on the drawing submitted by the builder’s Architect. Again, the drawing is incomplete...floor area...landscape plan...building line...the drawing provided by the City Planning office is incomplete. (Carlos L. Morales)*

Staff Response:

Exact property lines and dimensions are not required by Planning at this time. Applicants are advised to include only the information necessary to depict the project and its immediate settings. Applicants are instructed not to include mechanical drawings unless specifically requested. Plans are required to be drawn to scale, legible, and display a graphic scale and north arrow.

However, as a new construction project in the City of Los Angeles, the applicant is required to obtain permits through the LADBS Plan Check process ("LADBS Plan Check"). Plan Check is completed after the Planning Letter of Compliance for a Ministerial Density Bonus is issued. During Plan Check, the applicant will be required to submit the documents to LADBS including but not limited to plans (architectural, structural, grading, landscape, plumbing, mechanical, electrical); structural calculations signed by a State licensed Civil or Structural Engineer or an Architect; and energy calculations and forms (Title 24).

Appeal Point 15 – Findings

- *The Incentives approved are not required in order to provide for affordable housing costs as defined in laws including but not limited to California Health and Safety Code Section 50052.5, or Section 50053 for rents for the affordable units. (Jeronnal Barican, Carlos L. Morales)*
- *The Incentives approved will have a Specific Adverse Impact upon public health and safety or the physical environment, and for which there is no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. (Jeronnal Barican, Carlos L. Morales)*
- *The City failed to provide substantial evidence to support the first finding, that the project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan. The facts of this development Project do not support such a finding. (Jeronnal Barican, Carlos L. Morales)*

Staff Response:

Pursuant to CA GC Section 65915 et seq., a density bonus is granted by-right when the applicant complies with applicable sections of the Government Code. For the proposed project, the applicant is providing 100 percent of the dwelling units to be affordable at Low and Moderate Income Household occupancy to senior citizens aged 55 years and older for a period of 55 years. The project meets the criteria outlined in CA GC 65915(d)(2)(D). Further, the project may request and be granted the base incentives of unlimited density, up to 33 foot or three story increase in height, and zero residential parking spaces. Because the project meets the criteria outlined in CA GC 65915, no findings are required. Additionally, the project is eligible for up to five incentives and one waiver. Pursuant to CA GC Section 65915(d)(1), the City is required to grant the concession or incentives unless the City makes one of the three following written findings:

1. The concession or incentive does not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in CA Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.

The requested on-menu incentives that allow for a reduction in the north and south side yards and a reduction in open space will allow the applicant to expand the building envelope to provide additional affordable units. The applicant is not required to prove or

provide a pro-forma financial statement to document that side yards and/or open space reduction will result in cost savings. To deny the requested side yards and open space incentives, the onus is on the City to prove that the requested side yards and open space incentives will not result in actual cost savings. The record does not contain substantial evidence that would allow the City to make a finding that the incentives do not result in identifiable and actual cost reductions.

2. The incentives would have a specific adverse impact on public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low and moderate income households.

There is no evidence in the record that the approved incentives would have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" per LAMC Section 12.22 A.25(b). There is no specific or quantifiable evidence in the record to show that the reduction in side yards or open space would have any adverse impact on public health and safety. The community has objected to the project based on their opinions and preferences; however, no specific or quantifiable evidence has been provided by the community to show that a 9 foot 7 inch north side yard and a 9 foot 7 inch south side yard in lieu of 11 foot and 11 and $\frac{3}{4}$ inch side yards would adversely impact their public health and safety. Further, the community has provided no specific or quantifiable evidence to show that reducing open space at housing development by 20 percent would adversely impact their public health and safety. Finally, the project site is not listed in the California Register of Historical Resources.

3. The incentives are contrary to state or federal law.

The requested incentives for an up to 20 percent reduction in north and south side yards and an up to 20 percent reduction in open space is not contrary to state or federal law. The community has produced no evidence to show that the requested side yard and/or open space reductions are contrary to law.

Appeal Point 16 – Landscaping

- *A000 & A001/ New Site Plan and Overall 1st Floor Plan clearly show the footprint of the landscape extends past the true property lines on both Woodlake & Saticoy. It seems the developer is fulfilling the requirement for a minimum number of trees by putting them on public land that may be used for street widening and/or sidewalk in the future. We did not see any explanation of how public land can be simply appropriated by the developer. Is this allowed? If the city does widen Woodlake or Saticoy to add the "missing lanes" or missing sidewalks these trees would have to be removed thus negating the entire purpose of planting them in the first place. (Jeronnal Barican)*
- *Will any of the onsite trees be outside of the property lines? Who will cut down the over-growth of the trees that encroach my residence? Will LAHD enforce this? Who do I need to call? (Carlos L. Morales)*
- *Street Trees. There was mention of sidewalks on both Saticoy and Woodlake once this property is built. How can the City Planning office ensure these trees are not eliminated while they are building sidewalks? (Carlos L. Morales)*

- *Off-Site Protected Trees on the Neighboring Properties. Who is enforcing this? Please outline these protected trees in your incomplete drawings so we can verify. (Carlos L. Morales)*

Staff Response:

The 12/5/2024 Letter of Compliance references a stamped and paginated 32 page “**Exhibit A.**” The site plan is page 4 of “**Exhibit A.**” The first floor plan is on page 7 of “**Exhibit A.**” Preliminary landscape plans are pages 29 – 32 of “**Exhibit A.**”

As disclosed in **Condition No. 15** of the 12/5/2024 Letter of Compliance, the applicant is required to submit revised landscaped plans to show the location of all plants and trees. The final landscape plan is conditioned to be prepared in accordance with the conditions of approval and prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. Further, **Condition No. 12** requires that a total minimum of 83 24-inch box trees shall be provided on site as required pursuant to LAMC Section 12.21 G.2. The on-site protected Southern California Black Walnut Tree located within the 25 foot landscaped setback area abutting Saticoy Street and shown on “**Exhibit A**” shall be retained and protected in place. No on-site protected tree removal is requested or approved herein. Any removal of protected trees requires the review and approval of the Urban Forestry Division. Further, **Condition No. 13** requires the three protected street trees (one canyon oak and two Southern California black walnut trees) along Saticoy Street to be retained and protected in place. No street tree removal is requested or approved herein. Street trees shall be provided to the satisfaction of the Urban Forestry Division, and any removal of street trees requires the review and approval of the Urban Forestry Division. As conditioned (**Condition No. 14**), one protected canyon oak tree and two Southern California black walnut trees on the neighboring property to the south will be retained and protected in place. No off-site removal of protected trees on neighboring properties is requested or approved herein.

The City of Los Angeles provides information to the community about requesting non-emergency City Services (including non-emergency tree removal or repair) on its webpage [Home | City of Los Angeles](#). As of the writing of this staff report, the community is advised to contact MyLA311 by calling 213-473-3231, using the MyLA311 app, or visiting the MyLA311 website at myla311.lacity.org. Further, [Support for Residents | City of Los Angeles](#) provides a link to request City services or file a complaint/claim.

Tree removal and protection is managed by the Urban Forestry Division, Bureau of Street Services. As disclosed on their webpage [Contact Us | Bureau of Street Services](#), the Bureau of Street Services can be contacted 24/7 at [MyLA311.org](mailto:311@lacity.org), 311@lacity.org or (213) 473-5990.

See the Staff Response to **Appeal Point 3** regarding public right-of-way (street and sidewalk) dedications and improvements.

Appeal Point 17 – CHIP

- *...nor is it in compliance with the recent CHIP vote taken in November 2024, in favor of Draft #3 and against Exhibit D. (Jeronnell Barican)*

Staff Response:

The City of Los Angeles 2021-2029 Housing Element identified significant housing needs throughout Los Angeles. Under the Housing Element Rezoning Program housing needs that meet the City’s housing obligations in compliance with State law, three ordinances are proposed: the Citywide Housing Incentive Program (“CHIP”) Ordinance, Housing Element Sites and Minimum Density Ordinance, and Resident Protections Ordinance.

The proposed CHIP ordinance (Council File No. 21-1230-S5) has been amended through multiple Council motions since the ordinance was heard by the Planning and Land Use Management Committee (“PLUM”) action on November 19, 2024. The ordinance was approved as amended by the City Council on December 10, 2024, and its implementation date was February 11, 2025. As of the issuance of the December 5, 2024 Director Determination, the CHIP draft ordinance was not effective. Therefore, the subject project is not subject to the CHIP Ordinance. The CHIP ordinance does not supersede State Density Bonus law (CA GC 65915 et seq.) but gives applicants additional options for providing affordable housing.

Appeal Point 18 – Equine Keeping in the City of Los Angeles

- *Who is enforcing this? (Carlos L. Morales)*

Staff Response:

Equine Keeping is enforced by the LADBS. This is disclosed in the 12/5/2024 Letter of Compliance (**Condition No. 17** and Project Background, p. 8).

Appeal Point 19 - Proximity to Chaminade

- *The Application failed to disclose that there are related City Planning Cases such as the Chaminade High School project just across the street, pending at this time. (Jeronnal Barican)*

Staff Response:

The applicant is not required to disclose the pending Chaminade High School project. The applicant is required to disclose that the project site is within 500 feet of a sensitive use (e.g., school, park) on the Department of City Planning Application Form No. CP13-7771.1. This omission was noted and corrected by Planning staff as shown in **Figure 5**:

EXISTING SITE CONDITIONS

Complete and check all that apply:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Site is undeveloped or unimproved (i.e., vacant) | <input type="checkbox"/> Site is located within 500 feet of a freeway or railroad |
| <input type="checkbox"/> Site has existing buildings (provide copies of building permits) | <input checked="" type="checkbox"/> Site is located within 500 feet of a sensitive use (e.g., school, park) <i>LFS 9/24/24</i> |
| <input type="checkbox"/> Site is/was developed with uses that could release hazardous materials on soil and/or groundwater (e.g., dry cleaning, gas station, auto repair, industrial) | <input type="checkbox"/> Site has special designation (e.g., National Historic Register, Survey LA) |

FIGURE 5. EXISTING SITE CONDITIONS - DEPARTMENT OF CITY PLANNING APPLICATION FORM NO. CP13-7771.1 AS CORRECTED BY PLANNING STAFF ON 9/24/202

Further, the Chaminade High School project referenced by the appellant is disclosed by Planning on page 10 of the 12/5/2024 Letter of Compliance.

Appeal Point 20 – Notification

- *Major Construction or Projects Requiring Zoning Variances: The City of Los Angeles typically requires a public notice to be sent to neighbors within a specific radius (usually 300–500 feet) if a project requires zoning variances, conditional use permits, or exceptions. The notice must be sent at least 10–24 days before a public hearing or decision, as specified in the Los Angeles Municipal Code (LAMC). No such notices were provided. (Jeronnal Barican, Carlos L. Morales)*
- *I only received the notification on December 12, 2024, which only allowed for less than 8 full days to make an appeal. The West Hills Neighborhood Council was advised that letters were sent by certified mail. This is not the case, as I received the Letter of Compliance through USPS as regular mail, no special delivery. (Robert J. Ball)*
- *No Notices went out to abutting neighbors, some of whom have advised that they received the City’s Letter of Compliance only a few days ago, not affording them reasonable time to prepare an appeal. (Jeronnal Barican, Carlos L. Morales)*
- *...the community went door to door of the abutting neighbors, and we found only one house that was served the letter of appeal process just a few days ago (Carlos L. Morales)*

Staff Response:

Projects are noticed for public hearing pursuant to LAMC requirements based on the applicant’s entitlement request. For example, a Variance is noticed pursuant to Chapter 1, LAMC Section 12.27/Chapter 1A, LAMC Section 13B.5.3.

A Ministerial On-Menu Density Bonus entitlement request pursuant to Chapter 1, LAMC Section 12.22 A.25 and CA GC Section 65915 et seq. is not required to be set for public hearing. As such, no notice was sent to surrounding property owners.

The 12/5/2024 Letter of Compliance was mailed by USPS to abutting property owners in compliance with Chapter 1, LAMC Section 12.22 A.25 (Municipal Density Bonus law) and Chapter 1A, LAMC Section 13B.2.5 D.3.4, which regulates how a determination made by the Director of Planning is transmitted. Evidence of Planning’s compliance with the noticing requirements is maintained in the Planning file. The Director is required to transmit a copy of the written findings and decision to the applicant, to all owners of abutting, across the street or alley from, or having a common corner with, the subject property, and to the local Certified Neighborhood Council. The 12/5/2024 letter was not required by Code to be mailed by certified mail or special delivery. Further, the 12/5/2024 letter was emailed that same day to over 130 individuals who provided written comments about the project including three of the four appellants.

The timeframe in which to appeal a Letter of Compliance is also subject to Code requirements. Pursuant to Chapter 1A, LAMC Section 13A.2.8.B.1, an appeal must be filed within 15 days after the date on the letter to the applicant. The 15-day appeal period for 12/5/2024 letter to the applicant ended on December 20, 2024. Furthermore, a total of seven appeals were timely filed, therefore, no evidence of prejudicial effect has been presented.

Appeal Point 21 – Documents Not Made Available to the Public

- *City Planning office failed to provide Builder’s revised application that was accepted either digitally or on paper, despite multiple written requests by neighbors by email and phone*

calls. To date, the updated Application has not been shared with the public. (Jerommel Barican, Carlos L. Morales)

- *Developer failed to attach to this application, a copy of the recorded Covenants, affidavits or easements on the property. (Jerommel Barican)*

Staff Response:

Case No. ADM-2024-5202-DB-PHP-VHCA is a public document, and a physical copy of the case file was made available to the public. Two members of the public scheduled appointments with Planning to review the case file. The recorded Covenants referenced above are included in the case file. The appellant(s) did not contact Planning to request a review of the case file. Further, the official record is found in the case file, which is clearly identified as such with the following language:

PUBLIC RECORD
THIS IS AN OFFICIAL DOCUMENT OF
THE CITY OF LOS ANGELES

If a document is not found online, Planning staff will ensure to locate the file and make the necessary arrangements for the file to be viewed. Normally, files are available Monday to Thursday 8:30am to 4pm, and Friday's 8:30am to 3pm at our downtown office. We also have a dedicated page on our website that describes the process and steps relative to viewing case files. For this case, we ensured the file was available for viewing at our Braude Van Nuys office.

Appeal Point 22 – Grocery Store

- *This project is 1.5 miles West from the nearest grocery store (Carlos L. Morales)*

Staff Response:

The project was reviewed and approved in accordance with municipal and State Density Bonus law (LAMC Section 12.22 A.25, CA GC 65915 et seq.), which does not regulate the project distance to a grocery store.

Appeal Point 23 – Developer Concerns

- *With the Project, this area may very well become so congested and undesirable that the drop in property values, environmental contamination, and damages ensuing therefrom, will be the least of the Developer's concerns. (Jerommel Barican)*

Staff Response:

Planning staff is unclear about the meaning or intent of this comment and therefore has no response.

PUBLIC COMMENTS

A letter of opposition was received from the West Hills Neighborhood Council dated October 17, 2024 (see "**Exhibit M**"). To further disclose opposition to the project, the Neighborhood Council submitted associated documents including a petition with approximately 1,650 signatures from community residents, a "Change.org" petition, sign-in sheets from a June 11, 2024 Neighborhood Council meeting, a "Valley News Group" article, and social media posts (see "**Exhibit N**").

Additionally, community members submitted approximately 130 written comments to Planning (see "**Exhibit O**"). Personal testimony offered in opposition to the project includes but is not necessarily limited to the following: height, drainage and flooding, proximity to Chaminade High School, proposed expansion of Chaminade High School, parking, ingress/egress, soil contaminants, traffic, safety, noise, pollution, previous historic consideration, incompatibility with the surrounding neighborhood, strain on police/firefighter resources, and reduction of property values. Written comments in support of the project were submitted by five community residents as disclosed in "**Exhibit O.**"



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISIONS:



EXHIBIT "A"
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WOODLAKE APTS

PLANNING REVIEW // 10.23.2024

GENERAL	ARCHITECTURAL	OWNER // William G. Ross and Joy A. Ross Survivor's Trust
0000 COVER SHEET	A000 SITE PLAN	XXXXXX.XXXX.XX
0001 PROJECT INFORMATION	A101 OVERALL 1ST FLOOR PLANS	ARCHITECT // JEFF ZBIKOWSKI ARCHITECTURE
0002 SITE PHOTOS & EXISTING CONDITIONS	A102 OVERALL 2ND FLOOR PLANS	4043 IRVING PL, SUITE B
0009 GROSS AREA CALCULATIONS	A103 OVERALL 3RD FLOOR PLANS	CULVER CITY, CA 90232
0010 FAR AREA CALCULATIONS	A104 OVERALL 4TH FLOOR PLANS	JEFF ZBIKOWSKI, AIA
0011 BUILDING CODE AREA DIAGRAMS	A105 OVERALL 5TH FLOOR PLANS	310.853.5004 // JEFF@JZARCH.LA
0012 OPEN SPACE CALCULATIONS	A106 OVERALL ROOF PLAN	
0021 CALGREEN COMPLIANCE - RESIDENTIAL	A111 1ST FLOOR PLAN - WEST	
0023 LOS ANGELES RESEARCH REPORTS	A112 1ST FLOOR PLAN - EAST	
0025 RESIDENTIAL ACCESSIBILITY NOTES	A121 2ND FLOOR PLANS - WEST	
0036 RESIDENTIAL ACCESSIBILITY NOTES	A122 2ND FLOOR PLANS - EAST	
0040 TYPICAL DAS DETAILS (CBC)	A131 3RD FLOOR PLANS - WEST	
0041 TYPICAL DAS DETAILS (CBC)	A132 3RD FLOOR PLAN - EAST	
0042 TYPICAL DAS DETAILS (CBC)	A141 4TH FLOOR PLANS - WEST	
0050 BUILDING RECORDS	A142 4TH FLOOR PLANS - EAST	
0060 SOCS APPROVAL LETTER	A151 5TH FLOOR PLANS - WEST	
0061 REPORTS	A152 5TH FLOOR PLANS - EAST	
0063 SPEC SHEETS	A161 ROOF PLAN - WEST	
0065 MODIFICATIONS	A162 ROOF PLAN - EAST	
0066 CALOSHA TEMPORARY PERMIT	A200 ELEVATIONS	
0070 TRANSIT VERIFICATION	A201 ELEVATIONS	
0073 PRELIMINARY ZONING ASSESSMENT FORM	A202 ELEVATIONS	
0074 PRELIMINARY ZONING ASSESSMENT FORM	A203 ELEVATIONS	
0075 AFFORDABLE HOUSING REFERRAL FORM	A315 ENLARGED TRASH #1 PLANS	
0076 TRANSPORTATION QUALIFIERS	A316 ENLARGED TRASH #2 PLANS	
0077 CERTIFICATE OF COMPLIANCE	A317 ENLARGED TRASH #3 PLANS	
0078 GRANT DEED	A600 ENLARGED UNIT PLANS	
0080 SURVEY		
0081 SURVEY OVERLAY		
0090 SOCS APPROVAL LETTER		

CLIENT NAME
William G. Ross and Joy A. Ross Survivor's Trust

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

ADDRESS
**7572 N WOODLAKE AVE
LOS ANGELES, CA 91304**

DATE
10.23.2024

SHEET TITLE
COVER SHEET

SHEET NUMBER
G000

PLANNING REVIEW

FOR REFERENCE ONLY

ARCHITECTURAL ABBREVIATIONS

Ø	AT	FLR	FLOOR	R	PROPERTY LINE
○	DIAMETER	FMC	FLOOR MATERIAL CHANGE	PIP	PROTECT IN PLACE
AB	ANCHOR BOLT	FOC	FACE OF CONCRETE	PLAM	PLASTIC LAMINATE
AC	AIR CONDITIONING	FOF	FACE OF FINISH	PT	PAINT
ACT	ACOUSTIC CEILING TILE	FOM	FACE OF MASONRY	PTD	PAINTED
ADA	AMERICANS WITH DISABILITIES ACT	FOS	FACE OF STUD	QTY	QUANTITY
		FR	FIRE RESISTIVE FINISH SURFACE		
ADJ	ADJACENT	GA	GAGE	R	RADIUS or RISER
AFF	ABOVE FINISH FLOOR	GALV	GALVANIZED	RCP	REFLECTED CEILING PLAN
ALT	ALTERNATE	GB	GRAB BAR	RD	ROOF DRAIN
ALUM	ALUMINUM	GC	GENERAL CONTRACTOR	REF	REFRIGERATOR
APPROX	APPROXIMATELY	GYP	GYP/SUM BOARD	REQD	REQUIRED
ARCH	ARCHITECT			REV	REVISION or REVISED
		HB	HOSE BIBB	RM	ROOM
BD	BOARD	HC	HOLLOW CORE	ROW	RIGHT OF WAY
BF	BRACE FRAME	HCM	HOLLOW CORE WOOD	RRM	RESTROOM
BLK	BLOCK	HDR	HEADER	SC	SOLID CORE
BM	BEAM	HDM	HOLLOW METAL	SCW	SOLID CORE WOOD
BTWN	BETWEEN	HR	HANDRAIL	SF	SQUARE FEET
CAB	CABINET	HT	HEIGHT	SHT	SHEET
CL	CENTER LINE	INS	INSULATION	SHTG	SHEATHING
CL	CLOSET	INT	INTERIOR	SIM	SIMILAR
CLG	CEILING	JST	JOIST	SL	SLOPE
CLR	CLEAR	LAM	LAMINATE	ST	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	STL	STEEL
COL	COLUMN	LIN	LINOLEUM	STRUCT	STRUCTURAL
CONC	CONCRETE	MAX	MAXIMUM	T	TREAD
CONT	CONTINUOUS	MECH	MECHANICAL	TBD	TO BE DETERMINED
CONTR	CONTRACTOR	MFR	MANUFACTURER	TH	THRESHOLD
CPT	CARPET	MIN	MINIMUM	THK	THICK
CRS	COURSES	MIS	MISCELLANEOUS	TJ	TRUSS JOIST
CT	CERAMIC TILE	MNTD	MOUNTED	TO	TOP OF
		MOC	MASONRY OPENING	TOC	TOP OF CONCRETE
(D)	DEMOLISH	MTD	MOUNTED	TOP	TOP OF PLATE
DAS	DISABLED ACCESS	MTL	METAL	TOP	TOP OF SLAB
DBL	DOUBLE	N	NOTE	TOSH	TOP OF SHEATHING
DIA	DIAMETER	NEW	NEW	TOW	TOP OF WALL
DIM	DIMENSION	NTS	NOT TO SCALE	TYP	TYPICAL
DN	DOWN	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
DS	DOWNSPOUT	OFC	OWNER FURNISHED-CONTRACTOR INSTALLED	VCT	VINYL COMPOSITION TILE
DWG	DRAWING	OFOI	OWNER FURNISHED-OWNER INSTALLED	VERT	VERTICAL
		OFV	OWNER FURNISHED-VENDOR INSTALLED	VIF	VERIFY IN FIELD
(E)	EXISTING	OH	OVERHEAD	W	WITH
ELECT	ELECTRICAL	OPNG	OPENING	WC	WATER CLOSET
ELEV	ELEVATOR			WD	WOOD
EOS	EDGE OF SLAB			WH	WATER HEATER
EQ	EQUAL			WP	WATERPROOF
EXT	EXTERIOR			WPT	WORK POINT
EX	FIRE EXTINGUISHER				
FF	FINISH FLOOR				
FIN	FINISH				
FJ	FLOOR JOIST				

ARCHITECTURAL SYMBOLS

	DETAIL		WINDOW MARK		ALIGN FINISHES
	BUILDING SECTION		DOOR MARK		SMOKE DETECTOR
	WALL SECTION		WALL TYPE		FIRE EXTINGUISHER
	INTERIOR ELEVATION		WORK POINT		AREA DRAIN
	EXTERIOR ELEVATION		NOTE		FLOOR DRAIN
	ELEVATION MARK		ACCESSIBLE PATH OF TRAVEL		FLOOR MATERIAL TRANSITION
			FENCE		SECURITY OPENING
			EXIT SIGN		

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UNIT SCHEDULE & AFFORDABILITY

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED PARKING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,582 SF	2ND FL FFE
2 BR	2	30	3,750 SF	60	18,661 SF	2ND FL FFE
2ND FL FFE: 81		81	8,850 SF	136.5	38,193 SF	
1 BR	1	55	5,500 SF	82.5	20,081 SF	3RD FL FFE
2 BR	2	30	3,750 SF	60	18,661 SF	3RD FL FFE
3RD FL FFE: 85		85	9,250 SF	142.5	38,682 SF	
1 BR	1	55	5,500 SF	82.5	20,081 SF	4TH FL FFE
2 BR	2	30	3,750 SF	60	18,661 SF	4TH FL FFE
4TH FL FFE: 85		85	9,250 SF	142.5	38,682 SF	
1 BR	1	55	5,500 SF	82.5	20,081 SF	5TH FL FFE
2 BR	2	30	3,750 SF	60	18,661 SF	5TH FL FFE
5TH FL FFE: 81		81	8,750 SF	134.5	34,397 SF	
Grand Total: 332		332	36,100 SF	556	142,953 SF	

AUTOMOBILE PARKING

RESIDENTIAL PARKING REQUIRED PER LAMC: 1 STALL FOR STUDIO, 1.5 STALLS PER 1BR, 2 STALLS PER 2BR+
TOTAL REQUIRED RESIDENTIAL STALLS PER LAMC: 566

SITE IS WITHIN 1/2 MILE OF FINED BUS ROUTE THAT OPERATES AT LEAST EIGHT TIMES PER DAY. SEE SHEET 0070 FOR VERIFICATION. PROJECT CONFORMS TO SENIOR HOUSING AGE LIMITS IN 100% AFFORDABLE HOUSING DEVELOPMENTS. THEREBY REDUCING PARKING REQUIREMENT TO: 0

PARKING SCHEDULE (STALL SIZE)			
1ST FL FFE	ACCESSIBLE	RESIDENTIAL	
1ST FL FFE	CONTRACT	RESIDENTIAL	93
1ST FL FFE	EV	RESIDENTIAL	4
1ST FL FFE			57
Grand Total			154

RESIDENTIAL PARKING PROVIDED: 154
ACCESSIBLE PARKING PROVIDED: 4
EV CHARGING STALLS PROVIDED: 4

PER CALIFORNIA GREEN BUILDING CODE SECTION 4.106.4.2.2: ONE IN EVERY 25 EV SPACES SHALL HAVE AN EV CHARGING STATION. 25% OF EV CHARGING STATIONS SHALL BE CHARGING STATIONS WITH 2 EV CHARGING RECEPTACLES.

PER CALIFORNIA GREEN BUILDING CODE SECTION 4.106.4.2.2: ONE IN EVERY 25 EV SPACES SHALL HAVE AN EV CHARGING STATION WITH 2 EV CHARGING RECEPTACLES.

PER CALIFORNIA GREEN BUILDING CODE SECTION 4.106.4.2.2: ONE IN EVERY 25 EV SPACES SHALL HAVE AN EV CHARGING STATION WITH 2 EV CHARGING RECEPTACLES.

PER CALIFORNIA GREEN BUILDING CODE SECTION 4.106.4.2.2: ONE IN EVERY 25 EV SPACES SHALL HAVE AN EV CHARGING STATION WITH 2 EV CHARGING RECEPTACLES.

BICYCLE PARKING

BICYCLE PARKING REQUIRED PER LAMC: 12.21.A.19A(2)
LONG TERM PARKING: 1 PER 5,000 SF
SHORT TERM PARKING: 1 PER 10,000 SF

BICYCLE PARKING PROVIDED: 56 STALLS
LONG TERM PARKING: 38 STALLS
SHORT TERM PARKING: 18 STALLS

OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE REQUIREMENTS PER LAMC 12.21.G:
-3 HABITABLE ROOMS = 100 SF / UNIT (STUDIOS & 1BR UNITS)
+3 HABITABLE ROOMS = 125 SF / UNIT (2BR UNITS)
+3 HABITABLE ROOMS = 175 SF / UNIT (3BR+ UNITS)

OPEN SPACE REQUIRED
UNIT TYPE | HABITABLE ROOMS | # OF UNITS | REQD OPEN SPACE
1 BR | 2 | 516 | 21,600 SF
2 BR | 3 | 116 | 14,500 SF
GRAND TOTAL: 332 | 36,100 SF

REQUIRED OPEN SPACE
REQUIRED OPEN SPACE = 36,100
PROJECT SEeks A 20% REDUCTION PER LAMC 12.22.A.25
REDUCED OPEN SPACE = 36,100 * 0.80 = 28,880 SF
PROPOSED OPEN SPACE = 28,880 SF

COMMON OPEN SPACE REQUIREMENT:
50% OF OPEN SPACE PROVIDED SHALL BE COMMON PER LAMC 12.21.G
100% COMMON SPACE PROVIDED

PLANTED AREA REQUIREMENTS:
20% OF COMMON OPEN SPACE SHALL BE PLANTED PER LAMC 12.21.G
14,440 SF * 0.20 = 2,888 SF PLANTED OPEN SPACE (SEE LANDSCAPE DRAWINGS)

TOTAL OPEN SPACE PROVIDED:
COMMON OPEN SPACE | LEVEL | AREA
COMMON OPEN SPACE - COURTYARD | 2ND FL FFE | 11,299 SF
COMMON OPEN SPACE - RECREATION | 2ND FL FFE | 1,681 SF
COMMON OPEN SPACE - DECK | 5TH FL FFE | 2,338 SF
GRAND TOTAL | 28,880 SF

PLANTED OPEN SPACE PROVIDED:
TREES PROVIDED:
(1) 24" BOX TREE PER 4 UNITS + 330 UNITS (4 = 81 TREES)
(1) 24" BOX TREE / 500 SF OF FRONT YARD LANDSCAPE + 5871 SF / 500 SF = 12 TREES
TREES PROVIDED:
(2) 24" BOX TREE AT GROUNDED COURTYARD
(3) 24" BOX TREE AT GROUNDED LEVEL
(5) 24" BOX TREE TOTAL

NOTES:
1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR THE PURPOSES OF CALCULATING OPEN SPACE
2. PER LAMC 12.21.G.2(a)(1)(B) COMMON OPEN SPACE MUST HAVE MINIMUM AREA OF 400 SF WITH NO HORIZONTAL DIMENSIONS LESS THAN 15' WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES.

SEPARATE PERMITS

MECHANICAL | FIRE SPRINKLER SYSTEM
ELECTRICAL | BLOCK WALL
PLUMBING
FIRE ALARM SYSTEM

BUILDING CODES USED

2022 LOS ANGELES MUNICIPAL CODE (LAMC) | 2020 LOS ANGELES FIRE CODE (LAFD)
2020 LOS ANGELES BUILDING CODE (LABC) | 2020 LOS ANGELES RESIDENTIAL CODE (LARC)
2020 LOS ANGELES ELECTRICAL CODE (LAEC) | 2020 LOS ANGELES GREEN BUILDING CODE (LAGBC)
2020 LOS ANGELES MECHANICAL CODE (LAMC)
2020 LOS ANGELES PLUMBING CODE (LAPC)

DEFERRED SUBMITTALS

FIRE ALARM SYSTEM
FIRE SPRINKLER SYSTEM
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT INFORMATION

PROJECT NAME:	WOODLAKE APTS
ADDRESS:	7566-7572 N WOODLAKE AVE LOS ANGELES, CA
ENTITLEMENTS:	NOT YET FILED
OWNER:	LA DEVELOPED
PROJECT DESCRIPTION:	NEW CONSTRUCTION, 338 UNIT, 157,902 SF, 100% AFFORDABLE, 55+ SENIOR INDEPENDENT HOUSING DEVELOPMENT SEEKING ON-MENU INCENTIVES PER LAMC 12.22.A.25, 4017(b), 4018(a), 4018(b), 4018(c), 4018(d).
PROJECT FINANCING:	100% PRIVATELY FUNDED THIS IS NOT A PUBLIC HOUSING FACILITY OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT SHALL BE RECEIVED FROM STATE OR FEDERAL GOVERNMENTS, NOT A TAC FACILITY AND NOT A SOCIAL SERVICE CENTER.
CONSTRUCTION TYPE:	TYPICAL (1ST FLOOR PARKING) 24HR EXT BEARING WALLS PER LABC TABLE 601
OCCUPANCY TYPE:	R-2, A-3, S-2, B
SPRINKLERED:	NFPA-13 PER LAFD 903.2
FIRE ALARM:	MANUAL ALARM
ACCESSIBILITY:	CRD 11A

ZONING INFORMATION

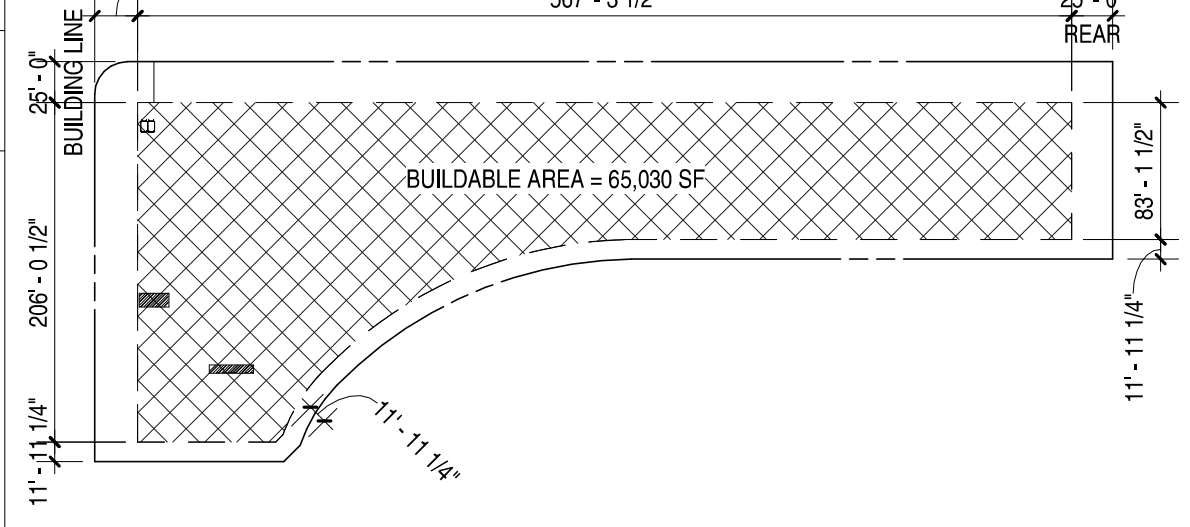
ZONE:	A-2.1
ZONING INFORMATION:	29-0438 EQUINE KEEPING IN THE CITY OF LOS ANGELES
GENERAL PLAN/LAND USE:	LOW RESIDENTIAL (RDS DENSITY PER GENERAL PLAN)
ASSESSOR PARCEL NUMBER:	202-002-013
TRACT:	TR 21391
BLOCK:	NONE
LOT:	FR 298
FLOOD ZONE:	OUTSIDE FLOOD ZONE
METHANE ZONE:	NONE
SITE AREA:	95,783 SF PER SURVEY, SEE SHEET 0060
REQUIRED SETBACKS:	FRONT: 20'-0" (20% LOT DEPTH, NOT TO EXCEED 25' PER LAMC 12.05.C) SIDE (NORTH): 11'-11 3/4" (10% LOT WIDTH - SEE 0010) SIDE (SOUTH): 11'-11 3/4" (10% LOT WIDTH - SEE 0010) REAR: 25'-0" (20% LOT DEPTH, NOT TO EXCEED 25' PER LAMC 12.05.C)
PROVIDED SETBACKS:	FRONT: 20'-0" (BUILDING LINE) SIDE (NORTH): 9'-0" (10% LOT WIDTH - SEE 0010) SIDE (SOUTH): 9'-0" (10% LOT WIDTH - SEE 0010) REAR: 25'-0" (20% LOT DEPTH, NOT TO EXCEED 25' PER LAMC 12.05.C)
BUILDING LINE:	WOODLAKE AVE (FRONT): 20'-0" ORD-112349 SATICOY ST (REAR): 25'-0" ORD-98019
ALLOWABLE HEIGHT PER LAMC:	45'-0" PER LAMC 12.21.1.A 75'-0" PER AB2334
PROVIDED HEIGHT PER LAMC:	73'-0" SEE ELEVATIONS
ALLOWABLE HEIGHT PER LABC:	85'-0" PER LABC TABLE 504.3
PROVIDED HEIGHT PER LABC:	SEE ELEVATIONS & SITE PLAN FOR GRADE PLANE CALCS.
ALLOWABLE FLOOR AREA:	195,000 SF (3.00 FAR PER AB 1 + LAMC 12.21.1.A)
PROVIDED FLOOR AREA:	187,902 SF (2.881 FAR PROPOSED)
ALLOWABLE DENSITY PER AB2334:	UNLIMITED
PROVIDED DENSITY:	332 UNITS
REQUIRED PARKING:	0 PER AB2334, OPTION 3
PROVIDED PARKING:	154 STALLS

INCENTIVES REQUESTED

BASE INCENTIVES (B):
57 ADDITIONAL HEIGHT FEET OR 3 STORIES PER AB2334
UNLIMITED DENSITY PER AB2334
PARKING OPTION 3 PER AB2334 - SENIOR HOUSING
ON-MENU INCENTIVES (O):
0% OPEN SPACE REDUCTION FROM 36,100 SF TO 28,880 SF PER LAMC 12.22.A.25
57 ADDITIONAL HEIGHT FEET OR 3 STORIES PER AB2334
20% SIDE YARD (NORTH) REDUCTION FROM 11.94' TO 9.55' PER LAMC 12.22.A.25
20% SIDE YARD (SOUTH) REDUCTION FROM 11.94' TO 9.55' PER LAMC 12.22.A.25

ZONING CODE AREA CALCULATIONS

BUILDABLE AREA DEFINITION PER LAMC 12.05:
PRE-HIGHWAY DEDICATION LOT AREA MINUS SETBACKS FOR A 1-STORY BUILDING



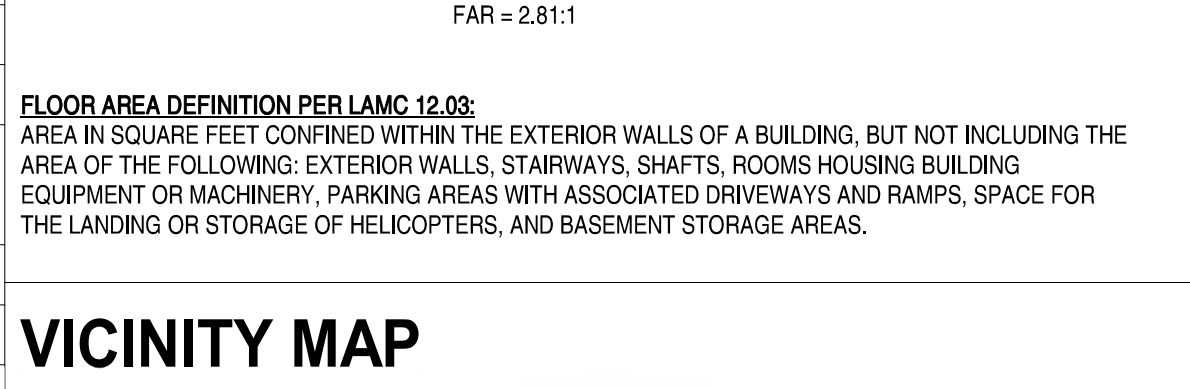
ALLOWABLE AREA PER LAMC 12.21.1: 3.1 FAR = 65,000 * 3.0 = 195,000 SF ALLOWED

AREA SCHEDULE (FLOOR AREA)		
LEVEL	FAR	AREA
1ST FL FFE	MISC	1,579 SF
MISC		
1ST FL FFE	RESIDENTIAL	2,740 SF
2ND FL FFE	RESIDENTIAL	45,896 SF
3RD FL FFE	RESIDENTIAL	45,896 SF
4TH FL FFE	RESIDENTIAL	45,896 SF
5TH FL FFE	RESIDENTIAL	45,896 SF
RESIDENTIAL		186,328 SF
GRAND TOTAL		187,902 SF

TOTAL PROVIDED FLOOR AREA: 187,902 SF (SEE 0010 FOR FLOOR AREA CALCULATIONS)
FAR = 2.811

FLOOR AREA DEFINITION PER LAMC 12.05:
AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPWAYS, SPACE FOR THE LANDING OR STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

VICINITY MAP



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISION:

CLIENT NAME
William G. Ross and Joy A. Ross
Survivor's Trust

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

30-00-00000
2333

DATE
10.23.2024

SHEET TITLE
PROJECT INFORMATION

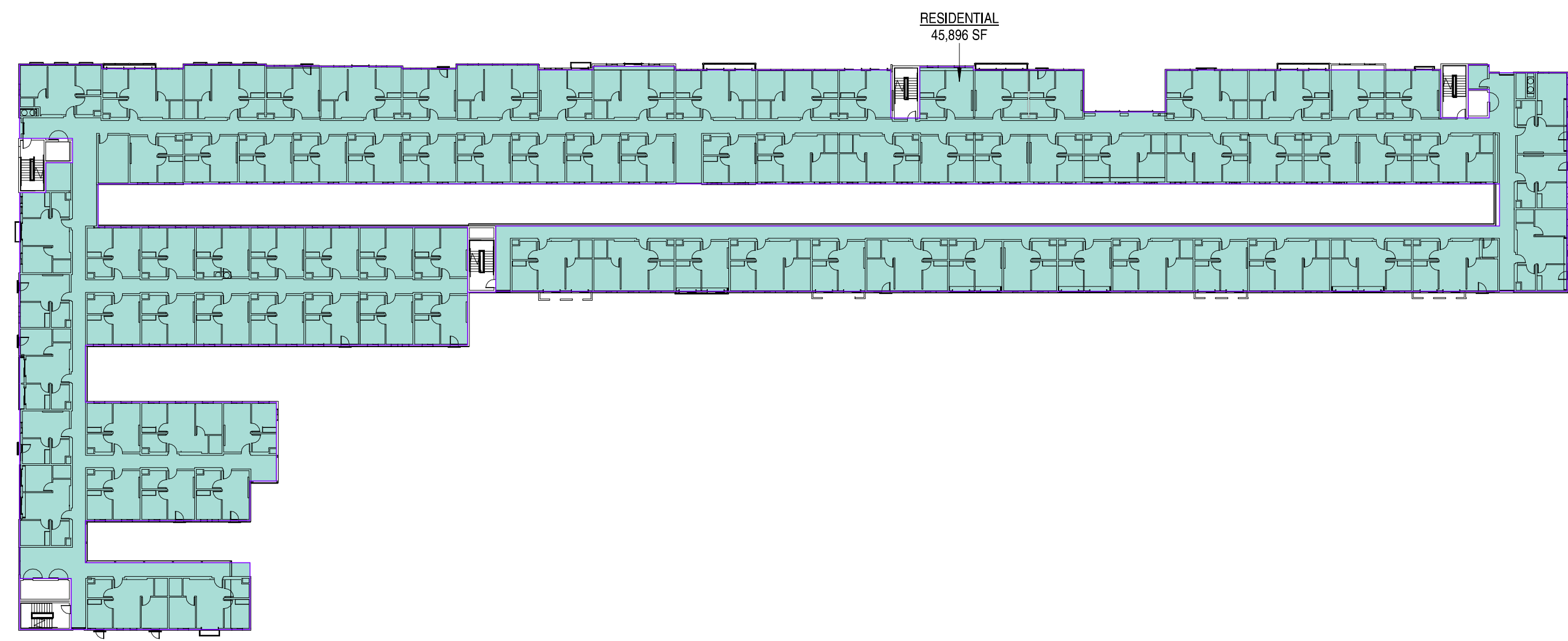
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REVISION SET BY
PLANNING REVIEW

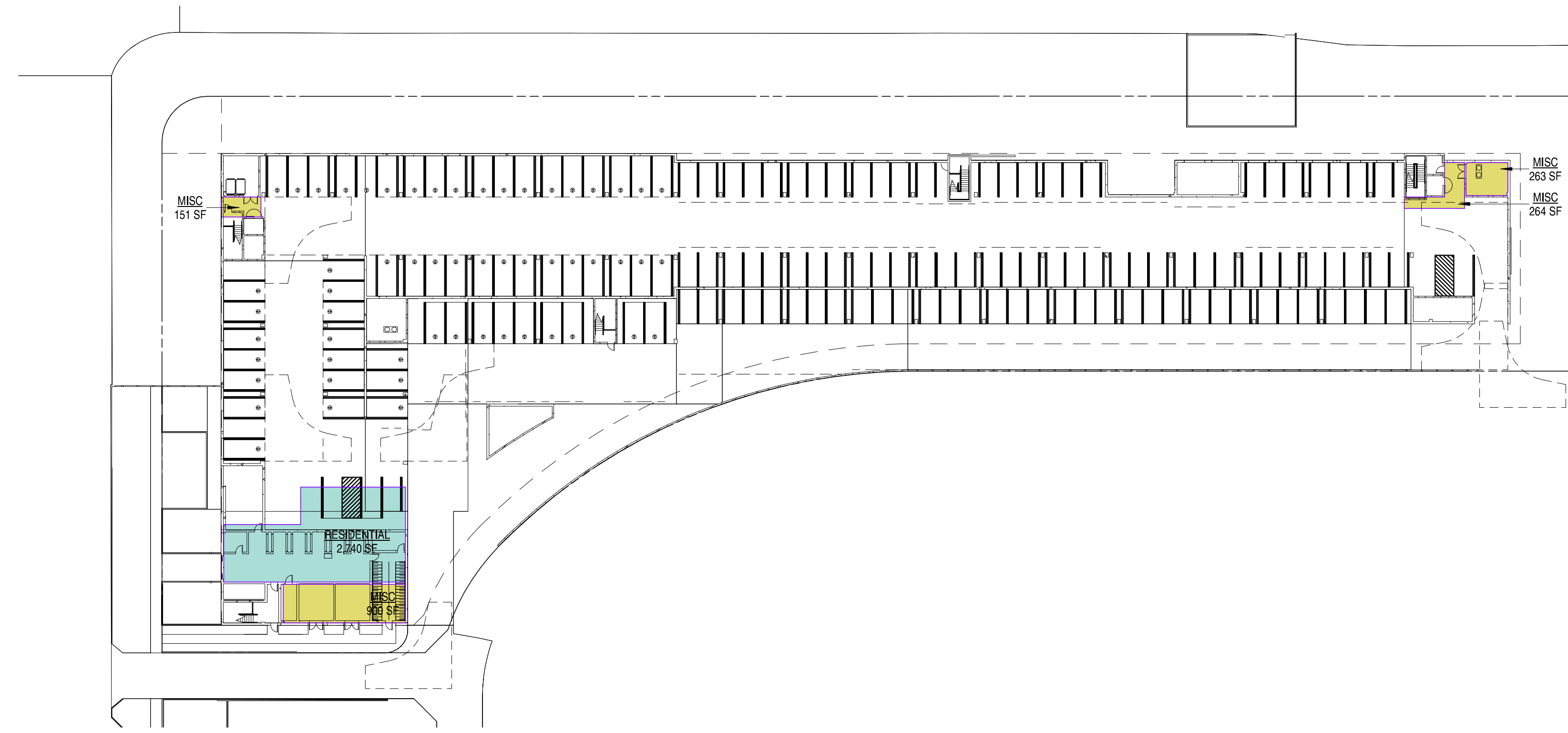
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10/23/2024

PROJECT NUMBER
2333

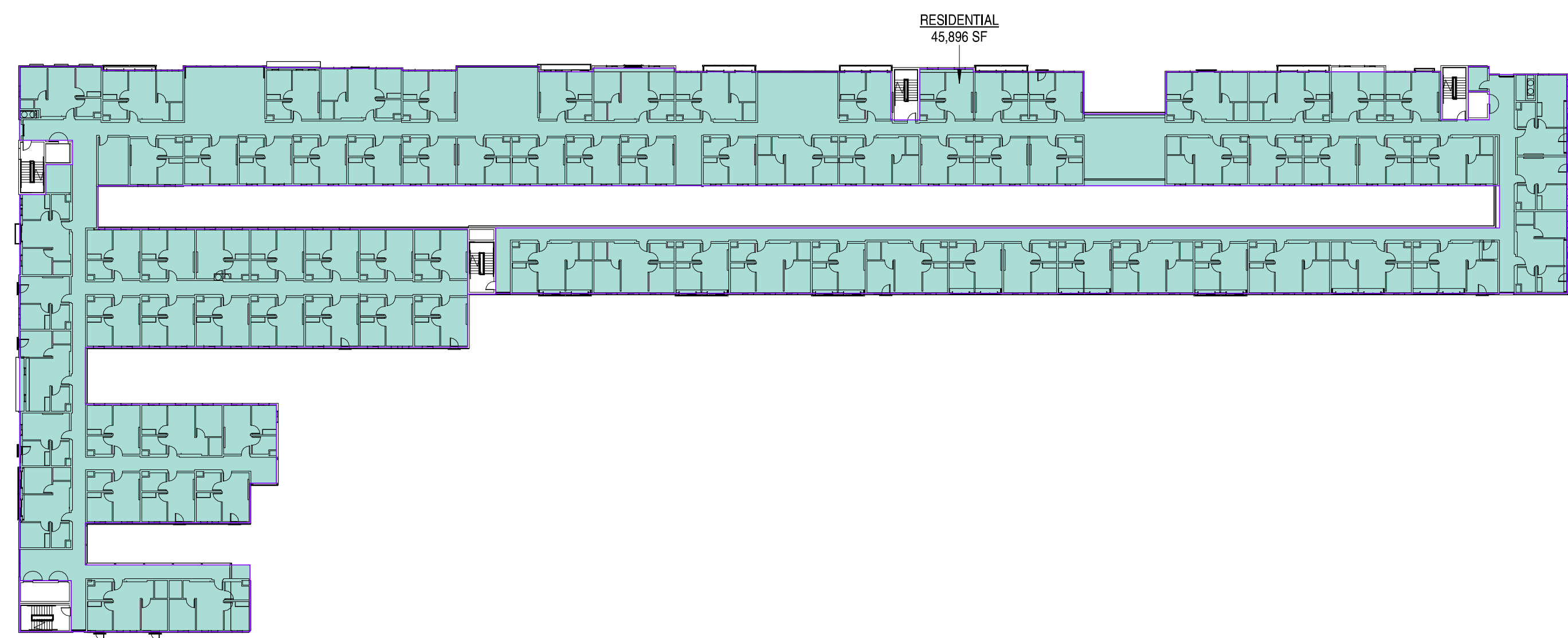




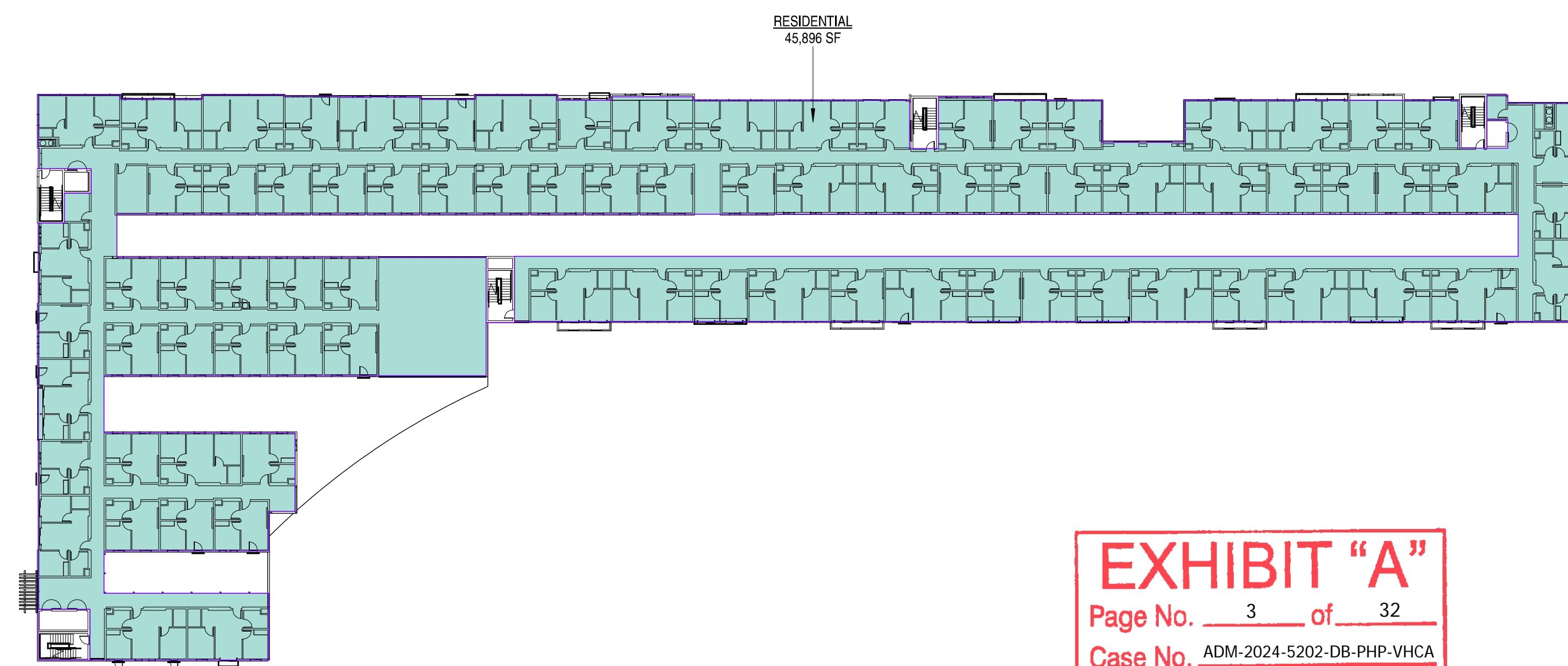
4TH FL FFE FAR DIAGRAM 1" = 40'-0" 4



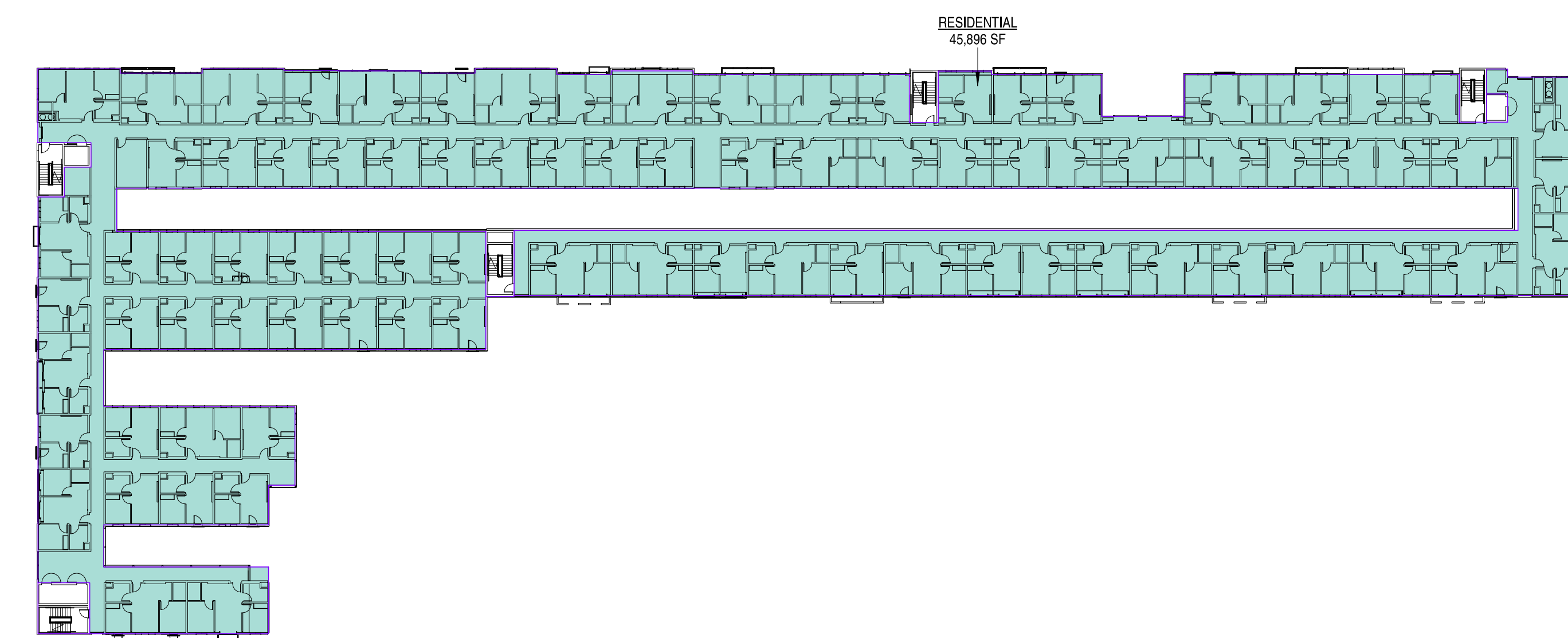
1ST FL FFE FAR DIAGRAM 1" = 40'-0" 1



5TH FL FFE FAR DIAGRAM 1" = 40'-0" 5



2ND FL FFE FAR DIAGRAM 1" = 40'-0" 2



3RD FL FFE FAR DIAGRAM 1" = 40'-0" 3

KEYNOTES

AREA SCHEDULE (FLOOR AREA)		
LEVEL	FAR	AREA
1ST FL FFE	MISC	1,578 SF
1ST FL FFE	RESIDENTIAL	2,740 SF
2ND FL FFE	RESIDENTIAL	45,896 SF
3RD FL FFE	RESIDENTIAL	45,896 SF
4TH FL FFE	RESIDENTIAL	45,896 SF
5TH FL FFE	RESIDENTIAL	45,896 SF
RESIDENTIAL		188,320 SF
GRAND TOTAL		197,992 SF



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISION:



CLIENT NAME
**William G. Ross and Joy A. Ross
Survivor's Trust**

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

2333

10/23/2024

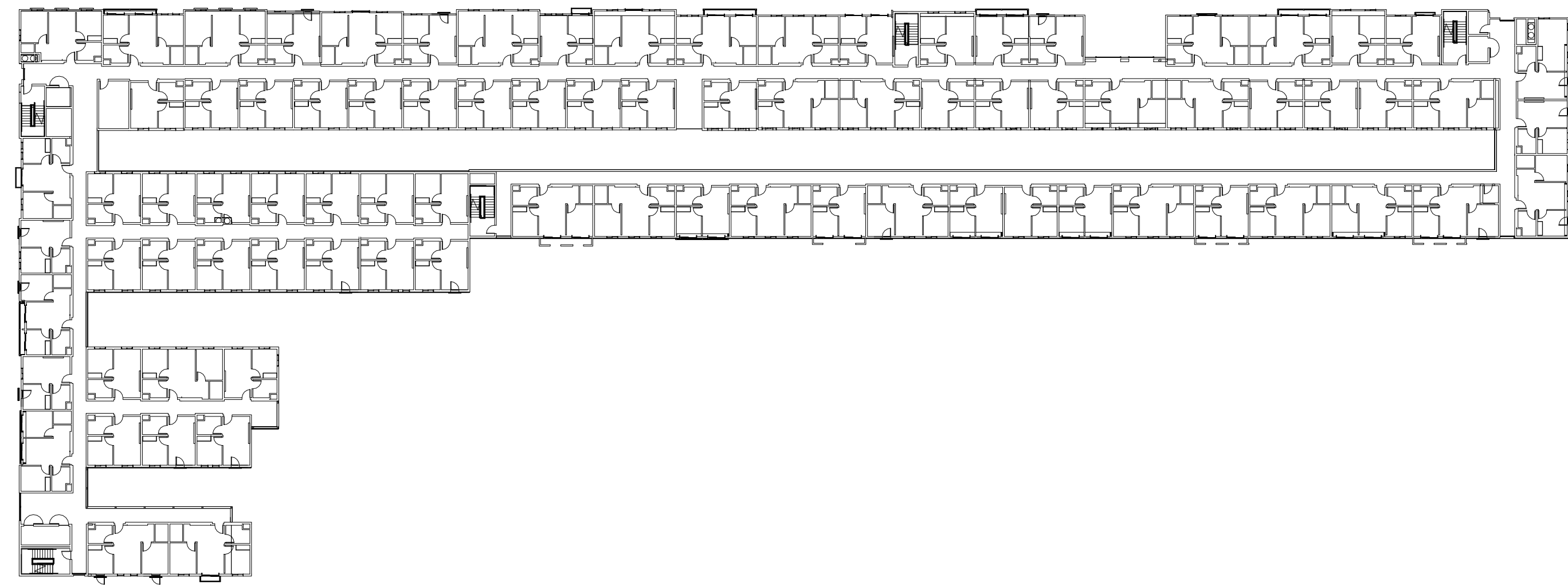
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**FAR AREA
CALCULATIONS**

SHEET NUMBER
G010

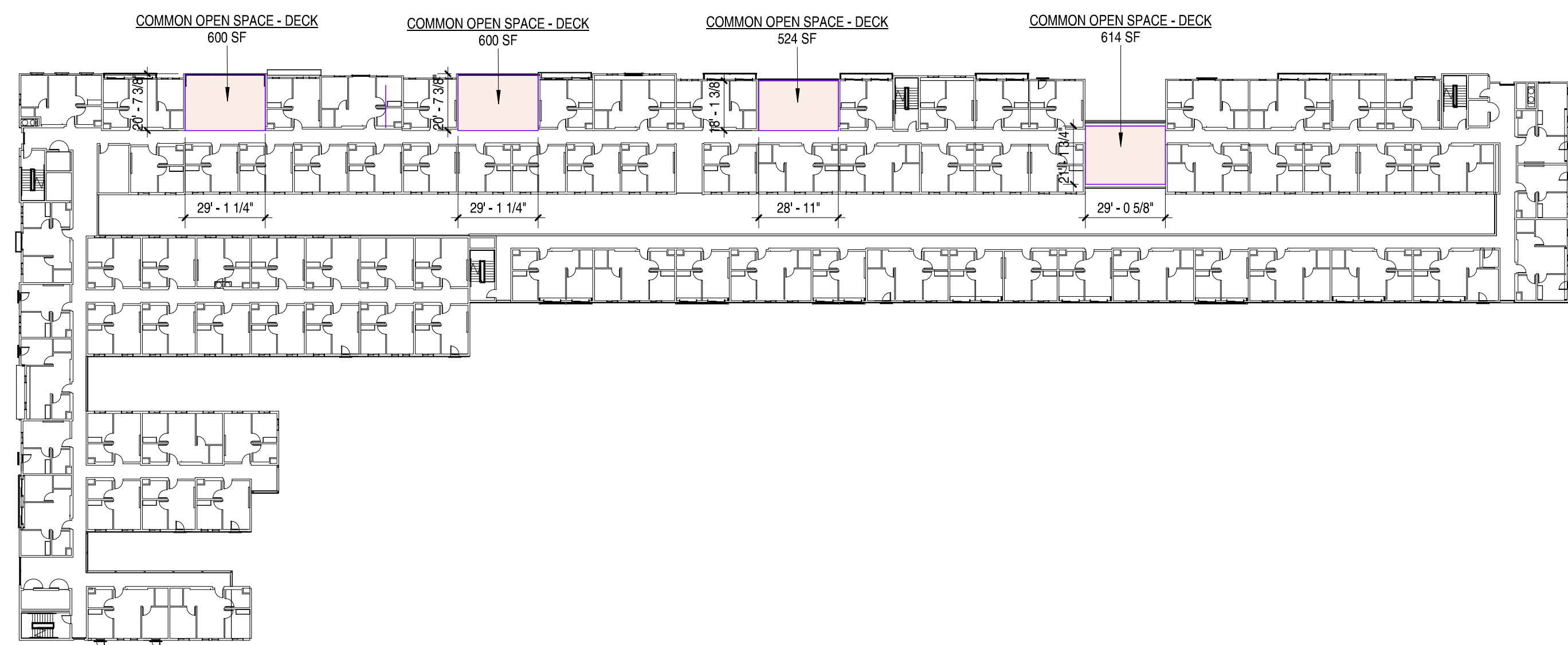
DRAWING LETTER
**PLANNING
REVIEW**

3/8/2024 9:51 AM

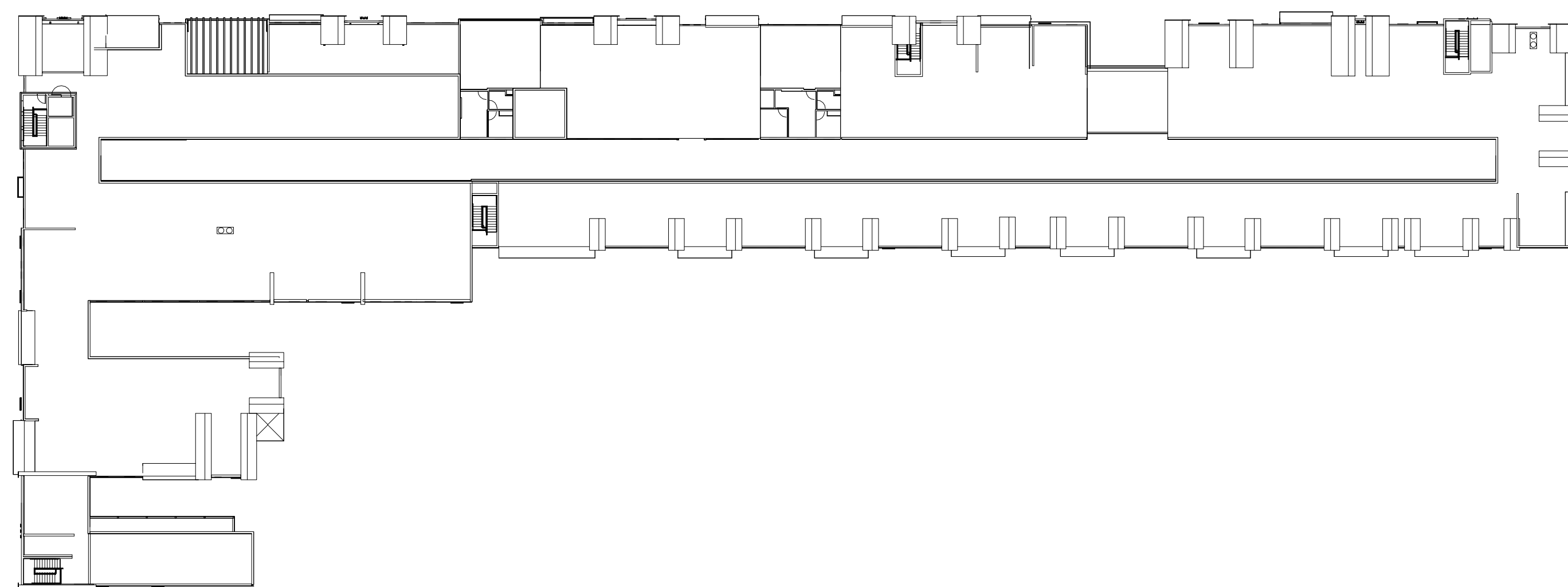
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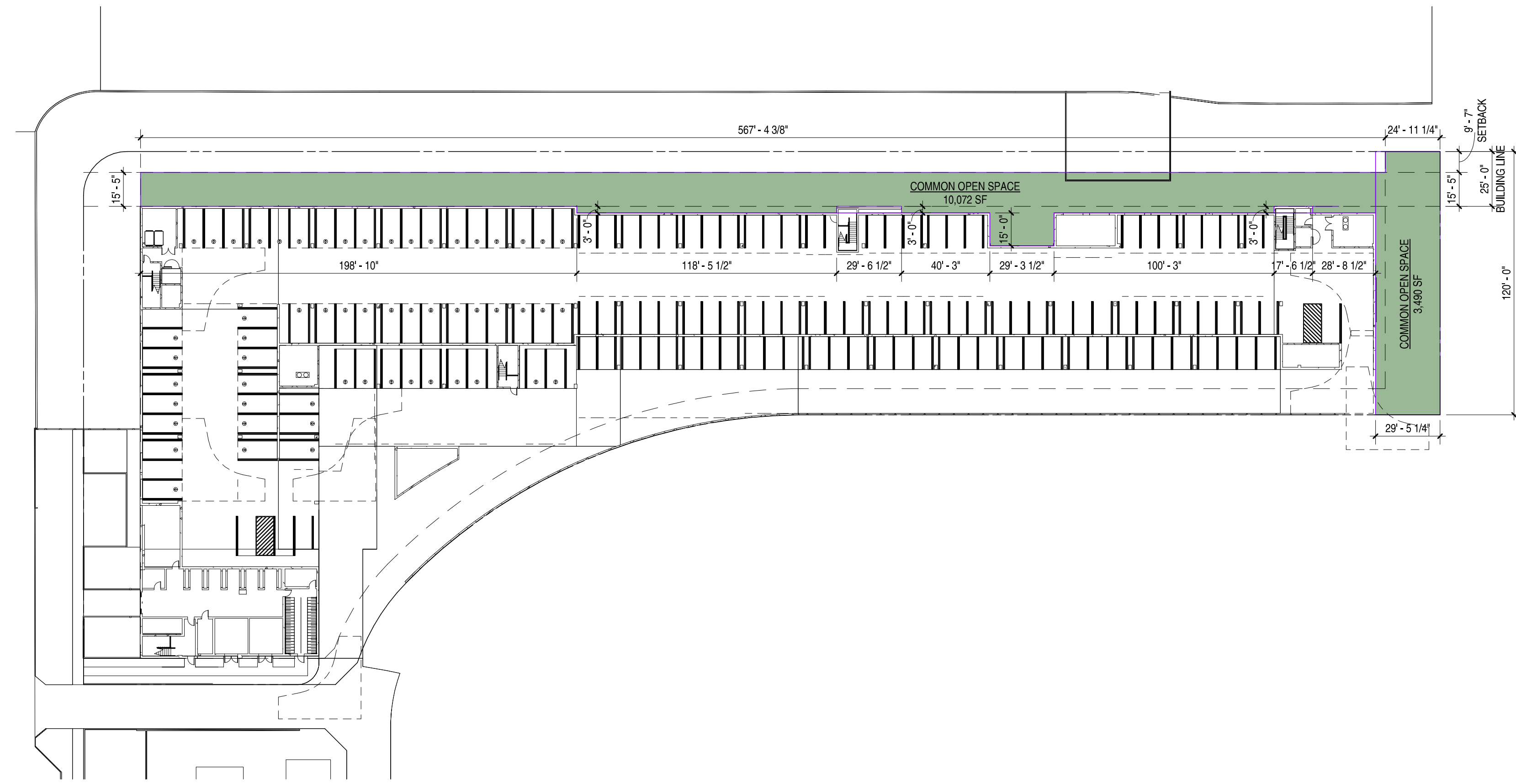
4TH FL FFE OPEN SPACE DIAGRAM 1" = 40'-0" 4



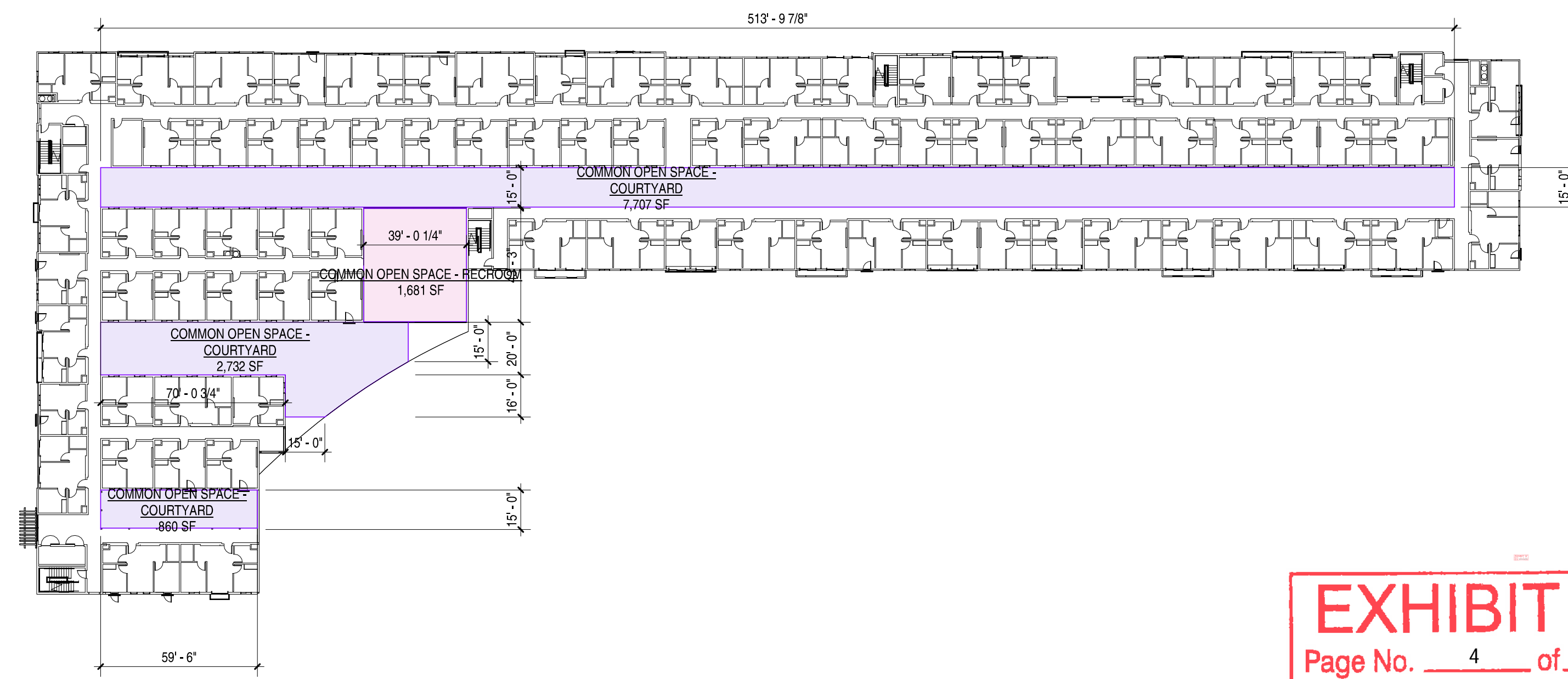
5TH FL FFE OPEN SPACE DIAGRAM 1" = 40'-0" 5



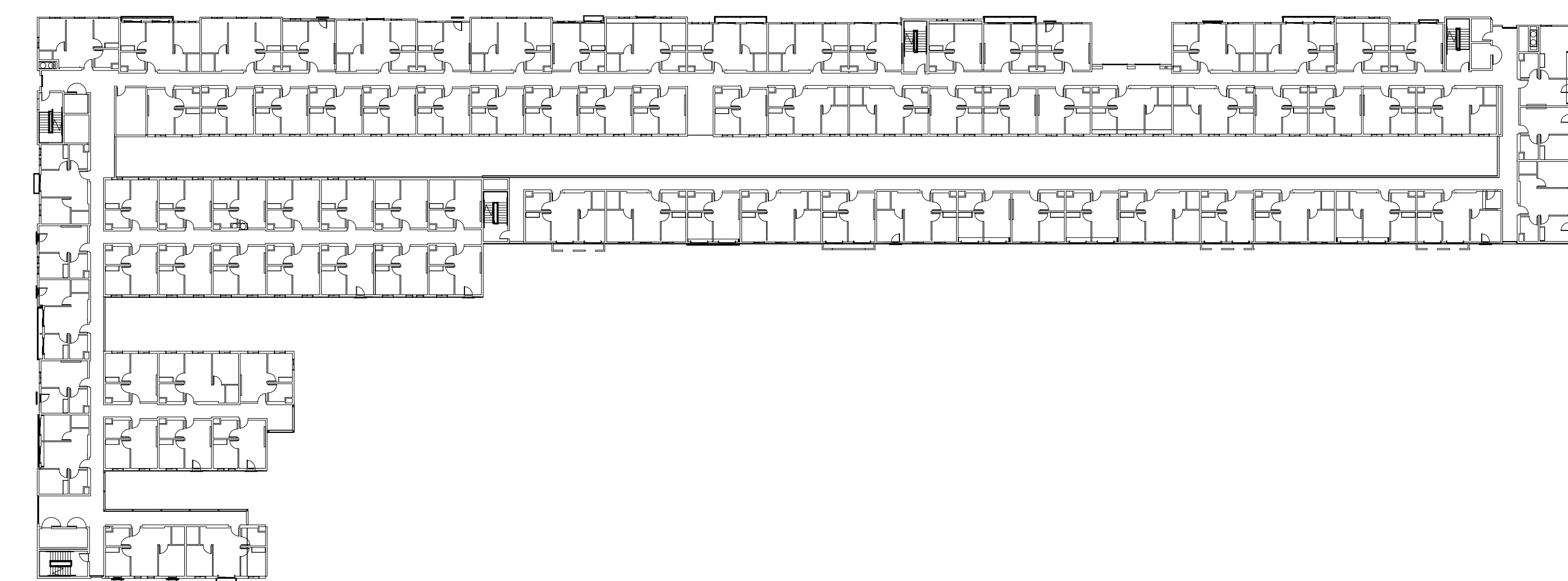
ROOF FL FFE OPEN SPACE DIAGRAM 1" = 40'-0" 6



1ST FL FFE OPEN SPACE DIAGRAM 1" = 40'-0" 1



2ND FL FFE OPEN SPACE DIAGRAM 1" = 40'-0" 2



3RD FL FFE OPEN SPACE DIAGRAM 1" = 40'-0" 3

KEYNOTES

OPEN SPACE REQUIRED			
UNIT TYPE	HABITABLE ROOMS	# OF UNITS	REQ'D OPEN SPACE
1 BR	2	216	51,600 SF
2 BR	3	116	14,500 SF
GRAND TOTAL SIZE			36,100 SF

REQUIRED OPEN SPACE = 36,100
 PROJECT SEeks A 20% REDUCTION PER LAMC 12.22A.25
 REDUCED OPEN SPACE = 96,100' x 20% = 28,800 SF
 PROPOSED OPEN SPACE = 28,800 SF

OPEN SPACE PROVIDED			
NAME	LEVEL	AREA	
COMMON OPEN SPACE	1ST FL FFE	13,562 SF	
COMMON OPEN SPACE - COURTYARD	2ND FL FFE	11,299 SF	
COMMON OPEN SPACE - RECREATION	2ND FL FFE	1,681 SF	
COMMON OPEN SPACE - DECK	5TH FL FFE	2,338 SF	
GRAND TOTAL			28,880 SF



JZA ARCHITECTURE

ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4042 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA



EXHIBIT "A"
 Page No. 4 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA



CLIENT NAME
 William G. Ross and Joy A. Ross
 Survivor's Trust

PROJECT NAME
 WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

2333

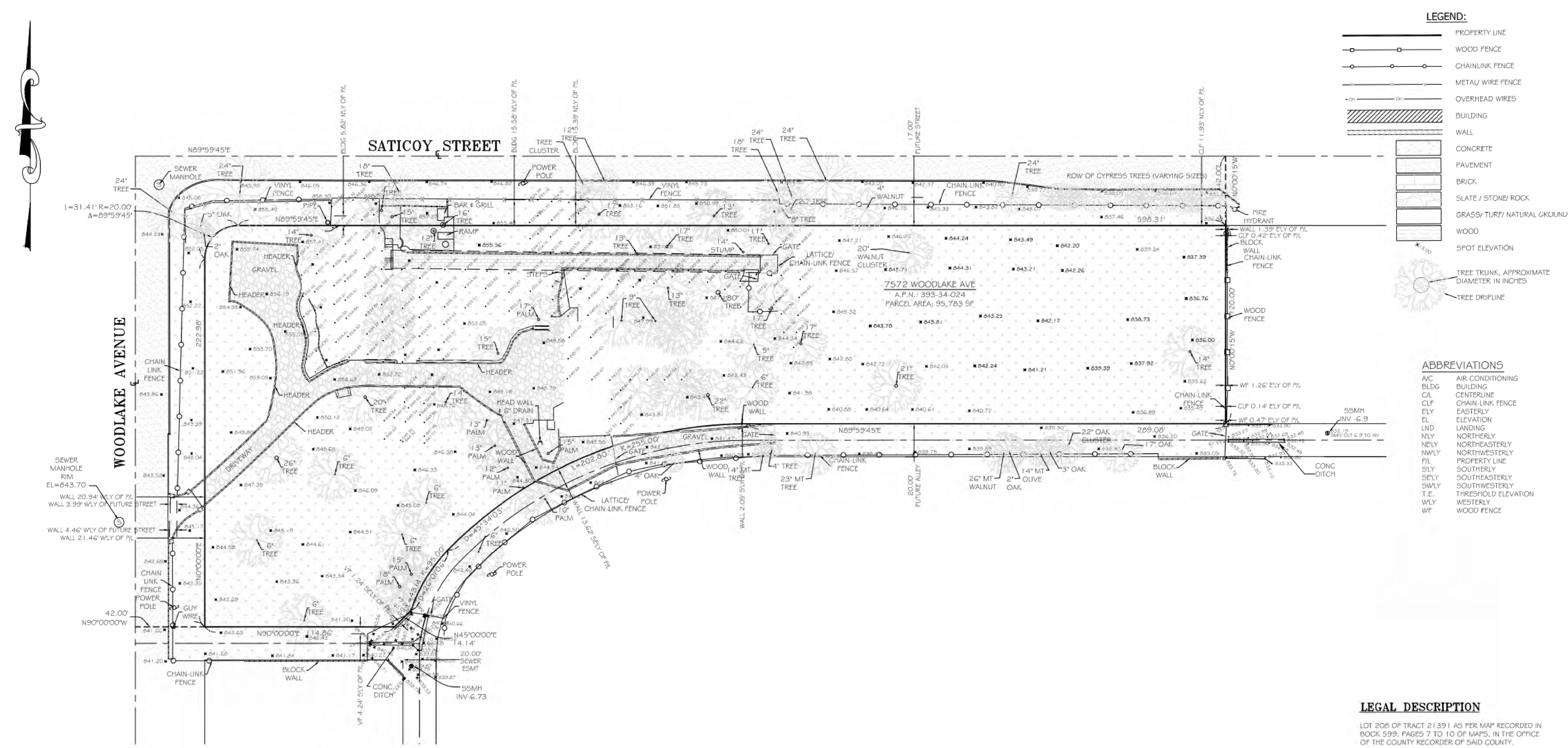
10/23/2024

OPEN SPACE CALCULATIONS

G012

PLANNING REVIEW

LADBS STAMP



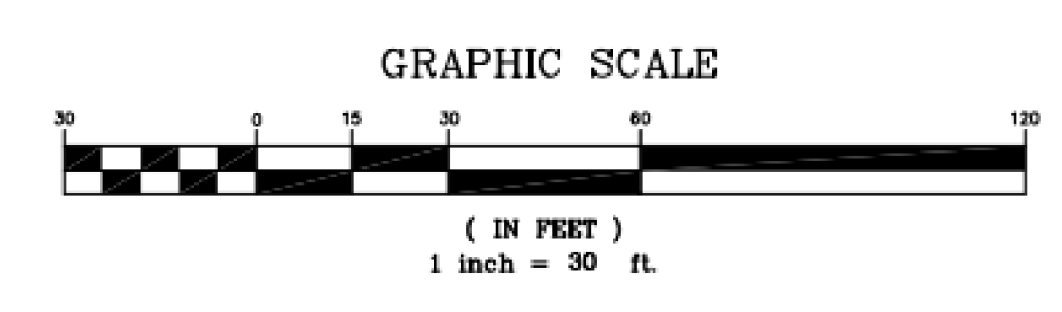
LEGEND:

[Symbol]	PROPERTY LINE
[Symbol]	WOOD FENCE
[Symbol]	CHAINLINK FENCE
[Symbol]	METAL WIRE FENCE
[Symbol]	OVERHEAD WIRES
[Symbol]	BUILDING
[Symbol]	WALL
[Symbol]	CONCRETE
[Symbol]	PAVEMENT
[Symbol]	BRICK
[Symbol]	SLATE / STONE/ ROCK
[Symbol]	GRASS/ TURF/ NATURAL GROUND
[Symbol]	WOOD
[Symbol]	SPOT ELEVATION
[Symbol]	TREE TRUNK, APPROXIMATE DIAMETER, IN INCHES
[Symbol]	TREE DRIFLINE

ABBREVIATIONS

AC	AIR CONDITIONING
BLDG	BUILDING
CA	CENTERLINE
CLT	CHAIN LINK FENCE
ELEV	ELEVATION
LAND	LANDING
NLY	NORTHERLY
NELY	NORTHEASTERLY
NWLY	NORTHWESTERLY
PLY	PROPERTY LINE
SELY	SOUTHEASTERLY
SWLY	SOUTHWESTERLY
T.E.	THRESHOLD ELEVATION
WLY	WESTERLY
WF	WOOD FENCE

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Page No. 5 of 32
Case No. ADM-2024-5202-DB-PHP-VHCA



LEGAL DESCRIPTION

LOT 208 OF TRACT 2 139 1 AS PER MAP RECORDED IN BOOK 5393, PAGES 7 TO 10 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SURVEYOR'S NOTES

1. PROJECT BENCHMARK: BENCH MARK: GG-0462 1, SPK; N. CURB SATICOY ST., 2 FT WID BCR W/O WOODLAKE AVE. ELEVATION = 644.326 FT.
2. ONLY TREES 6' AND ABOVE WERE LOCATED ON THIS SURVEY. SMALLER TREES AND SHRUBS ARE NOT SHOWN.
3. DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

SURVEYOR'S CERTIFICATE

I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013)
I FURTHER CERTIFY THAT THIS PLAN REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



ALL DESIGN IDEAS, ARRANGEMENTS AND/OR INDICATED BY THESE DRAWINGS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL REMAIN HIS/HERS UNLESS OTHERWISE SPECIFIED BY THE CLIENT TO ANOTHER PROFESSIONAL USE BY THE CLIENT WITHOUT THE PERMISSION OF THE ARCHITECT.

CLIENT NAME:
William G. Ross and Joy A. Ross
Survivor's Trust

PROJECT NAME:
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

JOB NUMBER:
2333

DATE:
10.23.2024

SHEET TITLE:
SURVEY

SHEET NUMBER:
G080

DRAWING TYPE:
PLANNING REVIEW

FOR REFERENCE ONLY

KEYNOTES

- 001 PROPERTY LINE
- 002 SETBACK LINE
- 006 TREE. SEE LANDSCAPE DWGS.
- 020 UTILITY POLE (POWER)
- 023 TURNING RADIUS PER LADS BULLETIN PZC 2300-001
- 024 END OF PUBLIC IMPROVEMENTS
- 025 TRANSFORMER & SWITCH PADS
- 026 LADS STAGING AREA
- 028 SIDEWALK (S)
- 036 PARKWAYS (P)
- 037 ALLEY INTERACTION (A)
- 038 FUTURE ALLEY



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



SHEET NOTES

- A. SMALL LOT SINGLE FAMILY SUBDIVISION IN THE RS-1XL ZONE PER SUIT TO ORDINANCE 176364
- B. ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTERLINE OF CURB/ROAD.
- C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- D. SEE SPTS 0302-0046 FOR TYP ACCESSIBILITY REQUIREMENTS
- E. PROVIDE EXPANSION JOINTS AT ALL POINTS OF CONTACT BETWEEN SLAB AND VERTICAL SURFACES
- F. CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL DIVIDE THE SLAB OR GRADE INTO SECTIONS WITH AREAS NOT EXCEEDING 400SF (20' X 20') WITHOUT RE-ENTRANT CORNERS AND LENGTH TO WIDTH RATIO NOT EXCEEDING 1:5:1. ADDITIONAL CONTROL OR CONSTRUCTION JOINTS SHALL BE PLACED AT RE-ENTRANT CORNERS.
- G. SITE DEMOLITION SHALL BE PERFORMED UNDER SEPARATE PERMIT
- H. OFF-SITE WORK TO BE DONE UNDER SEPARATE PERMIT

LEGEND

- BUILDING PROJECT SCOPE
- HARDSCAPE
- LANDSCAPE, SEE LANDSCAPE DWGS
- CMU WALL
- CONCRETE WALL
- ACCESSIBLE PATH OF TRAVEL
- (E) STREET TREE TO REMAIN
- (E) PROTECTED TREE TO REMAIN
- (N) TREE PER LANDSCAPE DRAWINGS

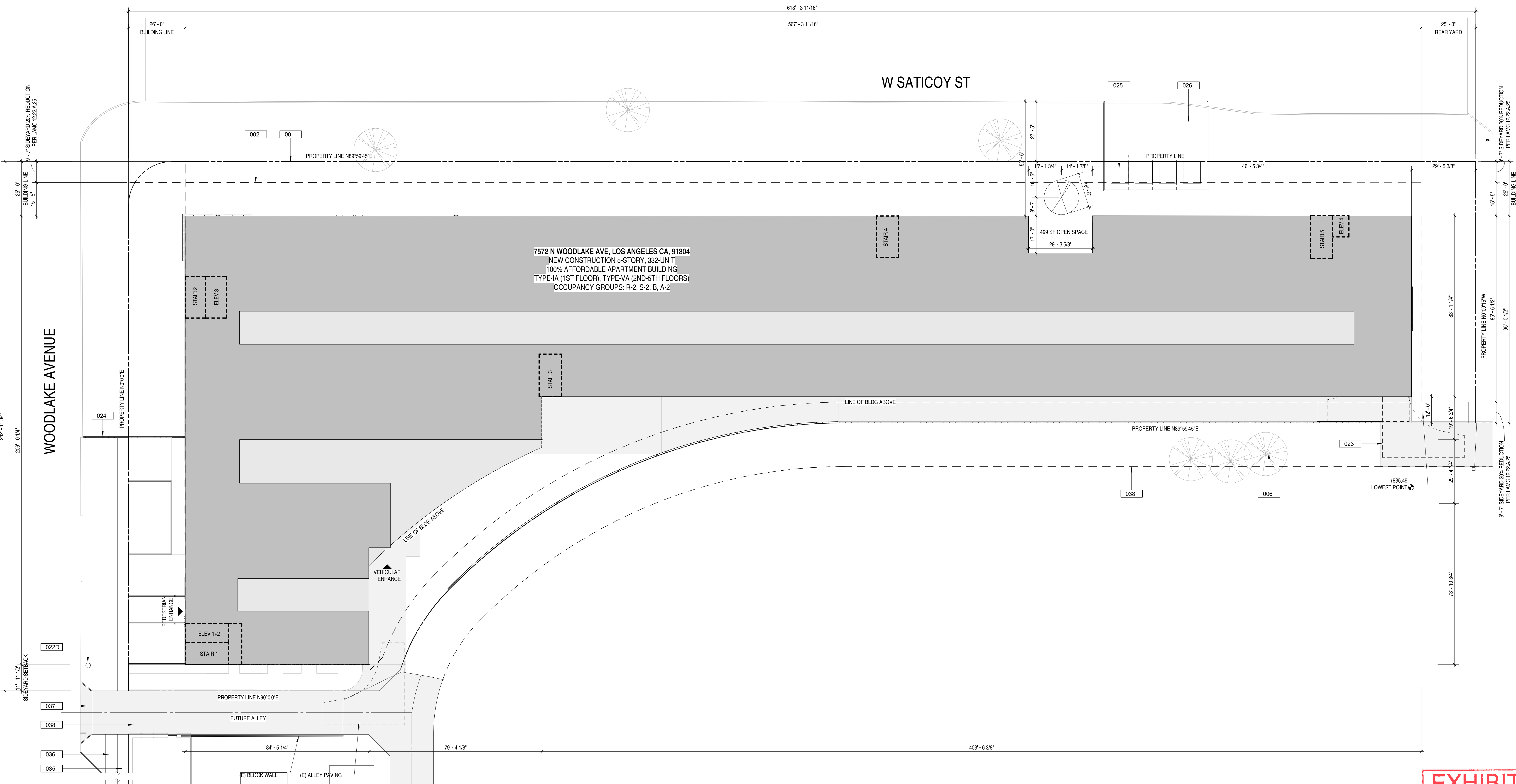


EXHIBIT "A"
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Case No. ADM-2024-5202-DB-PHP-VHCA

0302-2017 ZBIKOWSKI ARCHITECTURE
ALL DIMENSIONS AND LOCATIONS SHOWN ON THESE DRAWINGS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

CLIENT NAME
**William G. Ross and Joy A. Ross
Survivor's Trust**

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

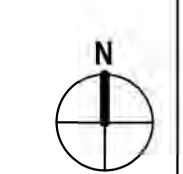
2333

10.23.2024

SITE PLAN

A000

**PLANNING
REVIEW**



UNIT SCHEDULE						
NAME	NUMBER OF UNITS	COUNT	REQUIRED OPEN SPACE	REQUIRED PARKING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,992 SF	2ND FL FFE
2 BR	2	20	3,720 SF	60	16,600 SF	2ND FL FFE
2ND FL FFE: B1	81	8,820 SF	136.5	35,592 SF		
3 BR	1	55	5,500 SF	82.5	20,981 SF	3RD FL FFE
3 BR	2	20	3,720 SF	60	16,600 SF	3RD FL FFE
3RD FL FFE: B5	85	9,220 SF	142.5	36,682 SF		
4 BR	1	55	5,500 SF	82.5	20,981 SF	4TH FL FFE
4 BR	2	20	3,720 SF	60	16,600 SF	4TH FL FFE
4TH FL FFE: B5	85	9,220 SF	142.5	36,682 SF		
5 BR	1	55	5,500 SF	82.5	20,981 SF	5TH FL FFE
5 BR	2	20	3,720 SF	60	16,600 SF	5TH FL FFE
5TH FL FFE: B1	81	8,760 SF	134.5	34,397 SF		
Grand Total:	332	332	36,100 SF	556	142,893 SF	

PARKING SCHEDULE (STALL SIZE)			
1ST FL FFE	ACCESSIBLE	RESIDENTIAL	
1ST FL FFE	COMPACT	RESIDENTIAL	93
1ST FL FFE	ST	RESIDENTIAL	97
1ST FL FFE			154
Grand Total:			154

154 * 39% = 59.9 = 54 REQUIRED
 154 * 2% + 3.08 = 4 REQUIRED

- ### KEYNOTES
- 001 PROPERTY LINE
 - 002 SETBACK LINE
 - 003 TREE SEE LANDSCAPE DWGS.
 - 004 TURNING RADII PER LADBS BULLETIN P/20-001
 - 005 END OF PUBLIC IMPROVEMENTS
 - 006 TRANSFORMER & SWITCHPADS
 - 007 LADBS STAGING AREA
 - 008 SIDEWALKS (E)
 - 009 PARKWAYS (E)
 - 010 ALLEY INTERACTION (N)
 - 011 FUTURE ALLEY
 - 012 BICYCLE PARKING

EXHIBIT "A"
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 Case No. ADM-2024-5202-DB-PHP-VHCA

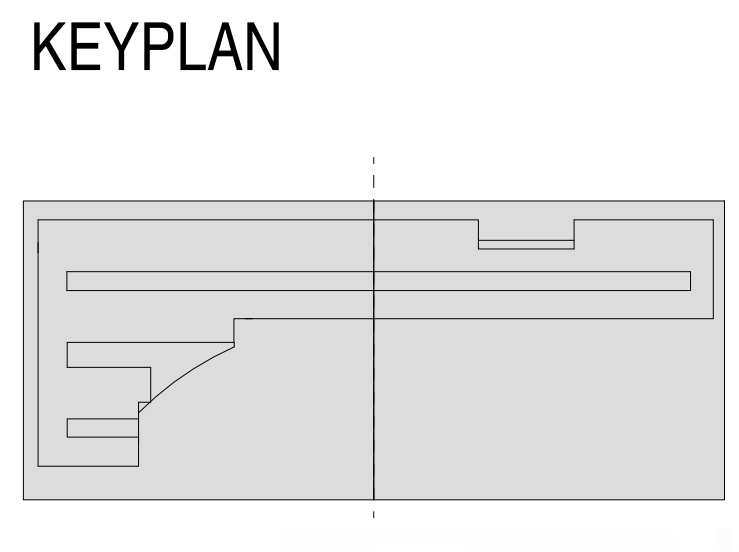


ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA



- ### SHEET NOTES
- A. SMALL LOT SINGLE FAMILY SUBDIVISION IN THE R3-1X ZONE PER SUIT TO ORDINANCE 17634
 - B. ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTERLINE OF COLUMN/UMD.
 - C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
 - D. SEE SHTS 0202-0204 FOR TYP ACCESSIBILITY REQUIREMENTS
 - E. PROVIDE EXPANSION JOINTS AT ALL POINTS OF CONTACT BETWEEN SLAB AND VERTICAL SURFACES
 - F. CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL DIVIDE THE SLAB OR GRADE INTO SECTIONS WITH AREAS NOT EXCEEDING 400' (30' X 30') WITHOUT RE-ENTRANT CORNERS AND LENGTH TO WIDTH RATIO NOT EXCEEDING 1:1. ADDITIONAL CONTROL OR CONSTRUCTION JOINTS SHALL BE PLACED AT RE-ENTRANT CORNERS.
 - G. SITE DEMOLITION SHALL BE PERFORMED UNDER SEPARATE PERMIT
 - H. OFF-SITE WORK TO BE DONE UNDER SEPARATE PERMIT

- ### LEGEND
- HARDSCAPE
 - LANDSCAPE SEE LANDSCAPE DWGS
 - CMU WALL
 - CONCRETE WALL
 - ACCESSIBLE PATH OF TRAVEL
 - (E) STREET TREE TO REMAIN
 - (N) TREE PER LANDSCAPE DRAWINGS
 - EXISTING WALL TO REMAIN (NOT A PART)
 - NEW WALL SEE A300 FOR WALL TYPE
 - DEMOLISHED WALL
 - WOOD POST PER STRUCT DWGS
 - WALL TAG SEE A300 FOR WALL TYPE
 - DOOR TAG SEE A300 FOR DOOR TYPE
 - WINDOW TAG SEE A300 FOR WINDOW TYPE
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - BATHROOM EXHAUST FAN



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION # 24010 - 10000 - 02159

PROJECT NAME
WOODLAKE APTS

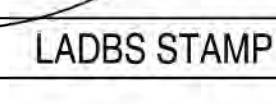
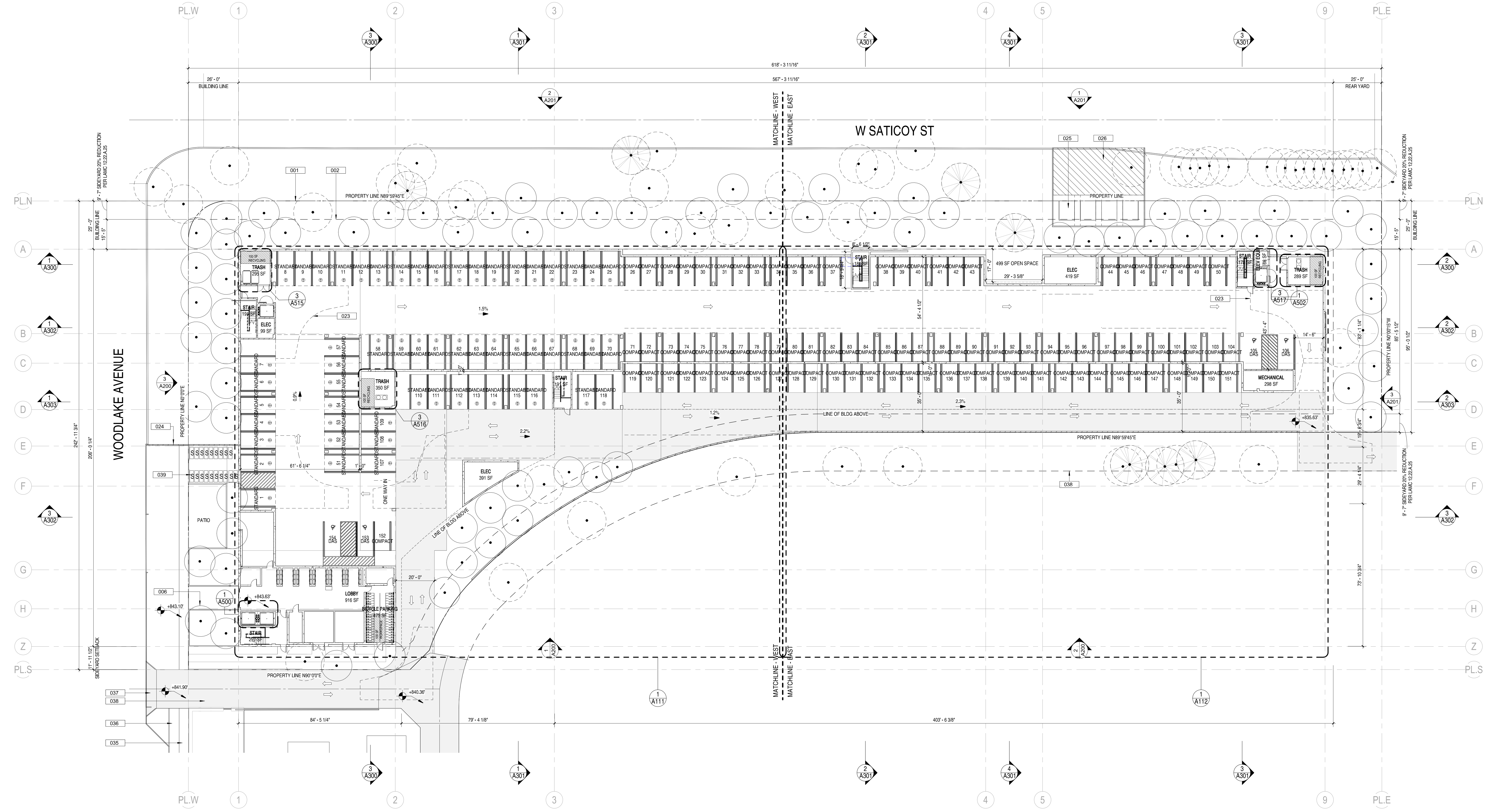
PROJECT NUMBER
2333

DATE
10.23.2024

SHEET TITLE
OVERALL 1ST FLOOR PLANS

SHEET NUMBER
A101

REVISIONS
 PLANNING REVIEW



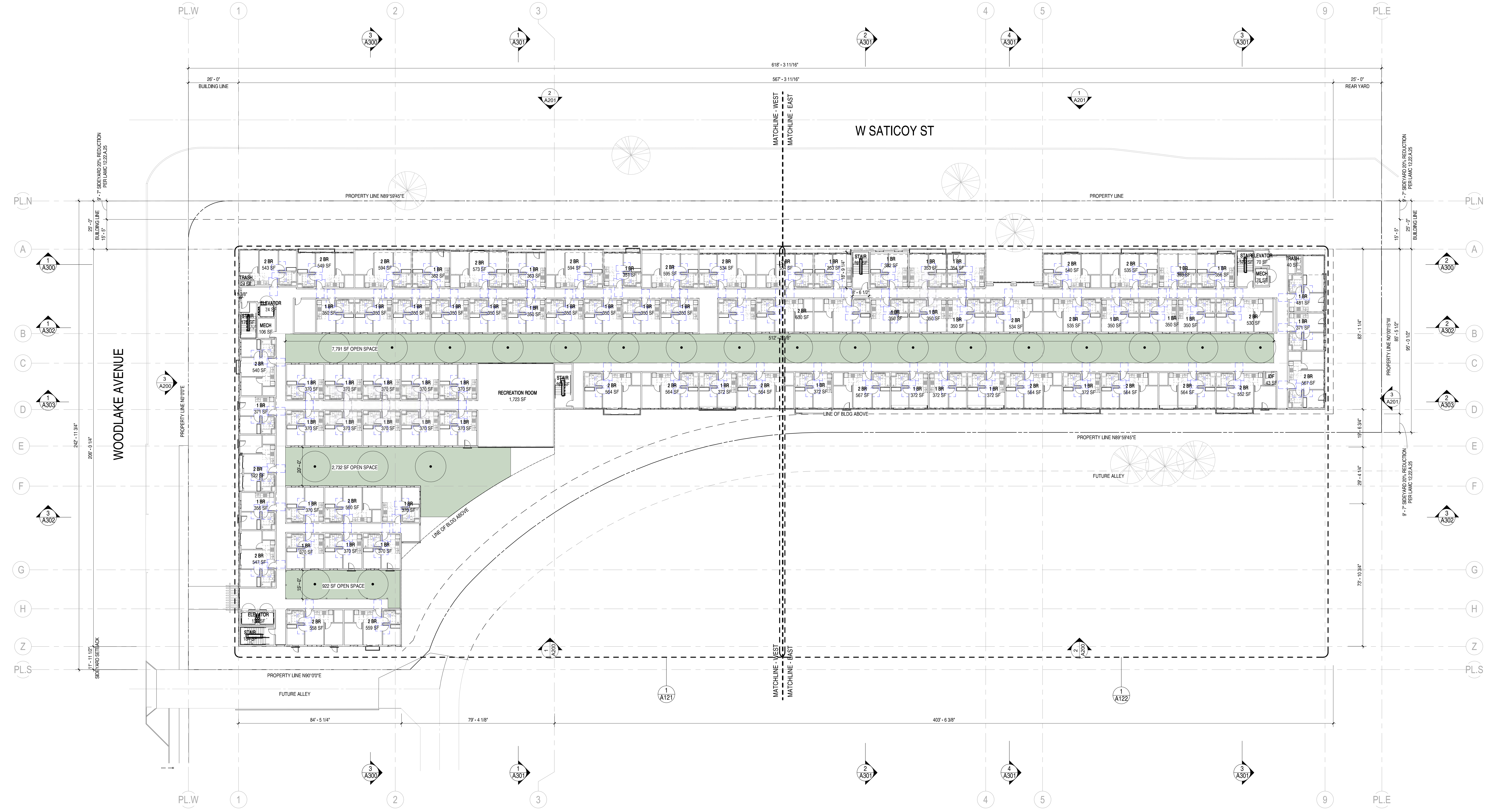
UNIT SCHEDULE					
NAME	NUMBER OF UNITS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	2ND FL FFE
2 BR	2	30	3,750 SF	60	2ND FL FFE
2ND FL FFE: B1	81	8,850 SF	136.5	35,180 SF	
1 BR	1	55	5,500 SF	82.5	3RD FL FFE
2 BR	2	30	3,750 SF	60	3RD FL FFE
3RD FL FFE: B5	85	9,250 SF	142.5	36,682 SF	
1 BR	1	55	5,500 SF	82.5	4TH FL FFE
2 BR	2	30	3,750 SF	60	4TH FL FFE
4TH FL FFE: B5	85	9,250 SF	142.5	36,682 SF	
1 BR	1	55	5,500 SF	82.5	5TH FL FFE
2 BR	2	30	3,750 SF	60	5TH FL FFE
5TH FL FFE: B1	81	8,750 SF	134.5	34,397 SF	
Grand Total:	332	332	36,100 SF	556	142,883 SF

KEYNOTES

- ALL DIMENSIONS ARE TO FINISH.
- ALL DIMENSIONS ARE TO PLUMB.
- ALL DIMENSIONS INDICATED AS "UP" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REAR BASE HOLDING AT ALL WALLS.
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- THE OWNER SHALL PROVIDE THE NECESSARY SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE 100 AMP ELECTRICAL SERVICE. THE ELECTRICAL SERVICE SHALL BE PROVIDED AT THE SERVICE LOCATION FROM THE MAIN SERVICE LOCATION. THE SERVICE LOCATION SHALL BE PERMANENTLY MARKED AS FOR FUTURE ELECTRICAL. CALL OWNER FOR ENERGY CODE TYPICAL REQUIREMENTS.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 65°F IN A ROOM AT THE DESIGN TEMPERATURE.
- FIRE BLDG SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (JOINTS, VENTS, AND PENETRATIONS) TO ROOMS AND HALLS FROM BARRIERS BETWEEN STORES BETWEEN 2' TO 4' FROM THE ROOF SPACE PER IBC.
- EDGE FLASHING TO BE 6" GALVANIZED SHEET METAL PAINTED TO MATCH FASCIA.
- ROOFING MATERIAL TO BE GALVANIZED ROOFING SHEETS SOL PREMIUM - METSULTE.
- ROOF TO HAVE A 3% SLOPE DRAINAGE OF AT LEAST 1/8" OR BOTH A 3% SLOPE AND AN REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.90. SEE PART 05.00.00 FOR MORE INFORMATION.
- IN CONCRETE CONSTRUCTION, REINFORCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (JOINTS, VENTS, AND PENETRATIONS) AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND TO THE ROOF SPACE PER IBC.
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- BUILDING SHALL HAVE APPROXIMATELY EQUAL NUMBER OF APPROXIMATELY EQUAL BUILDING UNITS PLACED IN A POSITION THAT IS PLANNED TO BE USABLE AND VISIBLE FROM THE STREET OF EACH FLOOR FROM THE PROPERTY PER IBC.
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- BUILDING WITHIN 100' OF CONSTRUCTION UNDERWAY SHALL BE OPENED IN THE UNDERGROUND AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - ALL OPENINGS SHALL BE LOCATED NOT MORE THAN 10' FROM THE BOTTOM OF THE UNDERGROUND AREA.
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 - ALL OPENINGS SHALL BE COVERED WITH CONCRETE REINFORCED WITH WIRE WITH WEIGHT OF GREATER THAN 14 POUNDS AND LESS THAN 1/8" IN DIAMETER. IF TYPICAL.

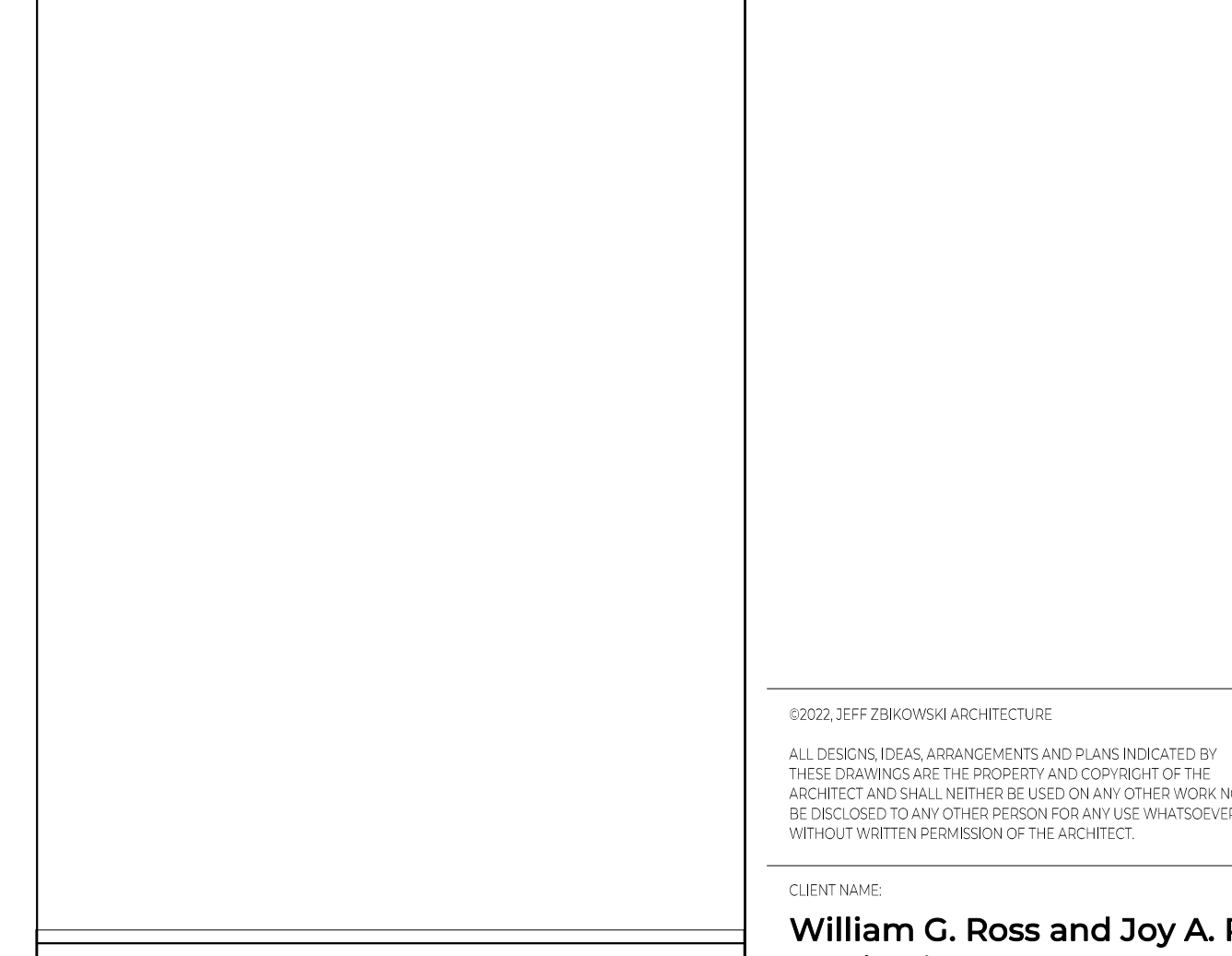


EXHIBIT "A"
 Page No. 8 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA



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 - WALL TAG. SEE A600 FOR WALL TYPE
 - DOOR TAG. SEE A600 FOR DOOR TYPE
 - WINDOW TAG. SEE A600 FOR WINDOW TYPE
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - BATHROOM EXHAUST FAN



KEYPLAN

CLIENT NAME: William G. Ross and Joy A. Ross Survivor's Trust

PROJECT NAME: WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

DATE: 10.23.2024

SHEET TITLE: OVERALL 2ND FLOOR PLANS

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE BY: MEGAN KOLP

DATE: 11/01/2024

APPLICATION #: 24010 - 10000 - 02159

A102

PLANNING REVIEW

LADBS STAMP

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,996 SF	2ND FL FFE
2 BR	2	20	3,700 SF	60	16,600 SF	2ND FL FFE
2ND FL FFE: B1	81	8,800 SF	136.5	35,180 SF		
1 BR	1	55	5,500 SF	82.5	20,981 SF	3RD FL FFE
2 BR	2	20	3,700 SF	60	16,600 SF	3RD FL FFE
3RD FL FFE: B5	85	9,200 SF	142.5	26,682 SF		
1 BR	1	55	5,500 SF	82.5	20,981 SF	4TH FL FFE
2 BR	2	20	3,700 SF	60	16,600 SF	4TH FL FFE
4TH FL FFE: B5	85	9,200 SF	142.5	26,682 SF		
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Grand Total:	332	332	36,100 SF	556	142,883 SF	

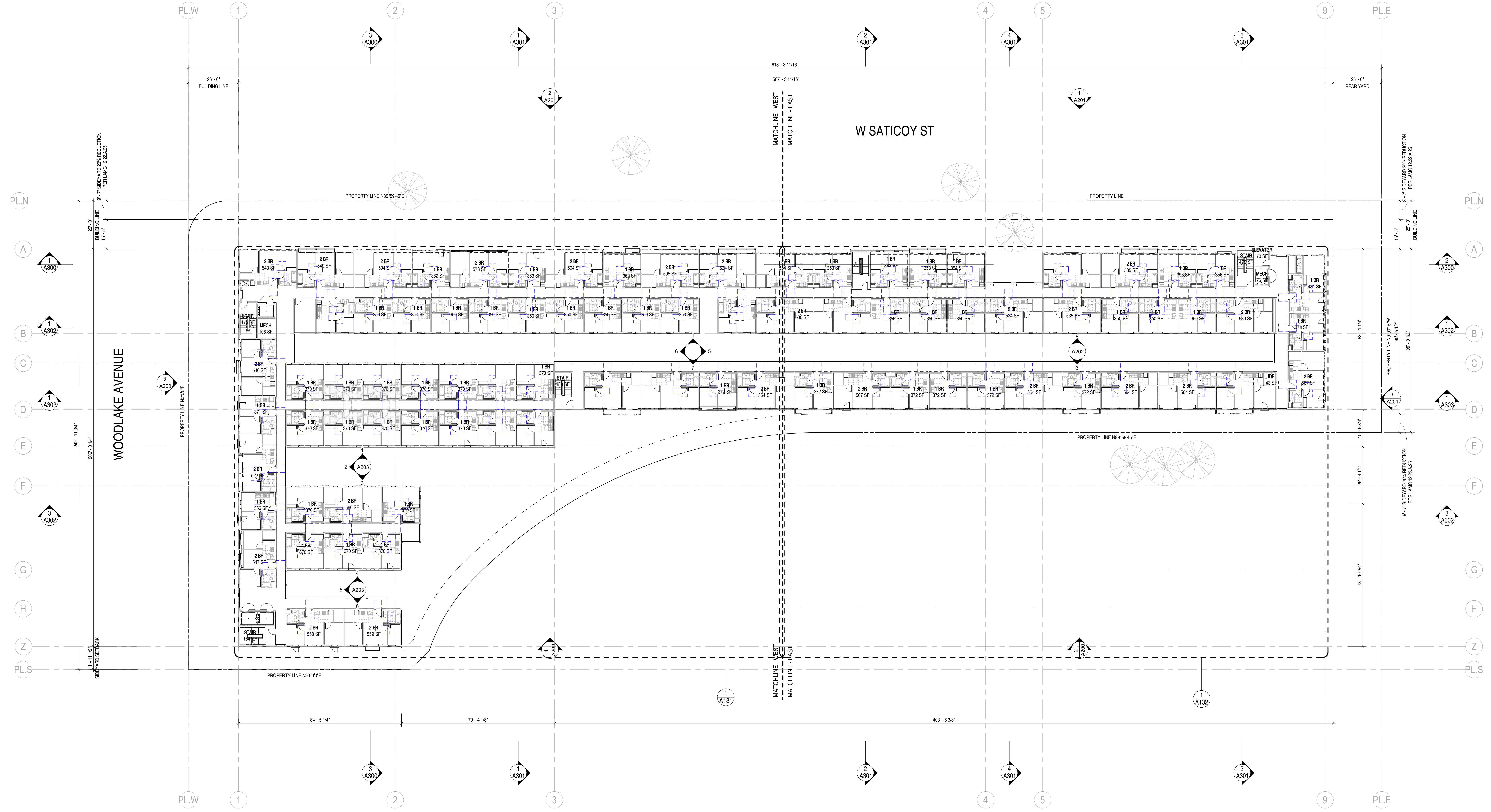
KEYNOTES

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- ALL DIMENSIONS ARE TO CURB.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REAR BASE HOLDING AT ALL WALLS.
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- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT 1' FROM THE HEATER. THE HEATER AND FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTANCE TO THE PASSAGE OF FIRE AND SMOKE THROUGH CHASE OPENINGS. THE BLOTTING SHALL BE PAINTED TO MATCH FINISH.
- EDGE FLASHING TO BE 6" GALVANNEED SHEET METAL. PAINTED TO MATCH FINISH.
- ROOFING MATERIAL TO BE GALVANNEED ROOFING SHEETS SOL PREMIUM - INSULATED. CLASS B MINIMUM RATING.
- ROOF TO HAVE A 3-YEAR AGED DRAINAGE OF AT LEAST 1/8" OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SEE FINISH.
- IN OVERHEAD CONDUIT RAYS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTANCE TO THE PASSAGE OF FIRE AND SMOKE THROUGH CHASE OPENINGS. THE BLOTTING SHALL BE PAINTED TO MATCH FINISH.
- IN OVERHEAD CONDUIT RAYS THERE IS LEASE SPACE OF A 100% RATED ASSEMBLY. CHASE OPENINGS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. CHASE OPENINGS SHALL BE PROVIDED TO CUT OFF APPROXIMATELY 1/2" FROM THE WALLS AND 1/2" FROM THE TOP AND BOTTOM OF THE CHASE OPENING.
- BUILDING SHALL HAVE APPROXIMATE NUMBER OF BUILDING NUMBER OR APPROXIMATE BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR FROM THE PROPERTY LINE PER TITLE 24.2.2.2.
- PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATION SPECIFIED PER SECTION 051110.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ASTM D 245 FOR THE SPECIES PRODUCT. PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE APPLIED IN ACCORDANCE WITH SECTION 051110.
- PROVIDE ANTI-CRACKING STRIPS AT FIRST FLOOR EXTERIOR WALLS FROM GRADE AT EXTERIOR WALLS AND DOORS.
- BUILDING WITH BASED IN CONSTRUCTION UNDERGROUND VENT AND OPERATED IN THE UNDERGROUND SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
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 - THE OPERATING SHALL BE IDENTIFIED APPROXIMATELY EQUALLY AND LOCATED TO PROTECT FROM THE UNDERGROUND. THE OPERATING SHALL BE IDENTIFIED APPROXIMATELY EQUALLY AND LOCATED TO PROTECT FROM THE UNDERGROUND.
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- THE OPERATING SHALL BE COVERED WITH CORROSION RESISTANT FIBER WITH MINIMUM WEIGHT OF GREATER THAN 14 POUNDS PER SQUARE FOOT IN DIMENSIONAL. IT SHALL BE IDENTIFIED APPROXIMATELY EQUALLY AND LOCATED TO PROTECT FROM THE UNDERGROUND.

EXHIBIT "A"

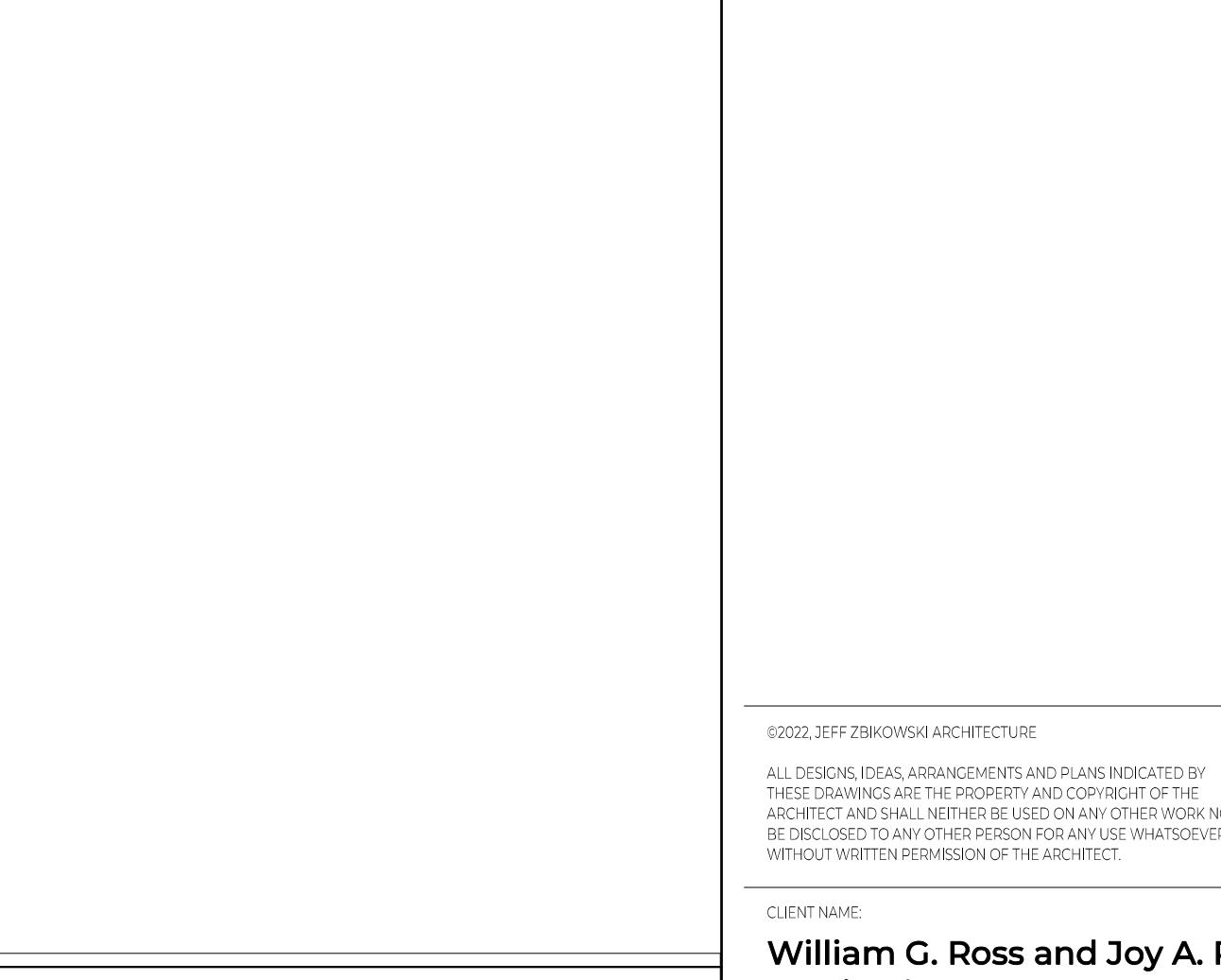
Page No. 9 of 32

Case No. ADM-2024-5202-DB-PHP-VHCA



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 - BATHROOM EXHAUST FAN



KEYPLAN

CLIENT NAME: William G. Ross and Joy A. Ross
Survivor's Trust

PROJECT NAME: WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

SHEET NUMBER: 2333

DATE: 10.23.2024

SHEET TITLE: OVERALL 3RD FLOOR PLANS

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: MEGAN KOLP
DATE: 11/01/2024
APPLICATION #: 24010 - 10000 - 02159

A103

PLANNING REVIEW

LADBS STAMP

JZA ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

JEFFREY ZBIKOWSKI
C-35386
STATE OF CALIFORNIA

UNIT SCHEDULE						
NAME	NUMBER OF ROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,996 SF	2ND FL FFE
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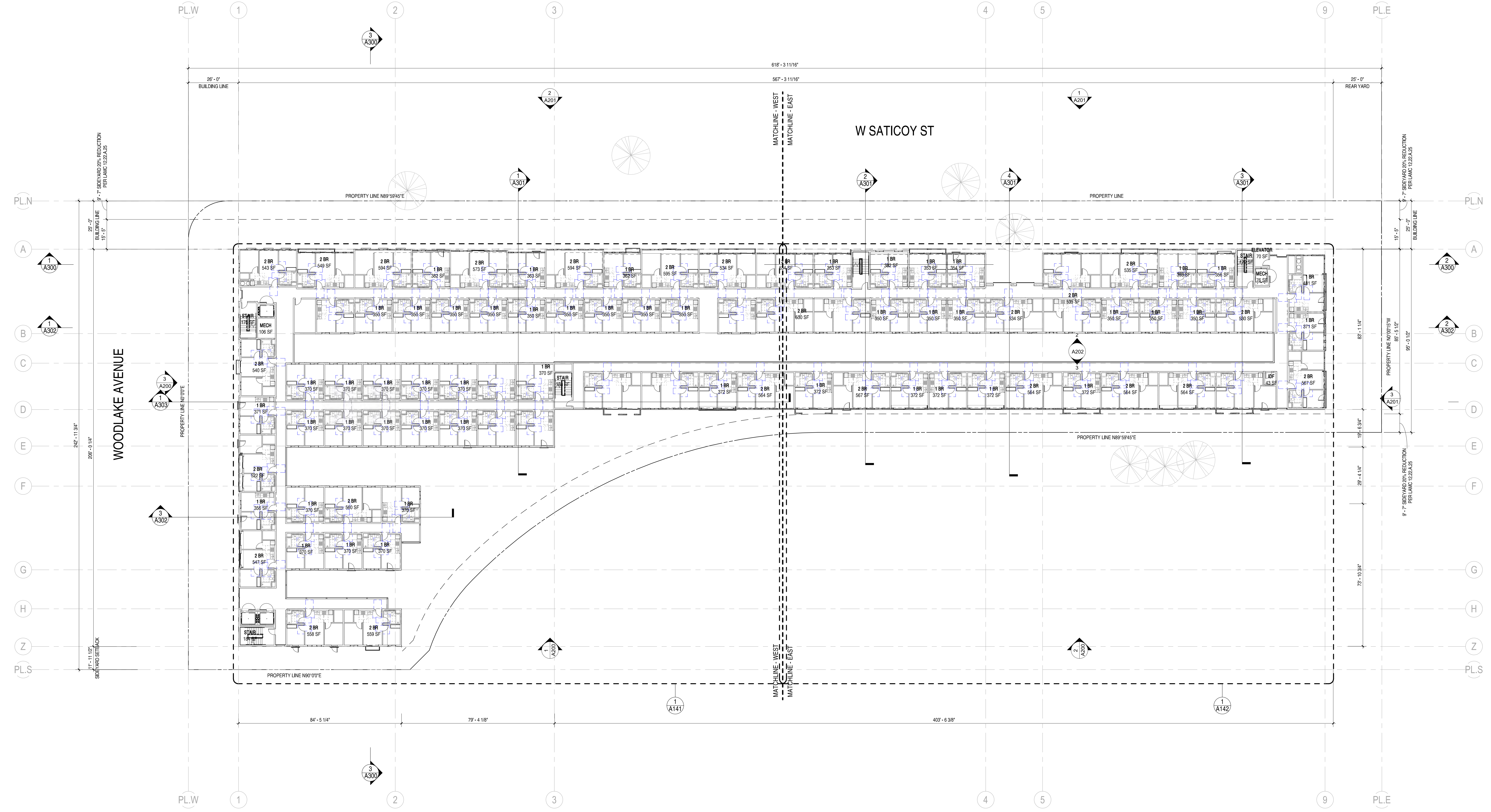
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- EDGE FLASHING TO BE 5/8" GALVANNEED SHEET METAL PAINTED TO MATCH FINISH.
- ROOFING MATERIAL TO BE GALVANNEED ROOFING SHEETS SOL PREMIUM - INSULATED. CLASS B MINIMUM COVERING.
- ROOF TO HAVE A 3-YEAR AGED DRAINAGE OF AT LEAST 1/8" OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SEE FINISH.
- IN CONCRETE CONSTRUCTION, REBAR SHALL BE PROVIDED TO SUPPORT ALL CONCRETE CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES. REBAR SHALL BE 1/2" DIA. AND 18" ON CENTER.
- IN CONCRETE CONSTRUCTION, THERE SHALL BE LEASE SPACE OF A CONCRETE ASSEMBLY CHASE OPENING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCRETE SPACE DOES NOT EXCEED 100 SQUARE FEET. CHASE OPENING SHALL BE APPROXIMATELY 18" WIDE AND 18" HIGH. SEE FINISH.
- BUILDING SHALL HAVE APPROXIMATE NUMBER BUILDING NUMBER OR APPROXIMATE BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR FROM THE PROPERTY LINE. SEE FINISH.
- PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATION SPECIFIED IN SECTION 051110.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ASTM 117 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE APPLIED IN ACCORDANCE WITH SECTION 051110.
- PROVIDE AN APPROXIMATE NUMBER APPROXIMATE BUILDING NUMBER OR APPROXIMATE BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR FROM THE PROPERTY LINE. SEE FINISH.
- BUILDING WITH BASED IN CONSTRUCTION UNDER CONSTRUCTION SHALL BE IDENTIFIED IN THE SECTION AND SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - ALL OPENINGS SHALL BE LOCATED NOT MORE THAN 18" FROM THE BOTTOM OF THE FLOOR JOIST.
 - THE OPENING SHALL BE IDENTIFIED APPROXIMATELY EQUAL TO THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - THE OPENING SHALL BE THE LARGEST OF 18" SQUARE FEET FOR EACH UNIT. THE PROTECTION OF INTERIOR WALL OR OPENING SHALL BE EQUAL TO 1/2" OF UNPAINTED 1/2" DIA. OPENING SHALL BE COVERED WITH CONCRETE REBAR WITH MINIMUM AREA OF GREATER THAN 18" RICH AND LESS THAN 18" IN DIMENSION. IT SHALL BE



EXHIBIT "A"

Page No. 10 of 32

Case No. ADM-2024-5202-DB-PHP-VHCA



- ### SHEET NOTES
- ALL DIMENSIONS ARE TO FINISH.
 - ALL DIMENSIONS ARE TO PLUMB.
 - ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
 - WALL BASE TO BE 4" REAR BASE HOLDING AT ALL WALLS.
 - SPACE AND FINISH FLOORING TO FINISH.
 - THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE 120V/240V ELECTRIC SERVICE. THE SERVICE SHALL BE PROVIDED AT THE SERVICE LOCATION FROM THE MAIN ELECTRICAL SERVICE PANEL. THE SERVICE LOCATION SHALL BE PERMANENTLY MARKED AS FUTURE SERVICE LOCATION. CALL OWNER FOR ENERGY CODE TO THE LATEST REQUIREMENTS.
 - HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT 100% RH IN THE ROOM AND FEET FROM EXTERIOR WALLS IN ALL WEATHERS.
 - FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTIVE BARRIER BETWEEN STORES. BARRIER SHALL BE 5/8" GALVANNEED SHEET METAL PAINTED TO MATCH FINISH.
 - EDGE FLASHING TO BE 5/8" GALVANNEED SHEET METAL PAINTED TO MATCH FINISH.
 - ROOFING MATERIAL TO BE GALVANNEED ROOFING SHEETS SOL PREMIUM - INSULATED. CLASS B MINIMUM COVERING.
 - ROOF TO HAVE A 3-YEAR AGED DRAINAGE OF AT LEAST 1/8" OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SEE FINISH.
 - IN CONCRETE CONSTRUCTION, REBAR SHALL BE PROVIDED TO SUPPORT ALL CONCRETE CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES. REBAR SHALL BE 1/2" DIA. AND 18" ON CENTER.
 - IN CONCRETE CONSTRUCTION, THERE SHALL BE LEASE SPACE OF A CONCRETE ASSEMBLY CHASE OPENING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCRETE SPACE DOES NOT EXCEED 100 SQUARE FEET. CHASE OPENING SHALL BE APPROXIMATELY 18" WIDE AND 18" HIGH. SEE FINISH.
 - BUILDING SHALL HAVE APPROXIMATE NUMBER BUILDING NUMBER OR APPROXIMATE BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR FROM THE PROPERTY LINE. SEE FINISH.
 - PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATION SPECIFIED IN SECTION 051110.
 - THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ASTM 117 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE APPLIED IN ACCORDANCE WITH SECTION 051110.
 - PROVIDE AN APPROXIMATE NUMBER APPROXIMATE BUILDING NUMBER OR APPROXIMATE BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR FROM THE PROPERTY LINE. SEE FINISH.
 - BUILDING WITH BASED IN CONSTRUCTION UNDER CONSTRUCTION SHALL BE IDENTIFIED IN THE SECTION AND SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - ALL OPENINGS SHALL BE LOCATED NOT MORE THAN 18" FROM THE BOTTOM OF THE FLOOR JOIST.
 - THE OPENING SHALL BE IDENTIFIED APPROXIMATELY EQUAL TO THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - THE OPENING SHALL BE THE LARGEST OF 18" SQUARE FEET FOR EACH UNIT. THE PROTECTION OF INTERIOR WALL OR OPENING SHALL BE EQUAL TO 1/2" OF UNPAINTED 1/2" DIA. OPENING SHALL BE COVERED WITH CONCRETE REBAR WITH MINIMUM AREA OF GREATER THAN 18" RICH AND LESS THAN 18" IN DIMENSION. IT SHALL BE

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL. SEE A600 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A600 FOR WALL TYPE
- DOOR TAG. SEE A600 FOR DOOR TYPE
- WINDOW TAG. SEE A600 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYPLAN

KEYPLAN

CLIENT NAME: William G. Ross and Joy A. Ross Survivor's Trust

PROJECT NAME: WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

DATE: 10.23.2024

SHEET TITLE: OVERALL 4TH FLOOR PLANS

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE BY: MEGAN KOLP

DATE: 11/01/2024 APPLICATION # 24010 - 10000 - 02159

A104

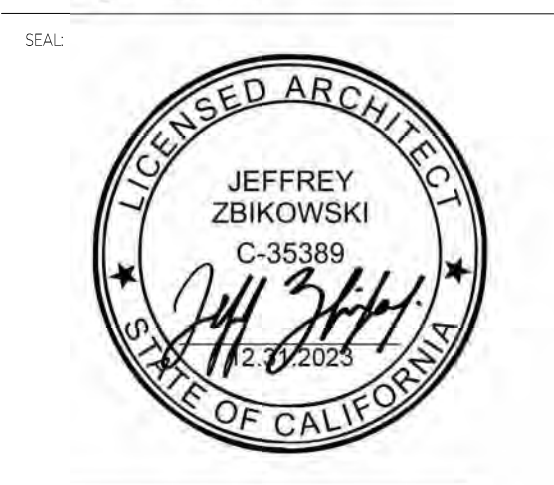
PLANNING REVIEW

LADBS STAMP

EXHIBIT "A"
 Page No. 12 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA



ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA



KEYNOTES

SHEET NOTES

- SMALL LOT SINGLE FAMILY SUBDIVISION IN THE R3-1X1 ZONE PERMISSIVE TO ORDINANCE 17834
- ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTERLINE OF COLLARED, UNQ.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- SEE SPTS 0202-0246 FOR TYP ACCESSIBILITY REQUIREMENTS
- PROVIDE EXPANSION JOINTS AT ALL POINTS OF CONTACT BETWEEN SLAB AND VERTICAL SURFACES
- CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL DIVIDE THE SLAB ON GRADE INTO SECTIONS WITH AREAS NOT EXCEEDING 400SF (20' X 20') WITHOUT RE-ENTRANT CORNERS AND LENGTH TO WIDTH RATIO NOT EXCEEDING 1 TO 1. ADDITIONAL CONTROL OR CONSTRUCTION JOINTS SHALL BE PLACED AT RE-ENTRANT CORNERS.
- FLAT ROOF COVERING TO BE CLASS-A RATING, SIKKA SARNAPL S327 & G410, LARR 24822, CRPC PRODUCT ID 0514-004
- SLOPED ROOF COVERING TO BE CLASS-A RATING, REDLAND CLAY ROOF TILE, LARR 25134 PRODUCT ID 2551 OLD SEDONA BLEND TWO-PIECE MISSION 2000 SERIES.
- ALL ROOF RUNOFF DRAINS TO THE PERMAVOID PLANTERS. SEE CIVIL DRAWINGS.

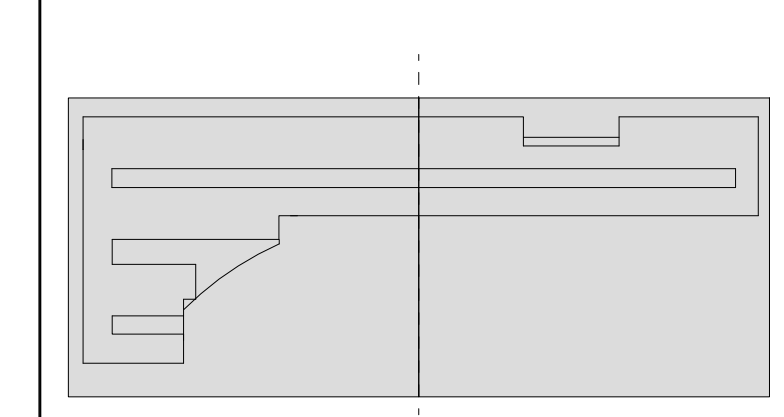
SOLAR ROOF EXEMPTION

- PROJECT SEEKS EXEMPTION TO SECTION 110.108(B) FOR SOLAR AREA REQUIREMENT BY INSTALLING DEMAND RESPONSIVE THERMOSTATS (AS COMPLIANT IN EACH DWELLING UNIT, ENERGY STAR DEHUMIDIFIERS AND REFRIGERATORS. SEE APPLIANCE SPECS ON SHEET 0068.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A800 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A800 FOR WALL TYPE
- DOOR TAG, SEE A800 FOR DOOR TYPE
- WINDOW TAG, SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYPLAN



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION #: 24010 - 10000 - 02159

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY.

CLIENT NAME
**William G. Ross and Joy A. Ross
 Survivor's Trust**

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

SHEET NUMBER
2333

DATE
10.23.2024

SHEET TITLE
OVERALL ROOF PLAN

SHEET NUMBER
A106

REVISIONS
**PLANNING
 REVIEW**

LADBS STAMP

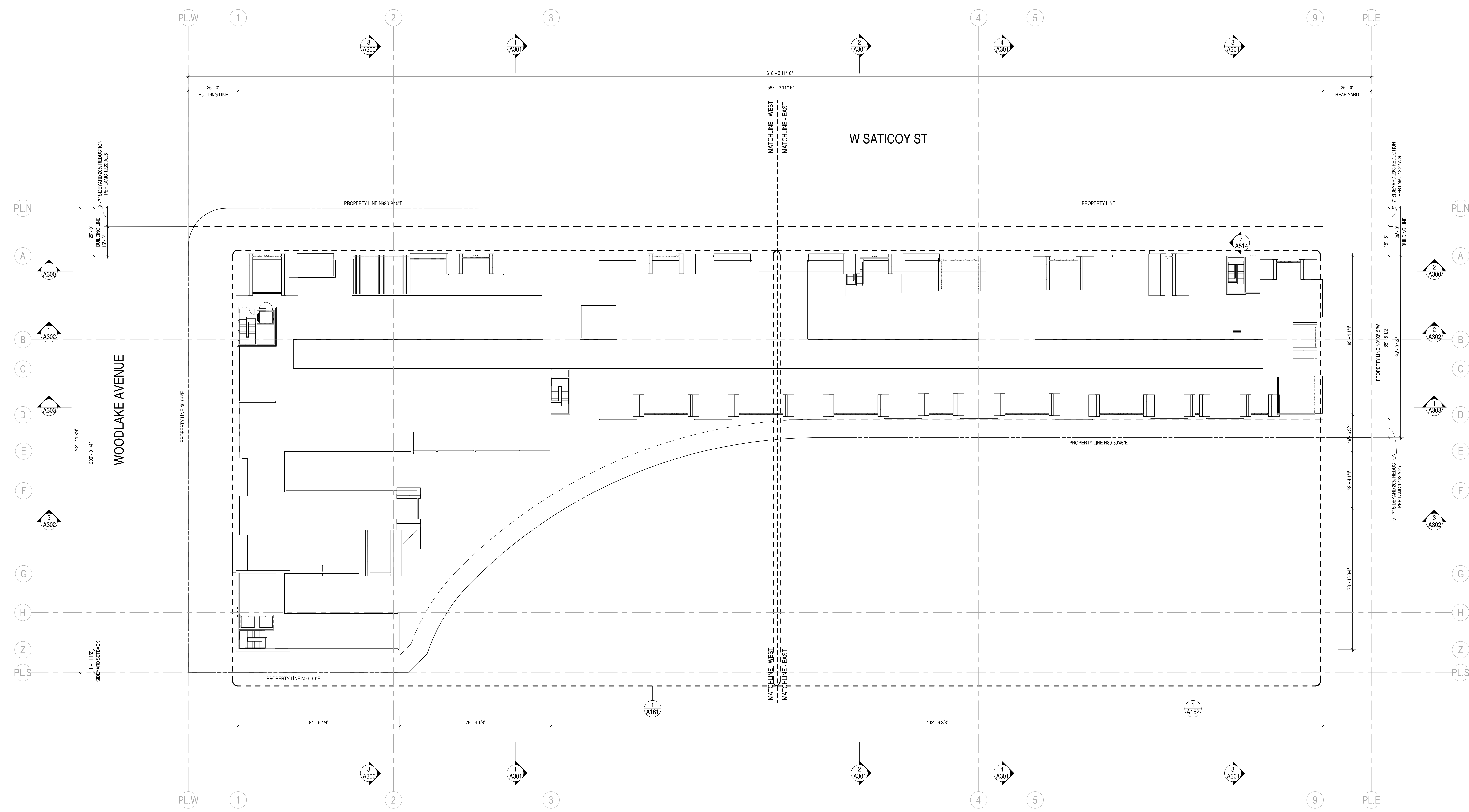
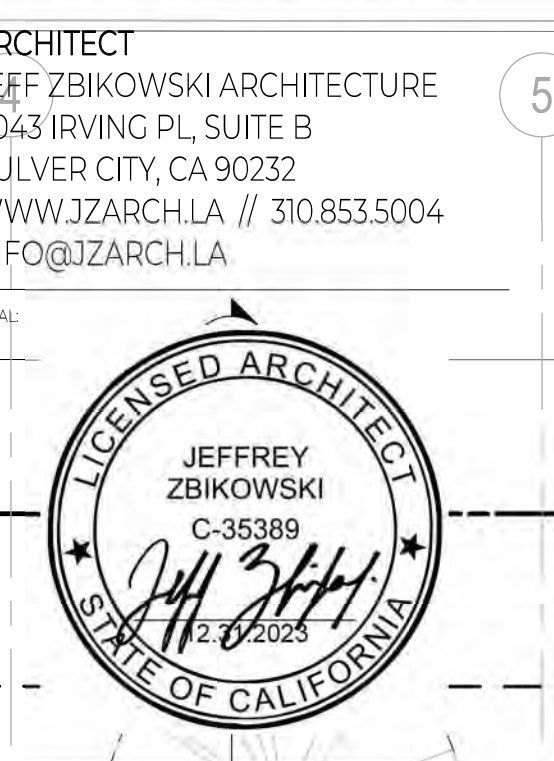


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PARKING SCHEDULE (STALL SIZE)			
1ST FL FFE	ACCESSIBLE	RESIDENTIAL	4
1ST FL FFE	COMPACT	RESIDENTIAL	80
1ST FL FFE	EV	RESIDENTIAL	57
1ST FL FFE			154
Grand Total			154

KEYNOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS UNLESS OTHERWISE NOTED.



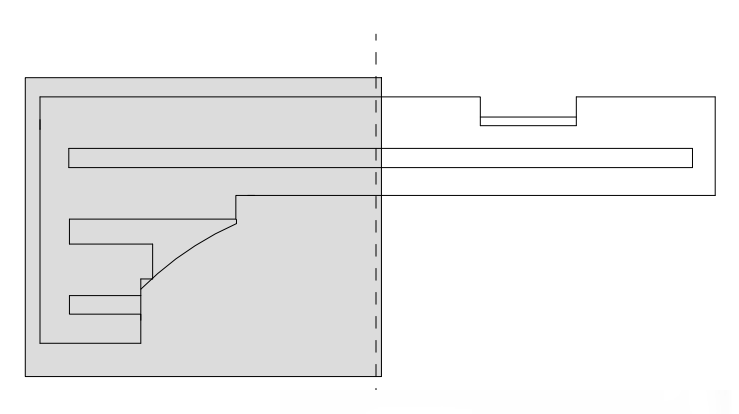
SHEET NOTES

1. THE ARCHITECTURAL SERVICES SHALL BE PROVIDED SINCE THE OWNER HAS NOT PROVIDED A SUFFICIENTLY DETAILED AND ACCURATE SET OF CONCEPTUAL ARCHITECTURAL DRAWINGS TO BE USED FOR PERMITTING PURPOSES.
2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR).
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR).
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR).
5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR).

LEGEND

- HARDSCAPE
- LANDSCAPE SEE LANDSCAPE DWGS
- CMU WALL
- CONCRETE WALL
- ACCESSIBLE PATH OF TRAVEL
- (E) STREET TREE TO REMAIN
- (N) TREE PER LANDSCAPE DRAWINGS
- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL SEE A300 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG SEE A300 FOR WALL TYPE
- DOOR TAG SEE A300 FOR DOOR TYPE
- WINDOW TAG SEE A300 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYPLAN



PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION #: 24010 - 10000 - 02159

CLIENT NAME
William G. Ross and Joy A. Ross
 Survivor's Trust

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

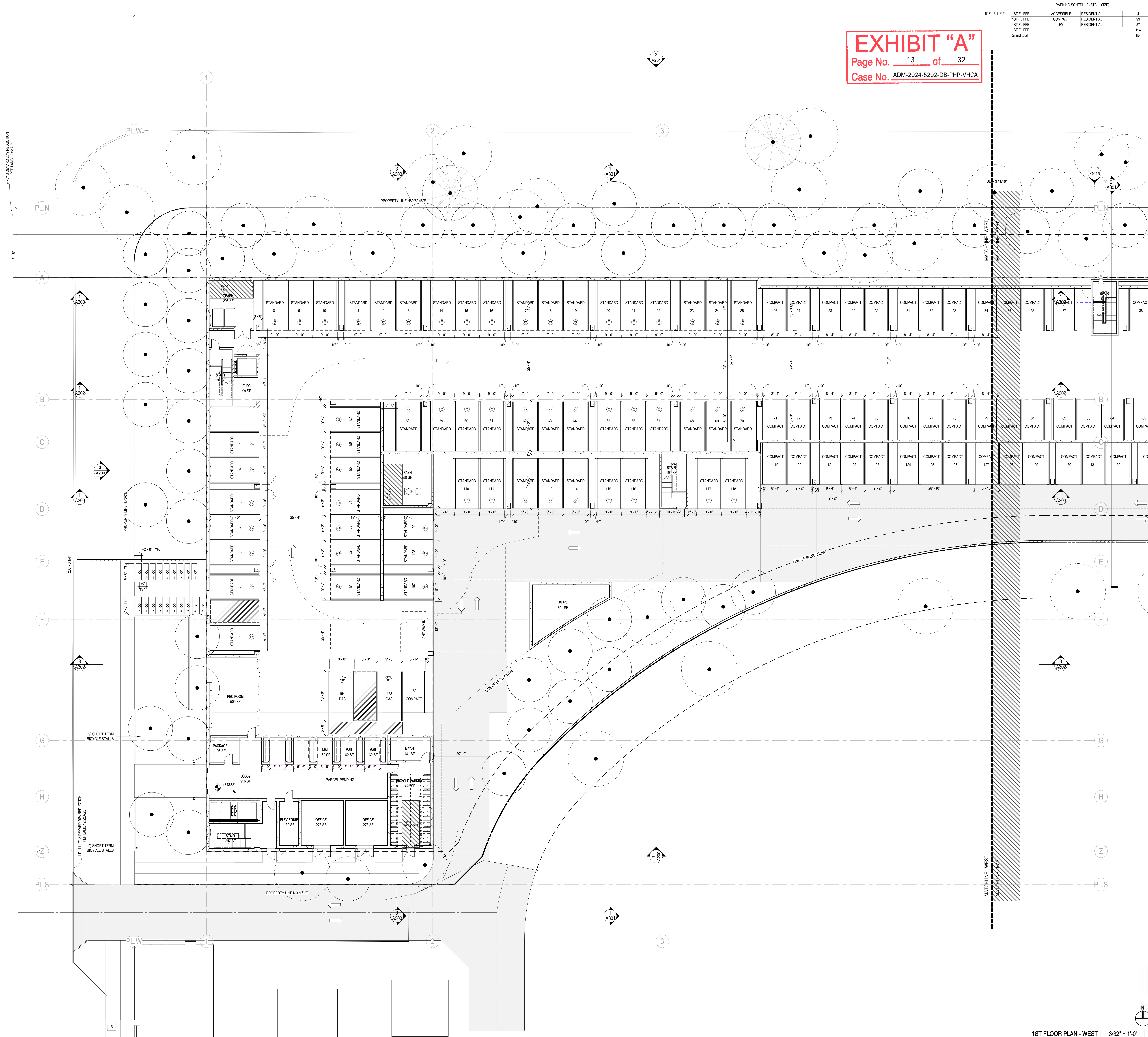
7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

DATE
 10/23/2024

SHEET TITLE
1ST FLOOR PLAN - WEST

SHEET NUMBER
A111

PLANNING REVIEW

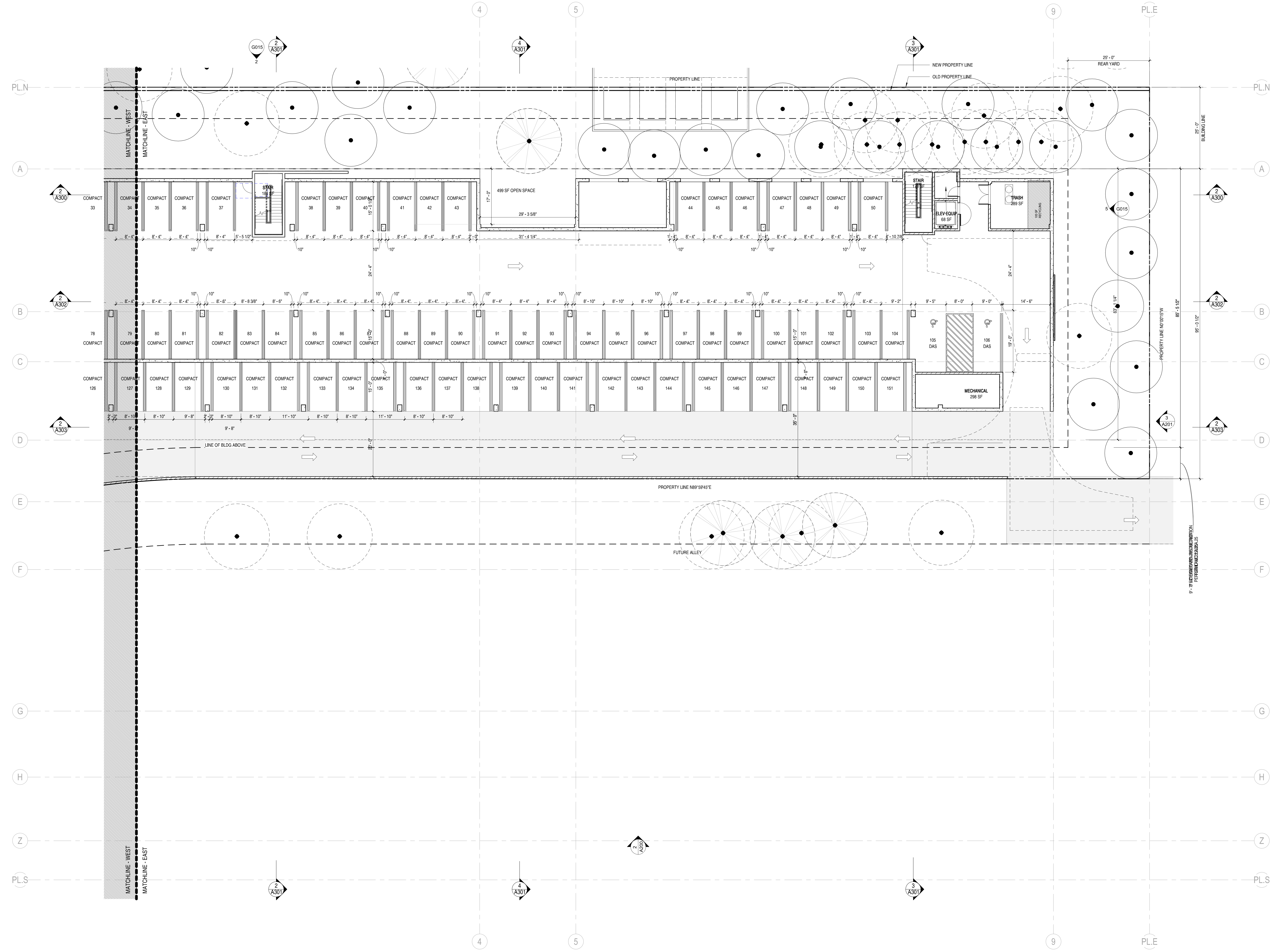


PARKING SCHEDULE (STALL SIZE)			
1ST FL FFF	ACCESSIBLE	RESIDENTIAL	4
1ST FL FFF	COMPACT	RESIDENTIAL	93
1ST FL FFF	EV	RESIDENTIAL	57
1ST FL FFF			154
Grand Total			154

KEYNOTES

ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA

ARCHITECT
 JEFFREY ZBIKOWSKI
 C-35398
 12/2024
 STATE OF CALIFORNIA



- SHEET NOTES**
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS ARE TO PLUMB.
 - ALL DIMENSIONS INDICATED AS 'FINISH' ARE FROM FINISH TO FINISH.
 - WALL BASE TO BE 4" FINISH BASE HOLDINGS AT ALL WALLS.
 - GRAB BARS AND FLOOR FINISHES TO BE FINISHED.
 - THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE 100 AMP ELECTRIC SERVICE. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE CORNER FROM THE MAIN ELECTRICAL SERVICE PANEL. THE LOCATION SHALL BE PERMANENTLY MARKED AS FUTURE ELECTRICAL SERVICE. CALL ORDER 4114, ENERGY CODE TITLE 24, AND REQUIREMENTS FOR ALL.
 - HEADERS SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 18" ABOVE THE FLOOR AND 3" FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
 - FIRE RISKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICALLY AND HORIZONTALLY TO FORM AN INTEGRAL FIRE BARRIER BETWEEN STORES. FIRE RISKING SHALL BE PROVIDED TO FORM A FIRE BARRIER BETWEEN STORES. FIRE RISKING SHALL BE PROVIDED TO FORM A FIRE BARRIER BETWEEN STORES. FIRE RISKING SHALL BE PROVIDED TO FORM A FIRE BARRIER BETWEEN STORES.
 - EDGE FLASHING TO BE 5/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH. FLASHING SHALL BE 5/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH. FLASHING SHALL BE 5/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH.
 - ROOFING MATERIAL TO BE GALVANIZED ROOFING SYSTEMS SOLAR PREMIUM - RESISTIVE. ROOFING MATERIAL TO BE GALVANIZED ROOFING SYSTEMS SOLAR PREMIUM - RESISTIVE. ROOFING MATERIAL TO BE GALVANIZED ROOFING SYSTEMS SOLAR PREMIUM - RESISTIVE.
 - ROOF TO HAVE A 3/8" SLOPE DRAINAGE OF AT LEAST 1/8" OR BOTH A 3/8" SLOPE AND A REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.90. REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.90. REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.90.
 - IN CONCRETE CONSTRUCTION, REINFORCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICALLY AND HORIZONTALLY TO FORM AN INTEGRAL FIRE BARRIER BETWEEN STORES. IN CONCRETE CONSTRUCTION, REINFORCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICALLY AND HORIZONTALLY TO FORM AN INTEGRAL FIRE BARRIER BETWEEN STORES.
 - IN CONCRETE CONSTRUCTION, THERE IS LIMITED SPACE OF A CONCRETE ASSEMBLY. DIMENSIONS SHALL BE MARKED TO SHOW THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 180 SQUARE FEET. DIMENSIONS SHALL BE MARKED TO SHOW THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 180 SQUARE FEET. DIMENSIONS SHALL BE MARKED TO SHOW THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 180 SQUARE FEET.
 - PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED IN SECTION 051100.
 - THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ASTM 117 FOR THE SPECIES PRODUCT. PRESERVATIVE-TREATED WOOD SHALL BE USED IN ALL LOCATIONS WHERE CONTACT WITH GROUND OR WATER IS EXPECTED.
 - PROTECT ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. PROTECT ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. PROTECT ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
 - BUILDINGS WITH SHARED FLOOR CONSTRUCTION UNDER FLOOR VENTS AND OPENINGS IN THE UNDER-FLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 A. THE FLOOR OPENING SHALL BE LOCATED NOT MORE THAN 24" BELOW THE FINISH FLOOR LEVEL.
 B. THE OPENING SHALL BE DEFINITELY APPROXIMATELY EQUAL IN SIZE AND LOCATED TO PROTECT THE FLOOR FROM THE OPENING. THE OPENING SHALL BE DEFINITELY APPROXIMATELY EQUAL IN SIZE AND LOCATED TO PROTECT THE FLOOR FROM THE OPENING.
 C. THE OPENING SHALL BE THE LARGEST OF 18" SQUARE FEET FOR EACH UNBARRIRED AREA. THE OPENING SHALL BE THE LARGEST OF 18" SQUARE FEET FOR EACH UNBARRIRED AREA.

- LEGEND**
- HARDSCAPE
 - LANDSCAPE. SEE LANDSCAPE DWGS
 - CMU WALL
 - CONCRETE WALL
 - ACCESSIBLE PATH OF TRAVEL
 - (E) STREET TREE TO REMAIN
 - (N) TREE PER LANDSCAPE DRAWINGS
 - EXISTING WALL TO REMAIN (NOT A PART)
 - NEW WALL. SEE A300 FOR WALL TYPE
 - DEMOLISHED WALL
 - WOOD POST PER STRUCT DWGS
 - WALL TAG. SEE A300 FOR WALL TYPE
 - DOOR TAG. SEE A300 FOR DOOR TYPE
 - WINDOW TAG. SEE A300 FOR WINDOW TYPE
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - BATHROOM EXHAUST FAN

KEYPLAN

CLIENT NAME
 William G. Ross and Joy A. Ross
 Survivor's Trust

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

DATE
 10.23.2024

SHEET TITLE
1ST FLOOR PLAN - EAST

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION # 24010 - 10000 - 02159

A112
 PLANNING REVIEW

LADBS STAMP

EXHIBIT "A"
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 Case No. ADM-2024-5202-DB-PHP-VHCA

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,996 SF	2ND FL FFE
2 BR	2	30	3,720 SF	60	16,800 SF	2ND FL FFE
2ND FL FFE: B1	81		8,820 SF	136.5	35,796 SF	
3 BR	1	55	5,500 SF	82.5	20,985 SF	3RD FL FFE
3 BR	2	30	3,720 SF	60	16,800 SF	3RD FL FFE
3RD FL FFE: B5	85		9,220 SF	142.5	36,685 SF	
4 BR	1	55	5,500 SF	82.5	20,985 SF	4TH FL FFE
4 BR	2	30	3,720 SF	60	16,800 SF	4TH FL FFE
4TH FL FFE: B5	85		9,220 SF	142.5	36,685 SF	
5 BR	1	55	5,500 SF	82.5	20,985 SF	5TH FL FFE
5 BR	2	30	3,720 SF	60	16,800 SF	5TH FL FFE
5TH FL FFE: B1	81		8,760 SF	134.5	34,397 SF	
Grand Total:	332		36,100 SF	556	142,983 SF	

KEYNOTES

- ALL DIMENSIONS ARE TO FINISH.
- ALL DIMENSIONS ARE TO CURBING.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE AT FINISH FLOOR LEVEL AT ALL WALLS.
- GRAB BARS AND FLOOR FINISHES TO FINISH.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE 100 AMP ELECTRIC SERVICE. THE SERVICE SHALL BE PROVIDED AT THE SERVICE LOCATION INDICATED ON THE FIRST FLOOR. LOCATION FOR MAIN SERVICE LOCATION SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CALL OWNER AT 1-818-963-1000 FOR FUTURE REQUIREMENTS.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 65°F IN A ROOM AT THE DESIGN TEMPERATURE.
- FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTIVE CHASE BARRIER BETWEEN STORES. DETAILS OF CHASE TO BE PROVIDED TO THE ARCHITECT.
- EDGE FLASHING TO BE 1/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH.
- ROOFING MATERIAL TO BE GALVANIZED STEEL OR SOLAR PREMIUM - RESISTIVE.
- ROOF TO HAVE A 3:12 SLOPE OR GREATER. IF AT LEAST 10' OR BOTH A 3:12 SLOPE AND A REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SEE PART 05.00 FOR DETAILS.
- IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND THROUGH TOP STORES AND THE ROOF SPACE PER PART 05.
- IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND THROUGH TOP STORES AND THE ROOF SPACE PER PART 05.
- ROOFING SHALL HAVE APPROXIMATELY 1/8" SLOPE TO DRAINAGE. APPROXIMATELY 1/8" SLOPE TO DRAINAGE SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND THROUGH TOP STORES AND THE ROOF SPACE PER PART 05.
- PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED IN SECTION 05.00.
- THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH PART 05 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE, PRESERVATIVE SHALL BE SET IN SECTION 05.00.
- PROVIDE ANTI-CRACK MEASURES WITHIN FIRST 3 FEET MEASURED FROM GRACE AT EXTERIOR WALLS AND DOORS.
- RELANDING WITH BASED IN DOOR CONSTRUCTION UNDERFLOOR VENT AND OPENERS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE OPENING SHALL BE LOCATED NOT MORE THAN 18 INCHES BELOW THE BOTTOM OF THE DOOR JAMB.
 - THE OPENING SHALL BE APPROXIMATELY EQUAL IN SIZE AND LOCATED TO PROVIDE EQUAL AIR FLOW FROM EITHER SIDE OF THE DOOR.
 - THE OPENING SHALL BE THE LARGEST OF 3 SQUARE FEET FOR EACH SQUARE FOOT OF UNDERFLOOR AREA. THE OPENING SHALL BE EQUAL TO 75% OF UNDERFLOOR AREA.
 - THE OPENING SHALL BE COVERED WITH CORROSION RESISTANT WIRE WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. IT SHALL BE 1/8 INCH THICK.

JZA ARCHITECTURE
 ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.COM // 310.853.5004
 INFO@JZARCH.COM

JEFFREY ZBIKOWSKI
 C-36386
 ARCHITECT
 STATE OF CALIFORNIA

- SHEET NOTES**
- ALL DIMENSIONS ARE TO FINISH.
 - ALL DIMENSIONS ARE TO CURBING.
 - ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
 - WALL BASE TO BE AT FINISH FLOOR LEVEL AT ALL WALLS.
 - GRAB BARS AND FLOOR FINISHES TO FINISH.
 - THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE 100 AMP ELECTRIC SERVICE. THE SERVICE SHALL BE PROVIDED AT THE SERVICE LOCATION INDICATED ON THE FIRST FLOOR. LOCATION FOR MAIN SERVICE LOCATION SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CALL OWNER AT 1-818-963-1000 FOR FUTURE REQUIREMENTS.
 - HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 65°F IN A ROOM AT THE DESIGN TEMPERATURE.
 - FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTIVE CHASE BARRIER BETWEEN STORES. DETAILS OF CHASE TO BE PROVIDED TO THE ARCHITECT.
 - EDGE FLASHING TO BE 1/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH.
 - ROOFING MATERIAL TO BE GALVANIZED STEEL OR SOLAR PREMIUM - RESISTIVE.
 - ROOF TO HAVE A 3:12 SLOPE OR GREATER. IF AT LEAST 10' OR BOTH A 3:12 SLOPE AND A REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SEE PART 05.00 FOR DETAILS.
 - IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND THROUGH TOP STORES AND THE ROOF SPACE PER PART 05.
 - IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND THROUGH TOP STORES AND THE ROOF SPACE PER PART 05.
 - ROOFING SHALL HAVE APPROXIMATELY 1/8" SLOPE TO DRAINAGE. APPROXIMATELY 1/8" SLOPE TO DRAINAGE SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND THROUGH TOP STORES AND THE ROOF SPACE PER PART 05.
 - PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED IN SECTION 05.00.
 - THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH PART 05 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE, PRESERVATIVE SHALL BE SET IN SECTION 05.00.
 - PROVIDE ANTI-CRACK MEASURES WITHIN FIRST 3 FEET MEASURED FROM GRACE AT EXTERIOR WALLS AND DOORS.
 - RELANDING WITH BASED IN DOOR CONSTRUCTION UNDERFLOOR VENT AND OPENERS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE OPENING SHALL BE LOCATED NOT MORE THAN 18 INCHES BELOW THE BOTTOM OF THE DOOR JAMB.
 - THE OPENING SHALL BE APPROXIMATELY EQUAL IN SIZE AND LOCATED TO PROVIDE EQUAL AIR FLOW FROM EITHER SIDE OF THE DOOR.
 - THE OPENING SHALL BE THE LARGEST OF 3 SQUARE FEET FOR EACH SQUARE FOOT OF UNDERFLOOR AREA. THE OPENING SHALL BE EQUAL TO 75% OF UNDERFLOOR AREA.
 - THE OPENING SHALL BE COVERED WITH CORROSION RESISTANT WIRE WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. IT SHALL BE 1/8 INCH THICK.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A300 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A300 FOR WALL TYPE
- DOOR TAG, SEE A300 FOR DOOR TYPE
- WINDOW TAG, SEE A300 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYPLAN

CLIENT NAME
 William G. Ross and Joy A. Ross
 Survivor's Trust

PROJECT NAME
 WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

DATE: 10.23.2024
 SHEET NUMBER: 2333
 SHEET TITLE: 2ND FLOOR PLANS - WEST

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION # 24010 - 10000 - 02159

A121
 PLANNING REVIEW

LADBS STAMP



EXHIBIT "A"
 Page No. 16 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,956 SF	2ND FL FFE
2 BR	2	30	3,720 SF	60	16,800 SF	2ND FL FFE
2ND FL FFE: B1	81		8,820 SF	136.5	35,756 SF	
3 BR	1	50	5,500 SF	82.5	20,981 SF	3RD FL FFE
3 BR	2	30	3,720 SF	60	16,800 SF	3RD FL FFE
3RD FL FFE: B5	85		9,220 SF	142.5	36,682 SF	
4 BR	1	50	5,500 SF	82.5	20,981 SF	4TH FL FFE
4 BR	2	30	3,720 SF	60	16,800 SF	4TH FL FFE
4TH FL FFE: B5	85		9,220 SF	142.5	36,682 SF	
5 BR	1	50	5,500 SF	82.5	20,981 SF	5TH FL FFE
5 BR	2	30	3,720 SF	60	16,800 SF	5TH FL FFE
5TH FL FFE: B1	81		8,760 SF	134.5	34,397 SF	
Grand Total:	332		36,100 SF	556	142,883 SF	

KEYNOTES

- ALL DIMENSIONS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FINISH.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" FRENCH BASE MOLDING AT ALL WALLS.
- GRAB BARS AND FLOOR FINISHES TO FINISH.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC PANEL. A 10' x 10' RESERVED SPACE SHALL BE PROVIDED AT THE SERVICE PANEL END FROM THE MAIN ELECTRICAL SERVICE PANEL. LOCAL ELECTRICAL SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CALL ORDER #1114. ENERGY CODE TO BE USED FOR ALL REQUIREMENTS.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A ROOM AT THE DESIGN TEMPERATURE.
- FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN INTEGRAL FIRE BARRIER BETWEEN STORED ITEMS OF 10' HIGH FROM THE FLOOR SPACE PER IBC.
- EDGE FLASHING TO BE 6" GALVANIZED SHEET METAL PAINTED TO MATCH FASCIA.
- ROOFING MATERIAL TO BE GALVANIZED STEEL DECK OVER INSULATION - INSULATE. CLASMA SHALL BE USED.
- ROOF TO HAVE A 3/8" SLOPE DRAINAGE OF AT LEAST 1/8" OR BOTH A 3/8" SLOPE AND A REFLECTANCE OF AT LEAST 0.8 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SEE PART 05.
- IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORED ITEMS AT TOP STORIES AND THE ROOF SPACE PER IBC.
- IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORED ITEMS AT TOP STORIES AND THE ROOF SPACE PER IBC.
- BLINDS SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE PROVIDED IN THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER IBC.
- PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED IN SECTION 05110.
- THE USE OF NATURAL, DURABLE WOOD OR WOOD PRODUCTS THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH PART 05 FOR THE SPECIES PROVIDED, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE APPLIED IN ACCORDANCE WITH PART 05.
- PROVIDE AN ANTI-CRACK MEASURE WITHIN FIRST 5 FEET MEASURED FROM GRACE AT EXTERIOR WALLS AND DOORS.

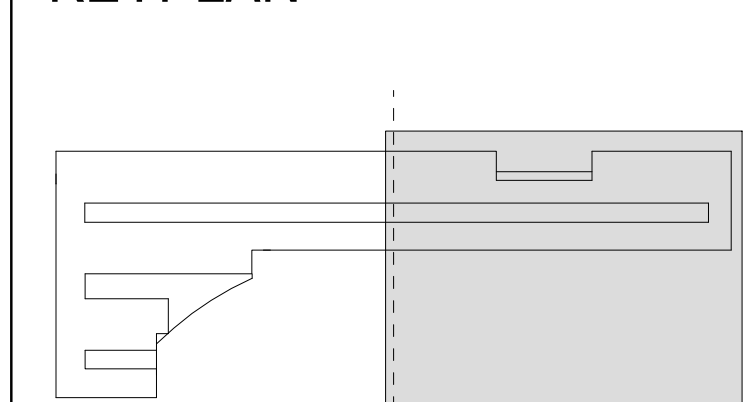
SHEET NOTES

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A800 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A800 FOR WALL TYPE
- DOOR TAG, SEE A800 FOR DOOR TYPE
- WINDOW TAG, SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
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- BATHROOM EXHAUST FAN

LEGEND

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KEYPLAN



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION #: 24010 - 10000 - 02159

A122
 PLANNING REVIEW



ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA



REVISION:

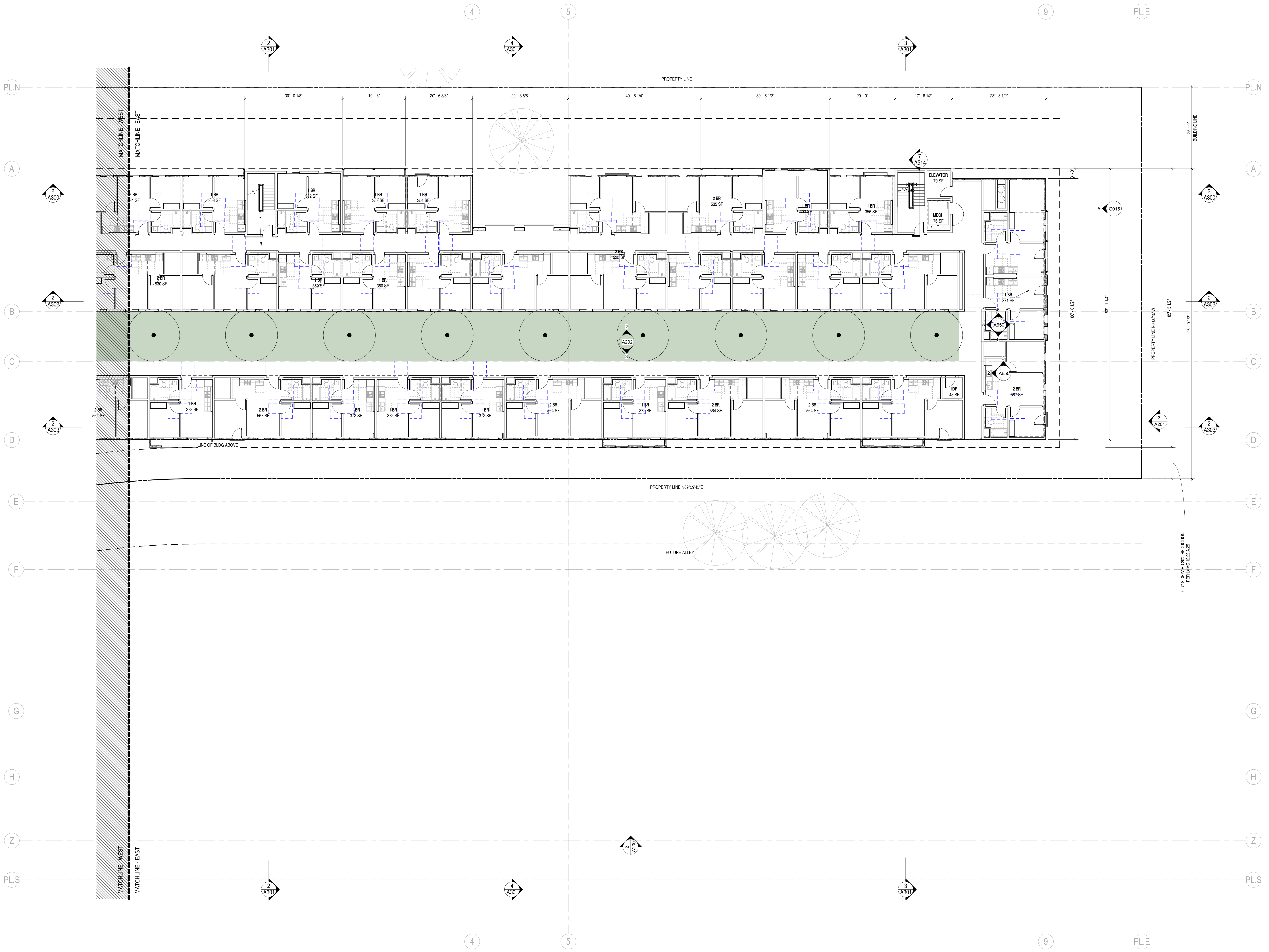


EXHIBIT "A"
 Page No. 17 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,956 SF	2ND FL FFE
2 BR	2	30	3,720 SF	60	18,600 SF	2ND FL FFE
2ND FL FFE: B1	81	8,820 SF	81	136.5	35,183 SF	
1 BR	1	55	5,500 SF	82.5	20,981 SF	3RD FL FFE
2 BR	2	30	3,720 SF	60	18,600 SF	3RD FL FFE
3RD FL FFE: B5	85	9,220 SF	85	142.5	36,682 SF	
1 BR	1	55	5,500 SF	82.5	20,981 SF	4TH FL FFE
2 BR	2	30	3,720 SF	60	18,600 SF	4TH FL FFE
4TH FL FFE: B5	85	9,220 SF	85	142.5	36,682 SF	
1 BR	1	55	5,500 SF	82.5	20,981 SF	5TH FL FFE
2 BR	2	30	3,720 SF	60	18,600 SF	5TH FL FFE
5TH FL FFE: B1	81	8,760 SF	81	134.5	34,397 SF	
Grand Total	332	332	36,100 SF	556	142,983 SF	

KEYNOTES

- ALL DIMENSIONS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FINISH.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" FEDERAL BASE MOULDING AT ALL WALLS.
- GRAB BARS AND FLOOR FINISHING: 1/2" MIN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. A RESERVED SPACE SHALL BE PROVIDED AT THE SERVICE LOCATION END FROM THE MAIN ELECTRICAL SERVICE PANEL. LOCATION SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CALL OWNER AT 1/14 ENERGY CODE TO ASK REQUIREMENTS FOR B1.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 65°F IN A ROOM AT THE DESIGN TEMPERATURE.
- FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTIVE BARRIER BETWEEN STORED ITEMS BELOW OF CHASE AND THE ROOM SPACE ABOVE IT.
- EDGE FLASHING TO BE 1/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH.
- ROOFING MATERIAL TO BE GALVANIZED STEEL OR CONCRETE SOLAR PANEL - INSULATED.
- ROOF TO HAVE A 3/8" SLOPE DRAINAGE OF AT LEAST 1/8" OR BOTH A 3/8" SLOPE AND A REFLECTANCE OF AT LEAST 0.8 AND A THERMAL ENTRAINMENT OF AT LEAST 1/8" ESP FAN.
- IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORED ITEMS ABOVE AND THE ROOM SPACE BELOW IT.
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- PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED IN SECTION 051100.
- THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVELY TREATED IN ACCORDANCE WITH ASTM D 245 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE, PRESERVATIVE SHALL BE SET IN SECTION 051100.
- PROVIDE ANTI-CORROSION PROTECTION WITHIN 3" FEET OF EXTERIOR WALLS AND DOORS.
- BUILDING WITH BASED IN DOOR CONSTRUCTION UNDERGROUND VENT AND OPERABLE IN THE UNDERGROUND AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - ALL DOORS SHALL BE LOCATED NOT MORE THAN 20 FEET BELOW THE FINISH FLOOR LEVEL.
 - THE OPERABLE SHALL BE DEFINITELY APPROXIMATELY EQUAL AND LOCATED TO PROTECT FROM THE UNDERGROUND AREA TO THE OPERABLE AREA.
 - THE OPERABLE SHALL BE THE LARGEST OF 3.0 SQUARE FEET FOR EACH UNDERGROUND AREA OF INTERIOR WALL OR OPERABLE SHALL BE EQUAL TO 75% OF UNDERGROUND AREA.
 - THE OPERABLE SHALL BE COVERED WITH CONCRETE REINFORCED WITH STEEL WITH WEIGHT OPENINGS OF GREATER THAN 1/4" AND LESS THAN 1/8" IN DIMENSION. IT SHALL BE

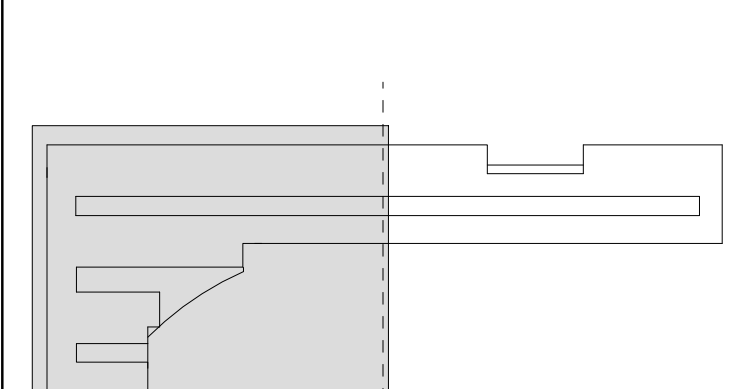
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- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 65°F IN A ROOM AT THE DESIGN TEMPERATURE.
- FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTIVE BARRIER BETWEEN STORED ITEMS BELOW OF CHASE AND THE ROOM SPACE ABOVE IT.
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- IN COMMON AREAS, CONSTRUCTION MATERIALS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORED ITEMS ABOVE AND THE ROOM SPACE BELOW IT.
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- PROVIDE ANTI-CORROSION PROTECTION WITHIN 3" FEET OF EXTERIOR WALLS AND DOORS.
- BUILDING WITH BASED IN DOOR CONSTRUCTION UNDERGROUND VENT AND OPERABLE IN THE UNDERGROUND AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - ALL DOORS SHALL BE LOCATED NOT MORE THAN 20 FEET BELOW THE FINISH FLOOR LEVEL.
 - THE OPERABLE SHALL BE DEFINITELY APPROXIMATELY EQUAL AND LOCATED TO PROTECT FROM THE UNDERGROUND AREA TO THE OPERABLE AREA.
 - THE OPERABLE SHALL BE THE LARGEST OF 3.0 SQUARE FEET FOR EACH UNDERGROUND AREA OF INTERIOR WALL OR OPERABLE SHALL BE EQUAL TO 75% OF UNDERGROUND AREA.
 - THE OPERABLE SHALL BE COVERED WITH CONCRETE REINFORCED WITH STEEL WITH WEIGHT OPENINGS OF GREATER THAN 1/4" AND LESS THAN 1/8" IN DIMENSION. IT SHALL BE

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A800 FOR WALL TYPE
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- WOOD POST PER STRUCT DWGS
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KEYPLAN



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION # 24010 - 10000 - 02159

JZA ARCHITECTURE

ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA

REGISTERED ARCHITECT
 JEFFREY ZBIKOWSKI
 C-36386
 11/15/2024
 STATE OF CALIFORNIA

10000 - 02159 - 000000

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CLIENT NAME
**William G. Ross and Joy A. Ross
 Survivor's Trust**

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

SHEET NUMBER
2333

DATE
10.23.2024

SHEET TITLE
3RD FLOOR PLANS - WEST

SHEET NUMBER
A131

PLANNING REVIEW

EXHIBIT "A"
 Page No. 20 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,990 SF	2ND FL FFE
2 BR	2	30	3,720 SF	60	18,600 SF	2ND FL FFE
2ND FL FFE: B1		81	8,820 SF	136.5	35,180 SF	
1 BR	1	50	5,000 SF	82.5	20,981 SF	3RD FL FFE
2 BR	2	30	3,720 SF	60	18,600 SF	3RD FL FFE
3RD FL FFE: B5		80	9,250 SF	142.5	36,682 SF	
1 BR	1	50	5,000 SF	82.5	20,981 SF	4TH FL FFE
2 BR	2	30	3,720 SF	60	18,600 SF	4TH FL FFE
4TH FL FFE: B5		80	9,250 SF	142.5	36,682 SF	
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Grand Total:	332	332	36,100 SF	556	142,883 SF	

KEYNOTES

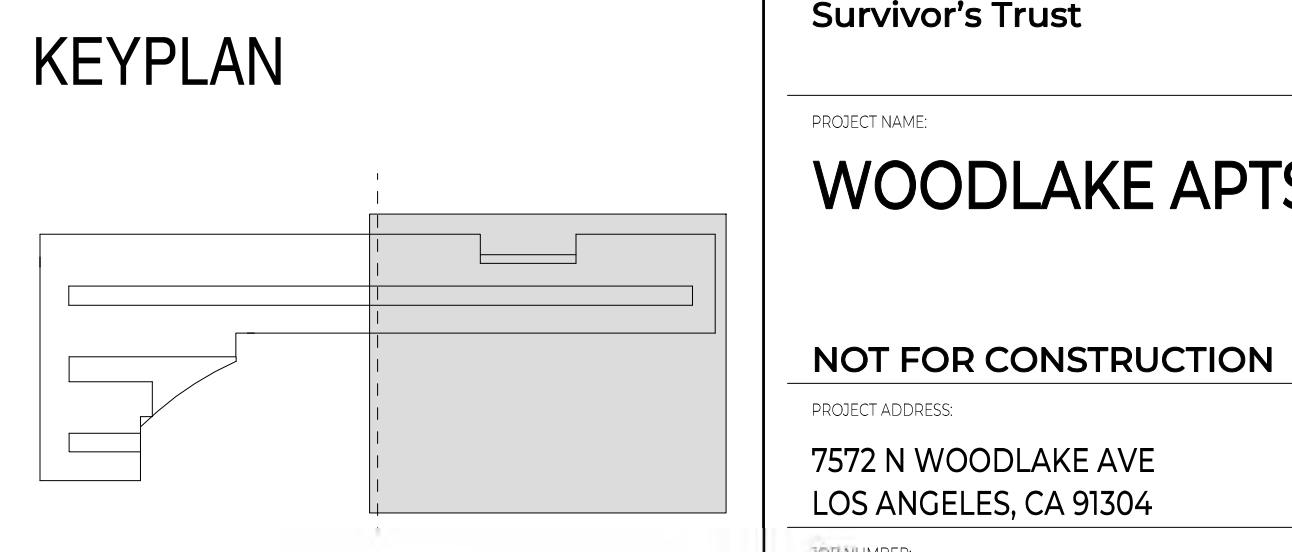
JEFF ZBIKOWSKI ARCHITECTURE
 ARCHITECT
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 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCHLA // 310.853.5004
 INFO@JZARCHLA

STATE OF CALIFORNIA
 ARCHITECT
 JEFFREY ZBIKOWSKI
 C-35386
 01/2022



- SHEET NOTES**
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS ARE TO FINISH.
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 - WALL BASE TO BE 4" FRENCH BASE MOLDING AT ALL WALLS.
 - GRAB BARS AND FLOOR FINISHES TO FINISH.
 - THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC PANEL. ALL ELECTRICAL SERVICE SHALL BE PERMITTED AT THE SERVICE LOCATION END FROM THE RIGHT. THE LOCATION FOR MAIN SERVICE LOCATION SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CALL ORDER 42114. ENERGY CODE TO 11.04.01 REQUIREMENTS TO BE MET.
 - HEATERS SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A ROOM AT THE DESIGN TEMPERATURE.
 - FIRE BLOWING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORED BENCHES OF 20" TO 24" HIGH SPACE PER IBC.
 - EDGE FLASHING TO BE 1/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH.
 - ROOFING MATERIAL TO BE GALVANIZED STEEL DECKING OVER INSULATION - INSULATE. ROOF TO HAVE A 3/8" SLOPE DRAINAGE OF AT LEAST 1/8" OR BOTH A 3/8" SLOPE AND A REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SEE PART 5.05 FOR DETAILS.
 - IN COMMON AREAS CONSTRUCTION SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASE OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORED BENCHES OF 20" TO 24" HIGH SPACE PER IBC.
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 - PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATION SPECIFIED IN SECTION 051110.
 - THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVELY TREATED IN ACCORDANCE WITH PART 05 FOR THE SPECIES PROVIDED. PRESERVATIVE AND END USE PRESERVATIVE SHALL BE SET IN ACCORDANCE WITH PART 05.
 - PROVIDE ANTI-CRACK PROTECTION WITHIN FIRST 3 FEET MEASURED FROM GRACE AT EXTERIOR WALLS AND DOORS.
 - BLINDS WITH INSECT SCREEN CONSTRUCTION UNDERSTOOD VENT AND OPERABLE IN THE DOWN POSITION SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE TOP OF THE BLINDS SHALL BE LOCATED NOT MORE THAN 2 INCHES BELOW THE BOTTOM OF THE WINDOW.
 - IF THE OPERABLE BLIND IS OPERATED APPROXIMATELY EQUALLY AND LOCATED TO PROTECT FROM THE SUN FOR ENERGY EFFICIENCY, THE OPERABLE BLIND SHALL BE LOCATED AT LEAST TWO OPPOSITE SIDES OF THE WINDOW.
 - IF THE OPERABLE BLIND IS OPERATED APPROXIMATELY EQUALLY AND LOCATED TO PROTECT FROM THE SUN FOR ENERGY EFFICIENCY, THE OPERABLE BLIND SHALL BE LOCATED AT LEAST TWO OPPOSITE SIDES OF THE WINDOW.

- LEGEND**
- EXISTING WALL TO REMAIN (NOT A PART)
 - NEW WALL, SEE A800 FOR WALL TYPE
 - DEMOLISHED WALL
 - WOOD POST PER STRUCT DWGS
 - WALL TAG, SEE A800 FOR WALL TYPE
 - DOOR TAG, SEE A800 FOR DOOR TYPE
 - WINDOW TAG, SEE A800 FOR WINDOW TYPE
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - BATHROOM EXHAUST FAN



KEYNOTES

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION # 24010 - 10000 - 02159

CLIENT NAME
 William G. Ross and Joy A. Ross
 Survivor's Trust

PROJECT NAME
 WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

DATE
 10.23.2024

SHEET TITLE
 4TH FLOOR PLANS - EAST

SHEET NUMBER
 2333

SHEET NUMBER
 A142

PLANNING REVIEW

EXHIBIT "A"

Page No. 22 of 32

Case No. ADM-2024-5202-DB-PHP-VHCA

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED FINISHING	AREA	LEVEL
1 BR	1	51	5,100 SF	76.5	18,996 SF	2ND FL FFE
2 BR	2	30	3,720 SF	60	16,800 SF	2ND FL FFE
2ND FL FFE: B1	81		8,820 SF	136.5	35,796 SF	
3 BR	1	55	5,500 SF	82.5	20,985 SF	3RD FL FFE
3 BR	2	30	3,720 SF	60	16,800 SF	3RD FL FFE
3RD FL FFE: B5	85		9,220 SF	142.5	36,685 SF	
4 BR	1	55	5,500 SF	82.5	20,985 SF	4TH FL FFE
4 BR	2	30	3,720 SF	60	16,800 SF	4TH FL FFE
4TH FL FFE: B5	85		9,220 SF	142.5	36,685 SF	
5 BR	1	55	5,500 SF	82.5	20,985 SF	5TH FL FFE
5 BR	2	30	3,720 SF	60	16,800 SF	5TH FL FFE
5TH FL FFE: B1	81		8,760 SF	134.5	34,397 SF	
Grand Total:	332		36,100 SF	556	142,883 SF	

KEYNOTES

- ALL DIMENSIONS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FINISH.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" FRENCH BASE MOLDING AT ALL WALLS.
- GRAB BARS AND FLOOR FINISHES TO FINISH.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE 100 AMP ELECTRIC SERVICE. THE SERVICE SHALL BE PROVIDED AT THE SERVICE LOCATION FROM THE MAIN ELECTRICAL SERVICE PANEL. THE SERVICE LOCATION SHALL BE PERMANENTLY MARKED AS FOR FUTURE SERVICE. CALL ORDER 411.4. ENERGY CODE TO THE APPLICABLE REQUIREMENTS.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A ROOM AT THE DESIGN TEMPERATURE.
- FIRE BLOTTING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM A RESISTIVE FIRE BARRIER BETWEEN STORED AREAS OF DIFFERENT FLOOR SPACE PER FLOOR.
- EDGE FLASHING TO BE 1/8" GALVANIZED SHEET METAL PAINTED TO MATCH FINISH.
- ROOFING MATERIAL TO BE GALVANIZED ROOFING SHEETS GALVANNEAL - RESISTIVE.
- ROOF TO HAVE A 3/8" SLOPE DRAINAGE OF AT LEAST 1/8" OR BOTH A 3/8" SLOPE AND A REFLECTANCE OF AT LEAST 0.8 AND A THERMAL EMITTANCE OF AT LEAST 0.9. SEE SPEC.
- IN CONCRETE CONSTRUCTION, REBAR SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORED AREAS OF DIFFERENT FLOOR SPACE PER FLOOR.
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- THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVELY TREATED IN ACCORDANCE WITH AREA OF THE SPECIFIED PRODUCT, PRESERVATIVE AND END USE, PRESERVATIVE SHALL BE SET IN ACCORDANCE WITH AREA.
- PROVIDE ANTI-CORROSION MEASURES PER 0511.18.
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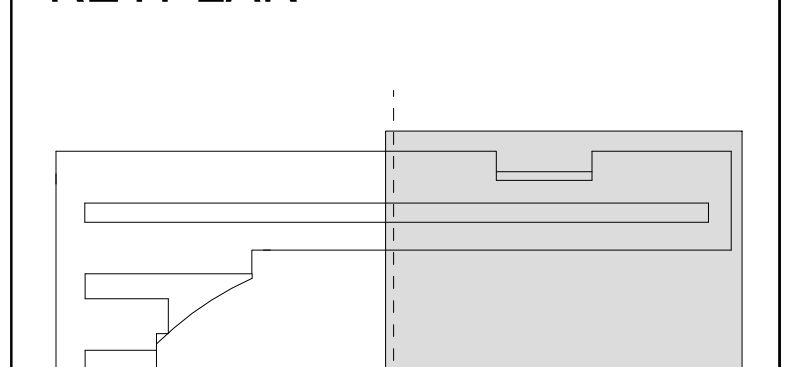
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LEGEND

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- NEW WALL, SEE A800 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A800 FOR WALL TYPE
- DOOR TAG, SEE A800 FOR DOOR TYPE
- WINDOW TAG, SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYPLAN



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

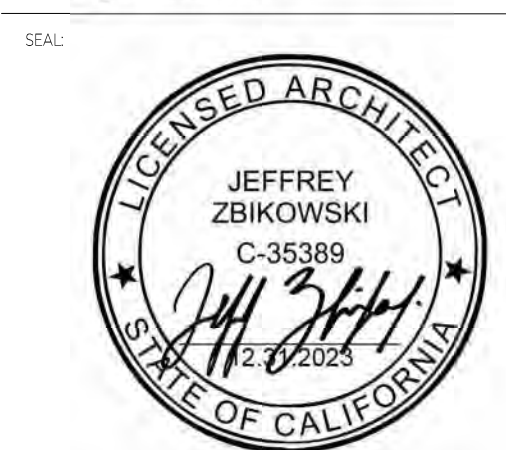
PRELIMINARY ZONING ASSESSMENT COMPLETE BY: MEGAN KOLP

DATE: 11/01/2024

APPLICATION #: 24010 - 10000 - 02159



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISION:

CLIENT NAME
William G. Ross and Joy A. Ross Survivor's Trust

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

DATE
2333

DATE
10.23.2024

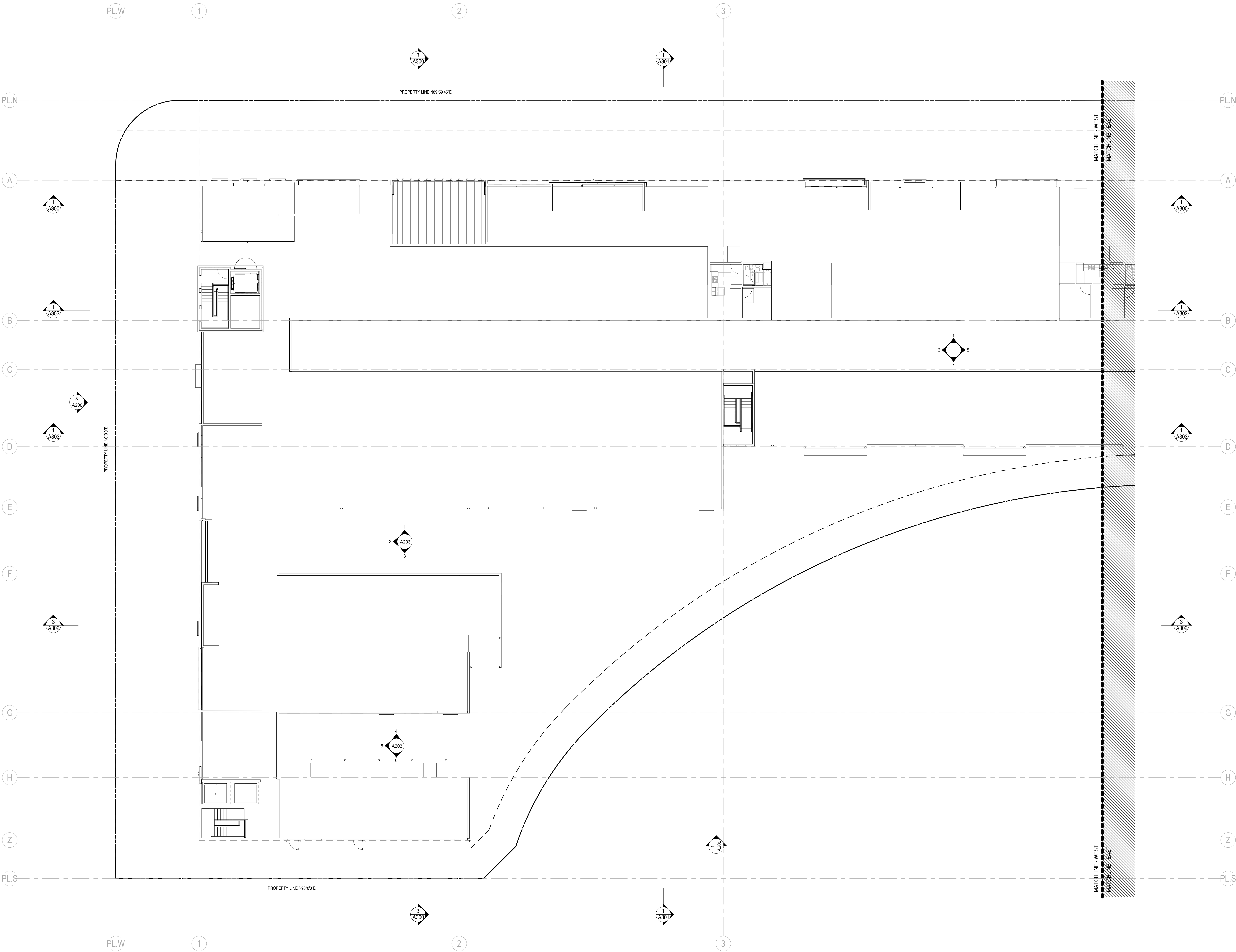
SHEET TITLE
5TH FLOOR PLANS - EAST

SHEET NUMBER
A152

PLANNING REVIEW



ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCHLA // 310.853.5004
 INFO@JZARCHLA



KEYNOTES

SHEET NOTES

- A. SMALL LOT SINGLE FAMILY SUBDIVISION IN THE RS-1XL ZONE PERSUANT TO ORDINANCE 17834
- B. ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTERLINE OF COLLARD, UNO.
- C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- D. SEE SPTS 6002-6046 FOR TYP ACCESSIBILITY REQUIREMENTS
- E. PROVIDE EXPANSION JOINTS AT ALL POINTS OF CONTACT BETWEEN SLAB AND VERTICAL SURFACES
- F. CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL DIVIDE THE SLAB ON GRADE INTO SECTIONS WITH AREAS NOT EXCEEDING 400SF (20' X 20') WITHOUT RE-ENTRANT CORNERS AND LENGTH TO WIDTH RATIO NOT EXCEEDING 1 TO 1. ADDITIONAL CONTROL OR CONSTRUCTION JOINTS SHALL BE PLACED AT RE-ENTRANT CORNERS.
- G. FLAT ROOF COVERING TO BE CLASS-A RATING, SIKKA SARNAPL S327 & G410, LARR 24802, CRPC PRODUCT ID 05142004
- H. SLOPED ROOF COVERING TO BE CLASS-A RATING, REDLAND CLAY ROOF TILE, LARR 25114 PRODUCT ID 2511 OLD SEDONA BLEND TWO-PIECE MISSION 2000 SERIES.
- I. ALL ROOF RUNOFF GRAINS TO THE PERMAVOID PLANTERS. SEE CIVIL DRAWINGS.

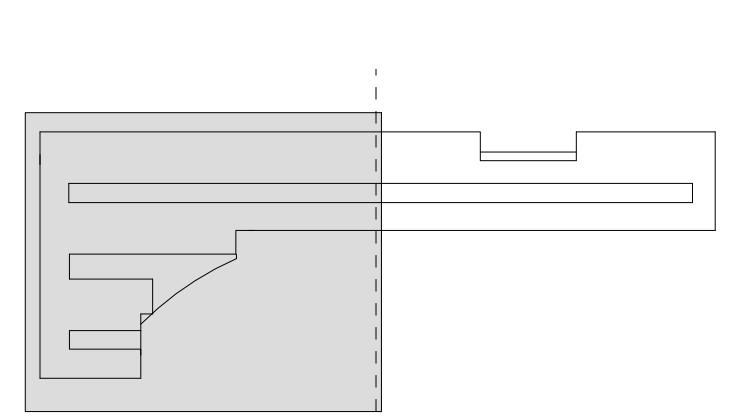
SOLAR ROOF EXEMPTION

- 1. "PROJECT SEEKS EXCEPTION 4 TO SECTION 110.108(B) FOR SOLAR AREA REQUIREMENT BY INSTALLING DEMAND RESPONSIVE THERMOSTATS (AS COMPLIANT IN EACH DWELLING UNIT, ENERGY STAR DISHWASHERS AND REFRIGERATORS." SEE APPLIANCE SPECS ON SHEET 0068.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A300 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A300 FOR WALL TYPE
- DOOR TAG, SEE A300 FOR DOOR TYPE
- WINDOW TAG, SEE A300 FOR WINDOW TYPE
- SMOKE DETECTOR
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- BATHROOM EXHAUST FAN

KEYPLAN



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLF
 DATE: 11/01/2024
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CLIENT NAME
William G. Ross and Joy A. Ross Survivor's Trust

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

SHEET NUMBER
 2333

DATE
 10.23.2024

SHEET TITLE
ROOF PLAN - WEST

SHEET NUMBER
A161

REVIEW LETTER
PLANNING REVIEW

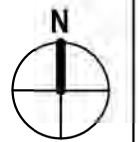
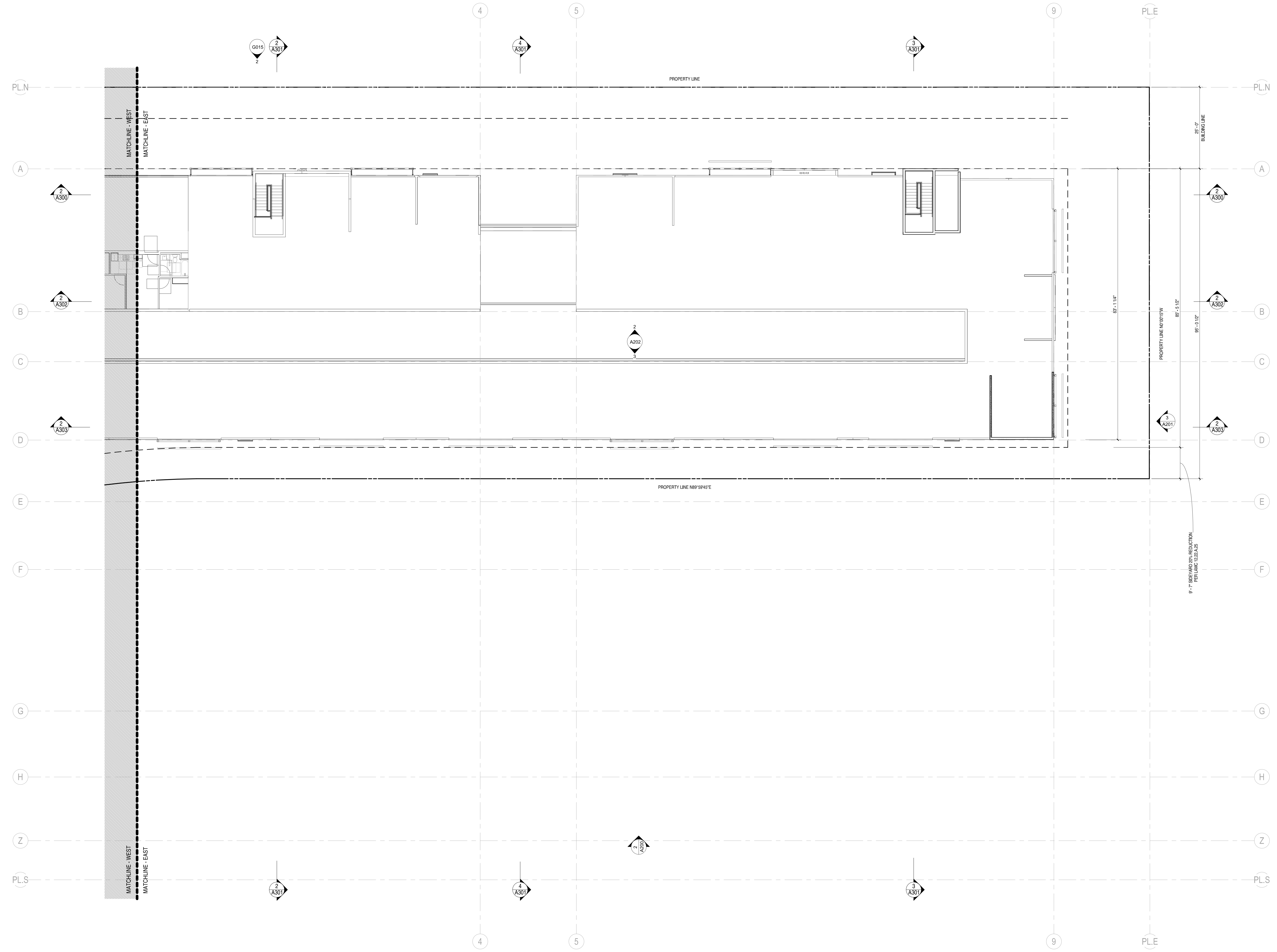
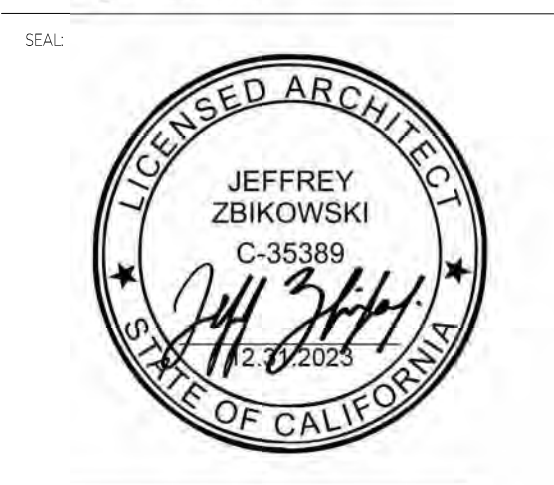


EXHIBIT "A"
 Page No. 24 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA



ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA



KEYNOTES

KEYNOTES

SHEET NOTES

- A. SMALL LOT SINGLE FAMILY SUBDIVISION IN THE RS-1XL ZONE PERMISSIBLE TO ORDINANCE 178354
- B. ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTERLINE OF COLLARD, UNO.
- C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- D. SEE SPTS 0202-0206 FOR TYP ACCESSIBILITY REQUIREMENTS
- E. PROVIDE EXPANSION JOINTS AT ALL POINTS OF CONTACT BETWEEN SLAB AND VERTICAL SURFACES
- F. CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL DIVIDE THE SLAB ON GRADE INTO SECTIONS WITH AREAS NOT EXCEEDING 400SF (20' X 20') WITHOUT RE-ENTRANT CORNERS AND LENGTH TO WIDTH RATIO NOT EXCEEDING 1 TO 1. ADDITIONAL CONTROL OR CONSTRUCTION JOINTS SHALL BE PLACED AT RE-ENTRANT CORNERS.
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- I. ALL ROOF RUNOFF DRAINS TO THE PERMAVOID PLANTERS. SEE CIVIL DRAWINGS.

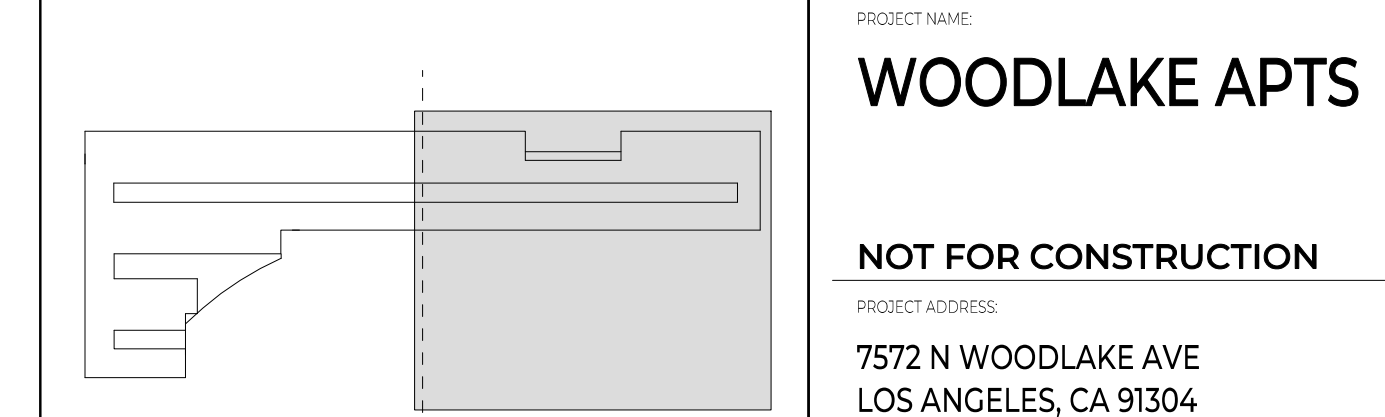
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- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYPLAN



CLIENT NAME
**William G. Ross and Joy A. Ross
 Survivor's Trust**

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

DATE
 10.23.2024

SHEET TITLE
ROOF PLAN - EAST

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 11/01/2024
 APPLICATION # 24010 - 10000 - 02159

A162

PLANNING REVIEW

KEYNOTES



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS 'CLY' ARE FROM FINISH TO FINISH.
- C. ENVIRONMENTAL EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

EXHIBIT "A"

Page No. 25 of 32

Case No. ADM-2024-5202-DB-PHP-VHCA

MATERIALS

- CAST IN PLACE CONCRETE
- EXTERIOR WHITE PLASTER AND LATH
- DARK COLOR STOREFRONT SYSTEM
- BLACK VINYL WINDOW



SOUTH ELEVATION - PART 1 (WEST) 3/32" = 1'-0" 1



SOUTH ELEVATION - PART 2 (EAST) 3/32" = 1'-0" 2



WEST ELEVATION 3/32" = 1'-0" 3

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CLIENT NAME
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Survivor's Trust**

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

DATE
2333

DATE
10.23.2024

SHEET TITLE
ELEVATIONS



SHEET NUMBER
A200

PLANNING REVIEW

LADBS STAMP



NORTH ELEVATION - PART 1 (EAST) 3/32" = 1'-0" 1



NORTH ELEVATION - PART 2 (WEST) 3/32" = 1'-0" 2



EAST ELEVATION 3/32" = 1'-0" 3

KEYNOTES

SHEET NOTES

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B. ALL DIMENSIONS INDICATED AS 'CLY' ARE FROM FINISH TO FINISH.

C. ENVIRONMENTAL EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

EXHIBIT "A"
 Page No. 26 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA

- MATERIALS**
- CAST IN PLACE CONCRETE
 - EXTERIOR WHITE PLASTER AND LATH
 - DARK COLOR STOREFRONT SYSTEM
 - BLACK VINYL WINDOW

JZA ARCHITECTURE

ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA / 310.853.5004
 INFO@JZARCH.LA

REALTOR

JEFFREY ZBIKOWSKI
 C-35386
 10/23/2024
 STATE OF CALIFORNIA

ISSUED BY: JEFF ZBIKOWSKI ARCHITECTURE

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE INDICATED BY THESE DRAWINGS AND THE PROPERTY AND COMPASSION OF THE PROJECT AND ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES WITHOUT IMPAIRING THE QUALITY OF THE WORK.

CLIENT NAME
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 Survivor's Trust**

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

ADDRESS
 7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

NO. SHEETS
 2333

DATE
 10.23.2024

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A201

DRAWING SET TITLE
PLANNING REVIEW

DATE
 10/23/2024 10:34:54 AM

FOR REFERENCE ONLY

KEYNOTES



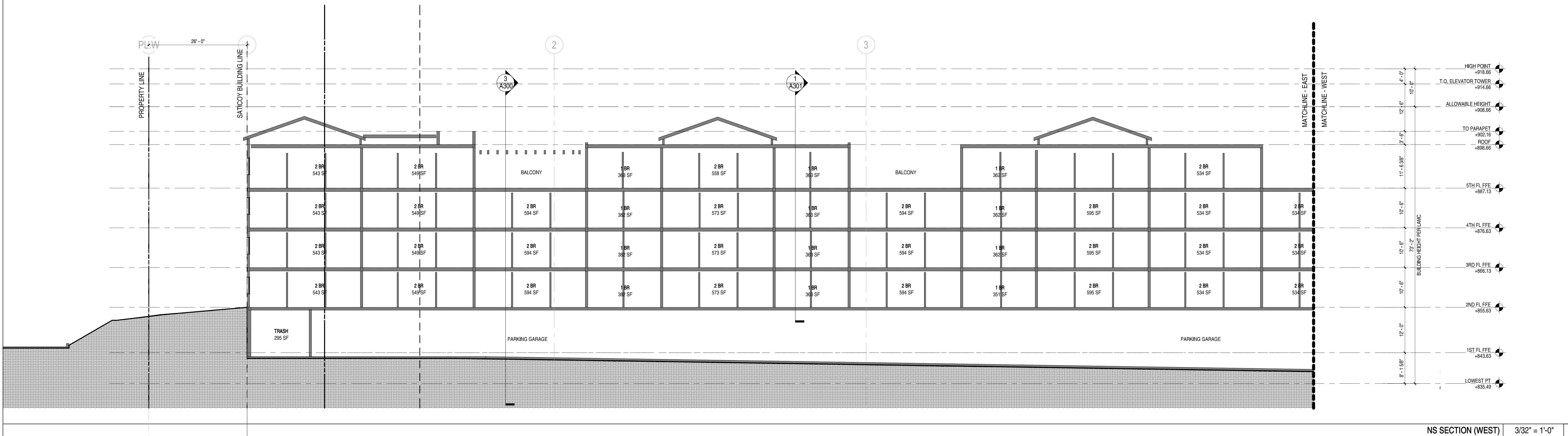
ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCHLA // 310.853.5004
INFO@JZARCHLA



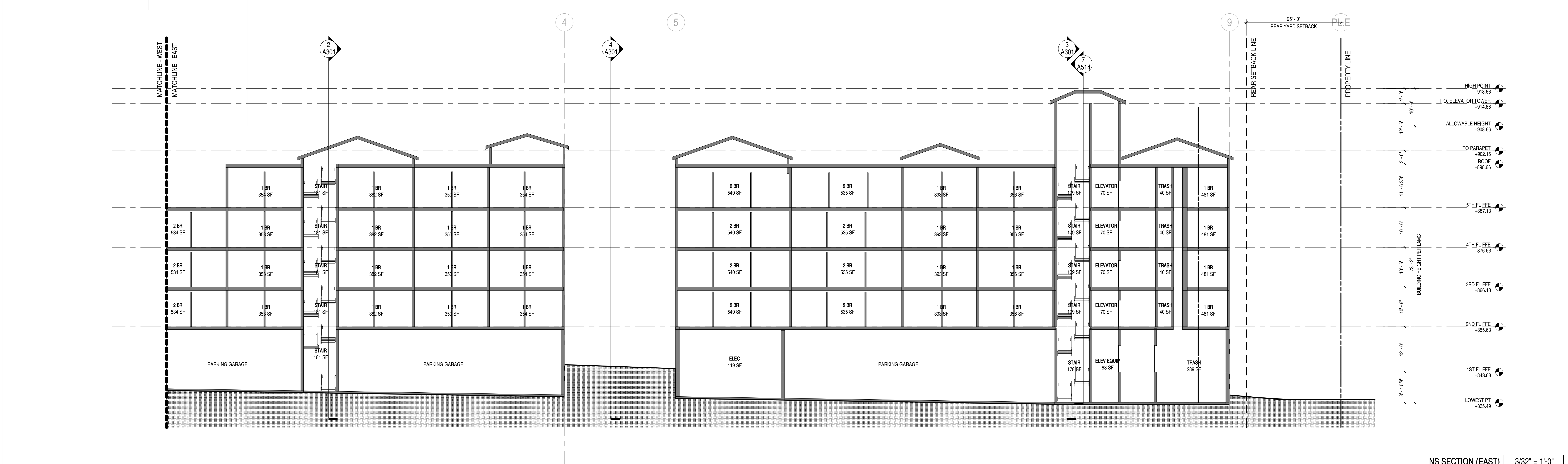
SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNL.
- B. ALL DIMENSIONS INDICATED AS 'CLY' ARE FROM FINISH TO FINISH.
- C. ENVIRONMENTAL EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

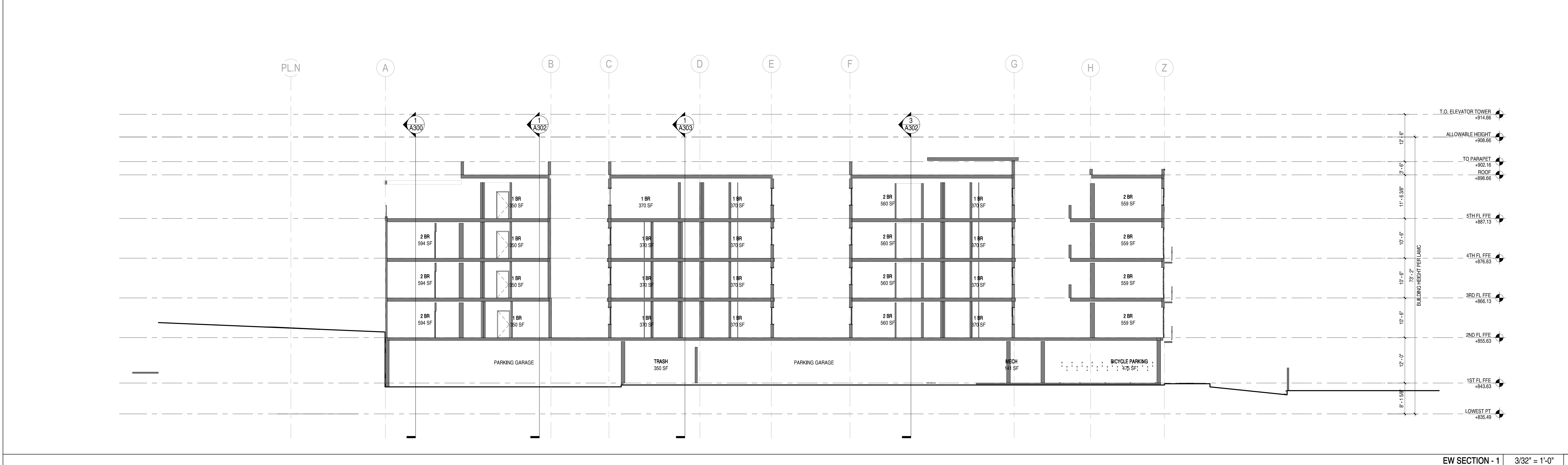
EXHIBIT "A"
Page No. 27 of 32
Case No. ADM-2024-5202-DB-PHP-VHCA



NS SECTION (WEST) 3/32" = 1'-0" 1



NS SECTION (EAST) 3/32" = 1'-0" 2



EW SECTION - 1 3/32" = 1'-0" 3

ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNL. ALL DIMENSIONS INDICATED AS 'CLY' ARE FROM FINISH TO FINISH. ENVIRONMENTAL EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

CLIENT NAME
William G. Ross and Joy A. Ross
Survivor's Trust

PROJECT NAME
WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
LOS ANGELES, CA 91304

310 NUMBER
2333

DATE
10.23.2024

SHEET TITLE
BUILDING SECTIONS

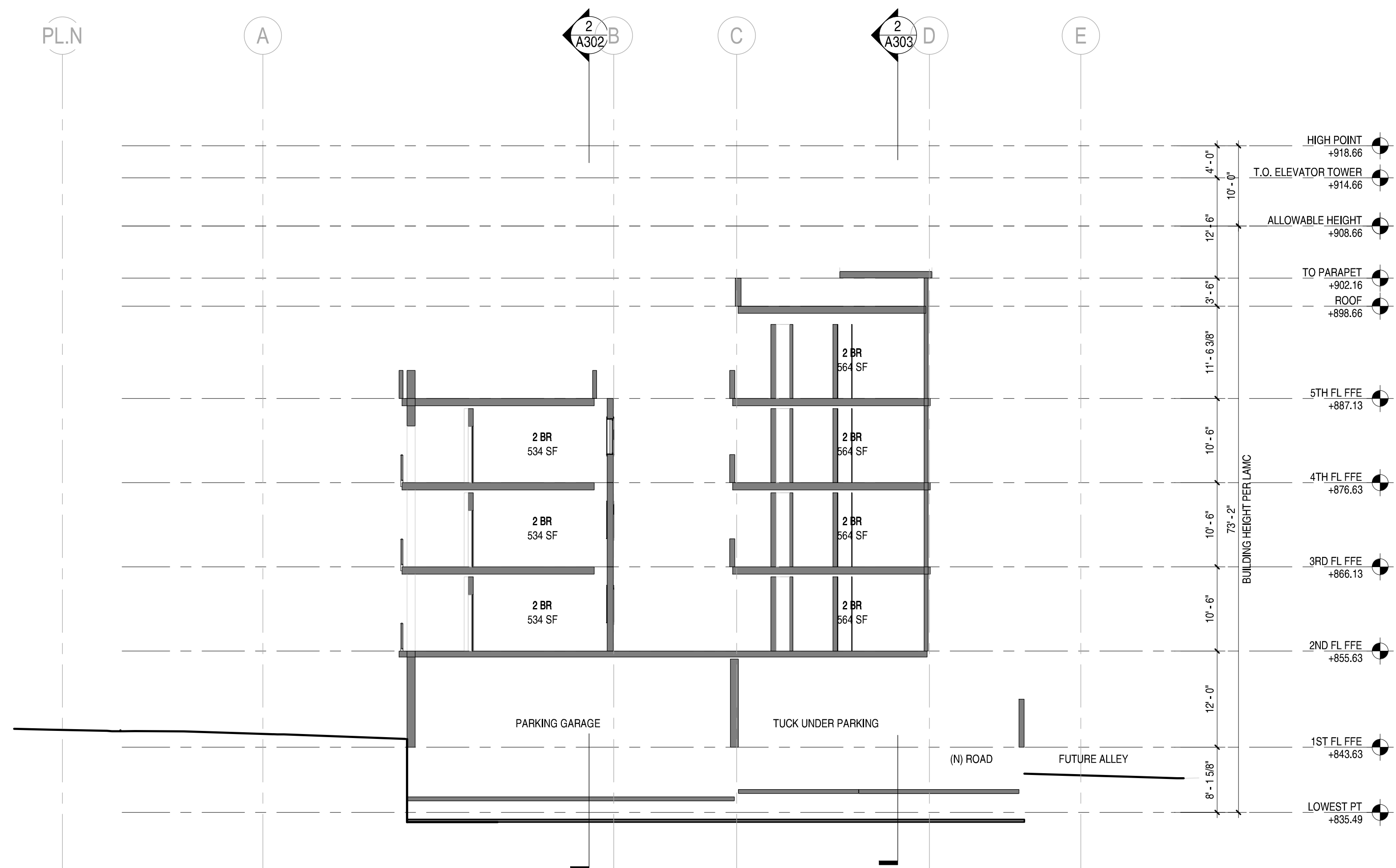
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DRAWING TYPE
PLANNING
REVIEW

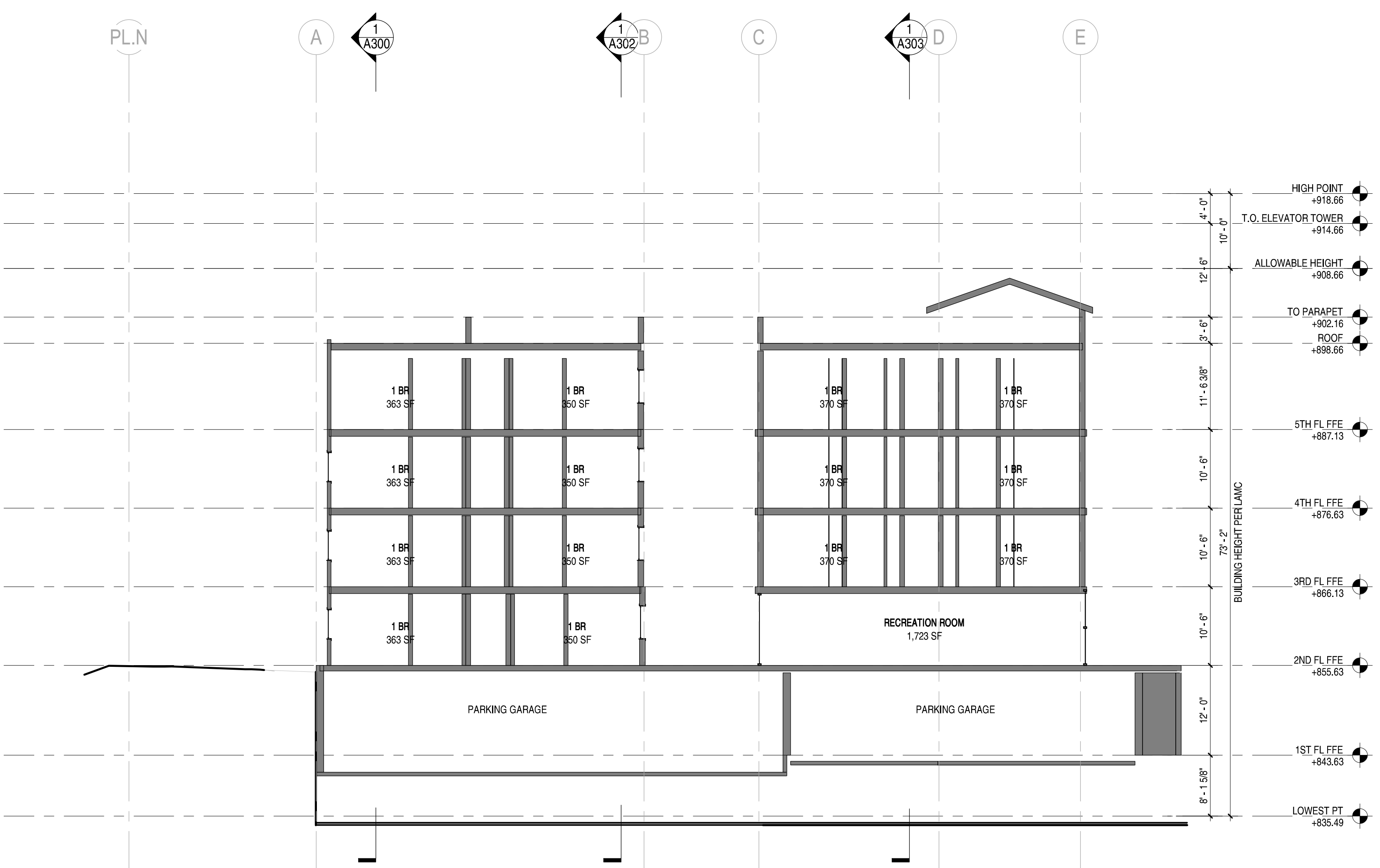
DATE
10/23/2024 10:23 AM

FOR REFERENCE ONLY

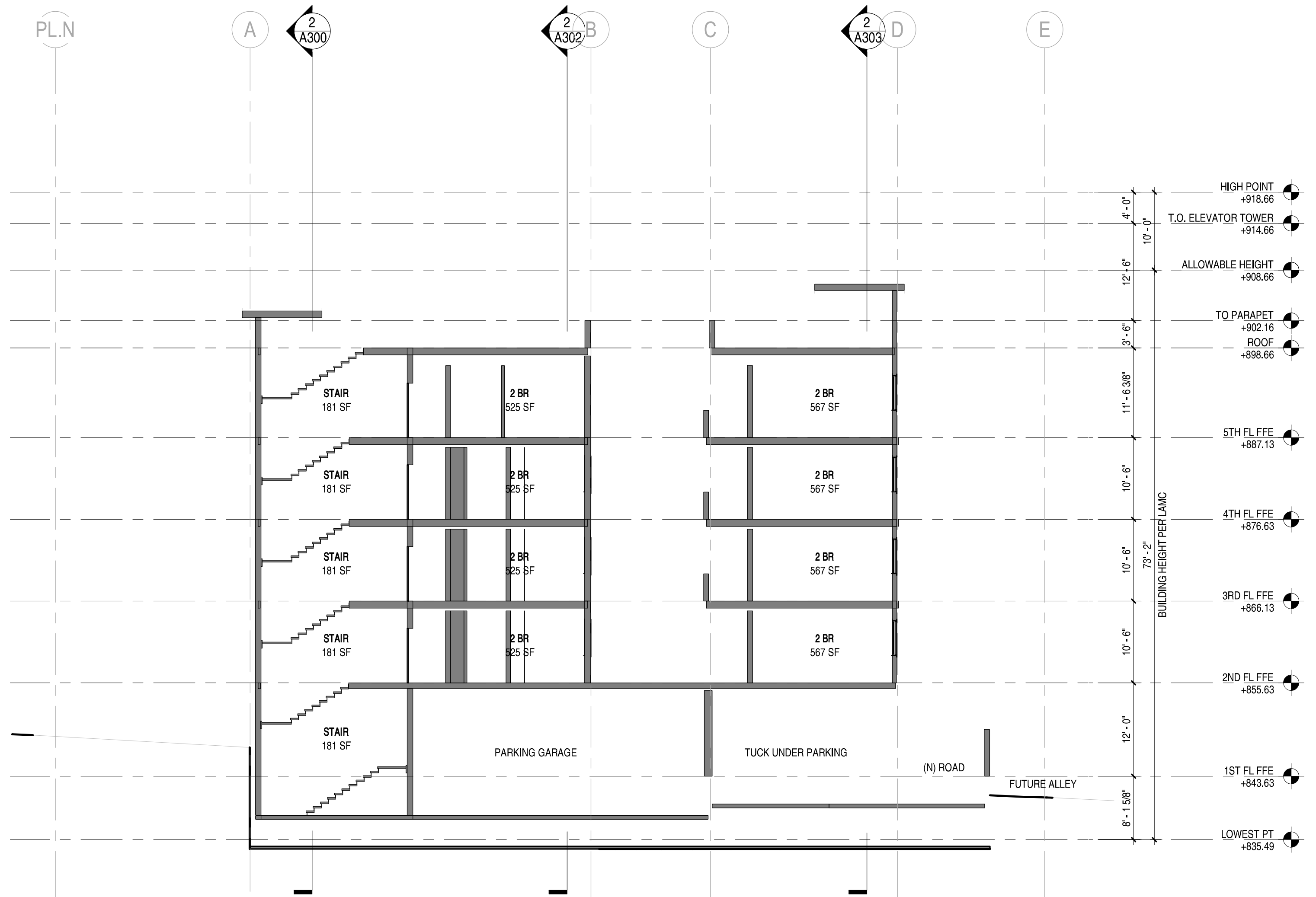
LADBS STAMP



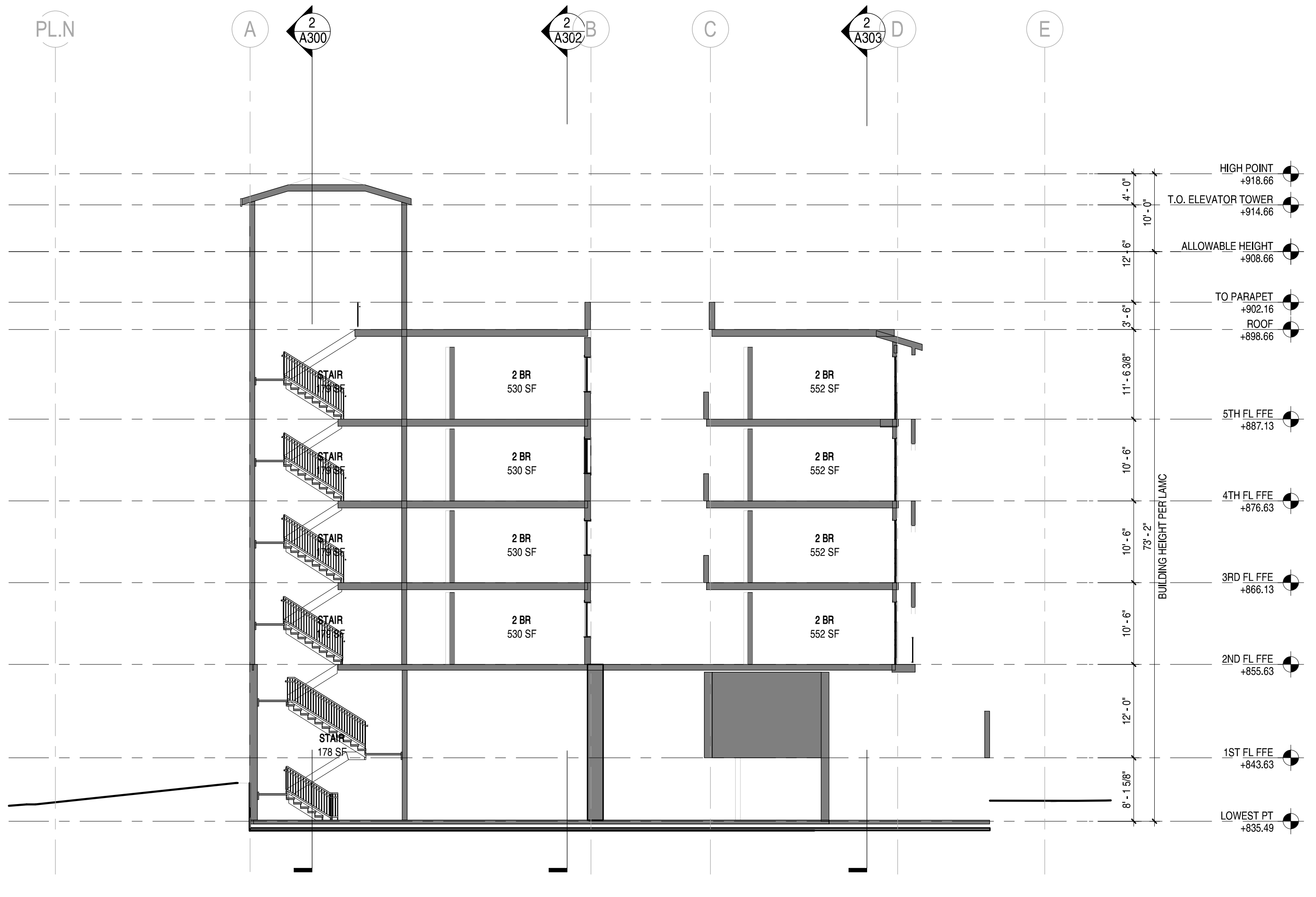
EW SECTION - 4 3/32" = 1'-0" 4



EW SECTION - 2 3/32" = 1'-0" 1



EW SECTION - 3 3/32" = 1'-0" 2



EW SECTION - 5 3/32" = 1'-0" 3

KEYNOTES

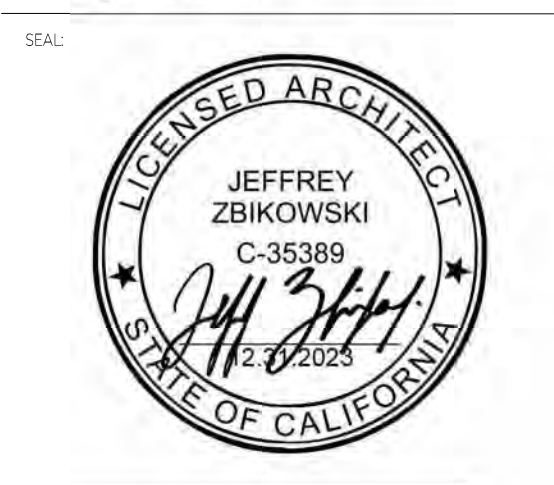
SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL, UNLESS NOTED OTHERWISE.
- B. ALL DIMENSIONS INDICATED AS 'CL' ARE FROM FINISH TO FINISH.
- C. ENVIRONMENTAL EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

EXHIBIT "A"
 Page No. 28 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA



ARCHITECT
 JEFF ZBIKOWSKI ARCHITECTURE
 4043 IRVING PL, SUITE B
 CULVER CITY, CA 90232
 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA



REVISIONS

ALL DIMENSIONS ARE TO FACE UNLESS INDICATED OTHERWISE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY DIMENSIONS OR FOR THE CONSTRUCTION OF THE PROJECT WITHOUT THE SUPERVISION OF THE ARCHITECT.

CLIENT NAME
 William G. Ross and Joy A. Ross
 Survivor's Trust

PROJECT NAME
 WOODLAKE APTS

NOT FOR CONSTRUCTION

7572 N WOODLAKE AVE
 LOS ANGELES, CA 91304

310 NUMBER
 2333

DATE
 10.23.2024

SHEET TITLE
 BUILDING SECTIONS

SHEET NUMBER
 A301

PLANNING REVIEW

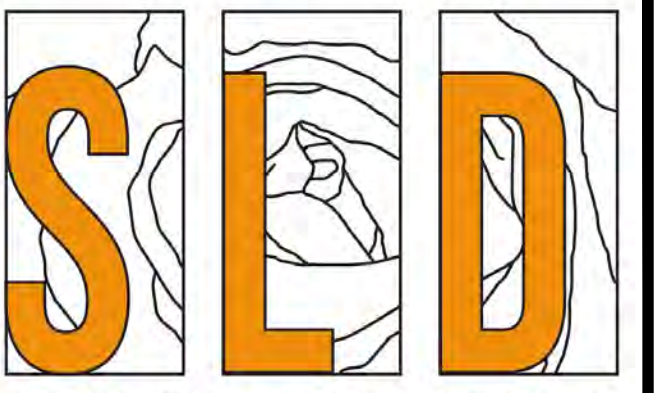
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FOR REFERENCE ONLY

WOODLAKE APARTMENTS

7572 N WOODLAKE AVE, WEST HILLS, CA 91304

APN #2021-002-013



SAVAGE LAND DESIGN
Landscape Architecture • Land Planning • Design

680 Langsdorf Drive, Suite 202B, Fullerton, CA 92831
PHONE: 714-878-0335
EMAIL: michael@savagelanddesign.com

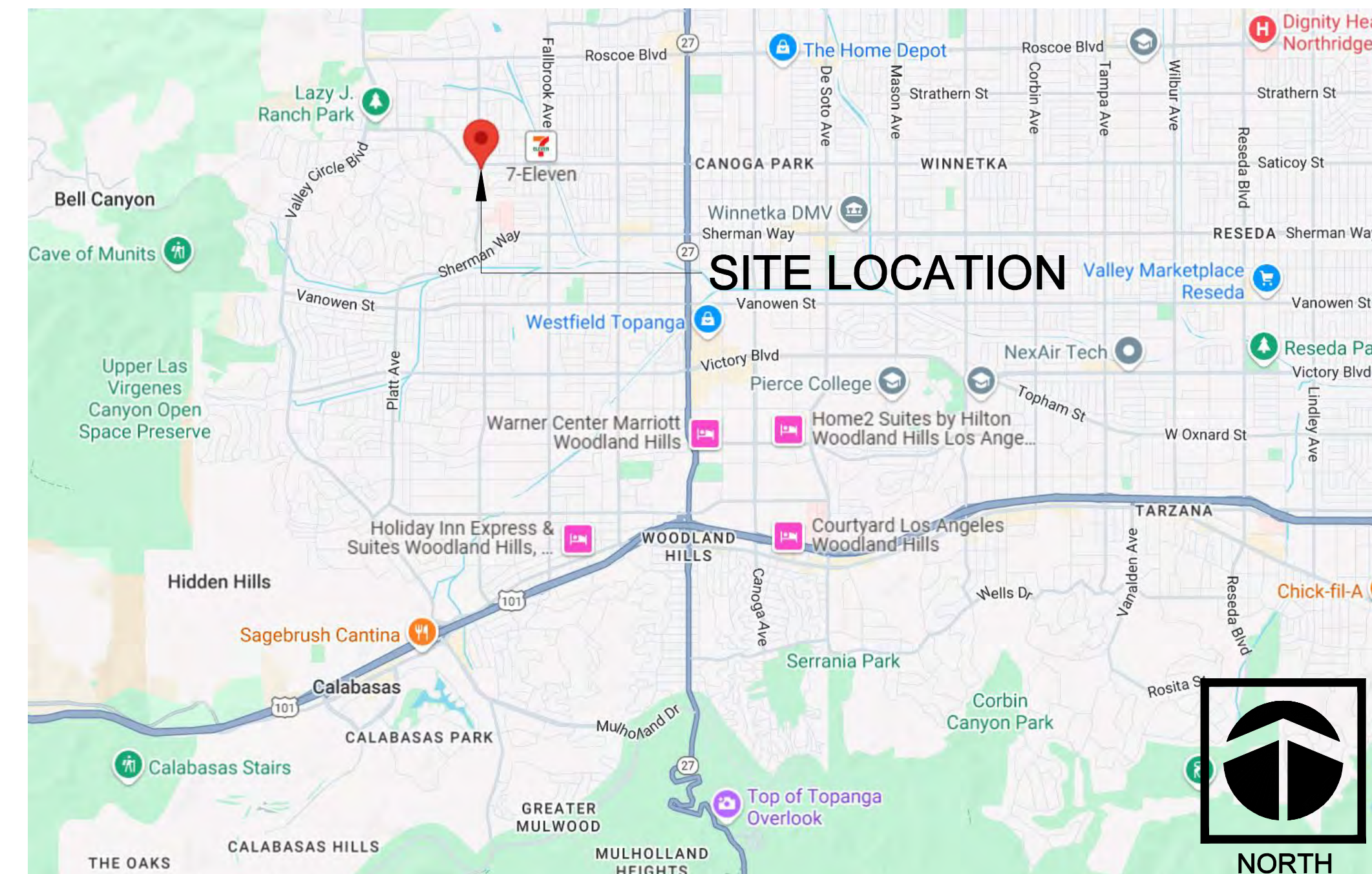
LANDSCAPE ARCHITECT

SAVAGE LAND DESIGN
680 LANGSDORF DRIVE, SUITE 202B
FULLERTON, CA 92831

CONTACT: MICHAEL SAVAGE, RLA#4397

714-878-0335
MICHAEL@SAVAGELANDDESIGN.COM

VICINITY MAP



SHEET INDEX

CS-0	COVERSHEET	1 OF 4
PLP-1	PRELIMINARY LANDSCAPE PLAN	2 OF 4
PLP-2	PRELIMINARY LANDSCAPE PLAN	3 OF 4
TR-1	TREE REMOVAL & MITIGATION PLAN	4 OF 4

EXHIBIT "A"
Page No. 29 of 32
Case No. ADM-2024-5202-DB-PHP-VHCA

WOODLAKE APARTMENTS
7572 N WOODLAKE AVE,
WEST HILLS, CA 91304

GENERAL NOTES

- ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5 FEET AND FOR SHORING AND UNDERPINNING.
- A LICENSED SURVEYOR SHALL PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND ON A WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.
- IN LIEU OF SPECIAL INSPECTION BY THE DEPUTY BUILDING INSPECTOR, THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.
- THE CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 0 DAYS PRIOR TO STARTING THE SHORING AND EXCAVATION WORK

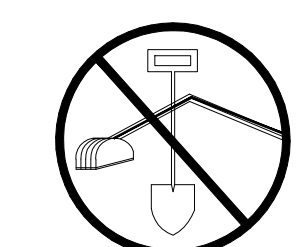
LANDSCAPE POINT SYSTEM	
SQUARE FOOTAGE OF SITE (PER SURVEY)	95,783 SF
POINTS REQUIRED + 10%	55 POINTS
FEATURES/TECHNIQUES	
USE CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO) IN A MAJORITY OF LANDSCAPE AREAS	5
MAIN FINISH ELEVATION OF STRUCTURE, AT AN ELEVATION OR ABOVE OR BELOW THE FINISH ELEVATION OF THE SIDEWALK, SUCH THAT A STRAIGHT LINE PERPENDICULAR TO A STRAIGHT STREET OR RADIIALLY TO A CURVED STREET, LEADING DIRECTLY TO THE MAIN PEDESTRIAN ENTRANCE OF THE STRUCTURE, IS HANDICAP ACCESSIBLE.	5
PARKWAY PLANTING, INCLUDING MEDIANS, NOT OTHERWISE CREDITED, NOT LAWN AREA (1948 SF)	117
CONSERVATION OF EXISTING NATIVE TREES (1)	3
TOTAL POINTS PROVIDED	130
WATER MANAGEMENT POINT SYSTEM	
SQUARE FOOTAGE OF SITE	95,783 SF
POINTS REQUIRED	600 POINTS
POINTS PROVIDED	TBD
DRIP IRRIGATION WITH FLOW CONTROL (TBD)	
AUTOMATIC IRRIGATION CONTROLLER	5
PLANTS:	
68 CRASSULA CAPITELLA 'CAMPFIRE'	136
300 JUNCUS PATENS	600
125 ARBUTUS UNEDO COMPACTA	250
TOTAL POINTS PROVIDED	991
SITE AREA: 95,783 SQ FT	
BUILDING FOOTPRINT: 52,233 SQ FT	
POTENTIAL LANDSCAPE AREA: 43,550 SQ FT	
LANDSCAPE PROVIDED: 24,659 SQ FT	

TOTAL LANDSCAPE AREA = 24,659 SF
(GROUND LEVEL AND ROOFTOP)

TOTAL COMMON OPEN SPACE AREA = 28,880 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA REQUIRED (25%) = 7,220 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA PROVIDED = 11,824.8 SF

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.



Underground Service Alert

CALL TOLL FREE 1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

No.	Revision / Issue	Date



COVERSHEET

Date: 11-08-24
Sheet: 1 of 4
CS-0

COMMON OPEN SPACE CALCULATIONS

PROJECT SEEKS A 20% REDUCTION PER LAMC 12.22.A.25

MINIMUM REQUIRED COMMON OPEN SPACE
LANDSCAPE AREA: 25% OF COMMON OPEN SPACE

COMMON OPEN SPACE AREA: 28,880 SF
 GROUND FLOOR: 13,562 SF
 SECOND FLOOR: 12,980 SF
 FIFTH FLOOR: 2,338 SF
 LANDSCAPE AREA REQUIRED: 7,220 SF
 LANDSCAPE AREA PROVIDED: 11,824.8 SF
 GROUND FLOOR: 8,607.1 SF
 SECOND FLOOR: 2,968.3 SF
 FIFTH FLOOR: 249.4 SF

TREE CALCULATIONS

(1) 24" BOX TREE PER 4 DWELLING UNITS

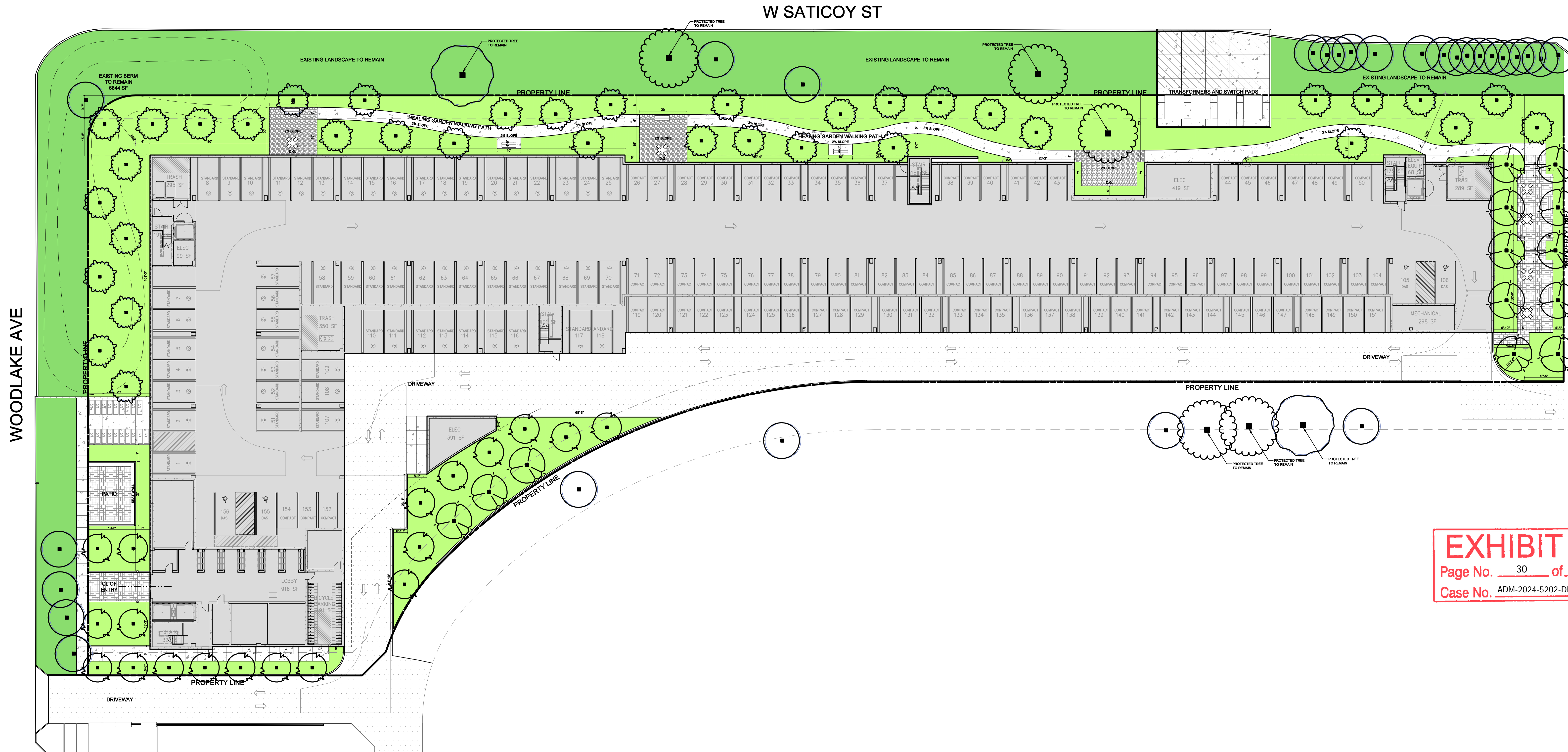
NUMBER OF DWELLING UNITS: 332
 TREES REQUIRED: 83 TREES
 TREES PROVIDED: 83 TREES
 GROUND FLOOR: 69 TREES
 2ND FLOOR: 6 TREES
 5TH FLOOR: 8 TREES

(1) TREE PER 500 FRONT YARD LANDSCAPE AREA

FRONT YARD LANDSCAPE AREA: 5,971 SF
 TREES REQUIRED: 12 TREES
 TREES PROVIDED: 14 TREES

GROUND PLANTING LEGEND

SYMBOL	DESCRIPTION	SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY
SHRUBS						
○	DIANELLA REVOLUTA 'LIL REV'	LIL REV FLAX LILY	1 GAL @ 2' O.C.	300	L 18-24" X 18-4"	1-3 YRS
○	SALVIA GREGGII	AUTUMN SAGE	5 GAL @ 3' O.C.	125	L 3' X 3'	1-3 YRS
○	PHORMIUM 'GOLDEN RAY'	GOLDEN RAY NEW ZEALAND FLAX	5 GAL @ 4' O.C.	30	L 1-2' X 1-2'	1-3 YRS
○	SENECIO SERPENS	BLUE CHALKSTICKS	1 GAL @ 12" O.C.	300	L 12" X 2-3"	1-2 YRS
○	NANDINA DOMESTICA 'AKA'	NANDINA BLUSH PINK	1 GAL @ 2' O.C.	75	L 2' X 2'	1-3 YRS
○	LANTANA CAMARA 'GOLD MOUND'	GOLD MOUND LANTANA	1 GAL @ 4' O.C.	75	L 2-3' X 3-4'	1-3 YRS
○	CISTUS X HYBRIDUS	WHITE ROCKROSE	5 GAL @ 4' O.C.	125	L 2-4' X 4'	2-4 YRS
○	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL @ 3' O.C.	125	L 4-6' X 4-6'	2-4 YRS
○	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	CREEPING MYOPORUM	5 GAL @ 5' O.C.	300	L 1-2' X 8'	1-3 YRS
○	SALVIA 'BEE'S BLISS'	BEE'S BLISS SAGE	5 GAL @ 4' O.C.	200	L 1-3' X 5-6'	2-4 YRS
PROPOSED TREES						
○	ACACIA STENOPHYLLA	SHOESTRING ACACIA	24" BOX	18	L 20-40' X 15-25'	10-15 YRS
○	MELALEUCA QUINQUENERVIA	PAPER BARK TREE	24" BOX	14	L 20-40' X 15-25'	10-15 YRS
○	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	37	M 30-50' X 10-30'	10-15 YRS
EXISTING TREES						
○	(E) PROTECTED TREE TO REMAIN	NATIVE OAK TREE		2		
○	(E) PROTECTED TREE TO REMAIN	BLACK WALNUT TREE		5		
○	(E) NON-PROTECTED TREE TO REMAIN			26		



GROUND FLOOR PLAN



SAVAGE LAND DESIGN
 Landscape Architecture • Land Planning • Design
 880 Langsdorf Drive, Suite 202B, Fullerton, CA 92831
 PHONE: 714-978-0335
 EMAIL: michael@savagelanddesign.com

WOODLAKE APARTMENTS
 7572 N WOODLAKE AVE,
 WEST HILLS, CA 91304

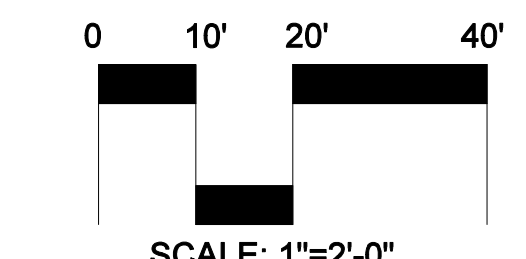
No.	Revision / Issue	Date

EXHIBIT "A"
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 Case No. ADM-2024-5202-DB-PHP-VHCA



PRELIMINARY
 LANDSCAPE
 PLAN

Date: 11-08-24
 Scale: 1" = 20'-0"
 Sheet: 2 of 4
 PLP-1





SAVAGE LAND DESIGN
Landscape Architecture • Land Planning • Design

680 Langsdorf Drive, Suite 202B, Fullerton, CA 92831
PHONE: 714-978-0335
EMAIL: michael@savagelanddesign.com

EXHIBIT "A"
Page No. 31 of 32
Case No. ADM-2024-5202-DB-PHP-VHCA

WOODLAKE APARTMENTS
7572 N WOODLAKE AVE,
WEST HILLS, CA 91304

No.	Revision / Issue	Date



PRELIMINARY
LANDSCAPE
PLAN

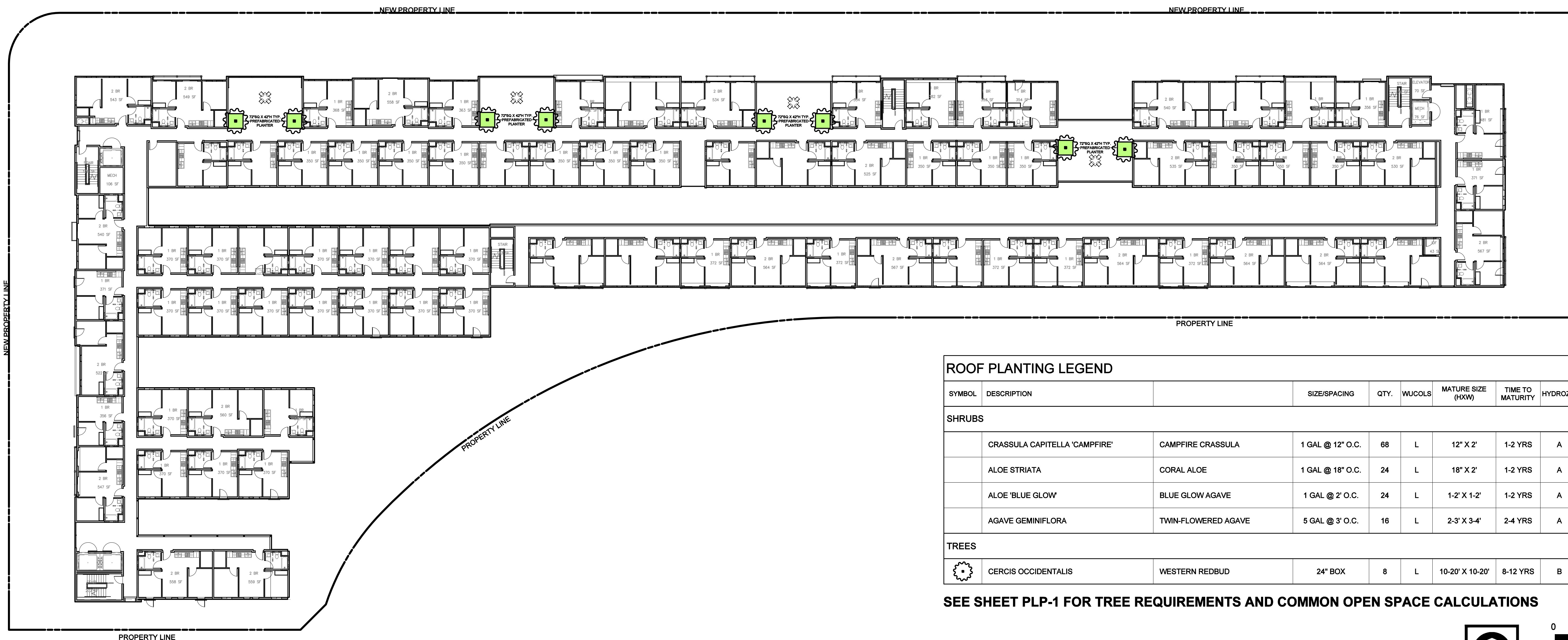
Date	11-08-24	Sheet	PLP-2
Scale	1" = 20'-0"		
	3 of 4		



2ND FLOOR PLANTING LEGEND								
SYMBOL	DESCRIPTION		SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY	HYDROZ.
SHRUBS								
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL @ 2' O.C.	300	L	1-2' X 1-2'	1-2 YRS	A
	SANSEVIERIA TRIFASCIATA	SNAKE PLANT	5 GAL @ 2' O.C.	200	L	2-4' X 1-2'	1-3 YRS	A
	ALOE 'BLUE ELF'	BLUE ELF AGAVE	1 GAL @ 18" O.C.	300	L	1-2' X 1-2'	1-2 YRS	A
	BULBINE FRUTESCENS 'HALLMARK'	ORANGE STALKED BULBINE	1 GAL @ 2' O.C.	200	L	1-2' X 3'	1-3 YRS	A
	AGAVE GEMINIFLORA	TWIN-FLOWERED AGAVE	5 GAL @ 3' O.C.	50	L	2-3' X 3-4'	2-4 YRS	A
TREES								
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	6	L	10-20' X 10-20'	8-12 YRS	B

SEE SHEET PLP-1 FOR TREE REQUIREMENTS AND COMMON OPEN SPACE CALCULATIONS

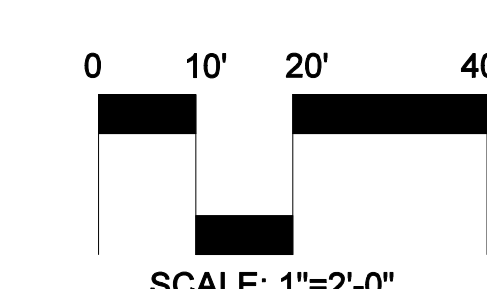
2ND FLOOR PLAN



ROOF PLANTING LEGEND								
SYMBOL	DESCRIPTION		SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY	HYDROZ.
SHRUBS								
	CRASSULA CAPITELLA 'CAMPFIRE'	CAMPFIRE CRASSULA	1 GAL @ 12" O.C.	68	L	12" X 2"	1-2 YRS	A
	ALOE STRIATA	CORAL ALOE	1 GAL @ 18" O.C.	24	L	18" X 2"	1-2 YRS	A
	ALOE 'BLUE GLOW'	BLUE GLOW AGAVE	1 GAL @ 2' O.C.	24	L	1-2' X 1-2'	1-2 YRS	A
	AGAVE GEMINIFLORA	TWIN-FLOWERED AGAVE	5 GAL @ 3' O.C.	16	L	2-3' X 3-4'	2-4 YRS	A
TREES								
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	8	L	10-20' X 10-20'	8-12 YRS	B

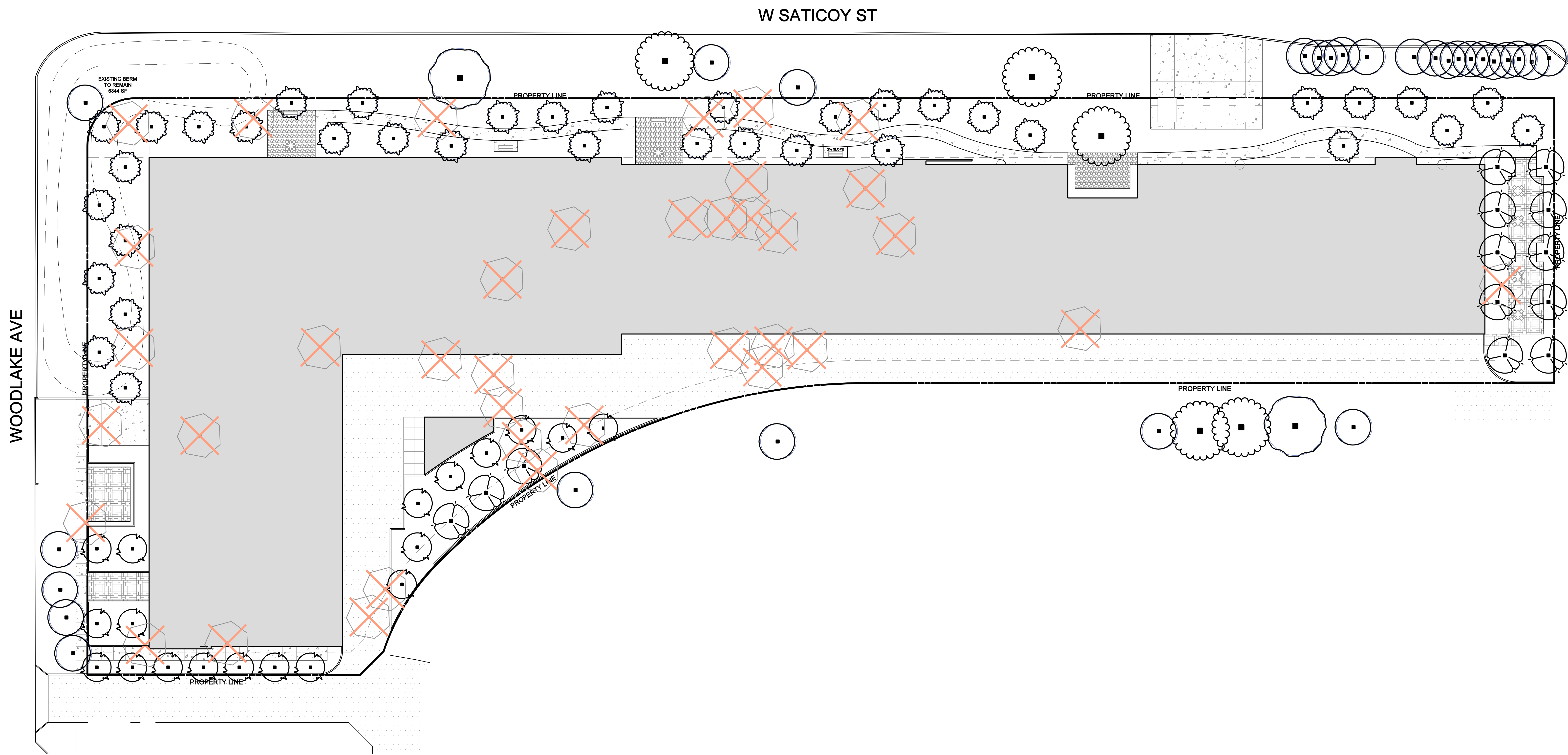
SEE SHEET PLP-1 FOR TREE REQUIREMENTS AND COMMON OPEN SPACE CALCULATIONS

5TH FLOOR PLAN

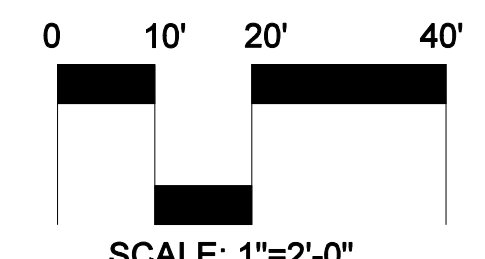


TREE LEGEND							
SYMBOL	DESCRIPTION		SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY
EXISTING TREES							
	(E) PROTECTED TREE TO REMAIN	NATIVE OAK TREE		2			
	(E) PROTECTED TREE TO REMAIN	BLACK WALNUT TREE		5			
	(E) NON-PROTECTED TREE TO REMAIN			27			
	(E) NON-PROTECTED TREE TO BE REMOVED			37			
REPLACEMENT TREES							
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	24" BOX	18	L	20-40' X 15-25'	10-15 YRS
	MELALEUCA QUINQUENERVIA	PAPER BARK TREE	24" BOX	14	L	20-40' X 15-25'	10-15 YRS
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	37	M	30-50' X 10-30'	10-15 YRS

EXHIBIT "A"
 Page No. 32 of 32
 Case No. ADM-2024-5202-DB-PHP-VHCA



GROUND FLOOR PLAN



SLD
 SAVAGE LAND DESIGN
 Landscape Architecture • Land Planning • Design
 880 Langsdorf Drive, Suite 202B, Fullerton, CA 92831
 PHONE: 714-878-0335
 EMAIL: michael@savagelanddesign.com

WOODLAKE APARTMENTS
 7572 N WOODLAKE AVE,
 WEST HILLS, CA 91304

No.	Revision / Issue	Date

LICENSED LANDSCAPE ARCHITECT
 Michael Savage, LIC No. 13017

 Signature
 11-08-24
 Date
 Exp. Date: 5/31/25
 STATE OF CALIFORNIA

TREE REMOVAL & MITIGATION PLAN

Date	11-08-24	Sheet	TR-1
Scale	1" = 20'-0"		
	4 of 4		

DEPARTMENT OF
CITY PLANNING
COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

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MICHAEL R. NEWHOUSE
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CALIFORNIA



KAREN BASS
MAYOR

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200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

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DEPUTY DIRECTOR

HAYDEE URITA-LOPEZ
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

Date: December 5, 2024

APPLICANT

Jeff Zbikowski
JZ Development LLC
4043 Irving Place, Suite B
Culver City, CA 90232

OWNER

Jill Ross Meer and
Ron William Ross as
Co-Trustees of the William G.
Ross and Joy A. Ross
Survivor's Trust
7556 Woodlake Ave.

West Hills, CA 91304

REPRESENTATIVE

Jeff Zbikowski
JZA
4043 Irving Place, Suite B
Culver City, CA 90232

Case No.: ADM-2024-5202-DB-PHP-VHCA

Related Cases: PAR-2024-4645-VHCA
PAR-2024-3365-AHRF-PHP

CEQA: N/A

Location: 7556-7572 N. Woodlake Ave.

Council District: 12 - Lee

Neighborhood Council: West Hills

Community Plan Area: Canoga Park-Winnetka-
Woodland Hills-West Hills

Land Use Designation: Low Residential

Zone: A2-1

Legal Description: FR 208, TR 21391

**LAST DAY TO FILE AN
APPEAL:** December 20, 2024

LETTER OF COMPLIANCE – MINISTERIAL ON-MENU DENSITY BONUS

Pursuant to California Government Code Section 65915, and Los Angeles Municipal Code (LAMC) Section 12.22 A.25, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

DETERMINE, based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to Government Code Section 65915(f)(5) and (j)(1) and California Public Resources Code Section 21080(b)(1); and

APPROVE a Density Bonus Compliance Review for a 100% Affordable Housing Development (as defined in California Government Code Section 65915(b)(1)(C) and (G)), for a project totaling 332 units in a senior citizen housing development, reserving one Manager's Unit, 66 units set aside for Moderate Income Household occupancy, and 265

units set aside for Low Income Household occupancy for a period of 55 years. As the project has requested a waiver from maximum controls on density, the project is allowed five incentives and one waiver pursuant to California Government Code Section 65915(e)(3) and the following are granted:

- 1. Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required north side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.
- 2. Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required south side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the required 11 feet 11 and $\frac{3}{4}$ inches.
- 3. Open Space (On-Menu Incentive).** An up to 20 percent decrease in the required open space, allowing a minimum of 28,800 square feet of open space in lieu of the required 36,100 square feet of open space.

CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped “**Exhibit A,**” and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Valley Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 332 units in a senior citizen housing development per “**Exhibit A.**” Pursuant to California Government Code Sections 65915(o), the project is located within Very Low Vehicle Travel Area, and the project is allowed unlimited density.
3. **On-Site Restricted Affordable Units.** Sixty-six units shall be reserved for Moderate Income Household occupancy and 265 units shall be reserved for Low Income Household occupancy, as defined by California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to reserve 100 percent of the units for affordable senior housing with 265 units available for Low Income Household occupancy and 66 units available for Moderate Income Household occupancy, or equal to 100 percent of the project’s total proposed residential density allowed, exclusive of one Manager’s Unit, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD.

Unless otherwise required by state or federal law, the project shall provide an onsite building Manager’s Unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the Manager’s Unit.

5. **SB 8 Replacement Units (California Government Code Section 66300 et seq.)** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated September 3, 2024, to the satisfaction of LAHD. The most restrictive affordability levels shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
6. **Priority Housing Program.** The project proposes a minimum of 20 percent of the project’s total number of dwelling units as affordable to Low Income Household occupancy and as such was processed utilizing the Department’s Priority Housing Program including a reduced processing timeline. In the event the applicant reduces the project’s percentage

of affordable units, a substantial conformance review process along with required fees shall be required.

7. Density Bonus Incentives

- a. **Side Yard (On-Menu Incentive).** The project shall provide a minimum 9 foot 7 inch north side yard setback as shown on “**Exhibit A.**”
 - b. **Side Yard (On-Menu Incentive).** The project shall provide a minimum 9 foot 7 inch south side yard setback as shown on “**Exhibit A.**”
 - c. **Open Space (On-Menu Incentive).** The project shall provide a minimum of 28,800 square feet of open space as shown on “**Exhibit A.**”
8. **Height.** The project is approved for a maximum height of five stories and 73 feet 2 inches as shown on “**Exhibit A.**”
9. **Floor Area.** The project is approved for a maximum floor area of 187,902 square feet and a floor area ratio (FAR) of 2.9:1 as shown on “**Exhibit A.**”
10. **Automobile Parking for Residential Uses.** Pursuant to California Government Code Sections 65915(o) and 65916(p)(3)(B), no parking requirements shall apply for a 100 percent affordable housing project for individuals who are 55 years of age or older located within a Very Low Vehicle Travel Area. In the event that the composition of units should change (i.e., the number of units made available to senior citizens), and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios regulated under LAMC Section 12.22 A.25(d). The project is providing 154 parking spaces.
11. **Bicycle Parking.** A minimum total of 38 long-term bicycle parking spaces and 19 short-term bicycle parking spaces shall be provided as shown on “**Exhibit A**” pursuant to LAMC Section 12.21 A.16 as regulated by the Los Angeles Department of Building and Safety.
12. **On-Site Trees.** A total of 83 minimum 24-inch box trees shall be provided on site as required pursuant to LAMC Section 12.21 G.2 and as shown on “**Exhibit A.**” The on-site protected Southern California Black Walnut Tree located within the 25 foot landscaped setback area abutting Saticoy Street and shown on “**Exhibit A**” shall be retained and protected in place. No on-site protected tree removal is requested or approved herein. Any removal of protected trees requires the review and approval of the Urban Forestry Division.
13. **Street Trees.** As shown on “**Exhibit A,**” the three protected street trees (one canyon oak and two Southern California black walnut trees) along Saticoy Street shall be retained and protected in place. No street tree removal is requested or approved herein. Street trees shall be provided to the satisfaction of the Urban Forestry Division, and any removal of street trees requires the review and approval of the Urban Forestry Division.
14. **Off-Site Protected Trees on Neighboring Properties.** As shown on “**Exhibit A,**” one protected canyon oak tree and two Southern California black walnut trees on the neighboring property to the south will be retained and protected in place. No off-site removal of protected trees on neighboring properties is requested or approved herein.

Any removal of protected trees requires the review and approval of the Urban Forestry Division.

- 15. Landscape Plan.** Revised landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the project equivalent to 10 percent or more than otherwise required as required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan shall be in substantial conformance with the submitted Landscape Plan, "**Exhibit A,**" and shall incorporate any modifications required as a result of this grant.
 - a. Landscaped Open Space.** In compliance with LAMC Section 12.40, a minimum total of 7,220 square feet of landscaped open space is required as shown on "**Exhibit A.**"
 - b. Landscape Ordinance Guidelines "O."** In compliance with Landscape Ordinance Guidelines "O" and as shown on "**Exhibit A,**" a minimum total of 55 landscape points are required.
- 16. Building Line.** The project shall observe the 26 foot building line setback on Woodlake Avenue (Ordinance No. 98,019) and the 25 foot building line setback on Saticoy Street (Ordinance No. 112,349).
- 17. Equine Keeping in the City of Los Angeles.** Prior to issuance of a building permit, the project shall comply with ZI No. 2438 "Equine Keeping in the City of Los Angeles" as regulated by the Los Angeles Department of Building and Safety.

Administrative Conditions

- 18. Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
- 19. Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application, shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 20. Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.

- 21. Code Compliance.** Use, area, height, open space, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 22. Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 23. Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
- 24. Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
- 25. Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).

- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

Subject Property

The subject site is an irregular-shaped, sloping lot located at the southeast corner of Saticoy Street and Woodlake Avenue. The subject site is approximately 95,783 square feet in lot area according to a survey provided by the applicant and stamped by a licensed professional land surveyor. The subject site is located within the Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan area. The subject site is not located within a geographic specific plan area or a community design overlay.

The subject site extends for approximately 606 linear feet along Saticoy Street to the north and 235 linear feet along Woodlake Avenue to the west. The subject site extends for approximately 120 linear feet to the east. To the south, the subject site extends for approximately 115 linear feet along a 20 feet alley. The site boundary curves to the south along the 20 feet alley for approximately 535 feet.

Saticoy Street is designated an Avenue II by the City's Mobility Plan 2035, with a designated right-of-way width of 86 feet and a designated roadway width of 56 feet. The north side of Saticoy Street is improved with a curb, gutter, and sidewalk; however, the south side of Saticoy Street at the subject site is unimproved. To the west, abutting the subject site, Saticoy Street is improved with a curb, gutter, and sidewalk.

Woodlake Avenue is designated an Avenue II by the Mobility Plan 2035, with a designated right-of-way width of 86 feet and a designated roadway width of 56 feet. Woodlake Avenue is unimproved at the subject site, but is improved with a curb, gutter, and sidewalk to the south of the subject site. Across Woodlake Avenue, the public right-of-way is improved with a curb, gutter, and sidewalk.

Two 20 foot alleys abut the subject site to the south. One 20 foot alley abuts the southern property line for the length of the subject site in an east-west direction and intersects with Royer Avenue to the east and Woodlake Avenue to the west. A second 20 foot alley runs perpendicular to the subject site in a north-south direction and intersects with the first alley to the north and Cohasset Street to the south. The second alley ends in a cul-de-sac approximately 1,000 feet to the south of the subject site.

A 25 foot building line originally established by the Los Angeles City Council on May 11, 1951 under Ordinance No. 98,019 (Case No. 1252) extends along Saticoy Street to the north. A 26 foot building line originally established by the Los Angeles City Council on October 28, 1958 under Ordinance No. 112,349 (Case No. 1471) extends along Woodlake Avenue to the east.

The subject site zone is zoned A2-1 and is designated for Low Residential land use by the Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan. The Low Residential land use designation corresponds to the RE9, RS, R1, RU, RD6, and RD5 Zones.

ZIMAS records show that subject site is located within an area designated under ZI-2438 Equine Keeping in the City of Los Angeles. Pursuant to ZI-2438, lots that are located within the RA, RE20, RE40, A1, and A2 Zones and are proposing to develop habitable space are required to comply with distance requirements pursuant to LAMC Section 12.21 C.5 as regulated by the Los Angeles Department of Building and Safety (LADBS) or apply for relief (pursuant to Chapter 1, LAMC Section 12.24 X.5/Chapter 1A, LAMC Section 13B.2.1).

ZIMAS shows that the subject site is located in an area designated as Very Low Vehicle Traveled Areas (Very Low VMT) pursuant to State AB 2334. A “Very Low Vehicle Travel Area” is defined by California Government Code Section 65915(o)(9) to mean an urbanized area, as designated by the United States Census Bureau, where the existing residential development generates vehicle miles traveled per capita that is below 85 percent of either regional vehicle miles traveled per capita or city vehicle miles traveled per capita.

The site is also located within an Urban Agriculture Incentive Zone (UAIZ), which allows landowners to enter into a voluntary contract with the City to use vacant properties for active agricultural purposes in exchange for a potential property tax reduction. No agricultural uses under a UAIZ are requested or approved herein.

ZIMAS records show that the subject site is not located within an area designated as a Hillside, Airport Hazard, or Coastal Zone. The site is not located within an area designated under State AB 2097 as a Reduced Parking Area, which would otherwise prohibit the City from imposing or enforcing parking requirements on residential projects located within a one-half mile radius of a Major Transit Stop. The subject site is not located within a Very High Fire Hazard Severity Zone, Flood Zone, Watercourse, Methane Hazard Site, High Wind Velocity Area, or BOE Special Grading Area. There are no known oil wells on the subject site. Further, the site is not located within the Santa Monica Mountains Zone, or an area designated as a Biological Resource Potential or Mountain Lion Potential.

According to ZIMAS records, the subject site is located approximately 12.2 km from the nearest fault (Simi – Santa Rosa Fault Zone). ZIMAS shows that the subject site is not located within an Alquist-Priolo Fault Zone, Landslide area, Preliminary Fault Rupture Study Area, or Tsunami Hazard Area. The subject site is located within a Liquefaction area, and the project will be reviewed by LADBS for soils and liquefaction in accordance with Code requirements.

The subject site is not an historic resource. The previous development on the site was identified on the City’s Historic Places LA website and in SurveyLA (Canoga Park – Winnetka – Woodland Hills – West Hills Individual Resources) as eligible for the California and National Historic Registers. The 1927 single-family residence that was on the subject site (Circle S Ranch) has since been demolished. Prior to its demolition, the Circle S Ranch was recognized as historically significant for its representation of the earliest pattern of development in the area, as a rare, remaining example of an intact 1920s estate in West Hills, and as an excellent example of the Dutch Colonial Revival style. On August 5, 2015, under Case No. CHC-2015-770-HCM, the Los Angeles City Council denied the inclusion of the Circle S Ranch in the list of Historic-Cultural Monuments. City records show that a demolition permit was issued on May 14, 2024 for an existing two-story single-family dwelling (Permit No. B23VN13154). On May 9, 2024, a demolition permit was issued for miscellaneous building/structure (Permit No. B23VN13310). The Circle S Ranch was subsequently demolished, and the subject site is currently vacant.

Surrounding Properties

Surrounding properties are currently improved with one- and two story single-family residential and commercial uses. To the north, across Saticoy Street, abutting sites are zoned (Q)RD5-1 with an underlying zone of A1-1VL and designated for Low Medium I Residential land use and RS-1 and designated for Low Residential land use. The sites to the north are improved with one- and two-story single-family dwellings. To the south, across the alley, abutting sites are zoned RS-1 and designated for Low Residential land use. These sites are improved with one-story single family dwellings. Sites abutting the subject site to the east, northeast, and southeast are

zoned RS-1 and designated for Low Residential land use. These sites are improved with one-story single-family dwellings. The abutting sites to the west and southwest across Woodlake Avenue are zoned RS-1 and designated for Low Residential land use. These sites are improved with two-story single family dwellings. The abutting site at the northwest corner of Woodlake Avenue and Saticoy Street is zoned [Q]C1.5-1VL and designated for Neighborhood Office Commercial land use. This site is improved with an automotive service station. The automotive service station is located on a larger site that is zoned [Q]C1.5-1VL and P-1VL and designated for Neighborhood Office Commercial land use. This site is improved with one-story commercial retail land uses.

Chaminade College Preparatory School (Chaminade High School) is currently located approximately 0.2 miles to the west at 7500 N. Chaminade Avenue and 23241 W. Cohasset Street. Chaminade College Preparatory submitted an entitlement application with Los Angeles City Planning for the expansion of an existing high school campus under Case Nos. CPC-2023-1254-VZC-HD-ZAD-ZAA and VTT-84101 and associated environmental Case No. ENV-2023-1255-MND (related Case No. CPC-2009-1477-CU-ZV-ZAA-SPR-PA1). Under the proposed expansion, the high school campus would expand to include 23260 W. Saticoy Street, 23217-23255 W. Saticoy Street, and 7619-7629 N. Woodlake Avenue. As proposed by the applicant, the high school campus boundary would be approximately 200 feet from the subject site. However, as currently proposed, the high school campus would not expand to abut the subject site.

Project Description

As shown on “**Exhibit A**,” the proposed 332 unit, 187,902 square foot senior citizen housing development is five stories, 73 feet 2 inches in height. The 332 unit senior citizen housing development will reserve 100 percent of the units for affordable senior housing with 265 units available for Low Income Household occupancy, 66 units available for Moderate Income Household occupancy, and one Manager’s unit. As shown on “**Exhibit A**,” the project is providing 154 automobile parking spaces; however, no automobile parking is required herein. As further shown on “**Exhibit A**,” the project is providing a minimum total of 38 long-term bicycle parking spaces and 19 short-term bicycle parking spaces as required pursuant to LAMC Section 12.21 A.16 as regulated by LADBS.

As conditioned herein and as shown on “**Exhibit A**,” the project is providing a minimum of 28,800 square feet of open space, and in compliance with LAMC Section 12.40, a minimum total of 7,220 square feet of landscaped open space is required (25 percent of open space shall be landscaped). Further, as shown on “**Exhibit A**,” in compliance with Landscape Ordinance Guidelines “O” a minimum total of landscape points required for the 95,763 square foot project site is 50 landscaped points. However, the project is proposing on-menu yard incentives pursuant to LAMC Section 12.22 A.25(f)(1), which requires that the project provide landscape points for the project equivalent to 10 percent or more than otherwise required. As such, as conditioned herein and as shown on “**Exhibit A**,” the project is providing a minimum of 55 landscape points.

As shown on “**Exhibit A**” and as conditioned herein, a total of 83 minimum 24-inch box trees shall be provided on site as required pursuant to LAMC Section 12.21 G.2. As conditioned herein, no on-site protected tree removal is requested or approved herein. Any removal of protected trees requires the review and approval of the Urban Forestry Division. As further conditioned herein and as shown on “**Exhibit A**,” the on-site protected Southern California Black Walnut Tree located within the 25 foot landscaped setback area abutting Saticoy Street shall be retained and protected in place. As shown on “**Exhibit A**” and as conditioned herein, the three protected street

trees (one canyon oak and two Southern California black walnut trees) along Saticoy Street shall be retained and protected in place. Further, street trees shall be provided to the satisfaction of the Urban Forestry Division, and any removal of street trees requires the review and approval of the Urban Forestry Division. “**Exhibit A**” shows one protected canyon oak tree and two Southern California black walnut trees on the neighboring property to the south. As conditioned herein, these three protected trees on the neighboring property will be retained and protected in place. Any removal of protected trees requires the review and approval of the Urban Forestry Division.

Ministerial Review

California Government Code (CA GC) Section 65915 et seq. regulates Density Bonus housing development projects. Pursuant to CA GC 65915(a)(1):

When an applicant seeks a density bonus for a housing development within, or for the donation of land for housing within, the jurisdiction of a city, county, or city and county, that local government shall comply with this section..

CA GC 65915(a)(2) continues as follows:

A local government shall not condition the submission, review, or approval of an application pursuant to this chapter on the preparation of an additional report or study that is not otherwise required by state law, including this section.

Further, CA GC 65915(D)(i) requires that a Density Bonus housing development project determination issued by a local government shall determine the following:

(I) The amount of density bonus, calculated pursuant to subdivision (f), for which the applicant is eligible.

(II) If the applicant requests a parking ratio pursuant to subdivision (p), the parking ratio for which the applicant is eligible.

(III) If the applicant requests incentives or concessions pursuant to subdivision (d) or waivers or reductions of development standards pursuant to subdivision (e), whether the applicant has provided adequate information for the local government to make a determination as to those incentives, concessions, waivers, or reductions of development standards.

As further regulated under CA GC 65915(b), a city is required to grant one density bonus, incentives and concessions, waivers, and parking ratios as described in CA GC 65915 et seq. if the housing development project will contain a senior housing development. Further, a city is required to grant one density bonus, incentives and concessions, waivers, and parking ratios as described in CA GC 65915 et seq. for a housing development project that is 100 percent affordable (exclusive of Manager’s unit(s) for lower income households, except that 20 percent of the units in the development may be for moderate income households.

The project proposes a minimum of 20 percent of the project’s total number of dwelling units as affordable to Low Income Household occupancy, and as such was processed utilizing the City’s Priority Housing Program (PHP) including a reduced processing timeline. In the event the applicant reduces the project’s percentage of affordable units, a substantial conformance review process along with required fees shall be required.

As such, the 100 percent affordable housing development project for senior citizens that is requesting three On-Menu incentives is subject to State Density Bonus regulations (California Government Code Section 65915 et seq. and LAMC Section 12.22 A.25) under a ministerial review process. The determination is subject to the authority of the Director of Planning, and was provided a reduced processing timeline under the City PHP.

Housing Replacement

Pursuant to California Government Code Section 66300 et seq. (Housing Crisis Act of 2019 (HCA), as amended by Senate Bill 8 and Assembly Bill 1218), any proposed development project that requires the demolition of existing residential dwelling units or occupied or vacant Protected Units, or is located on a site where Protected Units were demolished in the previous 5 years, is subject to replacement. Pursuant to the Senate Bill 8 (SB 8) Replacement Unit Determination letter made by the Los Angeles Housing Department (LAHD) dated September 3, 2024 (September 3, 2024 RUD letter), one residential dwelling unit was sited on the property within the last 5 years, and is subject to replacement as an affordable Protected Unit. The owner was not able to provide income verification for the last known tenant. The owner agreed with the default calculation for the property as calculated by LAHD, which is calculated at one unit restricted to Very Low Income Household occupancy. As disclosed by LAHD, the September 3, 2024 RUD letter is provisional and subject to further verification. As conditioned herein, the project is required to comply with the September 3, 2024 RUD letter to the satisfaction of LAHD. In the event that additional affordable units or more restrictive affordability levels are required, the most restrictive requirements shall prevail.

Density Bonus Incentives and Waiver

Pursuant to State Density Bonus Law under Government Code Section 65915(d)(2)(D), a project located within one-half mile of a Very Low Vehicle Miles Traveled (Very Low VMT) area (State AB 2334) may receive a waiver from any maximum controls on density, a height increase of up to three additional stories or up to 33 additional feet, and an applicant may request that the city not impose any minimum vehicular parking requirement for 100 percent affordable housing projects. The applicant is utilizing an automobile parking reduction offered under Government Code Sections 65915(o) and 65915(p)(3)(B) which allows the applicant to provide 0 parking spaces for a 100 percent affordable housing project located within a Very Low VMT area for individuals who are 55 years of age and older (i.e., senior citizens). The applicant's plans show 154 parking spaces; however, in compliance with State Density Bonus law no parking is required herein.

Additionally, 100% Affordable Housing Developments are entitled to request unlimited density if the project is within a one-half mile of a major transit stop or within a very low vehicle travel area (CA Govt. Section 65915(f)(3)(D)(ii)). Lastly, the Housing Development that receives a waiver from any maximum controls on density shall be eligible for one waiver unless the City agrees to additional waivers or reductions of development standards (CA Govt. Section 65915(e)(3)).

Municipal Density Bonus regulations (LAMC Section 12.22 A.25) and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize restrictions on the size of the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives, concessions, and waivers to deviate from development standards in order to facilitate the provisions of affordable housing at the site. The approved incentives and waivers allow the developer to expand the building envelope so the additional affordable units can be

constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased.

Given that the applicant is providing 100 percent of dwelling units to be affordable at Low Income and Moderate Income Household occupancy to senior citizens aged 55 years and older for a period of 55 years, and meets the criteria outlined in Government Code Section 65915(d)(2)(D), the project is eligible for the base incentives and up to five incentives and one waiver per California Government Code Section 65915(d)(2)(D). The applicant has been approved for the following incentives:

The following incentives are granted by-right:

- **Density.** An unlimited increase in density to allow 332 units in lieu of the otherwise allowed 20 base units.
- **Height.** An up to 33 foot increase in height to allow a maximum building height of 73 feet and 2 inches in lieu of the otherwise allowable 45 feet in height.
- **Parking.** A reduction to zero residential parking spaces. In the event that the composition of units should change (i.e., the number of units made available to senior citizens) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios regulated under LAMC Section 12.22 A.25(d).

The project is eligible for, and has been granted three (3) on-menu incentives to construct the proposed project as follows:

- **Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required north side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the otherwise minimum required 11 feet and 11 and $\frac{3}{4}$ inches.
- **Side Yard (On-Menu Incentive).** An up to 20 percent reduction in the required south side yard setback, for a minimum side yard of 9 feet 7 inches in lieu of the otherwise minimum required 11 feet and 11 and $\frac{3}{4}$ inches.
- **Open Space (On-Menu Incentive).** An up to 20 percent reduction in required open space to provide 28,800 square feet of open space in lieu of the otherwise required 38,100 square feet of open space.

The record does not contain substantial evidence that would allow the decision maker to make a finding that the approved incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health and Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for low and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

There is no evidence in the record that the approved incentives and waiver would have a specific adverse impact. A “specific adverse impact” is defined as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” per LAMC Section 12.22 A.25(b). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. As previously disclosed, on August 5, 2015, under Case No. CHC-2015-770-HCM, the Los Angeles City Council denied the inclusion of the Circle S Ranch in the list of Historic-Cultural Monuments and the structures on site were subsequently demolished. As conditioned herein, the project shall observe the 26 foot building line setback on Woodlake Avenue (Ordinance No. 98,019) and the 25 foot building line setback on Saticoy Street (Ordinance No. 112,349). As further conditioned herein, prior to issuance of a building permit, the project shall comply with ZI No. 2438 “Equine Keeping in the City of Los Angeles” as regulated by the Los Angeles Department of Building and Safety. Soils will be reviewed by LADBS for compliance with Code requirements prior to issuance of a building permit. Any dedications and improvements will be required in compliance with Code requirements by the City Bureau of Engineering. Site ingress and egress will be reviewed and approved for Code compliance by the Los Angeles Department of Transportation. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. The project is not located on a substandard street in a Hillside area or in a Very High Fire Severity Zone. Based on the above, there is no basis to deny the incentives.

The Density Bonus Incentives result in identifiable and actual cost reductions to provide for affordable housing costs because the incentives by their nature increase the scale of the project and thus facilitates the provision of affordable housing units. The project includes three On-Menu Incentives, which further expand the building envelope and allows for identifiable cost reductions in providing for the affordable units.

The requested incentives for a reduction in yard setbacks and open space permit exceptions to zoning requirements that result in building design or construction efficiencies that provide for affordable housing costs. The requested incentives allow the developer to expand the building envelope so the additional units can be constructed, and the overall space dedicated to residential uses is increased.

Further, the building façade oriented to Saticoy Street and Woodlake Avenue is articulated with changes in material and breaks in plane, so that the façade is not a flat surface. Visual plane breaks are created with alternating taller tower sections and lower roof heights. The building design is consistent with the mediterranean and Spanish style design in the surrounding area. The project design utilizes balconies, varied tiled and plastered materials, and a variety of window types.

Public Comment

Los Angeles City Planning received approximately 130 written comments and petitions totaling approximately 1,650 signatures from community residents who are opposed to the project. A letter of opposition was also received from the West Hills Neighborhood Council dated October 17, 2024. Reasons disclosed for opposing the project include but are not necessarily limited to height, drainage and flooding, proximity to Chaminade High School, proposed expansion of Chaminade High School, parking, ingress/egress, soil contaminants, traffic, safety, noise, pollution, previous historic consideration, incompatibility with the surrounding neighborhood, strain on police/firefighter resources, and reduction of property values. However, no evidence was

provided to show that the incentives requested herein would have a specific adverse impact, i.e., a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions.

Written comments in support of the project were submitted by five community residents.

Processes and procedures for the application herein were followed in accordance with State and Municipal law and Department policy. For example, although community members requested a public hearing, a Density Bonus project with On-Menu incentives and no other discretionary actions is processed ministerially without a public hearing (LAMC Section 12.22 A.25(g)). Further, State regulations preclude the City from requesting that the applicant prepare additional reports or studies that are not otherwise required by State law (CA GC 65915(a)(2)).

CONCLUSION

As a Density Bonus Housing Project that satisfies all the objective planning standards of LAMC Section 12.22 A.25(g)(2) and California Government Code Section 65915 and a 100 percent affordable housing project for senior citizens aged 55 years or older, the project is considered to be a ministerial project.

Additionally, in accordance with Government Code Section 65915, the project as shown in **“Exhibit A”** and as conditioned herein, is deemed to satisfy the objective planning standards and shall comply with the attached planning standards as Conditions of Approval.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director’s Letter of Compliance shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The Applicant’s attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): “It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of

the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles, the Marvin Braude Building in the Valley, or the South Los Angeles Development Services Center. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at [Home | Los Angeles City Planning \(lacity.gov\)](https://home.lacity.gov) or by calling (213) 482-7077 (Downtown) or (818) 374-5050 (Valley DSC). The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

APPEAL PERIOD - EFFECTIVE DATE

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

Online Application System (OAS): The OAS (<https://planning.lacity.gov/oas>) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning's DSC, and submit fee payment by credit card or e-check.

Drop off at DSC. Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has

established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms, and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at <http://planning.lacity.gov/development-services/forms>. Public offices are located at:

Metro DSC	Van Nuys DSC
201 N. Figueroa Street Los Angeles, CA 90012 planning.figcounter@lacity.org (213) 482-7077	6262 Van Nuys Boulevard Van Nuys, CA 91401 planning.mbc2@lacity.org (818) 374-5050
South LA DSC	West LA DSC
(In person appointments available on Tuesdays and Thursdays 8am-4pm only) 8475 S. Vermont Avenue 1st Floor Los Angeles, CA 90044 planning.southla@lacity.org	(CURRENTLY CLOSED) 1828 Sawtelle Boulevard West Los Angeles, CA 90025 planning.westla@lacity.org (310) 231-2901

City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's [BuildLA](http://BuildLA.lacity.gov) portal (appointments.lacity.gov). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to Online Appeal Filing



QR Code to Forms for In-Person Appeal Filing



QR Code to BuildLA Appointment Portal for Condition Clearance

Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Density Bonus Compliance Review Determination. Per the Density Bonus Provision of State Law (Government Code Section 65915), the Density Bonus increase in units above the base density limits per the underlying zone(s) and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per LAMC Section 12.22 A.25, appeals of Density Bonus Compliance Review cases with the Director of Planning as the initial decision maker are heard by the City Planning Commission.

VINCENT P. BERTONI, AICP
Director of Planning

Approved by:

Blake Lamb

Blake Lamb, Principal Planner

Reviewed by:

Claudia Rodriguez

Claudia Rodriguez, Senior City Planner

Prepared by:

Laura Frazin Steele

Laura Frazin Steele, City Planner
laura.frazinsteele@lacity.org



City of Los Angeles Department of City Planning

1/13/2025 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

7572 N WOODLAKE AVE
7556 N WOODLAKE AVE

ZIP CODES

91304

RECENT ACTIVITY

PAR-2024-4645-VHCA
PAR-2024-3365-AHRF-PHP
PAR-2024-1742-VHCA
PAR-2023-6485-CM
PAR-2023-5333-VHCA

CASE NUMBERS

ADM-2024-5202-DB-PHP-VHCA
CPC-6210
CPC-2019-1742-CPU
ORD-98019
ORD-112349
ORD-107539
CHC-2015-770-HCM
ENV-2019-1743-EIR
ENV-2015-771-CE
ENV-2005-8253-ND

Address/Legal Information

PIN Number	186B093 144
Lot/Parcel Area (Calculated)	95,699.3 (sq ft)
Thomas Brothers Grid	PAGE 529 - GRID G4
Assessor Parcel No. (APN)	2021002013
Tract	TR 21391
Map Reference	M B 599-7/10
Block	None
Lot	FR 208
Arb (Lot Cut Reference)	None
Map Sheet	186B093 186B097

Jurisdictional Information

Community Plan Area	Canoga Park - Winnetka - Woodland Hills - West Hills
Area Planning Commission	South Valley
Neighborhood Council	West Hills
Council District	CD 12 - John Lee
Census Tract #	1344.22
LADBS District Office	Van Nuys

Permitting and Zoning Compliance Information

Administrative Review	ADM-2024-5202-DB-PHP-VHCA
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Planning and Zoning Information

Special Notes	None
Zoning	A2-1
Zoning Information (ZI)	ZI-2438 Equine Keeping in the City of Los Angeles
General Plan Land Use	Low Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	None
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No
AB 2334: Very Low VMT	Yes

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

AB 2097: Reduced Parking Areas	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium
Non-Residential Market Area	Medium
Transit Oriented Communities (TOC)	Not Eligible
ED 1 Eligibility	Not Eligible
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	25
	26
500 Ft School Zone	None
500 Ft Park Zone	None
Assessor Information	
Assessor Parcel No. (APN)	2021002013
Ownership (Assessor)	
Owner1	ROSS, RON W CO TR ROSS DECD TRUST
Address	21964 MOVEO DR SANTA CLARITA CA 91350
Ownership (Bureau of Engineering, Land Records)	
Owner	MEER, JILL ROSS WILLIAM G ROSS AND JOY A ROSS REVOCABLE
Address	21964 MOVEO DR SANTA CLARITA CA 91350
APN Area (Co. Public Works)*	2.240 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$95,697
Assessed Improvement Val.	\$99,264
Last Owner Change	07/27/2023
Last Sale Amount	\$0
Tax Rate Area	16
Deed Ref No. (City Clerk)	8-914
	354181
	0890704
	0890703
	0-505
Building 1	
Year Built	1927
Building Class	D75B
Number of Units	1
Number of Bedrooms	3
Number of Bathrooms	3
Building Square Footage	3,828.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 2021002013]
Additional Information	
Airport Hazard	None
Coastal Zone	None
Farmland	Urban and Built-up Land
Urban Agriculture Incentive Zone	YES

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Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

Environmental

Santa Monica Mountains Zone	No
Biological Resource Potential	None
Mountain Lion Potential	None
Monarch Butterfly Potential	No

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	12.2310144
Nearest Fault (Name)	Simi - Santa Rosa Fault Zone
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	15.00000000
Rupture Top	1.00000000
Rupture Bottom	14.00000000
Dip Angle (degrees)	-60.00000000
Maximum Magnitude	7.00000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	None
Tsunami Hazard Area	No

Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 2021002013]
Ellis Act Property	No
AB 1482: Tenant Protection Act	See Notes
Address	7566 WOODLAKE AVE
Year Built	1927
Use Code	0100 - Residential - Single Family Residence
Notes	The property is subject to AB 1482 if the owner is a corporation, limited liability company with a corporate member, or real estate trust. Does not apply to owner-occupied duplexes & government-subsidized housing.
Housing Crisis Act Replacement Review	Yes

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Housing Element Sites	
HE Replacement Required	N/A
SB 166 Units	13.4 Units, Very Low
	13.4 Units, Low
Housing Use within Prior 5 Years	Yes

Public Safety

Police Information

Bureau	Valley
Division / Station	Topanga
Reporting District	2133

Fire Information

Bureau	Valley
Battalion	17
District / Fire Station	106
Red Flag Restricted Parking	No

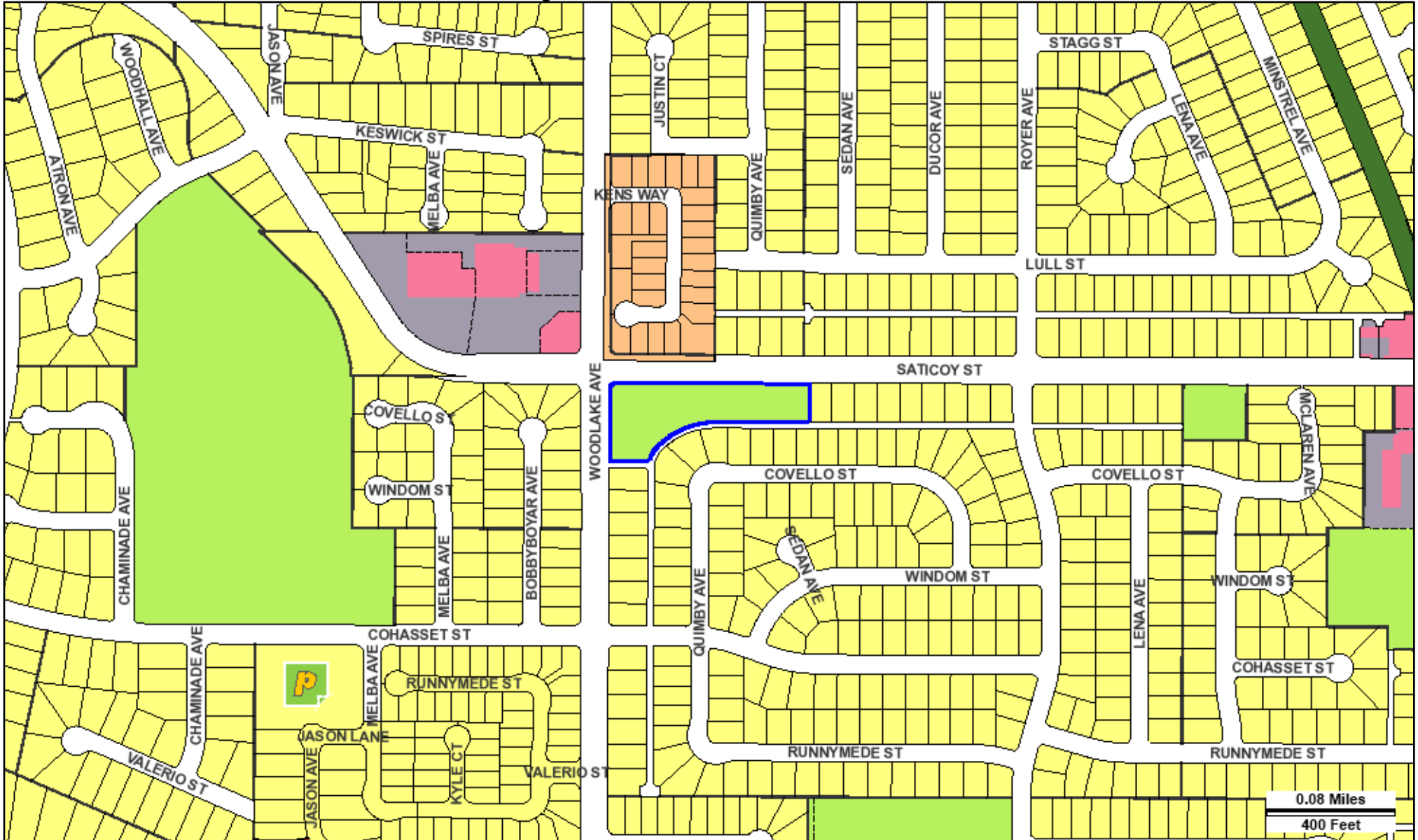
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	ADM-2024-5202-DB-PHP-VHCA
Required Action(s):	DB-DENSITY BONUS PHP-PRIORITY HOUSING PROJECT VHCA-VESTING HOUSING CRISIS ACT
Project Descriptions(s):	PURSUANT TO LAMC SECTION 12.22 A.25 OF CHAPTER 1, A DENSITY BONUS PROJECT FOR THE CONSTRUCTION OF 332 100% AFFORDABLE HOUSING UNITS. THE 5-STORY REQUEST IS FOR 55 AND OVER AGE RESTRICTED HOUSING DEVELOPMENT, SEEKING (3) ON MENU INCENTIVES FOR 20% OPEN SPACE REDUCTION, 20% SIDE YARD REDUCTION, AND 20% SIDE YARD REDUCTION.
Case Number:	CPC-2019-1742-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	CHC-2015-770-HCM
Required Action(s):	HCM-HISTORIC CULTURAL MONUMENT
Project Descriptions(s):	CIRCLE S RANCH HISTORIC-CULTURAL MONUMENT
Case Number:	ENV-2019-1743-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	ENV-2015-771-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CIRCLE S RANCH HISTORIC-CULTURAL MONUMENT
Case Number:	ENV-2005-8253-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.

DATA NOT AVAILABLE

CPC-6210
ORD-98019
ORD-112349
ORD-107539



Address: 7556 N WOODLAKE AVE

APN: 2021002013

PIN #: 186B093 144

Tract: TR 21391

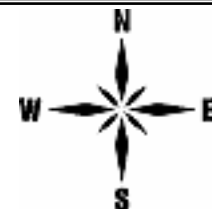
Block: None

Lot: FR 208

Arb: None









Zoning: A2-1

General Plan: Low Residential



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL





-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial




PARKING

-  Parking Buffer

PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES
















-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

















INDUSTRIAL

-  Limited Industrial
-  Light Industrial






CIRCULATION

STREET





































-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway


























MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor





POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	


SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

COASTAL ZONE



 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)






























 Tier 1	 Tier 3
 Tier 2	 Tier 4

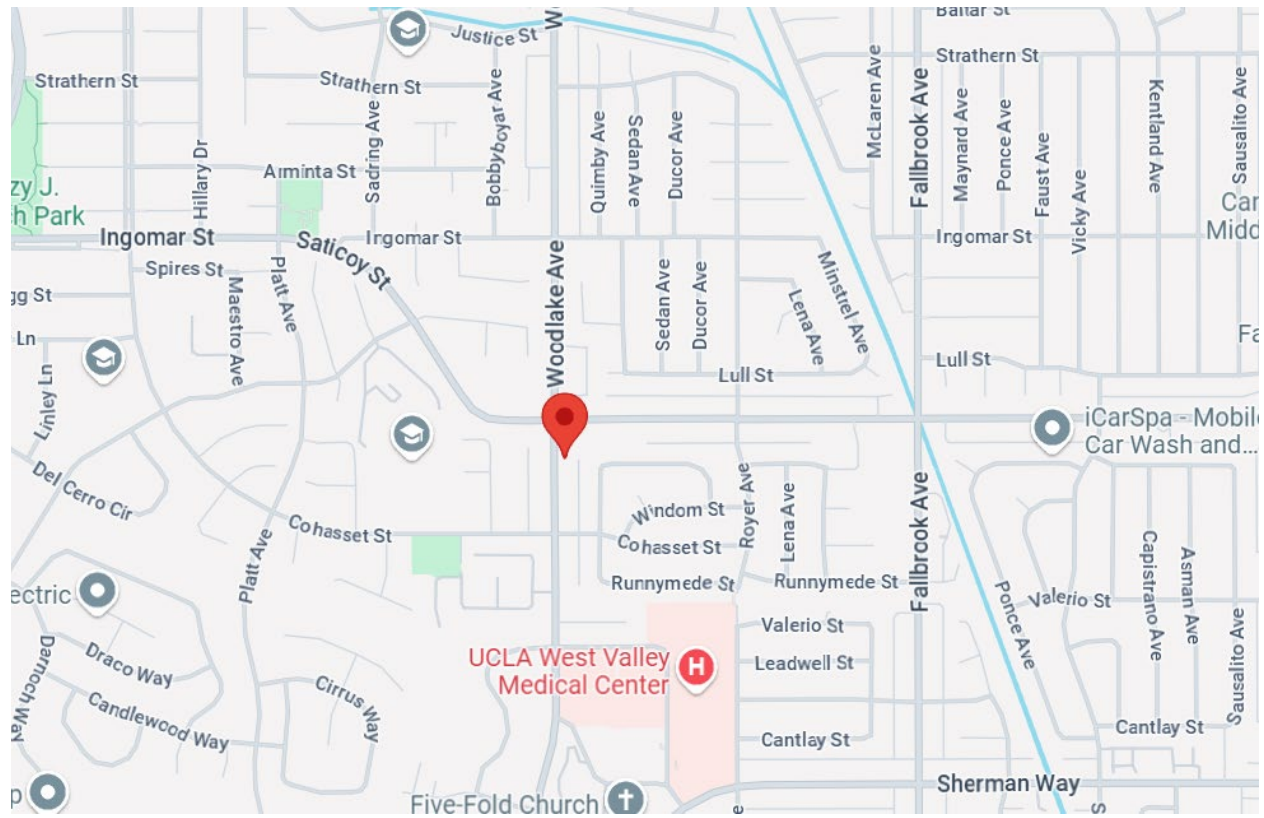
Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells - Active
 Building Outlines 2020	 Tract Map	 Wells - Inactive
 Building Outlines 2017	 Parcel Map	



VICINITY MAP




DEPARTMENT OF CITY PLANNING Executive Office

City Hall, 200 N. Spring Street, Room 525, Los Angeles, CA 90012

DATE: January 25, 2021

TO: Interested Parties
Department of City Planning Staff

FROM: Vincent P. Bertoni, AICP 
Director of Planning
Department of City Planning

SUBJECT: **ON-MENU DENSITY BONUS MINISTERIAL REVIEW PROCESS**

Summary

This memo explains a change to the interpretation and application of the City's Density Bonus Ordinance that will require requests for on-menu Density Bonus incentives be processed ministerially through the Department of City Planning (Planning), thereby rendering these requests exempt from analysis under the California Environmental Quality Act (CEQA).

Currently, Planning requires CEQA analysis for on-menu Density Bonus incentive requests. On-menu Density Bonus incentives are requests for pre-calculated modifications to specified development standards enumerated in a codified menu. The new interpretation set forth herein aligns historical practices, the City's Code, and legal authorities relative to CEQA, the State Density Bonus statute (Gov. Code §65915), and the Housing Accountability Act (Gov. Code §65589.5).

As of the date of this memo, a project that solely requests Density Bonus on-menu incentives, and is not subject to other discretionary entitlements, will not trigger analysis under CEQA. In addition, active projects seeking an on-menu Density Bonus entitlement that are currently in the project review process will be treated ministerially, unless there are other discretionary entitlements requested as part of the project. All other LAMC-required processes and procedures, including but not limited to those for notification and appeals, will not change, and projects will continue to receive a Letter of Determination describing the approved project and any applicable conditions of approval.

Background and Existing City Practices

The City's Density Bonus Ordinance, codified in 2008 at Los Angeles Municipal Code (LAMC) §12.22 A.25 (Ord. No. 179681), implements State Density Bonus law at Government Code §65915. For housing development projects with specified percentages of affordable housing, the City shall grant upon request specified density bonuses, "concessions" or "incentives" in the form of reduced development standards (incentives), and "waivers" of development standards which physically preclude the project (waivers) (Gov. Code §65915 (b, d, e, f)). Any absence of local implementing legislation does not relieve the City from complying with the requirements of State Density Bonus law (Gov. Code §65915(a)(1)). As

discussed below, the City currently has three different project review procedures depending on the type of density bonus project request.

1. The Existing Ministerial Process. A project requesting only a density bonus up to 35%, and/or a parking ratio specified by State Density Bonus law or LAMC §12.22 A.25(d), and is not seeking additional incentives or waivers, is reviewed through a ministerial process and is not subject to appeal (LAMC §12.22 A.25 (g)(1)). No further CEQA review is conducted for projects that fall within this category.
2. The Existing On-Menu Process. A project requesting incentives enumerated in the codified “menu of incentives” is reviewed through the on-menu process. For on-menu incentive requests, Planning currently requires analysis under CEQA. The initial decision is made by the Director of Planning, no public hearing is required, and the determination is subject to an appeal and appeal hearing before the City Planning Commission (LAMC §12.22 A.25 (g)(2)).
3. The Existing Off-Menu Process. For a project requesting incentives that do not appear on the “menu of incentives” or any waivers, the request is reviewed through the off-menu process. For off-menu incentive or waiver requests, Planning also requires analysis under CEQA. The initial decision is made by the City Planning Commission after a noticed public hearing, but is not subject to appeal (LAMC §12.22 A.25 (g)(3)).

Historically, Planning has treated requests for any incentives or waivers as discretionary for purposes of CEQA. Planning has prepared a CEQA review for these requests since the Density Bonus Ordinance was adopted in 2008 (February 2, 2006 Interim Planning Director Memo, Council File 05-1345). However, due to the absence of discretion to deny incentive or waiver requests under either the City’s Ordinance or State Density Bonus law, the City has also refrained from imposing certain project-specific conditions, such as conditions that would have the effect of reducing requested density, even though these types of conditions could be imposed on other types of discretionary entitlement requests, like conditional use permits or variances.

The LAMC Criteria for Granting On-Menu Incentives is Objective in Nature

The City’s Density Bonus Ordinance includes specified, objective requirements for projects requesting on-menu incentives (LAMC §12.22 A.25 (e)(2)). The City’s “menu of incentives” also articulates in objective terms the most applicable and commonly requested development standard modifications pertaining to multifamily housing, which were pre-evaluated as providing for affordable housing costs (Planning Director Memo, Implementation of Density Bonus Ordinance, October 16, 2014). The City’s intent in creating on-menu incentives was to streamline the approval of requests for a set of known, objectively calculated, and standardized incentives that were publicly reviewed and then codified in the LAMC. Determining whether a project satisfies the LAMC requirements for an on-menu incentive involves little to no personal judgment and involves a determination of whether the application conforms to applicable objective requirements. This is in contrast to off-menu incentive or waiver requests, which are unknown, non-standard, have no clear statutory limitations, and were not publicly pre-evaluated prior to the date of a project application. Due to this

difference, off-menu incentives will continue to be processed as discretionary requests subject to review under CEQA.

A Ministerial Process for Requesting On-Menu Incentives Aligns with State Housing Law

The City is preempted from denying a density bonus or on-menu incentive outside of objectively defined circumstances, or requiring a discretionary approval simply due to the fact of a density bonus or on-menu incentive request. State Density Bonus law provides that the granting of a density bonus or incentive “shall not require...a discretionary approval” (Gov. Code §65915(f)(5) and (j)(1)).

State law also provides that for a project which meets specified objective affordability criteria, the City “shall” grant a density bonus, a specified number of incentives, and waivers (Gov. Code §65915 (b, d, e, f)). The City is only able to deny a requested incentive if there is evidence to make one of three objectively described findings, such as a finding of a specific adverse impact based on objective written health and safety standards that cannot be feasibly mitigated (Id.). Consistent with a prior 2014 memo that addressed this issue, Planning has operated under the framework that the eight on-menu incentives “provide additional buildable area, which [therefore] . . . can be assumed to provide additional project income and therefore provide for affordable housing costs” (Planning Director Memo October 16, 2014). The Housing Accountability Act separately explains that receipt of a density bonus “shall not constitute a valid basis” upon which to find a project is noncompliant with an applicable plan, policy or standard (Gov. Code §65589.5(j)(3)). In order to deny a density bonus project under the Housing Accountability Act, the City must also have evidence to make a finding that there is a specific adverse impact based on objective written health and safety standards that cannot be feasibly mitigated (Gov. Code §65589.5(j)(1)).

On-menu requests are ministerial based on the restrictions in State law and the lack of authority provided in LAMC §12.22 A.25 to deny or conditionally approve on-menu incentives except to comply with objective, identified, written public health and safety standards, policies or conditions. The new procedures described in this memo will align on-menu incentive processing with State housing laws. In contrast, because Government Code §65915 does not contain similar language regarding waivers of development standards, waivers will continue to be processed through the City’s off-menu process as a discretionary request subject to review under CEQA.

A Ministerial Process for Requesting On-Menu Incentives Aligns With CEQA

The interpretation which treats on-menu incentives as ministerial actions exempt from CEQA review is consistent with CEQA. Ministerial actions are exempt from CEQA (Public Resources Code [PRC] §21080(b)(1)). Under CEQA Guidelines Section 15369, CEQA defines a ministerial decision as one that involves little or no personal judgement by the public agency or official as to the wisdom or manner of carrying out the project. A ministerial decision involves the use of fixed or objective standards rather than subjective decision making. The agency or official merely applies the governing statute, ordinance, regulation or other fixed standard to the facts.

Prior court decisions have recognized that even if a statute grants an agency *some* discretionary authority over an aspect of a project, such as aesthetic design review, the project is ministerial for CEQA purposes if the agency lacks authority to address *environmental* impacts. As discussed above, the City has no subjective discretion to approve or deny on-menu incentives, and therefore is unable to address environmental impacts related to the project.

Based upon this authority, the City's practice of preparing CEQA for on-menu incentives where no other discretionary entitlement was sought for the project was inconsistent with CEQA. Historical practice was inconsistent for reasons including: (1) the City did not have subjective discretionary authority under the LAMC to conditionally approve on-menu density bonus projects to address environmental impacts; (2) the City's on-menu process provides objective criteria for approving known, objectively calculated, and standardized incentives; and (3) CEQA does not give any independent authority to impose mitigation.

Changes to Density Bonus Procedures

As of the date of this memo, a project that solely requests Density Bonus on-menu incentives, and is not subject to other entitlements, will not trigger analysis under CEQA. In addition, projects that are currently in the review process for an On-Menu Density Bonus entitlement will be treated ministerially, unless there are other discretionary entitlements requested as part of the project. All other LAMC-required processes and procedures, including but not limited to those for notification and appeals, will not change, and projects will continue to receive a Letter of Determination describing the approved project and any applicable conditions of approval. Applicants must still obtain a signed Affordable Housing Referral Form from the Housing Services Unit prior to filing their case at one of the Development Services Centers. To reflect the ministerial process, an ADM (Administrative) prefix will replace the current DIR (Director) prefix.

VPB:KJK:ALV:MG:BS:ch



R1 and R2 OCCUPANCIES PLAN CHECK CORRECTION SHEETS (2011 LABC)

Plan Check Submittal Date: _____

Plan Check / PCIS App #: _____

Job Address: _____

Applicant: _____ Phone: _____

P.C. Engineer: _____ (print first / last name) Phone: _____
E-mail: firstname.lastname@lacity.org

Your feedback is important, please visit our website to complete a Customer Survey at www.ladbs.org/LADBSWeb/customer-survey.jsf.

If you have any questions or need clarification on any plan check matters, please contact a plan check supervisor or call our Customer Hotline at (213) 482-0056.

INSTRUCTIONS FOR PROCEEDING WITH THE PLAN CHECK (PC) PROCESS:

1. Review corrections circled on this Plan Check Correction Sheet and on the plans and calculation sheets.
2. Provide a written response or reference to details pursuant to the corrections. Location of any revisions on the plans shall be identified as part of your responses. For any questions related to the PC corrections, email or call the Plan Check Engineer.
3. Phone or email the PC engineer for a verification appointment after you have addressed the corrections. Verification of corrections is only done by appointment.
4. Complete item #2 above and bring the originally checked set of plans and calculations to the meeting along with this plan correction sheets. Unprepared responses with incomplete plans or calculations may result in cancellation of the meeting.
5. During the appointment, the plan check engineer will go over the corrections and comments. Once all the items have been corrected to comply with the code requirements and clearances are obtained, the permit will be ready to be issue.

IMPORTANT ITEMS TO READ:

1. Your early attention is suggested to the approval process from other Departments as listed in the Clearance Summary Worksheet due to possible delays resulting from a public hearing or other processes required by other Departments. The Planning Department, the Community Redevelopment Agency, and others may have requirements that could significantly affect the final design of the project.
2. The permit application will expire 18 months from the plans submittal date.
3. Please be advised that the permit will be issued upon verification of compliance with the corrections included herein. The approval of plans does not permit the violation of any section of the Building Code, or other ordinance or state law.
4. Numbers in parenthesis refer to Code sections of the 2008 edition of the Los Angeles Codes.

THE FOLLOWING SUPPLEMENTAL CORRECTION SHEETS ARE ATTACHED AND SHALL BE CONSIDERED A PART OF THIS REVIEW. COMPLIANCE WITH THESE CORRECTIONS MUST BE OBTAINED PRIOR TO THE ISSUANCE OF THE PERMIT.

Supplemental Correction sheets attached:

- Fire District
- Flood Hazard
- Methane Seepage Regulation
- Storm Water Requirements
- Energy Conservation
- High Wind Area
- Security Requirements
- Sound transmission
- Grading and shoring - General
- Structural - General
- Disable Accessibility
- Hillside Ord. and Seismic Design (slope >3:1)

Review the following checked information bulletins and forms. Revise plans to show compliance (Copies can be obtained at www.ladbs.org).

- P/GI 2002-024 Recording Covenants with LA County
- P/GI 2008-025 Copies of LA Ordinances (Planning's)
- P/BC 2008-011 Illumination and Lock Requirements
- P/BC 2008-016 Dwellings in High Wind Velocity Areas
- P/BC 2002-026 Fire-Resistive for One-Hour Throughout
- P/BC 2002-021 Calculating building code's floor areas
- P/BC 2008-023 Fire Retardant Roof Covering for Walking Deck
- P/BC 2008-027 Onsite Wastewater Treatment System
- P/BC 2002-038 Mezzanines in Residential Buildings
- P/BC 2008-044 Alquist-Priolo EQ Fault Zoning Act
- P/BC 2002-047 Expansive Soils
- P/BC 2002-057 Drainage Across Lot/Property Lines
- P/BC 2008-060 30 Days Notification of intent to Excavate
- P/BC 2008-064 Flood Hazard Management Specific Plan
- P/BC 2008-065 Coastal Development Permit
- P/BC 2008-069 Sound-Rated Partitions and Floor-Ceiling
- P/BC 2002-073 Policy on Signed and Wet Stamped plans
- P/BC 2004-074 Sound Insulation near Airport
- P/BC 2008-081 Conv. into Heavy Duty Equipment Room
- P/BC 2002-082 Plastic Materials for Rooftop
- P/BC 2008-096 6" Concrete Block Masonry Fences
- P/BC 2008-101 Methane Hazard Mitigation Standard Plan
- P/BC 2002-105 Guardrail Adjacent to Openable Windows
- P/BC 2002-106 Water Curtain in Lieu of Protected Ext. Openings
- P/BC 2008-103 Sump Pumps for Surface Drainage
- P/BC 2008-113 Reports for Submittal to Grading Division
- P/ZC 2002-001 Parking Lot Design
- P/ZC 2002-002 Heights of Fences
- P/ZC 2008-004 Yard Projection & Height for Decks
- P/ZC 2002-005 Yard Reduction Requests
- P/ZC 2002-006 Projections in Yards
- P/ZC 2002-008 Zoning Code "Building height"
- P/ZC 2002-010 General Zoning for Multiple-Dwelling Developments
- P/ZC 2002-011 Summary of Parking Regulations
- P/ZC 2002-016 Retaining Walls in Hillside Areas
- P/ZC 2002-017 Summary of Assisted Living Facilities

Forms and Affidavits:

- Summary Clearance Worksheet (attached)
- Grading Bond: PC/GRAD/Bond 03 and 04
- Protection of Adjoining Property :PC/GRAD/App.13
- Drainage Easement :PC/GRAD/Aff.17
- Community Driveway for 2 Parcels: PC/STR/Aff.13
- Impact Hazard Glazing :PC/STR/Aff.19
- Graffiti Removal :PC/STR/Aff.42
- Lot Tie :PC/STR/Aff.22
- Building Maintenance :PC/STR/Aff.23
- Maintenance of Building Support - PC/STR/Aff.25
- Oversize Building - C/STR/Aff.28
- Off-street parking - C/STR/Aff.27
- Parking Attendant - C/STR/Aff.31
- Green Building Declaration. - C/STR/Aff.39
- Structural Observation

PART I: GENERAL REQUIREMENTS

A. PERMIT APPLICATIONS

- 1. Provide a fully dimensioned plot plan to scale, in ink and copy it to the PCIS application's plot plan sheet.
- 2. Valuation is revised to \$.
Pay additional plan check fee of \$.
School fees are applicable to this project.
- 3. Provide complete and correct legal description (Tract, Lot, Block, Grant Deed). Provide complete information for applicant, owner, engineer, architect, and contractor.
- 4. Obtain separate application for the following items:
 - a. Retaining walls
 - b. Grading work
 - c. Block fence walls
 - d. Signs
 - e. Swimming pools
 - f. Fire sprinkler systems
 - g. A separate structure
 - h. Electrical, Mechanical, Plumbing work
 - i. Shoring
 - j. Demolition
- 5. The permit application must be signed by the property owner, or licensed contractor, or authorized agent at the time the permit is to be issued:
 - a. **For owner-builder permits:** Owner's signature can be verified with owner's driver license. Owner's representatives must present owner's approval with a notarized letter from the owner.
 - b. **For contractor building permits:** Prior to the issuance of a building permit, the contractor shall have the following:
 - i. Certificate of Worker's Compensation Insurance made out to the Contractors State License Board.
 - ii. Notarized letter of authorization for agents.
 - iii. Copy of Contractors State License or pocket ID.
 - iv. Copy of City of Los Angeles business tax registration certificate or a newly paid receipt for one.

copies of recorded affidavits, contact Building and Safety Records Section. For copies of City Planning documents, contact the Department of City Planning at (213) 978-1259, or fax request to (213) 978-1263

- 4. A recorded affidavit is required (see sheet # 2). Obtain a copy of "instruction to process affidavits" from LADBS's web site and follow the instruction.
- 5. Provide temporary shoring plans for excavations removing the lateral support of public way or an existing building. Excavations adjacent to a public way require Public Works approval prior to permit issuance.
- 6. Where there is an excavation of a greater depth than are the walls or foundation of an adjoining building or structure and located closer to the property line than the depth of the excavation, the owner shall provide the Department of Building and Safety with evidence that the adjacent property owner(s) have been given a 30-day written notice of such intent to make an excavation. This notice shall state the depth of such excavation and when it will commence. This notice shall be by certified mail, return receipt requested. (3307.1)(IB: P/BC 2008-060)
- 7. Soil/Foundation/Geology report(s) must be approved by the Grading Section. Provide a copy of the approved report and Department approval letter. Show compliance with the report's requirements and approval letter's conditions.
- 8. No permit can be issued without a recorded Parcel Map/Tract Map. Provide an official recorded copy prior to permit issuance.
- 9. Rough grading approval is required before a building permit can be issued for Tracts.
- 10. Building projections into public properties must comply with Chapter 32. Note on the plans: "Temporary pedestrian protection shall be provided as required by Section 3306. Obtain Public Works' approval. (3201.3, 3202.3.4, 3306)
- 11. Fire lane access is required where any part of the building is 150 ft from the edge of an improved street or approved fire lane. t. Obtain clearance from the Hydrants and Access Unit of the Fire Department. LAMC 57.09.03

B. CLEARANCES

- 1. Obtain all clearances as noted on the attached **Clearance Summary Worksheet**. Apply immediately for the sign off is necessary as it can take months for some departments to review the project. Comply with conditions given during approval prior to the permit issuance.
- 2. Obtain **lot cut date** from Land Records of Public Works. Lot divided after 6-1-46 shall comply with Lot area requirement of the Zone. Lot divided after 7-29-62 shall obtain a Certificate of Compliance from City Planning Department. Allow months to process. Obtain application from Planning Dept
- 3. Provide copies of the following recorded documents for the parcel: (). More requirements or Clearances may follow upon review of the documents. For

- 12. Obtain a site plan review approval from City Planning Department for any development project which creates, or results in an increase of 50 or more dwelling units or guest rooms, or combination thereof. (16.10 B.3)
- 13. (See attached supplemental correction sheet) - Sign off from Watershed Protection Division, Bureau of Sanitation, Department of Public Works is required for:
 - * Projects located in or adjacent to or discharging directly into an Environmental Sensitive Area.
 - * Residential projects with 10 or more dwelling units.
 - * Parking lots (including roof top parking) with 25 or more parking spaces or 5,000 sq. feet or more (including accessory driveways).
 - * Projects with more than 500 s.f. of new floor area.

Ord. 181,899

14. Obtain Clearances from the Green Building Division of LADBS.
15. The city records indicate there possibly is an oil well on the site. Obtain clearance to construct a new building or addition near or on an oil well from the Fire Department. Prior to requesting building permit clearance from the Fire Department, obtain a determination letter from the State of California, Division of Oil, Gas, and Geothermal Resources.

Division, (_____)

5. Provide the following with each set of plans:

<input type="checkbox"/> Topography Survey Map	<input type="checkbox"/> Grading
<input type="checkbox"/> Floor Plans	<input type="checkbox"/> Two Elevations
<input type="checkbox"/> Construction Section	<input type="checkbox"/> Foundation Plans
<input type="checkbox"/> Framing Plans	<input type="checkbox"/> Structural Details
6. Provide fully dimensioned plot plan to scale showing:

<input type="checkbox"/> Legal Description	<input type="checkbox"/> Building Lines
<input type="checkbox"/> Easements	<input type="checkbox"/> Lot Size
<input type="checkbox"/> Highway Dedication Lines	<input type="checkbox"/> Zone Boundaries
<input type="checkbox"/> Alley	<input type="checkbox"/> Street Centerline
<input type="checkbox"/> Parking Spaces	<input type="checkbox"/> Use of all buildings
7. Show location and distance of active and abandoned oil wells with respect to building perimeter, if any.
8. Show on site plans the natural and finish grade elevations around the perimeter of the building. Show elevations for all floors and top of roof. Survey Map must be signed by a licensed Surveyor or Civil Engineer. (106.4.3.3)
9. Remove all plans, details or notes that do not pertain to the project.
10. Provide a minimum of four elevation monuments on the approved building plans as main reference points for the building. Such elevations shall be established before approval of excavation of footings is given.

C. ADMINISTRATION

1. Each sheet of the architectural and structural plans must bear the signatures, registration number and expiration date of an architect or engineer registered in the State of California
2. The address of the building and the name/address of the owner are required on all plans. The name and address of the consultants are required on their plans.
3. (Three)/ (Two) sets of plans will be required during permit issuance. One of these set of plans will be submitted to the County Assessors. Plans must be: (106.3.2.2.& 106.3.3.) (California Revenue and Taxation Section 72)
 - a. Quality blue or black line drawings with uniform and light background color.
 - b. Max. 36' x 48" size with minimum 1/8" lettering size.
 - c. Sticky back details must produce prints without contrasting shades of background color.
4. The final set of plans must be stamped by (City Planning Dpt.), (Fire Dpt), (Disable Access Division), Green Building

PART II: ZONING (Allow time for discretionary approval process from City Planning if zoning requirements can't be met.)

1. Comply with the provisions of the **Specific Plan** _____ **floor area** is limited to 1.5 X Buildable Lot Area. (12.21.1A1)
2. Comply with Zoning Information File # (_____)
3. Provide a copy of the **Certificate of Occupancy** and/or building permit with plot plan showing the legal existing use and parking.
4. The proposed **use** (_____) is not permitted in Zone (_____). **Planning entitlement is** required. Provide a copy of the CUP, ZA, CPC for review and copy the conditions of approval onto the plans for Planning's sign off.
5. Number of dwelling units is excessive for Lot Area in Zone (_____).
6. Building exceeds (_____) **height** for Zone (_____). Show maximum height of the structure from top of roof to grade on all elevation views.
7. For Height District 1-VL, Building is limited to 3 stories and 45 feet tall. (12.21.1A1)
8. For Height District 1-XL, Building is limited to 2 stories and 30 feet tall. (12.21.1A1)
9. For Height District 1 in a commercial or industrial zoned lot,
10. No building or **structure** can exceed the heights as shown below due to close proximity to a Lot zoned for single family residences (RW1 or more restrictive) at where the lot is located adjacent or across a street / alley. A portion of the proposed building within a distance from an adjacent Lot zoned for residences shall be limited to the height as listed below (12.21.1A10):
 - a. 0 to 49 ft ; limits to 25 ft tall.
 - b. 50 to 99 ft; limits to 33 ft tall.
 - c. 100 to 199 ft; limits to 61 ft tall.
11. Basement containing a habitable room shall be considered a story for side and rear yard and Height District's requirements. (12.21C1(l), 12.21.1A8)
12. Provide and dimension on plan with (_____) front yard; (_____) side yard; (_____) rear yard as required for Zone (_____)
13. Maintain a (_____) **Building Line** setback (12.22C1).
14. Maintain a minimum (10' / 20') separation between buildings (12.21 C2a)
15. A (10'/ _____) Passageway is required from the street to each dwelling unit or guest room (12.21C2b)

16. Projection of () into the () yard / passageway is not permitted or limited to () (12.22C20)
17. Provide 30" minimum clear access around main building(s) and accessory living quarters. (12.22C20(l))
18. Fences, planters, and retaining walls shall not exceed a height of () ft. above the natural ground level in required () yard. (12.22C20(f))
19. For development of over 5 units, provide a total minimum usable open space on site of : 100 sq for each unit with less than 3 habitable room; and 175 sq ft for each unit for over 3 habitable rooms (A kitchen is not counted as a habitable room for this requirement) (12.21G2.)
 - a. Common open space shall be open to the sky and have no structures that project into the open space area and readily accessible to all residents of the site (12.21G2a)
 - b. Common open space shall have a minimum of 400 sf with no horizontal dimension less than 15 ft. (12.21G2a1(iii))
 - c. Common open space shall be located at grade level or first habitable room level, except for developments in R3, R4 or R5. (12.21G2a1(iv))
 - d. Landscaping must be approved by Planning Dept.
20. **Provide a summary of the existing legal use and floor area** for all buildings on site to determine parking requirements.
21. **Provide () paved parking spaces.** A minimum of one standard stalls per dwelling unit. (12.21 A4, 12.21 A5)
22. Parking is not permitted in the required front yard and 5' side yard along the side street lot line of a corner lot. (12.21A6a)
23. Attendant Parking Affidavit is required for **Tandem parking.**
24. Comply with parking design standards per Information Bulletin. Plans shall be drawn to scale (around 1/8"=1') to shown aisle widths, circulation driveway, stall widths, and stalls width increase for obstructions and end stalls condition. (12.21A5)
25. Parking site and turning areas within 15' of a property line shall be enclosed with a **5'- 9" high wall.** (12.21A6(d), (e), (f)) A solid concrete or masonry of 6" thick construction is required for parking areas of over 4 cars. 12.21A6(f). A **3' high wall** is required where parking is within 15' of the sidewalk.
26. Maximum driveway slope shall not exceed 20%. [Grade details and transition slopes required where slope exceeds 12½%. Maximum driveway cross slope is 10%. Maximum slope within parking area is 5%. 12.21A5(g), Information Bulletin# P/ZC 2002-001
27. Automobiles are not permitted to back onto a public street or sidewalk. (12.21A5(i)1)
28. Revise plans to maintain a backup aisle. (12.21A5(b))
29. Provide 3 ft 6 in high enclosing **walls** at each floor level of the parking garages in the PB, C1.5, C2, C4, C5, CM zone. 12.12.1.5A2(a), 12.13.1.5A2(b)5, 12.14A24, 12.16A2, 12.17.1A1.
30. **Transportation Demand Ordinance.** Check zoning section 12.21A16 - 12.26J. Requirements vary depending on size starting with developments of 25,000 ft². Obtain clearance from Transportation Dept.
31. Provide a loading space for motel/hotel and all buildings in the C or M zones abuts an alley. (12.21C6)
32. Provide a **storage area** on the rear half of lot. Enclosed with a 6' high solid fence (12.14A42)
33. Provide a **recycling room** for apartment with 4 or more units. The room(s) shall be separate from the trash area. (12.21A19)
34. Accessory building is not permitted on front half of lot, except when located minimum 55-ft from the front line or private garage located on sloping lot in accordance with 12.21C5(l). (12.21C5(b))
35. Provide minimum 5-ft setback from rear property line (10' from alley center line) and () setback from side property line for accessory building containing recreation room or accessory living quarters. (12.21C5(e), (f), (g))
36. Note on plans. "**Double striping** of stalls shall be per Zoning Code Section 12.21A5, Chart No. 5."
37. Los Angeles City Electrical Test Lab Research Report is required to use a mechanical lift to provide parking spaces.
38. "A maintenance of vehicle lift system (2-levels or more) affidavit" shall be approved and recorded prior to issuing a building permit.

PART III: BUILDING CODE

A. GENERAL REQUIREMENTS

1. The following nonstructural products shall comply with an

approved ICC evaluation report or Los Angeles City Research Report. Copy the report and conditions of approval onto the plans and show compliance with those conditions.

- Deck Coating Roofing Materials

- Exterior Siding Sound/Thermal Insulation
- Fire Rated Assemblies Skylights
- Damp proofing material behind basement walls
- Others such as _____

current Building Code. (3403.1.1)

2. Add notes on plans:

- * The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses .
- * An approved Seismic **Gas Shutoff** Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.” (Per Ordinance 170,158) (Includes Commercial additions and TI work over \$10,000.) Separate plumbing permit is required.
- * Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- * Shower compartments and walls above bathtubs with installed shower heads shall be finished with a smooth, nonabsorbent surface to height not less than 70 inches above the drain inlet. Section 1210.3 Use of water-resistant gypsum backing board shall be as stated in Section 2509.3
- * Water heaters must be strapped to a wall (Sec. 507.3, UPC)
- * Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating (research report not required). 2405.5
- * A copy of the evaluation report and/or conditions of listing shall be made available at the job site

3. The aggregate value of proposed (addition) (alteration) is in excess of 50% of the replacement cost of the existing building. The entire building shall be made to conform to

B. OCCUPANCY CLASSIFICATION

1. When the sleeping units are not equipped with cooking facilities and the stay of the guests is no more than 30 days, the building shall be classified as R1 occupancy. Even with cooking facilities such as the “extended-stay hotels”, they are still considered as R1 due to the time duration of the stay.
2. Dormitory for elderly with a 24 hour a day medical supervision with more than 5 occupants shall be classified as I2.
3. All congregate living facilities such as small boarding houses, convents, dormitories, monasteries or non-transient motels for blended families no more than 16 occupants and small enough to operate as a single family unit shall be classified as R3 occupancy.
4. All institutional facilities that accommodate five or less people are to be classified as Group R3.1 (310.1). Comply with special requirements per Section 425.
5. Residential care /assisted living facilities including more than six ambulatory clients (exclude staff) shall be classified as R4.
6. Townhouses not more than 3 stories above grade in height with a separate means of egress for each unit shall be classified as R3 occupancy. (If a portion of the means of egress is exiting through a common area such as an exit court on the side of the building, this townhouse should be classified as a R2 occupancy).
7. Adult care of child care for less than 24 hours with five or less persons shall be classified as R3 occupancy.
8. Residential care / assisted living facilities with more than 6 ambulatory clients and no more than 6 non-ambulatory or bedridden clients shall be classified as R4 (310.1) Comply with Section 425 for special requirements.

9. This is a mixed occupancy building and subject to the provisions of Section 508.

10. The following are required for attached garage / carport (**U occupancy**):

- a. Garage shall not exceed 1000 sq ft or one story in height except in a mixed occupancy where the floor area shall not exceed 3000 sq. ft. provided the exterior walls and openings are protected as required for the major occupancy of the buildings. 406.1.1
- b. Separation from the dwelling unit and its attic area by means of a minimum 1/2-inch gypsum board applied to the garage side (406.1.4).
- c. Separated from all habitable rooms above by not less than a 5/8-inch Type X gypsum board or equivalent (406.1.4)
- d. Doors between garage and the dwelling unit shall be self-closing and self-latching, solid wood or solid or honeycomb core steel not less than 1 3/8 inches thick, or have a minimum fire protection rating of 20 minutes. (406.1.4)
- e. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48 mm) sheet steel and shall have no openings into the garage. (406.1.4)
- f. Exterior walls of a U occupancy less than 5' from a property line must be one-hour construction without openings. (T 602)
- g. Garage shall not open directly into a room used for sleeping purposes. (406.1.4)
- h. Concrete or similar noncombustible and nonabsorbent floor, or asphalt surface at ground level only. The minimum thickness of concrete floor slabs supported directly on the ground shall not be less than 3-1/2 inches.(406.2.6)

C. **BUILDING LIMITATION**

1. Show on plans:

- Height (existing, proposed)
- Number of stories (existing, proposed)
- Number of basement level(s)

- Occupancy Group(s)
- Type(s) of Construction
- Fire District(s)
- Fire Walls (705)
- Unobstructed yards (506.2)
- Sprinkler Type (903.2.7, 504.2, 506.3) (if applicable)
- Use of all rooms/areas on floor plans
- Fire Alarm (907)
- Allowable floor Area Analysis (503)

Note: Vent shafts and courts (502), Mezzanine(s) (505.2) need not be included.

2. The building as shown is a mixed-occupancy (separated occupancy) building.

- a. In each story , the sum of the ratios of th actual area for each separate occupancy divided by the allowable area per story for each occupancy must not exceed one. (508.4)
- b. For the maximum area of a building, the sum of the ratios of the total actual area for each separate occupancy divided by the allowable area per story for each separate occupancy must not exceed two. (506.4)

3. Unobstructed yards of minimum 20' must be maintained at minimum 25% of the building perimeter to permit a (____) % floor area increase. Provide calculation of I_f determination. (506.2) Allowable area per story is defined as $A_a = A_t + [A_f X I_f] + [A_b X I_b]$, where:

I_f is the increase of due to frontage increase is

I_b is the increase due to sprinklers

Total building area is = $A_a X 2$ for multistory.

(T503, 506.2, 506.4.1)

4. Building exceeds allowable height limit of T 503 for Type (____) construction. (503): Max (____) feet in height and Max (____) stories in height

approved product. Thicknesses of fire proofing material shall be specified on the plans. (703.2)

5. Maximum 3 stories allowed for R3 , type (VA, VB) construction (T503)

b. Restrained Construction - Steel members shall be identified by the Engineer. (703.2.3)

6. R2 occupancy above S2, type I or type IV construction may measure the height in terms of stories from above the parking area when building complies with Section 509.4.

14. Exterior (bearing) (nonbearing) walls of Type () construction must be of () hour rated construction. (T601)

7. Provide calculations for establishing grade plane as per Section 502.1. Attach calculations and established grade planes on elevations plans and site plan. (502.1)

15. Fire partitions and Smoke barriers shall be continuous to the underside of the floor or roof sheathing and passing through any concealed spaces or attic areas (709.4, 710.4)

8. Show maximum height of the structure (in feet and stories) from top of roof to grade plane on all elevation views. (502.1)

D. SPECIAL USE OR AREAS

9. Lowest level is determined not to be a basement. This level is considered as 1st story above grade plane. Include this story in total building height. (502.1)

1. Show location and distance of active and abandoned oil wells with respect to building perimeter (6105)

10. Automatic sprinkler system (NFPA-13) may be used for only one of the following purposes:

2. This structure has an Atrium(s). Comply with Section 404 (404.1 thru 10)

a. Height increase (504.2)

b. Area increase (506.3)

c. Fire-resistance rating substitution (T 601)

E. FIRE-RESISTANCE RATED CONSTRUCTION

11. Automatic sprinkler system (NFPA-13) may be used for both height and area increase for R2 occupancy, type VA construction only 504.2, 506.3

1. Clearly identify the locations of the Fire Areas, Fire Walls, Fire Barriers and Fire Partitions on the plans. Provide complete legends and details (702)

12. Indicate area increase method on plan. Indicate if automatic sprinkler system is used for area increase, height increase or fire-resistance rating substitution.

2. Fire rated assemblies shall be per Table 720, generic assemblies of Gypsum Handbook, have LARR approval or ICC approval

13. This structure is of type () construction. Show on the plans the required () rated roof, () rated exterior wall construction, () structural frame protection, and () floor construction. (T 601)

3. Show the fire separation distance: to interior lot line; to centerline of the street, and to an imaginary line between two buildings on the property. The distance shall be measured at right angles from the face of the wall. (702)

a. Structural steel members shall be protected with an

4. Provide complete analysis for protected and unprotected exterior wall openings per section 704.8 & Equation 7-2. Openings are not allowed when the fire separation distance is less or equal to 3'. (705.8)

- a. Door openings in exterior walls must be protected with (3/4-hour) or (1 ½ hour) fire assemblies (not permitted) (715.4)
 - b. Window openings in exterior walls must be protected with (3/4-hour) or (1 ½ hour) fire assemblies (not permitted).(715.5)
5. Provide ()Hr fire resistance rating for exterior walls for R2, type () at () ft from property line or assumed property line. () hr fire resistance rating exterior wall required for building zero feet from P.L.
6. Projections beyond the exterior wall must not extend beyond whichever results in the lesser projection:
- a. A point one-third the distance from an assumed vertical plane located where protected openings are first required due to location on property. (704.2, 705.2)
 - b. A point more than 12" into area when openings are prohibited. (705.2)
- (Note: Section 705.2 is applicable only when NFPA 13 is used)
7. Provide minimum 30 inch high parapet at () walls (705.11)
8. Provide details to show that Fire Wall complies with Section 705 including but not limited to:
- a. Fire Rating shall be (___) hr per Table 706.4
 - b. Fire walls must remain structurally stable in the event of collapse of construction on either side during a fire. Provide a detail to show that joist supported by the fire wall is spliced and not continuous (plywood membrane may be continuous), or provide double fire walls or provide justification for any other method used. 705.2
 - c. Shall be noncombustible material, except in Type V construction per 706.3
 - d. Shall have horizontal continuity per 706.5
 - e. Shall extend vertically from the foundation to a point 30 inches above the roof per 706.6
- f. The area of each opening in Fire Walls is limited to 120 sf. Total width of the openings is limited to 25 percent of the wall length in the story under consideration. (706.8)
 - g. All openings in fire walls shall be protected with fire assemblies having a fire-resistive rating of (1-1/2) (3) hours. (Table 715.4)
 - h. Ducts and air transfer openings through Fire Walls should be avoided. If allowed, duct and air transfer opening penetrations shall be protected as required in Section 713 and 716. Dampers are required. (705.10)
 - i. Exits must be provided independently for each area bounded by fire walls except for horizontal exits per Section 1025.
9. Fire wall can not create a separate building for the purpose of automatic fire sprinkler system requirements as set forth in chapter 9, unless the fire wall is 4- hours w/ no openings (706.1.1)
10. A complete (___)-hour separation is required between Group (___) and Group (___) Occupancies. Separation walls shall to be fire barriers complying with Section 707. Horizontal assemblies shall comply with Section 712. Openings in the separation shall have (___) hour fire assemblies. (508.3.4, T 508.3.4, 707, 712, 715)
11. Fire barriers and horizontal assemblies separating single occupancies into different fire areas shall be (___)hour fire rated per Table 707.3.9.
12. Areas of each opening in fire barrier are limited 156 sf. Total width is limited to 25 percent of the wall length in the story under consideration. (706.8)
13. Elevator lobby is required at each floor where an elevator enclosure connects more than 2- stories, unless the provided the building is sprinklered with 903.3.1.1. or 903.3.1.2 and it is not a high-rise. (708.14.1)
14. Provide (___)hour rated Fire Partition at walls separating dwelling units and common areas, corridors, and elevator lobbies. (709.1, 709.3)
15. Fire barrier at vertical occupancy separations must have

continuity and must extend through underfloor area, attic areas, and suspended ceiling areas (707.5)

16. Opening protectives shall be per section Tables 715.4 and 715.5. Doors shall be ___hr fire rated and windows shall be ()hr fire rated (715)

17. Envelope ceilings must satisfy the following conditions of Section 704

- a. Envelope ceilings must not be used to provide fire protection for beam and girders supporting more than one floor or roof, or supporting load bearing or non bearing walls more than two stories high.
- b. Structural members protected on all sides for the full length with materials having the required fire-resistance rating.
- c. Membrane penetrations of steel, ferrous, or copper conduits with maximum 6- inch diameter shall have the annular space protected and must be limited to 144 square inches of ceiling area. Duct openings must be protected by approved ceiling fire dampers.
- d. Individual electrical outlet boxes must have been tested for use in fire- resistance- rated assemblies with LARR or ICC approval.

18. Openings through a floor/ ceiling assembly shall be protected by (1)_(2)_hour shaft enclosure. The shaft enclosure shall be constructed of fire barriers and horizontal assemblies. (708)

19. *Exception 7 of Section 708.2 permits two floors to be open to each other when all conditions are met. If not, the atrium provision shall be utilized for open two story spaces. See additional corrections for atrium.*

20. Penetrations in a fire-rated wall shall be protected by an approved fire stop material in accordance with Section 713.3.1.

- a. Steel, Copper or ferrous pipes or conduits may penetrate concrete or masonry walls where the penetrating item is a maximum 6- inch diameter and the area of the opening through the wall does not exceed 144 square inches
- b. Membrane penetrations of maximum 2- hr fire-resistance rated wall and partitions by steel electrical

outlet boxes not exceeding 16 square inches are permitted provided openings do not exceed 100 square inches for any 100 square feet of wall area. Outlet boxes on opposite sides of walls or partitions must be separated by a horizontal distance of 24 inches.

c. Where walls are penetrated by other materials or where larger openings are required than permitted in (b) above, they must be qualified by tests conducted in accordance with Section 713.3.1.1

21. Smoke and fire dampers must be installed in the following locations per Sections 716.3.2

- a. Duct penetrations of fire walls in accordance to section 716.1.1
- b. Duct penetrations of fire barriers, except exit enclosures and exit passageways where they are not allowed to penetrate. (716.5.2)
- c. Ducts penetrating shafts. (716.5.3)
- d. Ducts penetrating fire partitions and fire-rated corridor walls. See exception for steel ducts with no openings into corridor (716.5.4.1)
- e. Ducts penetrating smoke barriers (716.5.5)
- f. Ducts penetrating horizontal assemblies (716.6)

22. Show draft stop location on plans. Also, provide these notes on the plans:

- a. In buildings used for other than residential occupancies, draft stops must be installed in wood frame floor construction containing concealed space. Such draft stops must be installed so that the area of the concealed space does not exceed (1000) square feet (717.3.3).
- b. In buildings used for other than residential occupancies, draft stops must be installed in the attic (mansards) (overhangs) (false fronts set out from walls) (similar concealed spaces) formed by combustible construction. Such draft stops must be installed so that the area of the concealed space does not exceed (3000) square feet (717.4.3).
- c. Draft-stopping materials must not be less than ½-inch gypsum board, 3/8-inch plywood, 3/8-inch Type 2-M particle board or other materials approved by the building department. Draft-stopping must be adequately supported. (717.3.1)

23. Draft stops shall be provided within attics, mansards,

overhangs and similar concealed spaces formed of combustible construction, unless the building is sprinklered with NFPA13 sprinkler system (3000 sf between draft stops) (717.4.3)

24. Draft stop shall be provided within a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000 sf between draft stops) (717.3.2 & 3)

25. Horizontal occupancy separation must be supported with a structural system having equivalent fire-resistive protection. (704.1)

26. In building over one-story in height, members supporting concrete or masonry require 1-hour fire resistive protection (704)

27. Note on plans: Fire blocking must be provided in accordance with Section 717 at the following locations:

- a. In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and floor levels.
- b. In concealed spaces of stud walls and partitions, including furred spaces, at 10-foot intervals along the length of the wall.
- c. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
- d. In concealed spaces between stair stringers at the top and bottom of the run and between studs along and in line with the run of stairs if the wall under the stairs is unfinished.
- e. In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels, with noncombustible materials

28. This building is of Type V-A / III-A construction, provide / show:

- a. Continuous drywall behind all tubs is required unless the walls are within the unit and non-bearing. Back to back tubs with a common plumbing wall are impractical in 1-hour buildings.

b. All interior partitions shall be constructed of not less than 1-hour fire-resistive construction.

c. Attic access openings in 1-hour ceiling can be 2 layers of 3/4" plywood or one layer of 1-5/8" T&G material, self-closing.

d. All openings in floors are required to be enclosed by a shaft having wall, floor, and ceiling of _____ hour fire resistive construction. (708.4)

e. Recessed ceiling light fixtures must be boxed around with 5/8" Type "X" drywall" to maintain the 1-hour ceiling assembly.

f. Continuous drywall is required behind all electrical service panels, fire hoses and medicine cabinets.

g. Exhaust fans from the bathroom must enter through the wall. Dampers are required if the ceiling is penetrated (716.5)

h. Plumbing penetration through horizontal occupancy separations shall be boxed out and filled with approved safing material. Insulation is not approved. (713.4.1.1)

i. Penetration of the 1 hour ceiling by ducts from the FAU and the stove hood require dampers (use a ductless hood whenever possible). Attic units (including heat pumps) require dampers at all ceiling penetrations. (716.6)

j. Steel beams and columns shall be protected as required for 1-hour protection. Where ceiling forms the protective membrane for fire-resistive assemblies (occupancy separations and rated roof/ceiling or floor/ceiling assemblies), the construction (floor joists) and their supporting horizontal structural members (beams) need not be individually fire protected except where such members support directly applied loads from more than one floor or roof. The required fire resistance shall not be less than that required for individual protection of members. (704.3)

k. All plumbing penetrations thru walls which require protected openings (Fire walls, Fire barriers, Fire partitions) are required to be galvanized or cast iron piping

29. S2 Occupancy, type I construction garage requires 2 hour separation (minimum floor assembly for S2 occupancy) from R2 occupancy, but not less than required per T508.3.3 Show details (509.4, 508.3.3, T508.4). A _____ rated self-closing door between the garage and _____ (406.2, T508.2.5)

30. S2 Occupancy garage shall comply with the followings:

- a. Concrete or similar noncombustible and nonabsorbent floor, or asphalt surface at ground level only.

(406.2.6)

- b. Sloped floor to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway

(406.2.6)

- c. Floor system designed for uniform or concentrated loads per table 1607.1
- d. Minimum headroom of 7ft - (406.2.2)
- e. Vehicle barriers not less than 2 feet 9 inches high placed at the end of drive lanes, and at the end of parking spaces where the difference in adjacent floor elevation is greater than 1 foot. (406.2.4)
- f. Vehicle barriers designed in accordance with section 1607.7

buildings with a Group "R" fire area. Note on plan. "This building and garage must be equipped with an automatic fire extinguishing system, complying with (NFPA-13 / NFPA-13R); The Sprinkler System shall be approved by Plumbing Div. prior to installation." (903.2)

- 3 Exceptions to, or reductions in building code requirements based on the installation of automatic fire extinguishing system is not allowed when utilizing NFPA-13R type residential sprinkler system allowed for R occupancies (903.2.7, 903.3.1.3, 504.2, 506.3, T601).
- 4 Show the location on the plans. Class I, II or III standpipe (dry, wet, combination) are required in this building.(905.3.1)
- 5. Provide automatic sprinkler system at top of rubbish and linen chutes and in their terminal room (907.2.11.2)

F. INTERIOR FINISHES

- 1. Indicate on plans that interior finish materials applied to wall and ceilings shall be tested as specified in Section 802. In addition, provide details showing application in accordance with Section 803, 804, and Table 8A & 8B.
- 2. The flame-spread rating of paneling materials on the walls of the corridor, lobby and exit enclosure must be identified on plans. (T-8-B)
- 3. An automatic sprinkler system is required throughout per section 903.2.8.

- 6. Waste and linen collection rooms over 100 square feet shall provide 1 hour separation or provide automatic fire-extinguishing system or classify room with occupancy comply with separation per 508.4 (T508.2.5, T508.4)
- 9. The Type I parking structure permitted by section 509.3 is a story (first story) and not a basement. Because of this, the structure is 4 stories in height and requires sprinklers throughout (903.2)
- 10. Add note: "This building shall be provided with a manual alarm system with the capability to support visible alarm notification appliances in accordance with NFPA 72". (907.2.9, 907.5.2.3.4)

G. FIRE PROTECTION

- 1. Building with floor areas over 1500 sf shall be sprinklered where 20 sq. ft. of opening for every 50 ft of wall length is not provided. (903.2.11.1)
- 2. An automatic sprinkler system is required throughout all

- 11. Provide an automatic alarm system for the hotel with both visual and audible alarms activated by the both in-room smoke detector and the building fire alarm system on _____ sleeping units. (907.5.2.3.3)

H. MEANS OF EGRESS

- 1. Exterior exit stairs, balconies and ramps shall be located at least 10 ft from adjacent lot lines and from other buildings on the same lot (1027.3)

2. All stairways shall be built of materials consistent with the types permitted for the type of construction of the building, except that wood handrails shall be permitted for all types of construction. (1009.6)
3. For areas having fixed seats and aisles, the occupant load shall be determined by the number of fixed seats installed therein. The occupant load for areas in which fixed seating is not installed, such as waiting spaces and wheelchair spaces, shall be determined in accordance with Section 1004.1.1 and added to the number of fixed seats. (1004.7)
4. For areas having fixed seating without dividing arms, the occupant load shall not be less than the number of seats based on one person for each 18 inches of seating length. (1004.7)
5. The occupant load of seating booths shall be based on one person for each 24 inches of booth seat length measured at the backrest of the seating booth. (1004.7)
6. Show detailed summary of the floor area and all deductions (if used) for Gross and/or Net floor area. (1004.1)
7. Use correct occupant load factor for the function of space according to Table 1004.1.1.
8. Two exits are required from each space or story. (1015.1)
 - a. Occupant load > 49, (A, B, E, F, M, U)
 - b. Occupant load > 10, (R)
 - c. Occupant load > 29, (S)
 - d. Common path of egress > 75ft.
 - e. Common path of egress > 100ft. (B, F, S) sprinklered building
9. Provide two means of egress for stories exceeding the limits of Table 1021.2.
10. Where two or more exits are required, at least two exits must be separated by $\frac{1}{2}$ the maximum diagonal length of the area served. (1015.2.1) - see exceptions.
11. Where more than one exits are required, no one exit can exceed 50% of the required egress width.(1005.1)
12. All exit doors shall comply with Section 1008-1008.1
 - a. Clear width of each door opening shall be min. 32" or per section 1005.1, whichever is greater
 - b. Min. door height of 6'-8"
 - c. Shall be capable of opening 90 degrees.
 - d. The maximum width of a swinging door leaf shall be 48" nominal.
 - e. Exit door shall be side-hinged swinging type
13. Door(s) # _____ serve(s) an area that has an occupant load of 50 or more. Swing this/these door(s) in the direction of egress travel.(1008.1.2)
14. Show the path of exit travel to and within exits. The exit path shall be identified by exit signs conforming to the requirements of Section 1011. Exit signs shall be readily visible from any direction of approach. Exit signs shall be located as necessary to clearly indicate the direction of egress travel. No point shall be more than 100 feet from the nearest visible sign.(1011)
15. All required exits shall be maintained until arrival at grade or the public way. (1021.1.1)
16. Change of elevation at _(_____) is less than 12 inches, provide sloped surface. If slope is greater than 5%, ramps shall comply with Section 1010 (1003.5)
17. Provide a 1hr. fire rated corridor in accordance with Table 1018.1.
 - a. Occupant load > 30
 - b. Occupant load >10

18. Detail and reference all rated corridor construction and protected openings in accordance to Section 709 for fire partitions. Protection to be of a 20min. doors and 45min. for other openings. (1018.1)
19. Provide a min. corridor width of 44 inches or per section 1005.1, which ever is greater. (1018.2)
20. Revolving doors used for egress purpose shall be accompanied by a side-hinged swinging egress door located max. 10ft along the same wall. (1008.1.4.1)
21. Provide complete details for ramps when used as part of the egress component. Show width, slope, landing and handrails dimensions accordance with Section 1010.
22. Thresholds at doorways shall not exceed 0.50" in height. 0.75" in height for sliding doors serving dwelling units. (1008.1.7)
23. Floors or landings on each side of doors to have the same elevation. Landings shall be level except for exterior landings (max. 2% slope) (1008.1.5)
24. Landing width at doors must have a min. clear dimension of doors served. Min. length of such landings is 44" (36") (1008.1.6)
25. Doors shall not project more than 7" into the required corridor width or at landings when fully opened. And not more than 50% in any position. (1008.1.6)
26. Dead end corridors must not exceed 20 feet., 50 feet for sprinklered bldg. (1018.4)
27. Detail all stairways to comply with Section 1009
- a. Rise: 7" max. Run (tread): 11" min. (1009.3)
- b. Rise: 7.75" max. Run (tread): 10" for stairs within dwelling units. (1009.4)
- c. Headroom clearance: 6'-8." (1009.2)
- d. Width: (44") (36") (48" between hand rails for accessible stairs).(1009.1)
- e. Landing width: Same as stairway served (1009.4)
- f. Landing length: Same as width, max. 48" (1009.4)
- g. Provide a landings at every 12ft. of vertical rise at stairways.(1009.6)
- h. Handrail height: 34-38", max 4" openings (1012.2)
- i. Handgrip portion of handrail shall not be less than 1.25" and not greater than 2" in cross-section for circular type. 4"- 6.25"perimeter for other shapes. (1012.3)
- j. A minimum 1.5" handrail clearance from adjacent walls (1012.7)
- k. Handrail extension of 12" beyond the top and bottom (1012.5)
- l. 1-hour fire rated construction for the enclosed usable space under the stairs. (1009.6.3)
- m. Curved stairways:(1009.8)
- n. Spiral stairways: (1009.9)
28. Provide 42" high guards (1013) at Decks; Landings; Balconies and Walkways where there a vertical drop of greater than 30".
29. For glass handrails and guards, the panels and their support system shall be designed to withstand the loads specified in Chapter 16. A safety factor of four shall be used. The minimum nominal thickness of the glass shall be 1/4 inch. (2407)
30. The means of egress system must have a clear ceiling height of 7'-6".(1003.2)
31. Show calculations for all egress component widths to comply with section 1005.1.
32. Provide min. 48" plus width of door when doors are placed in series. (1008.1.8)

33. Provide a barrier in the exit enclosure at (_____) to prevent entry into the basement level. (1022.7) unless the roof has a slope steeper 4:12 (33%). (1009.13)
34. Building has an exit enclosure connecting more than 3-stories. Provide an approved stairway sign indicating the floor level, terminus of the top and bottom of the stair and the identification number of the stair. It shall be located approximately 5 ft. above the floor landing and be readily visible when the stair doors are in an open or closed position. (1022.8)
35. Usable enclosed space under enclosed or unenclosed stairways shall be provided with a 1-hr. fire-resistance-rated construction or the same fire rating of the stairs enclosure, whichever is greater. (1009.6.3)
36. Open space under exterior stairways shall not be used for any purpose. (1009.6.3)
37. Provide floor-level exit signs in all interior corridors of Group A, E, I, R-1 and R-4 occupancies. (1011.6)
38. The exit passageway may only be used as a means of egress. Provide a 1-hour fire-resistance rating or of the same rating required for any connecting exit enclosure. Walls, floors and ceilings shall be constructed as fire barriers in accordance with Section 707, 1023.1.3 & 1021.3)
39. Opening into exit passageways shall be limited to those necessary for egress from normally occupied spaces. Elevators not allowed. Openings and penetrations shall comply with Section 715. (1023.5)
40. Spiral stairways shall not serve as required exit for an area exceeding 250 and serves not more than 5 occupants. (1009.9)
41. In buildings located four or more stories in height above grade plane, one stairway shall extend to the roof surface,
42. Vertical exit enclosures: (1022)
- a. Connecting 4-stories more: provide 2-hour fire-resistance rating construction (fire barrier);
 - b. Connecting up to 3-stories: provide 1-hour fire-resistance rating construction (fire barrier);
 - c. All openings to be protected in accordance to Section 715. No openings other than exit doorways and exterior wall openings are permitted. 1022.3)
43. Accessible Means of Egress: (1007)
- a. In buildings where a required accessible floor is four or more stories above or below the level of exit discharge, egress elevator shall be provided, see exceptions (1007.2.1)
 - b. Provide 48" clear width between handrails. (1007.3)
 - c. Platform lifts not allowed as part of accessible means of egress. (1007.5);
 - d. Max force to operate doors is limited to 15-lb.
 - e. Show location and dimension area of refuge. (1007.6)
 - i. Size: (2) 30"x48" or 1/200, whichever is greater
 - ii. Separation from other space by a smoke barrier (detail construction per Section 709)
 - iii. Note: Two-way communication required;
 - iv. Signage on door of area of refuge
 - v. Exterior area of refuge to comply with section 1007.7-1007.7.2
44. Egress through intervening space is not allowed to go through:(1004.2)
- a. Different tenant space or dwelling units.
 - b. A more hazardous occupancy.
 - c. Commercial kitchens.;
 - d. Storage rooms, closets or similar spaces
45. Egress convergence applies at (_____) Show

calculation for egress width to account for combined occupant load from floor above and below. (1004.5)

46. Horizontal exits: (1025),

- a. Detail horizontal exits as a 2 hour fire barrier or a fire wall in accordance to Section 706.
- b. Provide self-closing or automatic closing doors.;
- c. Not allowed as the only exit from a space.;
- d. Horizontal exits can not exceed 50% of total exits required.;
- e. Provide clear summary for the refuge area. Show capacity for a minimum of 3sq.ft. for each combined occupant to be accommodated therein.

47. Building is not fully sprinklered in accordance to 903.3.1.1 or 903.3.1.2, exception may not be used.

48. Egress balconies to comply Section 1019. Detail plans to meet all requirements.

49. One openable window with an openable area of not less than 5.7 sq. ft., minimum clear 24" height and 20" width, and a sill height not over 44" above the floor is required in all bedrooms below the fourth story and basement. ;(1029)

50. Escape and rescue windows with a finished sill height below the adjacent ground elevation shall have a window well complying with section 1029.5

51. Provide calculation to show that existing egress system is adequate to accommodate new usable outdoor area. (1004.8)

52. Show and dimension common path of egress travel from each space. (1014.3) *Common path of egress travel shall not exceed 75 ft or 125 feet provided the R2 is protected throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1*

53. Label each space to match the function of space according to Table 1004.1.1

54. Legend on floor plans to show where exits are located and the travel distance to it from the most remote point within a story, measured along the natural and unobstructed path of egress travel.

55. Show clear width dimension at corridors and exit passageways where doors open into it.

56. Area of refuge can not project into egress path of travel

57. Hatch/label and dimension all area of refuge

58. For Highrise buildings, provide smokeproof or pressurized exit enclosures for buildings required to comply with Section 403 or 405 (1022.9)

Note on Plans:

1. Exit signs shall be internally or externally illuminated
2. Exit signs illuminated by an external source shall have an intensity of not less than 5 foot candles (54 lux).
3. Internally illuminated signs shall be listed and labeled and shall be installed in accordance with the manufacturer's instructions and Section 2702.
4. Exit signs shall be illuminated at all times.
5. Exit signs shall be connected to an emergency power system that will provide an illumination of not less than 90min. in case of primary power loss. (1011.2-1011.5.3)
6. Egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort. See

1008.1.8.3 for exceptions.

7. Door handles, lock and other operating devices shall be installed at a min. 34" and a max. 48" above the finished floor

8. All egress door operation shall also comply with Section 1008.1.9 – 1008.1.9.7.

9. The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. The means of egress illumination level shall not be less than 1foot-candle at the walking surface. (1006.1)

10. The power supply for means of egress illumination shall normally be provided by the premises' electrical supply. In the event of power supply failure, an emergency electrical system shall automatically illuminate the following areas:

- a. Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress;
- b. Corridors, exit enclosures and exit passageways in buildings required to have two or more exits.;
- c. Exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
- d. Interior exit discharge elements, as permitted in Section 1027.1, in buildings required to have two or more exits.
- e. Exterior landings, as required by Section 1008.1.6, for exit discharge doorways in buildings required to have two or more exits.

11. The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with Section 2702. (1006.3)

12. Emergency lighting facilities shall be arranged to provide initial illumination that is at least an average of 1 foot-candle (11 lux) and a minimum at any point of 0.1 foot-candle (1 lux) measured along the path of egress at floor

level. Illumination levels shall be permitted to decline to 0.6 foot-candle (6 lux) average and a minimum at any point of 0.06 foot-candle (0.6 lux) at the end of the emergency lighting time duration. A maximum-to-minimum illumination uniformity ratio of 40 to 1 shall not be exceeded.

(1006.3)

13. The exit signs shall also be connected to an emergency electrical system provided from storage batteries unit equipment or an on-site generator set, and the system shall be installed in accordance with the Electrical Code. For high rise buildings, see section 403.

I. INTERIOR ENVIRONMENT

1. Provide stairway illumination. Min. 1 foot-candle at tread runs. (1205.4)

2. Provide 32" wide doors to all interior accessible rooms 1008.1.1

3. One room must be a min. of 120 sq. ft. in area. Other habitable rooms, except kitchens, must be a min. of 70 sq. ft. (1208.3)

4. Habitable rooms other than a kitchen shall not be less than 7' in any direction. (1208.1)

5. Required ceiling height is 7'-6" min., 7'-0" min. in kitchen, bathrooms, laundry rooms and storage rooms. (1208.2)

6. Provide natural light in (habitable rooms) , () by means of exterior wall openings with an area not less than 8% of floor area. (1205.2)

7. Provide natural light for adjoining spaces (1205.2.1)

8. Provide natural ventilation in (habitable rooms) (bathrooms) () by means of operable exterior wall openings with an area not less than 4% of floor area. Mechanical ventilating systems may be permitted (1204.3)

9. Provide natural ventilation for adjoining spaces (1203.4.1.1)
10. For the purpose of providing natural light or ventilation at exterior openings of buildings, a min. yard of 3 feet in width for one and two story building is required. For buildings more than two stories, the min. width of the yard shall be increased to 1 foot for each additional story 1206.2
11. Courts used for natural light or ventilation and having window opening on opposite side shall not be less than 6 feet in width. Courts bounded on three or more sides by the wall of the buildings shall not be less than 10 feet in length, unless bounded one end by a public way or yard. For buildings more than two stories in height, the court shall be increased 1 foot in width and 2 feet in length for each additional story. (1206.3)
12. A mechanical ventilation system in lieu of openable windows in the bathroom, toilet room and laundry, which furnishes five air changes per hour direct to the outside, is required.
13. Attic ventilation of 1/300 of the area of ventilated space (approximately 5 sq. in. for each 10 sq. ft. of attic area) is required.(1203.2)
14. An attic access opening (20" x 30") is required at each separate attic space with a minimum of 30" clearance. (1209.2)
15. Under-floor ventilation shall be not less than 1/150 of under floor area. (1203.3.1)
16. Show minimum 18" x 24" under floor access opening. (1209.1)
17. Openings below grade for the purpose of natural ventilation shall have a minimum size according to (1203.4.1.2)
18. Provide a door and window schedule. Show type and size of each.
19. Indicate on plans that interior finish materials applied to wall and ceilings shall be tested as specified in Section 803. Specify the classifications per Table 803.5 and Section 803.1. Clearly indicate on the plans
20. Provide shower and locker facilities as required by Section 6307
21. All shower compartments, regardless of shape, shall have a minimum finished interior area of not less than 1024 square inches (0.66 m²) and shall be capable of encompassing a 30 inch (0.76 m) circle. The minimum area and dimensions shall be maintained to a point 70 inches (1.8 m) above the shower drain outlet. (1210.3, LAPC 411.7)
22. Provide ___ water closets for women, ___ water closets for men, and ___ urinals (2901), (LAPC T4-1, (IB:P/BC2002-95)
23. Toilet rooms shall be provided with a fully openable exterior window with an area not less than 3 square feet or a vertical duct not less than 100 square inches in area for the first water closet plus 50 square inches additional of area for each additional water closet, or a mechanically operated exhaust system capable of providing a complete change of air every 15 minutes. Such mechanically operated exhaust system shall be connected directly to the outside, and the point of discharge shall be at least 3 feet from any opening that allows air entry into occupied portions of the building.
24. Toilet room floors shall have a smooth, hard non—absorbent surface such as Portland cement, ceramic tile or other approved material that extends upward onto the walls at least 4" (1210.1)
25. Walls within 2 feet (610 mm) of the front and sides of urinals and water closets shall have a smooth, hard non-absorbent surface of Portland cement, concrete, ceramic tile or other smooth, hard non-absorbent surface to a height of 4 feet (1219 mm), and except for structural elements, the materials used in such walls shall be of a type that is not adversely affected by moisture. (807.1.2)

26. Cement, fiber-cement, or glass mat gypsum backers in compliance with ASTM C1178, C1288 or C1325 shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas. Water-resistance gypsum backing board shall be used as a base for tile in water closet compartment walls when installed in accordance with GA-216 or ASTM C840. Regular gypsum wallboard is permitted under tile or wall panels in other wall and ceiling areas when installed in accordance with GA-216 or ASTM C840. Water-resistant gypsum board shall not be used in the following locations: Section 2509.2

- a. Over a vapor retarder.
- b. In areas subject to continuous high humidity, such as saunas, steam rooms or gang shower rooms
- c. On ceilings where frame spacing exceeds 12 inches O.C. for ½ inch thick and more than 16 inches O.C. for 5/8 inch thick.

27. Provide separation by a tight fitting door between food preparation area(s) (including food storage rooms) and toilet room(s) (302.6) .

28. Revise plans to show compliance with the sound insulation requirements for habitable space near airports.(See design requirements as written on IB P/BC2002-074)

29. One elevator in buildings four or more stories above or below grade plane shall be of such a size to accommodate a 24-inch by 84-inch ambulance stretcher in the horizontal, open position and shall be identified by the international symbol for emergency medical services. See 3002.4a for exceptions. 91.3002.4

30. **Add note on plans:**

- a. All elevator pits shall be equipped with a drain to prevent the accumulation of water. The water and other liquids collected in the bottom of an elevator shaft may not be discharged to the sanitary sewer or storm drain. Plumbing Information Bulletin, P/PC 2002-04.
- b. Every space intended for human occupancy shall be provided with natural light by means of exterior

glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 and 1205.3)

J. BUILDING ENVELOPE

1. A fire retardant roof covering is required. Provide a complete description on plans. Class A roof covering is required for all buildings located in a Very High Fire Hazard Severity Zone. (1505.1, 7207.4)
2. Show roof slope(s), drain(s) and overflow drain(s) or scuppers on the roof plan. Provide a detail of the roof drain and overflow system.
 - a. Size the roof drains and overflow drains according to Chapter 11 of the LAPC. (1503.4)
 - b. The roof drain and overflow drain must be independent lines to a yard box.
 - c. Roof drainage is not permitted to flow over public property.
 - d. Overflow scuppers shall be designed in accordance to Table 11-1 of the LAPC
 - e. Show roof elevation to provide a minimum 1/4in per foot roof slope for drainage or design to support accumulated water.
 - f. Site drainage: Show on plans how concentrated drainage is being conveyed to the street via non-erosive devices (7013.10)
3. Provide access to all mechanical equipment located on the roof as required by the LAMC.(1513)
4. Show that the penthouse satisfies the requirements of Section 1509
5. Skylights set at an angle of less than 45 degrees from the horizontal plane shall be mounted at least 4 inches above the plane of the roof on a curb constructed as required for the frame. Except for R3 occupancies, skylights without a curb shall be permitted on roof s with a minimum slope of 14 degrees (three units vertical in 12 units horizontal (Section

2405.4; 2610.2) Glass skylights shall comply with Section 2405. Plastic skylights shall comply with Section 2610.

6. For pre-fab fireplaces, provide manufacturer, model, and Underwriter Laboratories certification number (or ICC's). For masonry fire place, provide details and calculations for chimney. (2106)

7. Show on plan that top of chimney must extend a minimum of 2' above any part of the building within 10'

8. Provide anti-graffiti finish at the first 9 feet, measured from grade, at exterior walls and doors. (6306)

9. Provide veneer details. Show method of anchorage, size and spacing of anchors. Comply with requirements per Section 1405.

10. In R2 occupancy, window sill of openable windows more than 72 inches above finished grade or other surface below shall not be less than 24 inches from finished floor of the room it is located in (1405.13.2)

11. Details of the guardrails at the floor and roof openings, occupied roofs and balconies or porches more than 30" above grade are required. Guardrails shall be 42" in height, have intermediate rails or balusters spaced at 4" maximum. It shall be designed per Section 1607.7.1 (1013.2)

12. Each pane of safety glazing installed in hazardous locations shall be identified by a manufacturer's designation specifying who applied the designation, the manufacturer or installer and the safety glazing standard. The following shall be considered specific hazardous locations for the purposed of safety glazing. Glazing in: Section 2406

a. Swing doors.

b. Fixed and sliding panels of sliding door assemblies and panels in sliding and bi-fold closet door assemblies.

c. Storm doors.

d. Unframed swinging doors.

e. Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers.

f. Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within 24 inches (610 mm) arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches (1525 mm) above the walking surface. Read code for exceptions.

g. Fixed or operable panel, other than described in items e and f, which meets all of the following conditions (read code for exception with special installation).

i. Exposed area of an individual pane greater than 9 square feet (0.84 m²)

ii. Exposed bottom edge less than 18 inches (457 mm) above the floor.

iii. Exposed top edge greater than 36 inches (914 mm) above the floor.

iv. One or more walking surfaces within 36 inches (914 mm) horizontally of the plane of the glazing.

h.. Guards and railings regardless of area or height above a walking surface. Included are structural baluster panels and nonstructural in-fill panels.

i. Walls and fences enclosing indoor and outdoor swimming pools and spas where all of the following conditions are present:

i. The bottom edge of the glazing is less than 60 inches (1525 mm) above a walking surface on the pool or spa side of the glazing.

ii. The glazing is within 60 inches (1525 mm) of a swimming pool or spa water's edge.

j. Adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface; when the exposed surface of the glass is less than 60 inches above the plane of the adjacent walking surface(read code for exception with special installation).

k. Adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glass is less than 60 inches above the nose of the tread (read code for exception with special installation).

13. Architectural projections on () are limited to () (not allowed). (3202)

14. **Add note on plans:**

Items	Code Sec. No.

PROCEDURES WHEN HAZARDOUS AND CONTAMINATED MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION OR GEOTECHNICAL/GEOLOGICAL EXPLORATION

INTRODUCTION

This bulletin provides procedures when hazardous and contaminated materials are encountered during construction or geotechnical/geological exploration. Contaminated materials, in general, are regulated by local, state, and federal agencies. The City of Los Angeles is involved in dealing with contaminated materials, primarily through the Los Angeles Fire Department (LAFD).

Possible sources of contamination may yield various substances and levels of hazard. The type and extent of the contamination will dictate the remediation appropriate for the site and agencies to be notified, who would then assume oversight of the cleanup mitigation. Experts in the field of toxic waste cleanup must work with the appropriate lead agency(s) to classify the type and source of hazard, areal extent of suspected contamination as well as devise and implement a mitigation plan.

LEAD AGENCIES

The LAFD is designated as the enforcement agency for the City that regulates hazardous materials. Where the LAFD's authority or ability is exceeded, the case is referred to the appropriate County, State or Federal agency. These other agencies include, but may not be limited to the following:

California Department of Conservation – Geologic Energy Management Division (CalGEM)
Los Angeles Regional Water Quality Control Board – State of California (LARWQCB)
Health Hazardous Materials Division – Los Angeles County Fire Department (HHMD) - Site Mitigation Unit
South Coast Air Quality Management District (SCAQMD)
Department of Toxic Substances Control – State of California (DTSC)

OIL WELLS AND FIELDS

Some areas within the City of Los Angeles are underlain by gas and oil deposits. In these areas, it is possible for natural gas, crude oil and hydrogen sulfide to work their way to the surface or infiltrate structures and cause potential fire and health hazards. The City Bureau of Engineering's Navigate LA Maps show some oil wells and oil field areas. **CalGEM** is the lead agency that regulates oil wells. **CalGEM** should be contacted to obtain information regarding the location(s) of oil wells, mitigation of well-related seeps, issues regarding proposed construction in the vicinity of an oil well, and oil well abandonment. The current **CalGEM** contact is:

Southern District of Geologic Energy Management Division (CalGEM)

3780 Kilroy Airport Way, Suite 400, Long Beach, CA 90806

Phone: (562) 637-4400

Fax: (562) 424-0166

Email: CalGEMSouthern@conservation.ca.gov

METHANE

Methane gas mitigation, which generally originates from old landfills or other natural sources, is required in Chapter 71 of the 2023 LA City Building Code. Potential hazards are also discussed in the following department information bulletins: P/BC 2023-039 (demolition); P/BC 2023-101 & 102 (methane mitigation). Specific guidelines are provided in these bulletins.

HAZARDOUS MATERIALS (CONTAMINATED SOILS/GROUNDWATER)

Hazardous materials are generally regulated by the Federal and State codes. Contaminants from past processes on a site or area may include hydrocarbons, volatile organic compounds (VOC's), solvents, metals and/or various other substances. The type, extent and potential toxicity of the contamination will dictate the proper agency to be contacted for appropriate remediation.

Environmental site assessments in general are usually categorized and conducted in phases. A Phase 1 assessment identifies potential or existing environmental contamination liabilities. These assessment reports are typically prepared for real estate holdings, lending institutions or as part of property transfers. Depending on the conclusions of the Phase 1 assessment, a Phase 2 assessment (detailed drilling & sampling to define the extent and level of toxicity) may be conducted and submitted to the regulating agency. Based on the agency's concurrence, the assessment will proceed to Phase 3 which will include remediation and closure, also with agency concurrence. In the majority of cases involving commercial scale development, a Phase 1 site assessment is the first step in the process of environmental due diligence.

When unanticipated contamination is detected, required action may include the following: work stoppage; temporary site closure; and notification to appropriate agencies. Significant contaminated sites will likely require the assessments described above. Department personnel must cooperate for this purpose with the owner/developer, various agencies and private experts/consultants.

DETECTION PROCEDURES

Not all discolored or odorous soils fall within the legal definition of chemically contaminated soils. For example, the soil surrounding and associated with private sewage disposal systems, is not considered contaminated unless the system has been used to dispose hazardous substances other than human waste.

Sampling and laboratory testing to identify contaminants in soil or groundwater requires protocol during investigations, including monitoring and protection for personnel health and safety. Such protocol is beyond the Department's expertise. However, the environmental consultants that specialize in these tasks are expected to be familiar with such protocols.

Occasionally, unanticipated evidence of soil contamination is discovered during site geologic/geotechnical exploration, based on visual or olfactory observations. The presence of hazardous materials may also be discovered during grading or construction, which may present dangerous conditions, such as explosive (fire) and health hazards. Contractors, geotechnical observers and other workers should notify the site superintendent immediately after such observations are made. The LADBS inspector should also be notified.

DEPARTMENT ACTION

Environmental issues are not within the primary purview of the Department or the Grading Division of the Department. However, if reports submitted to the Department indicate the presence of contamination or hazardous materials, the owner and appropriate lead agencies may be contacted.

If contamination is discovered after construction has started, the Department and the appropriate lead agency shall be contacted immediately. The Department inspector may issue a Stop Work Order so that the area of contamination can be isolated, pending further investigation.

LEAD AGENCY DESIGNATION

In California, several hazardous material environmental programs are consolidated into one regulatory program referred to as the Unified Hazardous Materials Program under which, the California Environmental Protection Agency (CalEPA) delegates most of the inspection and enforcement activities to certified local agencies, called Certified Unified Program Agency (CUPA).

If contamination is encountered on a former or current underground storage tank (UST) site, then the LAFD CUPA is the first point of contact and lead agency. Contact LAFD's CUPA, USTs & Plan Check Unit – **213-978-3708** (direct) or **213-978-3700** (general questions). If the scope of work exceeds the LAFD's authority or ability then the case may be referred to another appropriate agency.

If a UST is found during excavation or during grading, a Specific Project or Action Permit from LAFD is required in order to remove the UST. Additional information can be obtained at

<https://www.lafd.org/fire-prevention/cupa/ust-tank-abandonment-guidelines>

In cases, where the contamination is non UST-related, the primary lead agency with jurisdictional authority in the City of Los Angeles will be the HHMD – Site Mitigation Unit – <http://www.fire.lacounty.gov/hhmd/site-mitigation/> **323-890-4106** (general information).

In certain cases, the HHMD may refer the case to the LARWQCB or DTSC. For DTSC, contact the Regulatory Assistance Office (DTSC)

Toll-Free in CA: 800-728-6942 or 800 72-TOXIC

Outside CA: 916-324-2439

Email: RAO@dtsc.ca.gov

SPECIAL PROCEDURES

In the event Department inspection discloses the possibility of explosive gas conditions or similar imminent hazards, the inspector should stop the job and immediately notify the LAFD. If an oil well is discovered, the Department will immediately notify **CalGEM and the Petroleum Administrator** for inspection and guidance to abandon the well properly. In either case, the area should be cordoned off to prevent injury to workers or the general public. This condition will prevail until a clearance is received in writing from the appropriate agency.

When the presence of volatile organic compounds (VOC) from contaminated soil is suspected, which would generally be detected initially by a strong odor, the SCAQMD shall be contacted (see also SCAQMD Rule 1166 for petroleum hydrocarbons). Upon notification, the SCAQMD may dispatch personnel to test the level of VOC or require sampling in accordance with the SCAQMD site mitigation plan by a qualified environmental consultant. If the VOC levels exceed 50 parts per million (ppm), appropriate action will be required which may include the use of soil vapor suppressants, isolation, covers over and below the soil, containerization or removal etc. of the contaminated material.

Contact the Site Mitigation Supervisor at the Toxic Asbestos Unit of the SCAQMD at **909-396-2000** or **webinquiry@aqmd.gov**.

CONSTRUCTION DEWATERING

When temporary dewatering is required as part of construction, industrial wastewater discharge permits are required by the City of Los Angeles Bureau of Sanitation for discharge of the pumped water into the public sewer system. If the water is to be discharged into the public sewer system, the City of Los Angeles Bureau of Sanitation is concerned with: (1) the quality of the discharge; and (2) the capacity and hydraulics of the public sewer system to accept the discharge. Contact **Lonnie Ayers*** for permits at **323-342-6098**. Seepage Pits (sewage systems) are taken care of by **Hyginus Mmeje*** at **323-342-6241**.

If temporary dewatering pumps are to discharge into the storm drain system (which eventually discharge directly into surface waters such as streams or oceans), National Pollutant Discharge Elimination System (NPDES) permits are required from the LARWQCB. Contact **Augustine Anijelo*** (anijelo,augustine@waterboards.ca.gov) at **213-576-6657**. If the discharge will be on to adjacent land, permits are required from the LARWQCB. Contact **Dr. Don Tsai*** (Don.Tsai@waterboards.ca.gov) at 213-576-6683. For all matters pertaining to UST sites at the LARWQCB, contact **Dr. Yue Rong*** (yrong@waterboards.ca.gov) at (213) 620 2253.

Note: *The contact person(s) cited in this bulletin may be replaced.



DENSITY BONUS, CONDITIONAL USE, PUBLIC BENEFIT PROJECT Housing Incentives

Related Code Sections

Los Angeles City Planning offers several processes intended to facilitate affordable housing in the City of Los Angeles.

Los Angeles Municipal Code (LAMC) Section 12.22 A.25(g)(2) of Chapter 1 and Government Code Section 65915 authorizes the Director of Planning to approve applications for Density Bonus requesting up to three On-Menu Incentives. Procedures shall be the same as for a Director Determination governed by LAMC Section 13B.2.5. of Chapter 1A.

LAMC Section 12.22 A.25(g)(3) of Chapter 1 authorizes the City Planning Commission (CPC) to approve applications for Density Bonus requesting Off-Menu Incentives or Waivers of Development Standards. Procedures shall be the same as for a Class 3 Conditional Use Permit governed by LAMC Section 13B.2.3. of Chapter 1A.

LAMC Section 12.24 U.26 of Chapter 1 authorizes the CPC to approve a Conditional Use Permit for applications requesting a density increase greater than the maximum permitted (35 percent) by LAMC Section 12.22 A.25 of Chapter 1. Procedures shall be the same as for a Class 3 Conditional Use Permit governed by LAMC Section 13B.2.3. of Chapter 1A.

LAMC Section 14.00 A of Chapter 1 authorizes the Zoning Administrator to approve a Conditional Use Permit for Public Benefit Projects, where otherwise not permitted by right, and which does not meet specific performance standards as provided in LAMC Section 14.00 A.2 of Chapter 1. Procedures for a Class 2 Conditional Use Permit are governed by LAMC Section 13B.2.2. of Chapter 1A.

Check all that apply to the entitlement request below:

- Density Bonus with On-Menu Incentive(s)
- Density Bonus with Off-Menu Incentive(s) or Waiver(s) of Development Standard(s)
- Conditional Use Permit for Greater than 35% Density Bonus
- Conditional Use Permit for Public Benefit Project

All applications require an Affordable Housing Referral Form ([CP13-4043](#)) from the Metro Development Services Center (DSC) Affordable Housing Services Section (AHSS).

Public Benefit Project also requires a Case Consultation Referral Form ([CP13-3598](#)) from applicable Geographic Project Planning Staff.

Executive Directive No. 1

In accordance with the Mayor Bass' Executive Directive No. 1 (ED 1), issued on December 16, 2022, City Planning has implemented a policy to exempt 100 percent affordable housing projects and shelters from Project Review, pursuant to the authorizing LAMC Section 16.05 of Chapter 1, the procedures for which are governed by LAMC Section 13B.2.4. of Chapter 1A. No environmental review or public hearing will be required, and all eligible projects shall be processed within 60 days following the submission of a complete application; and clearances shall be provided within five business days for 100 percent affordable housing projects and within two business days for Shelters. To qualify, the project shall include at least 5 units that have at least two-thirds residential square footage, with all units affordable to Low Income households or lower; and **NOT** include a legislative action (e.g., General Plan Amendment, Zone Change, Height District Change), or a deviation from development standards outside of affordable housing incentives (e.g., Adjustment, Variance, Waiver of Dedications and/or Improvements); or be subject to Coastal Development Permit or the Subdivision Map Act.¹

Priority Housing Project (PHP) Processing

In accordance with the Mayor Garcetti's Executive Directive No. 13 (ED 13), issued on October 23, 2015, City Planning has implemented a policy to prioritize case processing for projects that contribute to the new construction or rehabilitation of housing developments that meet the criteria set forth in ED 13. Complete the following regarding the project:

The project contains a minimum of 10 or more units; and YES NO

At least 20% of on-site rental units have rents restricted so as to be affordable to and occupied by lower-income households; or YES NO

At least 30% of on-site for-sale units have sales prices restricted so as to be affordable to and occupied by low- or moderate-income households. YES NO

Public Hearing and Notice

Density Bonus with On-Menu Incentives

No public hearing is required. However, mailing of the Letter of Determination to Abutting Property Owners of all contiguously owned properties of the subject site is required. See Mailing Procedures Instructions ([CP13-2074](#)) for more information.

¹ Refer to [ED 1 Implementation Guidelines](#) for qualifying criteria.

Density Bonus with Off-Menu Incentives or Waiver of Development Standards, Conditional Use, or Public Benefit Project

A public hearing is required. Notification includes mailing to Property Owners and Occupants within a 300-foot radius of all contiguously owned properties of the subject site, and the Certified Neighborhood Council representing the area in which the property is located, as well as on-site posting of the Notice of Public Hearing and for the CPC Public Meeting, when required. Refer to the Mailing Procedures Instructions ([CP13-2074](#)) and On-Site Posting ([CP-7762](#)) handouts for additional information.

Specialized Requirements

When filing any of the above applications the following items are required in addition to those specified in the City Planning Application Filing Instructions ([CP13-7810](#)).

Affordable Housing Referral Form

This form ([CP13-4043](#)) is required if the request includes an affordable housing incentive under the Density Bonus Program, Measure JJJ, the Greater Downtown Housing Incentive Program. It must be completed by the Applicant and signed by the Affordable Housing Services Section (AHSS) Staff. For assistance, contact planning.priorityhousing@lacity.org.

(Optional) Housing Crisis Act (HCA) Vesting Preliminary Application

This form ([CP13-4062](#)) is intended to initiate optional vested rights for a Housing Development Project pursuant to the Housing Crisis Act of 2019. The Applicant shall submit an HCA Vesting Preliminary Application through the Department's [OAS](#) at <http://planning.lacity.org/oas>. Once deemed complete, Planning staff shall provide a signed HCA Vesting Preliminary Application Form, to be included with the case filing. The HCA Vesting Preliminary Application is only valid when it is deemed complete prior to filing the City Planning Application Form for the project. For assistance, contact planning.hca@lacity.org.

Case Consultation Referral Form

This form ([CP13-3598](#)) is required if the project request includes *Public Benefit Project* and must be signed by the planner assigned to the geographic area in which the project is located prior to case filing. For assistance regarding planner assignment, consult DSC Staff.

Preliminary Zoning Assessment Form

This form ([CP-4064](#)) is required if the proposed project creates two or more residential units (including Accessory Dwelling Units). The purpose of this form is to facilitate an informational Zoning Plan Check by LADBS. **Section VI** shall be completed by LADBS Staff, along with signed project plans, at the conclusion of the informational Zoning Plan Check. For more information, refer to the [Housing Development Project Applicability Matrix](#).

SB 8 Replacement Unit Determination (RUD) Letter

This letter may be required if the project proposes a Housing Development Project subject to the HCA (e.g., any project that results in one or more residential units or residential lots) and the subject property requires **HCA housing replacement review**, check “Housing Crisis Act Replacement Review” under the Housing tab on ZIMAS. If “Yes”, an RUD letter must be obtained from LAHD, unless the project qualifies for a No Net Less Declaration ([CP-4069](#)). The RUD will determine whether any affordable replacement units are required and if any applicable occupant protections apply. For assistance, contact lahd-landuse@lacity.org. For more information, refer to the [Housing Development Project Applicability Matrix](#).

Color Elevations

Color elevations are mandatory for all Density Bonus cases. These shall include specifications and a legend for all materials and colors proposed for the street facing façade. Refer to the Elevation Instructions ([CP-7817](#)) for technical requirements. Provide as many copies as plans required per the City Planning Application Filing Instructions.

Color Renderings

Color renderings are mandatory for all Density Bonus cases that include Project Review and/or require CPC approval. Provide as many copies as plans required per the City Planning Application Filing Instructions.

Citywide Design Guidelines Compliance Review Form

This form ([CP-4056](#)) is required for any project which involves the construction of five or more residential units, construction of a new main building, or the filing of a Vesting Tentative Tract Map. Exceptions include those utilizing the Qualified Permanent Supportive Housing (QPSH) Ordinance, applicable streamlining measures (SB 35 or SB 2162).

Density Bonus with On-Menu Incentives

Eligibility Requirements

Pursuant to LAMC 12.22 A.25(g)(2) of Chapter 1, to be eligible for On-Menu Incentives, a Housing Development Project (other than an Adaptive Reuse project) shall comply with the below requirements. On a separate page, provide a detailed justification/explanation of how the proposed project complies with the following eligibility requirements:

1. The façade of any portion of a building that abuts a street shall be articulated with a change of material or with a break in plane, so that the façade is not a flat surface. Indicate the sheet number on the plans which shows compliance with this requirement.

2. All buildings must be oriented to the street by providing entrances, windows, architectural features and/or balconies on the front and along any street-facing elevations. Indicate the sheet number on the plans which shows compliance with this requirement.
3. The Housing Development Project shall not be a contributing structure in a designated Historic Preservation Overlay Zone and shall not be on the City of Los Angeles list of Historical-Cultural Monuments. Check the “Planning and Zoning” tab under the property profile in ZIMAS at <http://zimas.lacity.org>.
4. The Housing Development Project shall not be located on a substandard street in a Hillside Area or in a Very High Fire Hazard Severity Zone as established in Section 57.4908 of the Municipal Code. To verify whether a project is located on a substandard street, obtain a Hillside Referral Form from the Bureau of Engineering; to verify whether a project is located within a Very High Fire Hazard Severity Zone, check the “Additional” tab under the property profile in ZIMAS.

Findings

The decision maker must decide if the facts presented in the record support the findings (i.e., criteria for approval) established in the LAMC. On a separate sheet, provide a detailed justification/explanation of how the proposed project conforms with the following:

Density Bonus with On- and/or Off-Menu Incentives

Pursuant to Government Code Section 65915, the decision maker shall approve a Density Bonus and requested Incentive(s) unless the decision maker finds that:

1. The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.
2. The incentives would have a specific, adverse impact, as defined in paragraph (2) of subdivision (d) of Section 65589.5, upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low-income and moderate-income households.
3. The incentives are contrary to state or federal law.

Density Bonus with Waiver of Development Standards

Pursuant to Government Code Section 65915, the decision maker shall approve a Density Bonus and requested Waiver(s) of Development Standards unless the decision maker finds that:

1. The waiver[s] or reduction[s] of development standards will not have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage]

criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law] (Government Code Section 65915(e)(1)).

2. The waivers or reductions of development standards would have a specific, adverse impact, as defined in paragraph (2) of subdivision (d) of Section 65589.5, upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low-income and moderate-income households.
3. The waivers or reductions of development standards are contrary to state or federal law.

Conditional Use Permit for Greater than 35% Density Bonus & Public Benefit Project

1. The project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.
2. The project's location, size, height, operations, and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare and safety.
3. The project substantially conforms with the purpose, intent and provision of the General Plan, the applicable community plan, and any applicable specific plan.

Supplemental Findings

Conditional Use Permit for Greater than 35% Density Bonus

Pursuant to LAMC Section 12.24 U.26 of Chapter 1, Density Bonus requests for Housing Development Projects in which the density increase is greater than the maximum permitted in LAMC Section 12.22 A.25 of Chapter 1 shall also find that:

1. The project is consistent with and implements the affordable housing provisions of the Housing Element of the General Plan.
2. The project contains the requisite number of Restricted Affordable Units, based on the number of units permitted by the maximum allowable density on the date of application, as identified in LAMC Section 12.24 U.26(a)(2) of Chapter 1.
3. The project meets any applicable dwelling unit replacement requirements of California Government Code Section 65915(c)(3).
4. The project's Restricted Affordable Units are subject to a recorded affordability restriction of 55 years from the issuance of the Certificate of Occupancy, recorded in a covenant

acceptable to the Los Angeles Housing Department, and subject to fees as set forth in LAMC Section 19.14.

5. The project addresses the policies and standards contained in the City Planning Commission's Affordable Housing Incentives Guidelines.

Public Benefit Project

Pursuant to LAMC Section 14.00 B.2 of Chapter 1, density increase requests for a Housing Development Project to provide for additional density in excess of that permitted in LAMC Section 12.22 A.25 of Chapter 1 shall also find that:

1. The proposed project substantially meets the purposes of the performance standards set forth in LAMC Section 14.00 A.2 of Chapter 1.

If utilizing this process, also refer to the Instructions for the Public Benefit Projects ([CP-7766](#)).

REFERRAL FORM



AFFORDABLE HOUSING REFERRAL FORM

This form is to serve as a referral to the Los Angeles City Planning's Development Services Center (DSC) for Affordable Housing case filing purposes (in addition to the required City Planning Application and any other necessary documentation); and to the City of Los Angeles Housing Department (LAHD), Department of Building and Safety (LADBS), or other City agency for project status and entitlement need purposes. All Applicants are required to provide a complete set of architectural plans at the time that this form is submitted for review. Any application submitted that is missing any required materials will be considered incomplete and will not be reviewed until all materials are submitted.

This form shall be completed by the Applicant and reviewed and signed by City Planning DSC Affordable Housing Services Section (AHSS) Staff prior to filing an application for an entitlement, administrative review, or building permit. Any modifications to the content(s) of this form after its authorization by AHSS Staff is prohibited. City Planning reserves the right to require an updated Referral Form for the project if more than 180 days have transpired since the referral date, or as necessary, to reflect project modifications, policy changes, bus route changes, bus schedule changes, and/or amendments to the Los Angeles Municipal Code (LAMC), local laws, and State laws.

Note: This Referral Form does not constitute a City Planning application. See the Forms webpage for City Planning Application ([CP13-7771.1](#)) and the City Planning Application Filing Instructions ([CP13-7810](#)). If the project is located within a Specific Plan or Overlay Zone, check with the assigned planner prior to preparing these plans, as some have additional or different requirements. An [Assignment List](#) can be found on the City Planning website at <http://planning.lacity.org> under the "About" tab, under "Staff Directory."

THIS SECTION TO BE COMPLETED BY AHSS STAFF ONLY

Planning Staff Name & Title: Dani Dirksen, Planning Assistant

Planning Staff Signature: Dani Dirksen

Digitally signed by Dani Dirksen
Date: 2024.07.17 09:57:31 -07'00'

Referral Date: 7/17/2024 Expiration Date: 1/13/2025

Case Number: PAR- 2024-3365-AHRF-PHP

TRANSPORTATION QUALIFIERS (if applicable)

Major Transit Stop Paratransit / Fixed Bus Route Very Low Vehicle Travel Areas

Other: _____

Location of Transit: Fixed bus route with bus stop @ Saticoy St/Woodlake Ave

Qualifier #1: LA Metro Line 169

Service Interval #1: EB at least 8 times/day Service Interval #2: WB at least 8 times/day

Qualifier #2: N/A

Service Interval #1: _____ Service Interval #2: _____

Service Intervals are calculated by dividing 420 (the total number of minutes during the peak hours of 6 am to 9 am and 3 pm to 7 pm) by the number of eligible trips.

Notes:

100% affordable PHP (not ED-1) senior housing 55+ requesting AB 2334 and 3 on-menu incentives. Site does not qualify for Major Transit Stop but is located within 1/2 mi of Metro Line 169, fixed bus route, @ Saticoy/Woodlake. See comments on AHRF in blue. Comments on project/plans as follows: 1) Project is on-menu, slated for ministerial processing. If changes to discretionary, note that site pops up on Historic Places LA with codes 3S, 3CS, 5S3; 2) FAR should be 2.82:1 (rounded up to two decimal places) instead of 2.81:1; 3) update planting requirement to 25% of 28,880 sf common open space. Materials and plans have not been checked for full compliance with LAMC and LABC. Submittal of a signed Referral Form does not constitute a deemed complete date, nor approval of entitlements or plans submitted at the time of case filing.

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Applicant Requesting:

- 100% Affordable per AB 2345¹ SB 35 ED 1 Measure JJJ
 AB 2011 AB 2097 AB 2162 AB 2334
 Other: AB 2345, AB 1763

APPLICANT INFORMATION

Applicant Name: JEFF ZBIKOWSKI

Phone Number: 310.853.5004

Email: JEFF@JZARCH.LA

I. PROPOSED PROJECT

1. PROJECT LOCATION/ZONING

Project Address(es): 7556-7572 N WOODLAKE AVE LOS ANGELES, CA

Assessor Parcel Number(s): 2021002013

¹ AB 1763 incentives were amended by AB 2345 (2020) per Government Code Section 65915(b)(1)(G).

Community Plan: Canoga Park - Winnetka - Woodland Hills - West Hills

Existing Zone: A2-1

Land Use Designation: LOW RES

Number of Parcels: 1

Project Site Area (sf): 95,783 SF PER SURVEY *Applicant must provide survey in final plans*

- ED 1 Eligible²** **Specific Plan** **DRB/CDO**
 HPOZ **Enterprise Zone** **Redevelopment Project Area**

If applicable, specify Specific Plan/Overlay: _____

Q Condition/D Limitation (Ordinance No. and provide a copy): _____

Other Pertinent Zoning Information (specify): ZI-2438 Equine Keeping in the City of Los Angeles

2. DETAILED DESCRIPTION OF PROPOSED PROJECT

NEW CONSTRUCTION, 5 STORY, 332-UNIT APARTMENT BUILDING, 100% AFFORDABLE, 55 AND OVER AGE RESTRICTED HOUSING DEVELOPMENT, SEEKING ON-MENU INCENTIVES PER LAMC 12.22.A.25, AB1763, AB2345 & AB2334.

3. DETAILED DESCRIPTION OF EXISTING SITE AND DEVELOPMENT

VACANT LAND

² Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

Existing Uses Dwelling Unit (DU) Square Footage (SF)	Existing No. of DUs or Non-Residential SF	Existing No. of DUs or Non-Residential SF to be Demolished	Proposed ³ No. of DUs or Non-Residential SF
Guest Rooms			
Studio			
One Bedroom			216
Two Bedrooms			116
Three Bedrooms			
_____ Bedrooms			
Non-Residential SF			
Other			

4. APPLICATION TYPE

Density Bonus with **On-Menu Incentives** (specify):

- 1) 20% OPEN SPACE REDUCTION FROM 36,100 SF TO 28,880 SF PER LAMC 12.22.A.25
- 2) 20% SIDE YARD REDUCTION FROM 11.94' TO 9.55' PER LAMC 12.22.A.25
- 3) 20% SIDE YARD REDUCTION FROM 11.94' TO 9.55' PER LAMC 12.22.A.25
- 4) _____

Density Bonus with **Off-Menu Incentives** (specify):

- 1) _____
- 2) _____
- 3) _____
- 4) _____

³ Per AB 2556, replacement units shall be equivalent to the number of units and number of bedrooms of the existing development.

Density Bonus with **Waivers of Development Standards** (specify):

1) _____

2) _____

3) _____

4) _____

Greater Downtown Housing Incentive Area per LAMC Section 12.22 A.29 of Chapter 1

Affordable Housing per LAMC Section 11.5.11 (Measure JJJ) of Chapter 1

Public Benefit Project per LAMC Section 14.00 A.2 of Chapter 1

General Plan Amendment per LAMC Section 11.5.6 of Chapter 1

Request: _____

Zone/Height District Change per LAMC Section 12.32 of Chapter 1

Request: _____

Conditional Use per LAMC Section 12.24 U.26 of Chapter 1

Project Compliance per LAMC Sections 13B.4.2. and 13B.4.3. of Chapter 1A

Community Design Overlay per LAMC Section 13.08 of Chapter 1

Coastal Development Permit per LAMC Sections 13B.9.1. or 13B.9.2. of Chapter 1A

Tract or Parcel Map per LAMC Section 17.00 or 17.50 of Chapter 1

Other (specify): _____

5. ENVIRONMENTAL REVIEW

Project is Exempt⁴

Not Yet Filed

Filed (Case No.): _____

⁴ Project may be exempt from CEQA review if it qualifies for a CEQA Exemption or is a Ministerial Project (aka, "By Right").

6. HOUSING DEVELOPMENT PROJECT TYPE

CHECK ALL THAT APPLY:

- For Rent For Sale Mixed-Use Project Residential Hotel
- Extremely Low Income Very Low Income Low Income Moderate Income
- Market Rate Supportive Housing Senior
- Shared Housing Building per AB 682
- Special Needs (describe): _____
- Other Category (describe): _____

7. DENSITY CALCULATION

- A. Base Density: Maximum density allowable per zoning⁵** (a) Applicant to provide survey at later point; calculations unchanged if using ZIMAS square footage
- | | |
|---|---|
| Lot size (including any ½ of alleys) ⁶ | <u>95,783</u> SF (a) |
| Density allowed by Zone | <u>1 acre</u> SF of lot area per DU (b) |
| Density allowed by General Plan | <u>5,000</u> SF |
| No. of DUs allowed by right (per LAMC) | <u>19</u> DUs (c) [c = a/b, round down to whole number] |
| No. of Guest Rooms allowed per AB 682 | _____ |
| Base Density | <u>20</u> DUs (d) [d = a/b, round up to whole number] |
- B. Maximum Allowable Density Bonus^{7,8}** 27 DUs (e) [e = dx1.35, round up to whole number]
- AB 2345 - Unlimited Density

⁵ As defined by Government Code Section 65915(o)(7), which states that "maximum allowable residential density" or "base density" means the maximum number of units allowed under the zoning ordinance, specific plan, or land use element of the general plan, or, if a range of density is permitted applicable to the project. If the density allowed under the zoning ordinance is inconsistent with the density allowed under the land use element of the general plan or specific plan, the greater shall prevail.

⁶ If there is a related subdivision case, the lot area shall be calculated based on the site area after a dedication of land has been provided.

⁷ Per AB 2345, 100% affordable housing developments may request an 80% density increase or unlimited density if the project site is within 0.5 miles of a Major Transit Stop or in a Very Low Vehicle Travel Area (see ZIMAS). In addition, a property located in the Hollywood Redevelopment Plan Area is eligible for a 50% density bonus pursuant to Government Code Section 65915(f), as described in the November 2, 2022 AB 2345 Memo.

⁸ Per AB 2334, a Very Low Vehicle Travel Area are defined by Government Code Section 65915(o)(4), as an urbanized area "where the existing residential development generates vehicle miles traveled (VMT) per capita that is below 85 percent of either regional vehicle miles traveled per capita or city vehicle miles traveled per capita.

C. Proposed Project: Please indicate total number of DUs requested and break down by levels of affordability set by each category (California Department of Housing and Community Development [HCD] or United States Department of Housing and Urban Development [HUD]). For information on HCD and HUD levels of affordability please contact LAHD at <https://housing.lacity.org/partners/land-use-rent-income-schedules>.

Note: Rent schedules will be determined by LAHD.

	Total	HCD (State)	HUD (TCAC)
Market Rate		N/A	N/A
Managers Unit(s) — Market Rate ⁹	1	N/A	N/A
Extremely Low Income (ELI)			
Very Low Income (VLI)			
Low Income (LI)	265		265
Moderate Income	66	66	
Permanent Supportive Housing — ELI			
Permanent Supportive Housing — VLI			
Permanent Supportive Housing — LI			
Seniors — Market Rate		N/A	N/A
No. of Guest Rooms allowed per AB 682			
Other			
Other			
Other			
Other			
TOTAL No. of DUs Proposed	332	(f)	
TOTAL No. of Affordable Housing DUs	331	(g)	
No. of Density Bonus DUs	313	(h) [If f>c, then h=f-c; if f<c, then h= 0]	
Percent of Density Bonus Requested	1560	(i) {i = 100 x [(f/d) – 1]} (round down)	
Percent of Affordable Set Aside	100	(j) [g/d, round down to a whole number]	

⁹ Properties proposing 16 units or more need to provide a manager's unit per 25 CCR § 42.

8. PROJECT REVIEW CALCULATION

An application for Project Review may be required for projects that meet any of the Project Review thresholds as outlined in LAMC Section 16.05 C of Chapter 1, unless otherwise exempted per LAMC Section 16.05 D of Chapter 1. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the Project Review threshold for unit count. If the project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05 D of Chapter 1, please confirm the exemption with City Planning's DSC AHSS.

19 units allowed by right (permitted by LAMC) – 2 existing units = 17 units

YES, Project Review is required.

Proposed by-right units minus existing units is equal to or greater than 50¹⁰

NO, Project Review is not required.

Base Density units minus existing units is less than 50

Exempt.

Specify reason: _____

II. DENSITY BONUS (LAMC SECTION 12.22 A.25, ORDINANCE NO. 179,681)

9. PARKING OPTIONS

CHECK ALL THAT APPLY:

Automobile Parking Reductions via Bicycle Parking for Residential Uses¹¹. Choose only one of the options, if applicable:

10%

15% (*Only for residential projects or buildings located within 1,500 feet of a Major Transit Stop*)

30% (*If selecting the 30% parking reduction, the project will be ineligible for any of the Parking Options listed below*)

If selecting the 30% parking reduction, provide the following information:

Required Parking per LAMC: _____

Required Parking after the 30% reduction: _____

¹⁰ Project Review may also be required if other characteristics of the project exceeds the thresholds listed in LAMC Section 16.05.

¹¹ Any project utilizing Parking Option 3 may not further reduce automobile parking via bicycle parking.

Automobile Parking for Residential Uses (choose only one of the following options):

Note: Any fractional numbers are rounded up.

Parking Option 1. Based on # of bedrooms, inclusive of Handicapped and Guest parking.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
0-1 Bedroom		1		
2-3 Bedrooms		1.5		
4 or more Bedrooms		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

Parking Option 2. Reduced only for Restricted Affordable Units and up to 40% of required parking for Restricted Affordable Units may be compact stalls.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
Market Rate (Including Senior Market Rate)		Per Code		
Restricted Affordable		1		
VLI/LI Senior or Disabled		0.5		
Restricted Affordable in Residential Hotel		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

Parking Option 3 (AB 2345 [2020]). Applies to two types of projects:

- 100% affordable housing developments consisting solely of affordable units, exclusive of a manager's unit(s), with an affordable housing cost to lower income families; or
- Mixed-income developments consisting of 11% VLI or 20% LI units.

100% Affordable Housing Developments.¹² There is no minimum parking requirement for any of the following 100% affordable housing developments described below. Check all that apply:

A housing development located within 0.5 miles of a Major Transit Stop.

¹² As defined by Government Code Section 65915(b)(1)(G)

A housing development for individuals who are 55 years of age or older with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.¹³

Special Needs Housing Development, as defined in Section 51312 of the Health and Safety Code (H&SC), with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.

Supportive Housing Development

Mixed-Income Developments consisting of 11% VLI or 20% LI units.

	Spaces/Unit	Parking Required	Parking Provided
Located within 0.5 miles of Major Transit Stop with unobstructed access to project	0.5		

Major Transit Stop is defined as a site containing an existing rail or bus rapid transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

Bus Rapid Transit is defined as public mass transit service provided by a public agency or by a public-private partnership that includes all of the following features:

- 1) Full-time dedicated bus lanes or operation in a separate right-of-way dedicated for public transportation with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods
- 2) Transit signal priority
- 3) All-door boarding
- 4) Fare collection system that promotes efficiency
- 5) Defined stations

Parking Option 4 (AB 2097 [2022]). No minimum automobile parking requirement on any residential, commercial, or other development project that is within one-half mile of a Major Transit Stop.¹⁴

¹³ AB 2334 aligned the resident age requirement from 62 years of age to 55 years of age for 100 percent affordable housing developments seeking a parking waiver under Section 65915(p)(3)(B).

¹⁴ Parking reductions do not apply to a hotel, motel, bed and breakfast inn or other transient lodging except where a portion of a housing development project is designated for use as a residential hotel, as defined in Section 50519 of the H&SC. Moreover, reductions do not apply to an event center or commercial parking in a contractual agreement executed before January 1, 2023.

10. INCENTIVES

A. Qualification for Incentives

Below is the minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

Incentives	% Very Low Income	% Low Income	% Moderate Income
One	<input type="checkbox"/> 5% to <10%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 10% to <20%
Two	<input type="checkbox"/> 10% to <15%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 20% to <30%
Three	<input type="checkbox"/> 15% or greater	<input checked="" type="checkbox"/> 30% or greater	<input type="checkbox"/> 30% or greater

Note: To utilize AB 682, at least 10% Low or 5% Very Low Income of the base units shall be provided.

100% Affordable Housing Developments may request up to four incentives and one Waiver of Development Standard. Check this box if this applies to the project.

B. Project Zoning Compliance & Incentives (Only for projects requesting a Density Bonus with Incentives/Waivers)

	Permitted w/o Incentives	Proposed per Incentives	On-Menu	Off-Menu	Waivers
<input checked="" type="checkbox"/> Yard/Setback (each yard counts as one incentive)					
<input type="checkbox"/> Front (1)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Front (2)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Side (1)	11'-11 3/4"	9'-7"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Side (2)	11'-11 3/4"	9'-7"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Rear	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Coverage	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Width	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Floor Area Ratio ¹⁵	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Overall Height/Stories ¹⁶	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Transitional Height(s)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Open Space	36,100	28,880	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Density Calculation	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Averaging (all count as one incentive — check all that are needed)					
<input type="checkbox"/> FAR					
<input type="checkbox"/> Density					
<input type="checkbox"/> Parking					
<input type="checkbox"/> Open Space					
<input type="checkbox"/> Vehicular Access					

¹⁵ See LAMC Section 12.22 A.25(f)(4) for additional requirements.

¹⁶ See LAMC Section 12.22 A.25(f)(5) for additional requirements.

Other Off-Menu Incentives (specify): _____

Waiver of Development Standards (specify): _____

100% Affordable Housing Development shall receive a height increase of three additional stories up to 33 additional feet. Check the box if this applies to your project.

TOTAL No. of Incentives Requested: On-Menu 3 Off-Menu _____

TOTAL No. of Waivers Requested: _____

11. COVENANT

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the LAHD's Occupancy Monitoring Unit **before** a building permit can be issued. For more information, please contact the LAHD at lahd-landuse@lacity.org.

III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC Section 12.22 A.29 Of Chapter 1, Ordinance NO. 179,076)

12. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

A. Eligibility for Floor Area Bonus

NOTE: The affordability levels required are set by the HUD/TCAC. For information on HCD and HUD levels of affordability please contact the LAHD at lahd-landuse@lacity.org.

- 5% of the total number of DUs provided for VLI households; and
- One of the following shall be provided:
 - 10% of the total number of DUs for LI households; or
 - 15% of the total number of DUs for Moderate Income households; or
 - 20% of the total number of DUs for Workforce Income households, and
- Any DU or Guest Room occupied by a household earning less than 50% of the Area Median Income (AMI) that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan area in which it is located

B. INCENTIVES

NOTE: Must meet all three eligibility requirements from 12.A above and provide a Covenant & Agreement (See #11 above).

CHECK ALL THAT APPLY:

- A 35% increase in total floor area
- Open Space requirement pursuant to LAMC Section 12.21 G of Chapter 1 reduced by one-half, provided that a fee equivalent to amount of the relevant Park Fee, pursuant to LAMC Section 19.17 of Chapter 1, shall be paid for all dwelling units. See LAMC Section 12.29 A.29(c) of Chapter 1 for exceptions
- No parking required for units for households earning less than 50% AMI
- No more than one parking space required for each dwelling unit

C. Additional Incentives to Produce Housing in the GDHIA

- No yard requirements except as required by the Urban Design Standards and Guidelines
- Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)
- Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions, as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units
- No prescribed percentage of the required open space that must be provided as either common open space or private open space

IV. MEASURE JJJ¹⁷ (LAMC Section 11.5.11 of Chapter 1, Ordinance No. 184, 745)

13. AFFORDABLE REQUIREMENTS

A certain percentage of affordable units is required based on the total number of units in the project.

Fill out either A or B below:

A. Rental Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____ % VLI **OR** _____ % LI
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 6% VLI **OR** 15% LI
 - For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:

¹⁷ All fractional amounts in Sections 13 and 14 shall be rounded up to the next whole number.

5% ELI **AND** 11% VLI **OR** 20% LI

Required Number of Affordable Units

ELI _____ VLI _____ LI _____

B. For Sale Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____% VLI **OR** _____% LI **OR** _____% Moderate Income
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35% or allows a residential use where not previously allowed:
 - 11% VLI **OR** 20% LI **OR** 40% Moderate Income

Required Number of Affordable Units

VLI _____ LI _____ Moderate Income _____

14. ALTERNATIVE COMPLIANCE OPTIONS

In lieu of providing the affordable units onsite, there are three other options available to comply with Measure JJJ Affordable Requirements. Select one, if applicable; otherwise leave this section blank.

A. Off-Site Construction – Construction of affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 3 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

B. Off-Site Acquisition – Acquisition of property that will provide affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 1 mile of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

C. In-Lieu Fee – From the Affordability Gaps Study published by the Los Angeles City Planning

Total In-Lieu Fee _____ (Note: Final fee TBD if/when the project is approved)

15. DEVELOPER INCENTIVES

Please describe up to a maximum of three incentives:

- 1) _____

- 2) _____

- 3) _____

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with LADBS.

REFERRAL FORM



HOUSING CRISIS ACT
Vesting Preliminary Application

This form serves as the optional Housing Crisis Act Vesting Preliminary Application for projects creating one or more units seeking vesting rights pursuant to the Housing Crisis Act of 2019 (HCA). This form also serves as a referral to the Los Angeles City Planning (City Planning) Development Services Center (DSC) and to the Los Angeles Department of Building and Safety (LADBS) Plan Check for HCA vesting purposes. The HCA Vesting Preliminary Application (Preliminary Application) allows the applicant to vest to City ordinances, policies, and standards adopted and in effect on the day that a complete Preliminary Application is submitted. Please be advised that these vesting rights do not apply to changes in State law or to changes in building code.

The following project types are eligible to submit a Preliminary Application:

- Housing Development Projects requiring an application to City Planning; or
- Housing Development Projects not requiring a City Planning application and submitting for building permit Plan Check to LADBS on or after January 1, 2022.

For Submittal Instructions, refer to Section E of this form. Section G (“Retention of Vesting Rights”) of this form may be referenced for additional guidance on HCA vesting rights. The “Housing Development Project Applicability Matrix” may also be used to identify whether the HCA applies to specified development types, and when a Preliminary Application applies.

THIS SECTION TO BE COMPLETED BY PLANNING STAFF ONLY

Case Number PAR- 2024-4645-VHCA

Proposed No. of Dwelling Units¹: 390

Proposed Building Area^{1,2}: 235,077 sf

Submittal Completion Date³: 07/25/2024

Last Day to file City Planning Application/Submit to LADBS Plan Check¹: 01/21/2025

Invoice No.: 97021

Payment Date: 07/24/2024

City Planning Staff Name and Title: Greg Guillermo, Planning Assistant

City Planning Staff Signature: Greg Guillermo

Digitally signed by Greg Guillermo
Date: 2024.07.25 11:41:15 -07'00'

¹ For information on retention of vesting rights, refer to Section F of this form.

² Building Area, as defined by the California Building Standards Code (Title 24 of the California Code of Regulations) – California Government Code Section 65941.1(c). Refer to Appendix 2 for Building Area calculation instructions.

³ As part of the process to deem complete the submittal of this optional Preliminary Application, City Planning staff have affirmed neither the feasibility nor the entitlement review path of the proposed project.

This form shall be completed by the applicant and reviewed and signed by City Planning staff prior to filing the City Planning application, or the LADBS Plan Check application for projects that do not require a City Planning application. The signed Preliminary Application shall be submitted during the City Planning application filing, or the submission of an application for building permit and Plan Check. Any modifications to the content(s) of this form after its authorization by City Planning staff is prohibited. Further, any change to the proposed number of dwelling units or the proposed building area must be verified by City staff.

THIS SECTION TO BE COMPLETED BY THE APPLICANT

A. SITE INFORMATION

PROJECT LOCATION

Street Address⁴: 7556-7572 N WOODLAKE AVE LOS ANGELES CA, 91304

Legal Description⁵ (Lot, Block, Tract): LOT: FR 208, BLOCK: N/A, TRACT: TR21391

Assessor Parcel Number(s): 2021-002-013 Site Area (sf): 95,699.3

EXISTING USE(S)

Describe in detail the existing uses on the project site, including any major physical alterations or soil disturbance that may have previously occurred.

VACANT LAND.

B. PROJECT DESCRIPTION

ED 1 Eligible⁶

PROPOSED USE(S)

Describe in detail the characteristics, scope and/or operation of the proposed project.

NEW CONSTRUCTION, 5-STORY, TYPE VA OVER TYPE IA, 390-UNIT, 182,937 SF, 100% AFFORDABLE SENIOR 55+ AGE RESTRICTED HOUSING DEVELOPMENT. PROJECT TO SEEK ON-MENU INCENTIVES PER LAMC 12.22.A.25 AND AB2334.

⁴ Street Address must include all addresses on the subject/application site (as identified in ZIMAS <http://zimas.lacity.org>).

⁵ Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site).

⁶ Refer to Executive Directive 1 Implementation Guidelines for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

AFFORDABLE HOUSING INCENTIVES, WAIVERS, CONCESSIONS, AND PARKING REDUCTIONS

Will the project proponent seek incentives, waivers, concessions, or parking reductions pursuant to California Government Code Section 65915 (i.e., Density Bonus), the Transit-Oriented Communities (TOC) program, or any other affordable housing incentive program⁷?

YES NO

If "YES", describe:

BASE INCENTIVES (3):
 33' ADDITIONAL HEIGHT FEET OR 3 STORIES PER AB2334
 UNLIMITED DENSITY PER AB2334
 PARKING OPTION 3 PER AB2334 - SENIOR HOUSING
 ON-MENU INCENTIVES (3):
 20% OPEN SPACE REDUCTION FROM 36,100 SF TO 28,880 SF PER LAMC 12.22.A.25
 20% SIDE YARD REDUCTION FROM 11.94' TO 9.55' PER LAMC 12.22.A.25
 20% SIDE YARD REDUCTION FROM 11.94' TO 9.55' PER LAMC 12.22.A.25

RESIDENTIAL DWELLING UNIT COUNT

Indicate the total number of dwelling units proposed as well as a breakdown by levels of affordability.

Affordability Levels	Total
Market Rate	1
No. of Affordable Units Proposed	389
Extremely Low Income	
Very Low Income	
Low Income	311
Moderate Income	78
TOTAL No. of Units Proposed	390

Total Units	Total
No. of Units Allowed by Right (per LAMC)	19
No. of Bonus Units Proposed	371
TOTAL No. of Units Proposed	390

Other Notes on Units:

⁷ Projects proposing Density Bonus "On-Menu" incentives through a ministerial process or "Off-Menu" incentives, waivers, concessions and parking reductions through a discretionary process must be reviewed by the Los Angeles City Planning Affordable Housing Services Section and obtain a signed Affordable Housing Referral Form (CP13-4043) prior to filing a City Planning application.

FLOOR AREA

Provide the proposed floor area and square footage of residential and non-residential development:

Floor Area⁸ 182,937

Building Area⁹ 235,077

PARKING

Provide the proposed number of automobile and bicycle parking spaces:

Automobile Parking	Total
Residential	154
Non-Residential	

Bicycle Parking	Total
Residential Long Term	38
Residential Short Term	18
Non-Residential Long Term	
Non-Residential Short Term	

SUBDIVISION

Will the proposed project include a request for an approval pursuant to the Subdivision Map Act, including a Vesting or Tentative Tract Map, Preliminary Parcel Map, Condominium Map, Lot Line Adjustment, or Certificate of Compliance?

YES NO

ADDITIONAL INFORMATION

Does the project propose any point sources of air or water pollutants¹⁰?

YES NO

If "YES", please describe:

⁸ As defined by the LAMC.

⁹ As defined by the California Building Standards Code (Title 24 of the California Code of Regulations) – California Government Code Section 65941.1(c). Refer to Appendix 1 for Building Area calculation instructions.

¹⁰ A project that proposes point sources of air or water pollutants may trigger review and permitting by, but not limited to, the South Coast Air Quality Management District, the Los Angeles Regional Water Quality Control Board, or the Los Angeles Bureau of Sanitation.

C. EXISTING SITE CONDITIONS

HOUSING¹¹

Provide the number of existing residential units on the project site that will be demolished and whether each existing unit is occupied or unoccupied:

	Existing Residential Units	Demolished or To Be Demolished
Occupied Units		
Unoccupied Units	2	2
TOTAL Units	2	2

ADDITIONAL SITE CONDITIONS

1. Is the project site located wholly or partially within:

- a. A Very High Fire Hazard Severity Zone (VHFHSZ)¹²? YES NO
- b. Wetlands, as defined in United States Fish and Wildlife (USFW) Service Manual, Part 660 FW 2 (June 21, 1993)? YES NO
- c. A special flood hazard area subject to inundation by the one percent annual chance flood (100-year flood) as determined by the Federal Emergency Management Agency (FEMA) in any official maps published by FEMA? YES NO
- d. Delineated earthquake fault zone as determined by the State Geologist in any official maps published by the State Geologist? YES NO
- e. Hazardous waste site that is listed pursuant to Section 65962.5 or a hazardous waste site designated by the Department of Toxic Substances Control (DTSC) pursuant to Section 25356 of the Health and Safety Code¹³? YES NO

¹¹ A Housing Development Project, as defined in California Government Code Section 65905.5(b)(3), is subject to the provisions of Government Code Section 66300, as amended by SB 8, and will require an SB 8 Replacement Unit Determination letter from the Los Angeles Housing Department or a No-Net-Loss Property Owner Declaration.

¹² Housing Development Projects located in a VHFHSZ are eligible to seek vesting rights pursuant to the HCA.

¹³ The development shall not be located on a legal parcel that is a hazardous waste site except for sites the DTSC has cleared for residential use or residential mixed use.

2. Does the project site contain a designated or potentially historic and/or cultural resource¹⁴? YES NO

If "YES", please describe:

a. Does the project site contain any species of special concern such as special status flora or fauna, protected trees, or wildlife¹⁵? YES NO

If "YES", please describe and/or depict on the site plan:

b. Does the project site contain any recorded easement, such as easements for conservation, storm drains, water lines, and other public rights of way? YES NO

If "YES", please describe and/or depict on the site plan:

c. Does the project site contain a stream or other resource that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the California Fish and Wildlife Code, including creeks and wetlands? YES NO

If "YES", please describe and/or depict on the site plan:

¹⁴ Information regarding historic resources that have been identified by the City or another public agency can be found in SurveyLA, HistoricPlacesLA, or ZIMAS.

¹⁵ An Arborist Report or a Biological Survey and Impact Assessment may be required following the filing of an application requesting approval of a discretionary action if the project site is on or adjacent to open space or previously undisturbed land in order to demonstrate whether the site provides habitat for any special status flora or fauna, including those identified in a Specific Plan or Zoning Overlay.

B. COASTAL

1. Is the project site located wholly or partially within the Coastal Zone, as defined in Division 20 (commencing with Section 3000) of the Public Resources Code (PRC). If marked "NO", skip to section E. YES NO
2. Does the project site contain a/an:
- a. Wetlands, as defined in subdivision (b) of Section 13577 of Title 14 of the California Code of Regulations¹⁶? YES NO
 - b. Environmentally Sensitive Habitat Area (ESHAs), as defined in Section 30240 or the California PRC¹⁷? YES NO
 - c. Tsunami run-up zone? YES NO
 - d. Area used for public access to or along the coast? YES NO

C. ADDITIONAL REQUIRED MATERIALS

In order to initiate a request for HCA vesting rights, an applicant must submit a Preliminary Application and the following materials and information through [City Planning's Online Application Portal](#). An appointment is not required.

1. **HCA Vesting Preliminary Application (CP13-4062)**
2. **Plot/Site Plan.** A legible plot plan drawn to scale is required. The plot plan must include all contiguous parcels under the applicants' ownership and any contiguous parcels proposed to be part of the project site. The plot plan should identify which parcels are/are not a part of the proposed project. The plot plan should include a summary of information table indicating the following:
 - Building area of each building that is to be occupied
 - Proposed land uses
 - Proposed number of dwelling units
 - Height of buildings
 - All measurements that establish the proposed location of the proposed buildings and structures, including property lines, yards, setbacks, space between buildings and structures, and building footprint dimensions.
 - Trees and Shrubs. Plans must clearly show all existing trees and shrubs on the project site and within the right-of-way adjacent to the property. Identify and label (by name and trunk diameter) the following protected trees and shrubs as identified on the Plot Plan Instructions ([CP-7752](#)).

¹⁶ Wetlands may include a watercourse or a storm drain. A Wetlands Delineation Report may be required following the filing of an application requesting approval of a discretionary action in the Coastal Zone if the site contains a watercourse or a storm drain.

¹⁷ ESHAs are mapped areas in the certified Venice Land Use Plan and the San Pedro Coastal Land Use Plan.

- Watercourses, storm drains, creeks streams, wetlands (as defined in the USFW Service Manual, Part 660 FW 2 (June 21, 1993) or as defined in subdivision (b) of Section 13577 of Title 14 of the California Code of Regulations), or other resources that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the Fish and Wildlife Code.
- Aerial Site Photograph showing existing site conditions of environmental site features that would be subject to regulations by a public agency, including creeks and wetlands. It may be provided on any relevant plan sheet, including a project information sheet.

Refer to the Plot Plan Instructions ([CP-7752](#)) for additional guidance.

- 3. Elevation Plans.** Elevations must show the design, materials, color, textures, patterns, massing and height of each building under the project scope. Refer to the Housing Crisis Act Vesting Preliminary Application Elevations Instructions (Appendix 1 of this form, page 15) for additional guidance. The elevations plans shall be included as part of the set of plans.
- 4. Building Area Analysis.** Refer to the Housing Crisis Act Vesting Preliminary Application Building Area Analysis Instructions (Appendix 2 of this form, page 16) for additional guidance. The building area plans shall be included as part of the set of plans.
- 5. Sections** for projects located on multiple levels or subterranean floors (e.g., basements, subterranean parking, etc.) showing depth (linear feet) and amount (cubic yards) of proposed cut, fill, import, and export related to grading, excavation of earthwork. The sections shall be included in the set of plans.
- 6. Filing Fee.** Fees must be paid online after the electronic invoice is received.

5. ADDITIONAL REQUIREMENTS

- 1. Appendix 1:** Elevations Instructions for Vesting Pursuant to the Housing Crisis Act (page 15).
- 2. Appendix 2:** Building Area Analysis for Vesting Pursuant to the Housing Crisis Act (page 16).

6. RETENTION OF VESTING RIGHTS

A Preliminary Application must be deemed complete by City Planning in order to obtain vesting rights. A Preliminary Application is deemed complete at the time that all required forms, documents, and materials are submitted, and the final invoice has been issued and proof of payment is presented to City Planning. A Preliminary Application completed before January 1, 2030 is valid until January 1, 2034, provided that HCA vesting rights are maintained and have not otherwise lapsed or terminated.

To retain HCA vesting rights, the applicant must adhere to certain time limits and limitations on project scope changes. **If the time limits are not met or if the changes in the project scope exceed specified thresholds, the Preliminary Application shall expire and have no further force or effect.** During City Planning application filing or the submission of an application for building permit and Plan Check, as well as through the development process, City staff will verify whether a project has been able to maintain vesting rights. Refer to the "Housing Crisis Act Vesting Log" on page 11 for additional instructions.

TIME LIMITS TO RETAIN VESTING RIGHTS

Once the Preliminary Application is complete, the City Planning application or the application for building permits and Plan Check must be submitted within 180 days of the date on which the Preliminary Application is deemed complete, in order to retain vesting rights.

If a City Planning application is required, the applicant must submit all outstanding information needed in order to deem the City Planning application complete within 90 days of receiving a hold or “deemed incomplete” letter from City Planning staff. The 90-day period does not apply to projects eligible to submit a building permit Plan Check application to LADBS without a City Planning application on or after January 1, 2022.

For all vested projects (ministerial or discretionary), construction of the Housing Development Project must commence within 2.5 years. For vested projects that are 100 percent affordable, the Housing Development Project must commence within 3.5 years.

If the project is discovered to require a City Planning application during the permitting process, the project may still use the Preliminary Application issued as long as the City Planning application is submitted within 180 days of the date a complete Vesting Preliminary Application was submitted. The submittal of the building permit application to LADBS would not be held against the project.

PROJECT SCOPE THRESHOLDS TO RETAIN VESTING RIGHTS

In order to maintain vesting rights, any change in the residential unit count or in the Building Area is limited to less than 20 percent of the total proposed on the completed Preliminary Application, exclusive of any increase resulting from the receipt of a density bonus, concession, waiver, or similar provision.

IV. PROJECT TEAM INFORMATION (Complete as applicable below)

Applicant¹⁸ Name: JEFF ZBIKOWSKI

Company/Firm: JZA ARCHITECTURE

Address: 4043 IRVING PL **Unit/Space Number:** SUITE B

City: CULVER CITY **State:** CA **Zip Code:** 90232

Telephone: 310.853.5004 **E-mail:** JEFF@JZARCH.LA

Are you in escrow to purchase the subject property? YES NO

(Optional) Agent/Representative Name: JUSTIN CARSON

Company/Firm: JZA ARCHITECTURE

Address: 4043 IRVING PL **Unit/Space Number:** SUITE B

City: CULVER CITY **State:** CA **Zip Code:** 90232

Telephone: 310.853.5006 **E-mail:** JUSTIN@JZARCH.LA

Primary Contact for Project Information¹⁹
(select only one) Agent/Representative Applicant

¹⁸ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e., usually not the agent/representative).

¹⁹ As of June 8, 2022, the Primary Contact for Project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section 49.7.37(A)(6). An email address and phone number shall be required on the City Planning Application Form, and the email address provided shall match the email address used to create the Angeleno Account.

THIS SECTION SHALL BE ADDED ONTO THE FINAL PLAN SET
PERMITTED BY LADBS

HOUSING CRISIS ACT VESTING LOG

This log is intended to be used by City staff to track compliance with the time limits and project scope changes (unit count), in order to retain vesting rights through the development process. If a vested Housing Development Project is associated with a City Planning application for its development, this page and the log shall be completed by the City Planning Case Processing Unit. Any modifications to the content(s) of this log by anyone other than City staff is prohibited. A copy of this page and the completed log must be included on the final set of plans for construction.

CITY STAFF USE ONLY

Case Number PAR- _____

Date Vested (Date Preliminary Application Submittal Complete): _____

Proposed No. of Dwelling Units²⁰: _____

City Planning Staff Name and Title: _____

²⁰ The proposed number of dwelling units should match the number of proposed dwelling units identified on page 1.

TABLE A - HOUSING CRISIS ACT VESTING LOG
THIS SECTION TO BE COMPLETED BY CITY PLANNING CASE PROCESSING UNIT ONLY

Milestone	Date Due	Date Complete	Dwelling Units ²¹	Determination ²²	Staff Name
<p>City Planning Application Filing</p> <p>Project submitted within 180 days of the HCA Vesting Preliminary Application being deemed complete.²³</p> <p>Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>			<p><input type="checkbox"/> Project meets 20% threshold</p> <p><input type="checkbox"/> Project exceeds 20% threshold</p> <p>Proposed Units: _____</p> <p>Plan Sheet No.: _____</p>	<p><input type="checkbox"/> The project meets the time limits (180 days) and limitations on project scope (unit count).</p> <p><input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.</p>	
<p>Applicant Response to Deemed Incomplete Letter</p> <p>If a City Planning Application is Deemed Incomplete, the applicant must submit all information needed within 90 days of receiving the Deemed Incomplete Letter (applies ONLY to projects that are required to file a City Planning application)</p> <p>Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>			<p><input type="checkbox"/> Project meets 20% threshold</p> <p><input type="checkbox"/> Project exceeds 20% threshold</p> <p>Proposed Units: _____</p> <p>Plan Sheet No.: _____</p>	<p><input type="checkbox"/> The project meets the time limits (90 days) and limitations on project scope (unit count).</p> <p><input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.</p>	

²¹ Any change in the residential unit count is limited to less than 20 percent of what is indicated on the completed Preliminary Application, exclusive of any increase resulting from the receipt of a density bonus, concession, waiver, or similar provision.

²² If the time limits are not met or if the changes in the project scope exceed specified thresholds, then the Preliminary Application shall expire and have no further force or effect.

²³ Once the Preliminary Application is complete, the City Planning application must be submitted within 180 days of the Preliminary Application completion date.



Milestone	Date Due	Date Complete	Dwelling Units	Determination	Staff Name
Date City Planning Application Deemed Complete	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
Date of Hearing	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
Date of Final Approval of City Planning Application²⁴	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	

²⁴ Final approval means that a project has obtained all necessary approvals to be eligible to apply for, and obtain, a building permit or permits, and all appeal periods or statutes of limitations have been exhausted or resolved in favor of the Housing Development Project (G.C. Sec. 65589.5(o)(2)(D)(ii)).



Milestone	Date Due	Date Complete	Dwelling Units	Determination	Staff Name
Date Construction Commenced (within 2.5 years or 3.5 years of Final Decision) ²⁵ Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO			<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the time limits (2.5 or 3.5 years) and limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	

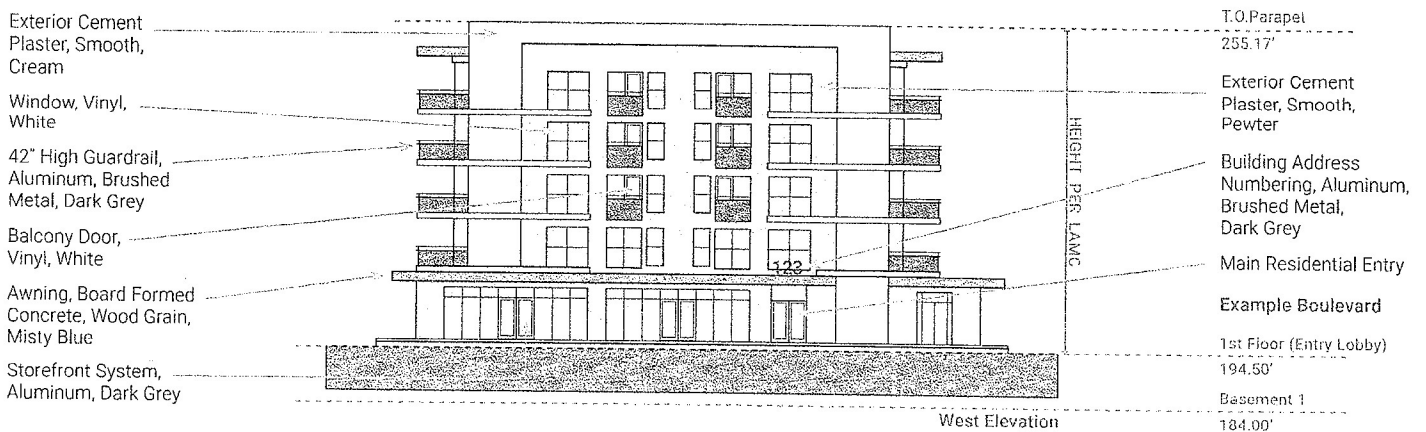
Notes:

²⁵ Vested Housing Development Projects must commence construction within two and one-half years, or three and one-half years for one hundred percent affordable Housing Development Projects.

Appendix 1

Elevations Instructions for Vesting Pursuant to the Housing Crisis Act

123 Example Blvd, Los Angeles, CA



Materials, Textures and Colors



Elevations shall show the design, materials, color, massing, facade and height of each building under the project scope:

- **Scale:** The scale shall be no less than 1/8" = 1'-0" or a scale that produces a readable illustration.
- **Building Materials and Colors:** Elevations must identify all building materials types and colors. Include any sustainable features of the project as well as the material texture or pattern.
- **Location:** The elevations page must include the site address.
- **Labeling:** All views and major features shall be labeled, including which side of the project is being illustrated.
- **Dimensions:** Elevations shall be dimensioned in a manner that all relevant measurements can be read. Accessory structures shall have the same dimension requirements as the main structure. Include the dimensions for all heights. Required dimensions must include the following items:
 - The lowest elevation within 5 feet of the perimeter of the building;
 - The highest elevation for purposes of determining maximum building height as measured per Department of Building and Safety requirements and as defined by LAMC Section 12.03 of Chapter 1;
 - Height to the highest point of the roof and all roof structures;
 - Wireless facilities and transformers;
 - Projections proposed to be attached to a building facade;
 - Poles or signs including those attached to the facade or roof. Roof signs, pole signs and billboards must show both sides;
 - Facade texture, pattern, color and material changes to determine compliance with building articulation and design standards; and
 - Fences, walls, beams, barriers, including lighting fixtures, pillars, and gates on all sides.

Most City Planning processes involve a review of the project design. Applicants are encouraged to consult with the **LACP Urban Design Studio** regarding the design of the project early in the application process, ideally prior to filing. You may schedule a design review meeting online: planning.lacity.org/plans-policies/urban-design-studio/schedule-appointment. Refer to Elevation Instructions ([CP-7817](#)) for additional guidance.

Appendix 2

Building Area Analysis for Vesting Pursuant to the Housing Crisis Act

The purpose of this Building Area analysis sample and instructions is to provide guidance with determining the total Building Area or "square footage of construction" of a Housing Development Project in order to vest pursuant to the Housing Crisis Act. The sample below broadly applies to all types of Housing Development Projects.

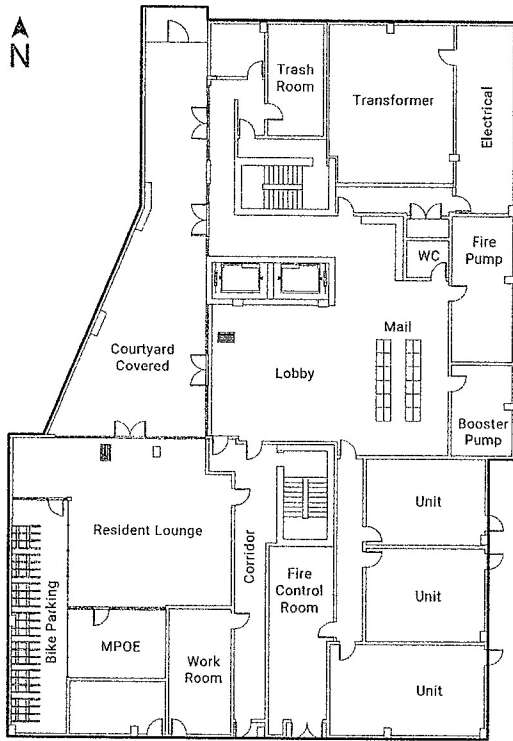
Building Area Calculation Table – Example

Level	Proposed
L2–L5	30,704 sf
L1	9,426 sf
Total	40,130 sf

Building Area Definition

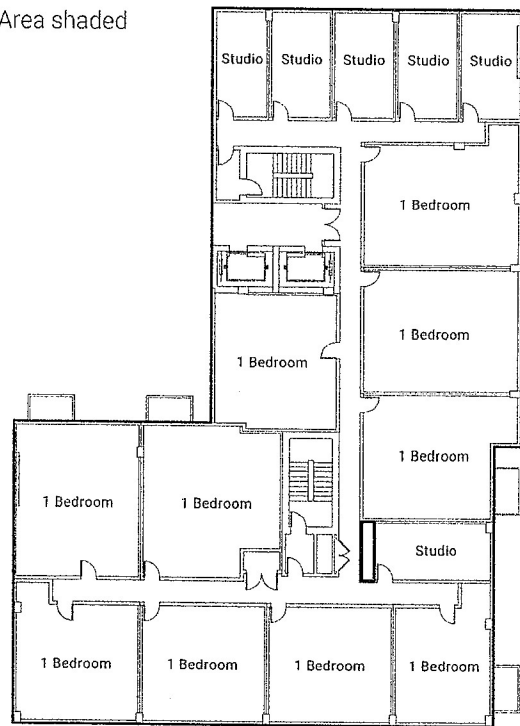
The area included within surrounding exterior walls (or exterior walls and fire walls) exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.
 – California Government Code Section 65941.1(C)

Building Area Diagram – Example



Level 1 Building Area 9,426 sf

□ Building Area shaded



Levels 2-5 Building Area 7,676 sf (per level)

Instructions

- **Shaded and Dimensioned Diagram:** Set of plans shall include a shaded and dimensioned diagram indicating the total Building Area for each level, including any covered parking areas, elevator shafts and stairwells at each level.
- **Quantities Referenced Diagram:** Each area analysis must include a label or reference to its Building Area, expressed as square-footage.
- **Calculation Table:** The Building Area page should include a corresponding calculation table indicating the Building Area for each level, as well as the grand total.

Ann Sewill, General Manager
Tricia Keane, Executive Officer

City of Los Angeles



LOS ANGELES HOUSING DEPARTMENT
1910 Sunset Blvd, Ste 300
Los Angeles, CA 90026
Tel: 213.808.8808

housing.lacity.org

Karen Bass, Mayor

DATE: September 3, 2024

TO: Ron Williams Ross, Cotrustee of the William G. Ross and Joy A. Ross 1990 Declaration of Revocable Trust dated March 1, 1990, Owner
BRAND PARK HOLDINGS, LLC, a California limited liability company, Applicant

FROM: Nicholas Kawazoe, Senior Management Analyst I
Los Angeles Housing Department

SUBJECT: **Housing Crisis Act of 2019
(DB) Replacement Unit Determination (CD 12)
RE: 7556-7572 North Woodlake Avenue, Los Angeles, CA 91304**

Based on the application for a RUD submitted by BRAND PARK HOLDINGS, LLC, a California limited liability company (Applicant), on behalf of Ron Williams Ross, Cotrustee of the William G. Ross and Joy A. Ross 1990 Declaration of Revocable Trust dated March 1, 1990 (Owner), for the above referenced property located at 7556-7572 N. Woodlake Ave. (APN 2021-002-013 and lot FR 208) (Property), the Los Angeles Housing Department (LAHD) has made the following determination in regards to the above-referenced application. One (1) unit existed on the property within the last five (5) years and is subject to replacement as affordable Protected Units.

PROJECT SITE REQUIREMENTS:

The Housing Crisis Act of 2019 (HCA), as amended by SB 8 and AB 1218 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed development project ("Project") on a site ("Property") that will require demolition of existing residential dwelling units or occupied or vacant Protected Units, or that is located on a site where Protected Units were demolished in the previous five (5) years, unless the Project replaces those units as further specified below.

Replacement of Existing Dwelling Units

The Project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the Property within the past five (5) years.

Replacement of Existing or Demolished Protected Units

The Project must also replace all existing or demolished Protected Units except for Protected Units demolished prior to January 1, 2020. Protected Units are residential dwelling units on the Property that are, or were, within the five (5) years prior to the owner's application for a RUD (referred to as the "five year lookback period"): **(1)** subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, **(2)** subject to any form of rent or price control through a public entity's valid exercise of its police power within the past five (5) years **(3)** occupied by lower or very low income households (an affordable Protected Unit), or **(4)** that were withdrawn from rent or lease per the Ellis Act, within the past ten (10) years.

Whether a unit qualifies as an affordable Protected Unit, is determined by the income level of the current or last known renter household in occupancy. If a low or below low income tenant currently occupies the Property,

affordable replacement will be required at Extremely Low Income, Very Low Income and/or Low Income (based on tenant income information), *regardless of the entitlement (such as Density Bonus) requested for the proposed project*. If the unit is vacant, the income of the last known tenant will be used to determine the affordability replacement of the unit. Interwest, LAHD's contractor, will send Tenant Income Certification (TIC) forms along with additional information to each occupant of the existing Property. Tenants have thirty (30) days to complete and return the TIC forms to Interwest. The owner is responsible for working with the occupants to ensure that the requested information is produced in a timely manner.

- ***In the absence of occupant income documentation:*** Affordability will default to the percentage of extremely low, very low or low income renters in the jurisdiction as shown in the latest HUD Comprehensive Housing Affordability Strategy (CHAS) database. As of September 5, 2023, the defaults are: 31% extremely low income, 18% very low income and 20% low income for Transit Oriented Communities (TOC) projects and 49% very low income and 20% low income for Density Bonus projects. In the absence of specific entitlements, the affordability will default to 49% very low income and 20% low income. The remaining 31% of the units are presumed above-low income. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

Replacement of Protected Units Subject to the Rent Stabilization Ordinance (RSO) and Last Occupied by Persons or Families at Moderate Income or Above

The City has the option to require that the Project provide: **(1)** replacement units affordable to low income households for a period of 55 years (rental units subject to a recorded covenant), OR **(2)** require the units to be replaced in compliance with the RSO. The City chose to replace the units according to the RSO.

Tenant Noticing, Relocation, Right to Return, Right to Remain:

- All existing occupants must be allowed to occupy their units until six (6) months before the start of construction activities.
- The project proponent shall provide existing occupants with written notice of the planned demolition, the date they must vacate, and their rights under this section.
 - Notice shall be provided at least six (6) months in advance of the date that existing occupants must vacate.
- Any existing occupants that are required to leave their units shall be allowed to return at their prior rental rate if the demolition does not proceed and the property is returned to the rental market.

All existing **Lower Income Household** (as defined in California Health and Safety Code Section 50079.5) occupants of Protected Units are **also** entitled to:

- Relocation benefits also subject to Government Code Section 7260 et seq., and
- The right of first refusal ("Right to Return") to a comparable unit (same bedroom type) at the completed Project. If at the time of lease up or sale (if applicable) of a comparable unit, a returning occupant remains income eligible for an "affordable rent" (as defined in California Health and Safety Code Section 50053) or if for sale, an "affordable housing cost" (as defined in California Health and Safety Code Section 50052.5), owner must also provide the comparable unit at the "affordable rent" or "affordable housing cost," as applicable. The Right to Return does not apply to: **(1)** a Project that consists of a Single Family Dwelling Unit on a site where a Single Family Dwelling unit is demolished, or **(2)** a Project that consists of 100% lower income units (excluding any Manager's Unit(s)), unless the occupant of a Protected Unit qualifies for residence in the new development and for whom providing a comparable unit would not be precluded due to unit size limitations or other requirements of one or more funding source of the Project.

Single Family Dwelling Units Replacement

Where an affordable Protected Unit consists of a Single Family Dwelling (SFD) and the tenant has a Right to Return in the future project, a comparable affordable replacement unit is defined as follows:

- If the existing SFD contains three (3) or fewer bedrooms, the affordable replacement unit(s) must contain the same number of bedrooms.
- If the existing SFD contains four (4) or more bedrooms, the affordable replacement unit(s) must contain at least three (3) bedrooms. The remaining bedrooms must also be replaced as affordable. Please refer to the example below.
- The affordable replacement unit(s) is not required to have the same or similar square footage or same number of total rooms as the existing SFD.

For example, if a tenant with the Right to Return occupied an existing protected five (5) bedroom SFD, the applicant may provide that tenant with one (1), three (3) bedroom affordable replacement unit. In addition, the applicant must provide one (1), two (2) bedroom unit or two (2), one (1) bedroom units, therefore replacing all five (5) bedrooms that existed as affordable. If there are no tenants with the Right to Return, the affordable replacement units may be split up into smaller units as long as the total number of bedrooms are replaced as affordable units.

THE PROPOSED HOUSING DEVELOPMENT PROJECT:

Per the statement received by LAHD on July 26, 2024, the Owner demolished the Property and planned to construct a new 100% affordable senior housing with three hundred and sixteen (316) unit on the Property using Density Bonus.

PROPERTY STATUS (AKA THE “PROJECT SITE”):

Owner submitted an Application for a RUD for the Property on July 26, 2024. To comply with the required **five (5) year** look back period, LAHD collected and reviewed data from July 2019 to July 2024.

Review of Documents:

Per the Affidavit of Change of Trustee, Owner acquired the Property on July 27, 2023.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database, indicates a use code of “0100 - Residential - Single Family Residence” for the Property (APN 2021-002-013).

Google images, an internet search and the RSO Unit supports that the Property contains a single family dwelling.

The LADBS database indicates that the Owner has applied for Demolition Permits (#23019-20000-03756, #23019-20000-03762, #23019-20000-03777 and #23019-20000-03798) and a new Building Permit (#24010-10000-02159).

REPLACEMENT UNIT DETERMINATION:

The Existing Residential Dwelling Units at the Property within the last five (5) years:

ADDRESS	BEDROOM TYPE	VACANT OR OCCUPIED AT APPLICATION	PROTECTED?	BASIS OF PROTECTED STATUS
7566 N. Woodlake Ave.	3 BEDROOMS	DEMOLISHED	YES	Presumed Affordable Protected Unit
Totals: 1 Unit	3 Bedrooms			

Vacancy/Occupancy of Units:

Per the Owner’s statement, the Property was demolished and currently is a vacant land. The Property was occupied by tenant before demolition. Owner was not able to provide income verification for last known tenant and agreed with the default calculation for the Property.

The proportion of bedroom-types for all units in the proposed project AND the affordable Protected Unit replacement requirements will be reviewed and considered at the covenant stage. If a unit is required to be replaced as affordable according to current tenant-income information, the unit shall be replaced with the same bedroom-type unit. If the default per HUD CHAS is applied, the most restrictive requirements between the Affordable Housing Incentives Guidelines (if applicable) and replacement requirements will apply. Affordable units must be dispersed throughout the proposed project and there should be no detectable pattern. For example, the affordable units should be proportionally distributed on each of the floors, and should not be located within the same vertical stack or grouped together.

Pursuant to the Housing Crisis Act, when the former or existing tenants’ incomes are unknown the required percentage of affordability is determined by the percentage of extremely low, very low, and low income rents in the jurisdiction as shown in the HUD Comprehensive Housing Affordability Strategy (CHAS) database. At present, the HUD CHAS database shows 31% extremely low income, 18% very low income and 20% low income for TOC projects and 49% very low income and 20% low income for DB projects. In the absence of specific entitlements, the affordability will default to 49% very low income and 20% low income. The remaining 31% of the units are presumed above-low income.

Number of Existing Residential Dwelling Units and Protected Units within five (5) years of Owner’s application:		1
Number of Protected Units Ellised within the last (10) years:		0
Number of Affordable Replacement Units required per CHAS:		1
	Project using DB	
1 Unit x 69%	1 Unit	
Very Low	1 Unit	
Low	0 Unit	

Affordability Requirements:

Pursuant to CHAS, one (1) unit needs to be replaced with equivalent type unit. For DB projects, the replacement requirement will consist of one (1) unit restricted to Very Low Income Households.

Additional Information:

A unit that is determined to not be an affordable replacement unit will only remain valid provided the unit remains vacant or owner occupied. Government Code Section 66300.6(b)(3), (4) do not tie benefits afforded to “existing occupants” with any set look back period. Therefore, “existing occupants” in place after the issuance of this RUD may also be entitled to benefits under the HCA.

Please note that all the new units may be subject to RSO requirements unless the RSO is not applicable, or an RSO Exemption is filed and approved by the RSO Section. This replacement determination is provisional and subject to verification by the RSO Section.

This RUD applies only if the proposed project is a rental project and NOT condominiums or units for sale. In the event the project changes to condominiums, the owner needs to request a RUD amendment to reflect 100% replacement of the units.

The findings of this determination are final and effective upon distribution of this determination. LAHD will only amend the determination in the event of a staff error or if misinformation was provided by the applicant. If the project changes or the project has been closed, a new RUD will be required.

****WARNING****

LOT TIES AND PRE-1978 SINGLE FAMILY DWELLINGS

Please be aware that Owner's replacement obligations may change if the development involves single family dwellings built prior to 1978 and lot ties. If a **lot tie** is required for the new proposed housing development project, Owner's existing RSO replacement obligation, if any, will INCREASE by one and the proposed housing development project will also be subject to the RSO, unless the existing single family dwelling is demolished before the lots are tied.

Submitting forged or false documents is a crime that may be punishable as a felony under state law (Cal. Penal Code 115). Documents submitted in connection with your application are subject to investigation. The use of any false or forged document may be grounds for revision to the replacement unit determination. If, following an investigation, the City determines that false or forged documents were used to exempt housing units from the replacement obligations required by law, the housing units may be deemed as affordable replacement units. Other applicable penalties may also be applied.

If you have any questions about this RUD, please contact Olivia Jin at Olivia.jin@lacity.org.

cc: Los Angeles Housing Department File
Planning.HCA@lacity.org, Department of City Planning for discretionary projects, or
LADBS.ahs@lacity.org, Department of Building and Safety for by-right projects

NK:oj

APPLICATIONS



APPEAL APPLICATION Instructions and Checklist

PURPOSE

This application is for the appeal of Los Angeles Department of City Planning determinations, as authorized by the LAMC. For California Environmental Quality Act Appeals use form [CP13-7840](#). For Building and Safety Appeals and Housing Department Appeals use form CP13-7854.

RELATED CODE SECTION

Refer to the Letter of Determination (LOD) for the subject case to identify the applicable Los Angeles Municipal Code (LAMC) Section for the entitlement and the appeal procedures.

APPELLATE BODY

Check only one. If unsure of the Appellate Body, check with City Planning staff before submission.

- Area Planning Commission (APC) City Planning Commission (CPC) City Council
 Zoning Administrator (ZA)

CASE INFORMATION

Case Number: ADM-2024-5202-DB-PHP-VHCA
2021-002-013
APN: _____
Project Address: 7556-7572 N. Woodlake Blvd
Final Date to Appeal: 12/20/24

APPELLANT

Check all that apply.

- Person, other than the Applicant, Owner or Operator claiming to be aggrieved
 Representative Property Owner Applicant Operator of the Use/Site

APPELLANT INFORMATION

Appellant Name: Eric Anderson

Company/Organization: _____

Mailing Address: 23119 Covello St

City: West Hills State: CA Zip Code: 91307

Telephone: 818-715-9165 E-mail: ericanderson4@live.com

Is the appeal being filed on your behalf or on behalf of another party, organization, or company?

Self Other: _____

Is the appeal being filed to support the original applicant's position? YES NO

REPRESENTATIVE / AGENT INFORMATION

Name: _____

Company/Organization: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _____ E-mail: _____

JUSTIFICATION / REASON FOR APPEAL

Is the decision being appealed in its entirety or in part? Entire Part

Are specific Conditions of Approval being appealed? YES NO

If Yes, list the Condition Number(s) here: Condition 2

On a separate sheet provide the following:

Reason(s) for the appeal

Specific points at issue

How you are aggrieved by the decision

APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true.

Appellant Signature: Ernie Jordan Date: 12/20/24

GENERAL NOTES

A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.

The appellate body must act on the appeal within a time period specified in the LAMC Section(s) pertaining to the type of appeal being filed. Los Angeles City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.

THIS SECTION FOR CITY PLANNING STAFF USE ONLY

Base Fee: \$172.00

Reviewed & Accepted by (DSC Planner): Steven Wechsler, City Planner

Receipt No.: 200186027654 Date: 12/20/24

Determination authority notified Original receipt and BTC receipt (if original applicant)

GENERAL APPEAL FILING REQUIREMENTS

If dropping off an appeal at a Development Services Center (DSC), the following items are required. See also additional instructions for specific case types. To file online, visit our [Online Application System \(OAS\)](#).

APPEAL DOCUMENTS

1. Hard Copy

Provide three sets (one original, two duplicates) of the listed documents for each appeal filed.

- Appeal Application
- Justification/Reason for Appeal

Eric Anderson

23119 Covello St

West Hills, CA 91307

Appeal

#1 This property is not zoned for this type of building. It is zoned for single family homes and agriculture.

#2 This is not a “very low vehicle travel area” as required. It may have been at one time but new houses to the west, apartments to east and changes in traffic patterns as people try to find alternate routes has changed that. I walk the area every morning and can personally attest to the heavy traffic.

Lastly, my property adjoins the subject property to the south. In reviewing the Letter of Compliance I noticed two false statements that I believe need to be corrected as this report is a matter of record.

First, on the Project Background page 8 indicates an alley on the south side of the property. There is no alley. In fact, there is no alley along any part of the property. Both the alley from Royer Ave and Cohasset St dead end into the property. There is a 20’ easement that runs as the alley is described. This easement is neither paved or graded. The current property owner blocks access to this easement.

Second, Housing Replacement page 12 indicates one residential dwelling. There were in fact two residential buildings on the property. There was a main house and secondary building with multiple apartments. Google maps used to identify it as apartments. You can see both buildings on Google maps. I don’t recall the business name.

Eric Anderson

APPLICATIONS



APPEAL APPLICATION Instructions and Checklist

PURPOSE

This application is for the appeal of Los Angeles Department of City Planning determinations, as authorized by the LAMC. For California Environmental Quality Act Appeals use form [CP13-7840](#). For Building and Safety Appeals and Housing Department Appeals use form CP13-7854.

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 Zoning Administrator (ZA)

CASE INFORMATION

Case Number: ADM-2024-5202-DB-PHP-VHCA

APN: 2021-002-013

Project Address: 7556-7572 NORTH WOODLAKE AVE WESTHILLS CA 91304

Final Date to Appeal: 12-20-2024

APPELLANT

Check all that apply.

- Person, other than the Applicant, Owner or Operator claiming to be aggrieved
 Representative Property Owner Applicant Operator of the Use/Site

APPELLANT INFORMATION

Appellant Name: ROBERT J. BALL TR.

Company/Organization: _____

Mailing Address: 23069 COVELLO ST

City: WEST HILLS State: CA Zip Code: 91307

Telephone: 818 429-3918 E-mail: FEWEDGE999@GMAIL.COM

Is the appeal being filed on your behalf or on behalf of another party, organization, or company?

Self Other: _____

Is the appeal being filed to support the original applicant's position? YES NO

REPRESENTATIVE / AGENT INFORMATION

Name: _____

Company/Organization: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _____ E-mail: _____

JUSTIFICATION / REASON FOR APPEAL

Is the decision being appealed in its entirety or in part? Entire Part

Are specific Conditions of Approval being appealed? YES NO

If Yes, list the Condition Number(s) here: # 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 16, 17, 18, 19, 20
21, 22, 23, 24

On a separate sheet provide the following:

Reason(s) for the appeal

Specific points at issue

How you are aggrieved by the decision

APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true.

Appellant Signature: *[Signature]* Date: 12-17-2024

GENERAL NOTES

A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.

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THIS SECTION FOR CITY PLANNING STAFF USE ONLY

Base Fee: _____

Reviewed & Accepted by (DSC Planner): _____

Receipt No.: _____ Date: _____

Determination authority notified Original receipt and BTC receipt (if original applicant)

GENERAL APPEAL FILING REQUIREMENTS

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APPEAL DOCUMENTS

1. Hard Copy

Provide three sets (one original, two duplicates) of the listed documents for each appeal filed.

- Appeal Application
- Justification/Reason for Appeal

- Copy of Letter of Determination (LOD) for the decision being appealed

2. Electronic Copy

- Provide an electronic copy of the appeal documents on a USB flash drive. The following items must be saved as individual PDFs and labeled accordingly (e.g., "Appeal Form", "Justification/Reason Statement", or "Original Determination Letter"). No file should exceed 70 MB in size.

3. Appeal Fee

- Original Applicant.* The fee charged shall be in accordance with LAMC Section 19.01 B.1(a), or a fee equal to 85% of the original base application fee. Provide a copy of the original application receipt(s) to calculate the fee.
- Aggrieved Party.* The fee charged shall be in accordance with LAMC Section 19.01 B.1(b)

4. Noticing Requirements (Applicant Appeals Only)

- Copy of Mailing Labels.* All appeals require noticing of the appeal hearing per the applicable LAMC Section(s). Original Applicants must provide noticing per the LAMC for all Applicant appeals.
- BTC Receipt.* Proof of payment by way of a BTC Receipt must be submitted to verify that mailing fees for the appeal hearing notice have been paid by the Applicant to City Planning's mailing contractor (BTC).

See the Mailing Procedures Instructions ([CP13-2074](#)) for applicable requirements.

SPECIFIC CASE TYPES

ADDITIONAL APPEAL FILING REQUIREMENTS AND / OR LIMITATIONS

DENSITY BONUS (DB) / TRANSIT ORIENTED COMMUNITIES (TOC)

Appeal procedures for DB/TOC cases are pursuant to LAMC Section 13B.2.5. (Director Determination) of Chapter 1A or LAMC Section 13B.3.3. (Class 3 Conditional Use) of Chapter 1A as applicable.

- Off-Menu Incentives or Waiver of Development Standards are not appealable.
- Appeals of On-Menu Density Bonus or Additional Incentives for TOC cases can only be filed by adjacent owners or tenants and is appealable to the City Planning Commission.

- Provide documentation confirming adjacent owner or tenant status is required (e.g., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, driver's license, bill statement).

WAIVER OF DEDICATION AND / OR IMPROVEMENT

Procedures for appeals of Waiver of Dedication and/or Improvements (WDIs) are pursuant to LAMC Section 12.37 I of Chapter 1.

- WDIs for by-right projects can only be appealed by the Property Owner.
- If the WDI is part of a larger discretionary project, the applicant may appeal pursuant to the procedures which govern the main entitlement.

[VESTING] TENTATIVE TRACT MAP

Procedures for appeals of [Vesting] Tentative Tract Maps are pursuant LAMC Section 13B.7.3.G. of Chapter 1A.

- Appeals must be filed within 10 days of the date of the written determination of the decision-maker.

NUISANCE ABATEMENT / REVOCATIONS

Appeal procedures for Nuisance Abatement/Revocations are pursuant to LAMC Section 13B.6.2.G. of Chapter 1A. Nuisance Abatement/Revocations cases are only appealable to the City Council.

Appeal Fee

- Applicant (Owner/Operator)*. The fee charged shall be in accordance with the LAMC Section 19.01 B.1(a) of Chapter 1.

For appeals filed by the property owner and/or business owner/operator, or any individuals/agents/representatives/associates affiliated with the property and business, who files the appeal on behalf of the property owner and/or business owner/operator, appeal application fees listed under LAMC Section 19.01 B.1(a) of Chapter 1 shall be paid, at the time the appeal application is submitted, or the appeal application will not be accepted.

- Aggrieved Party*. The fee charged shall be in accordance with the LAMC Section 19.01 B.1(b) of Chapter 1.

Case Number: ADM-2024-5202-DB-PHP-VHCA

APN: 2021-002-013

Project Address: 7556-7572 N. Woodlake Avenue, West Hills 91304

Reason for the Appeal:

My home (23069 Covello Street, West Hills, CA 91307) is directly impacted by this development as my property abuts the applicant's property. As I understand you cannot avoid progress, I do ask that the developer work with the homeowners whose properties are directly impacted by this development so that all parties may come to a reasonable outcome.

As my mother was one of the original owners, it is my understanding that the applicant's property is part of Tract 21391 that have Covenants and Restrictions that all the homeowners have been following. Any changes or modifications to these Covenants are to be approved by 66 and 2/35 of the owners in said tract.

A title report shows that this property in question is part of Tract 21391 and the Covenants and Restrictions were disclosed in the title report that was part of the residential purchase. In those Covenants and Restrictions (Paragraph 1. (a)) it is specified that the lots shall be used for single family dwelling homes not to exceed one story in height. My family bought into this housing development based upon the fact that if that lot should be developed, it was going to be single family homes as agreed upon in the Covenants and Restrictions.

Specific points at issue:

Based on the original Covenants and Restrictions, this entire development (items 1-25) breaks the Covenants and Restrictions and any changes to those Covenants and Restrictions must be approved by 66 and 2/3% of the owners within the Tract, so I do appeal Items 1- 25 of this development as it goes against Paragraph 1 (a) of the Covenants and Restrictions indicating that the homes built shall be single family dwellings not to exceed one story in height.

I appeal item 8 that the original intent of this land was not to erect anything over a single story and as the development is approved for a five-story structure this shall severely impact my quality of life and my right to privacy by having said structure look down upon my home.

I also appeal on the information provided in the Letter of Compliance dated December 5, 2024, under subject property that indicates that there are two 20-foot alley ways. Paragraph 5 under the section Project Background indicates: "One 20-foot alley abuts the southern property line for the length of the subject site in an east-west direction and intersects with Royer Avenue." This statement is false as this alley way does not run the length of the property. The alley way ends by my property. I hereby appeal so that the city can research and correct the statement in its findings.

Also under the Project Background section, the letter of compliance references ZIMAS showing the subject site is an area designated as Very Low Vehicle Traveled Areas (Very Low VMT) pursuant to State AB 2334. I appeal, so that the city can do a traffic study as this area is not a low vehicle traveled area. It is in fact a highly impacted area with accidents occurring very frequently as the intersection of Woodlake

Avenue and Saticoy Street are the main thoroughfares for Pomelo Elementary School, Chaminade High School and is the route used by First Responders to the UCLA Medical Center Hospital. Please note:

“Per the West Hills Neighborhood Council Zoning & Planning Committee members conversation with LAFD #106, located at 23004 Roscoe Blvd, West Hills, communications are for fire trucks and EMT/Paramedics to use Woodlake Ave south, the given route to access the UCLA Medical Center Emergency room and Hospital.”

And with Chaminade High School owned the land diagonal from the subject site, their plans are to expand their campus. A campus expansion shall greatly increase the flow of traffic as pedestrian and vehicle traffic will be impacted by the campus expansion and I appeal so that the city can do a traffic study of the impact of both proposed developments as they are directly across the street from each other.

How am I aggrieved by the decision:

I am aggrieved due to the following:

The reason why my family bought into this development is changing significantly from single family one-story homes to a high density, 5-story structure thus breaking the covenants and restrictions that those in the tract have been upholding.

My right to privacy is being taken away due to having a structure being excessive in height that it will allow the subject site's residents to monitor my movements.

The traffic impact for the area shall greatly increase and there is no traffic study to show that both this development and Chaminade High School's Campus expansion will not impact current medical responders' path to the hospital located just two blocks south of the subject site.

The Notification process in general for this development, as I am directly affected, I only received the notification on December 12, 2024, which only allowed for less than 8 full days to make an appeal. The West Hills Neighborhood Council was advised that letters were sent by certified mail. This is not the case, as I received the Letter of Compliance through USPS as regular mail, no special delivery.

APPLICATIONS



APPEAL APPLICATION Instructions and Checklist

PURPOSE

This application is for the appeal of Los Angeles Department of City Planning determinations, as authorized by the LAMC. For California Environmental Quality Act Appeals use form CP13-7840. For Building and Safety Appeals and Housing Department Appeals use form CP13-7854.

RELATED CODE SECTION

Refer to the Letter of Determination (LOD) for the subject case to identify the applicable Los Angeles Municipal Code (LAMC) Section for the entitlement and the appeal procedures.

APPELLATE BODY

Check only one. If unsure of the Appellate Body, check with City Planning staff before submission.

- Area Planning Commission (APC) City Planning Commission (CPC) City Council
 Zoning Administrator (ZA)

CASE INFORMATION

Case Number: ADM-2024-5202-DB-PHP-VHCA

APN: 2021-002-013

Project Address: 7556-7572 N. Woodlake Ave, West Hills, CA 91304

Final Date to Appeal: December 20, 2024

APPELLANT

Check all that apply.

- Person, other than the Applicant, Owner or Operator claiming to be aggrieved
 Representative Property Owner Applicant Operator of the Use/Site

APPELLANT INFORMATION

Appellant Name: JERONNEL BARICAN

Company/Organization: _____

Mailing Address: 7545 QUIMBY AVE

City: WEST HILLS State: CA Zip Code: 91307

Telephone: 818 257 8014 E-mail: NETL BARICAN @ YAHOO. COM

is the appeal being filed on your behalf or on behalf of another party, organization, or company?

Self Other: _____

Is the appeal being filed to support the original applicant's position? YES NO

REPRESENTATIVE / AGENT INFORMATION

Name: _____

Company/Organization: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _____ E-mail: _____

JUSTIFICATION / REASON FOR APPEAL

Is the decision being appealed in its entirety or in part? Entire Part

Are specific Conditions of Approval being appealed? YES NO

If Yes, list the Condition Number(s) here: 1, 2, 3, 4, 5, 6 to 17.

On a separate sheet provide the following: **Please see attached pages 1 to ...**

Reason(s) for the appeal

Specific points at issue

How you are aggrieved by the decision

APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true.

Appellant Signature:  Date: December 17, 2024

GENERAL NOTES

A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.

The appellate body must act on the appeal within a time period specified in the LAMC Section(s) pertaining to the type of appeal being filed. Los Angeles City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.

THIS SECTION FOR CITY PLANNING STAFF USE ONLY

Base Fee: _____

Reviewed & Accepted by (DSC Planner): _____

Receipt No.: _____ Date: _____

Determination authority notified Original receipt and BTC receipt (if original applicant)

GENERAL APPEAL FILING REQUIREMENTS

If dropping off an appeal at a Development Services Center (DSC), the following items are required. See also additional instructions for specific case types. To file online, visit our [Online Application System \(OAS\)](#).

APPEAL DOCUMENTS

1. Hard Copy

Provide three sets (one original, two duplicates) of the listed documents for each appeal filed.

- Appeal Application
- Justification/Reason for Appeal

Copy of Vince Bertoni's Letter of Compliance dated 12/5/24 is attached.

- Copy of Letter of Determination (LOD) for the decision being appealed

2. Electronic Copy

- Provide an electronic copy of the appeal documents on a USB flash drive. The following items must be saved as individual PDFs and labeled accordingly (e.g., "Appeal Form", "Justification/Reason Statement", or "Original Determination Letter"). No file should exceed 70 MB in size.

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REASONS FOR APPEAL

Jeronnell Barican – 7545 Quimby Ave West Hills CA 91307

Condition Numbers: 1, 2, 3, 4, 5 to 17.

1. **The Incentives approved are not required in order to provide for affordable housing costs as defined in laws including but not limited to California Health and Safety Code Section 50052.5, or Section 50053 for rents for the affordable units.**
2. **The Incentives approved will have a Specific Adverse Impact upon public health and safety or the physical environment, and for which there is no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households.**
3. The Project violates the California Environmental Quality Act (“CEQA”) and the Los Angeles Municipal Code, and lacks a Mitigated Negative Declaration (“MND”).
4. No analysis has been made to ascertain the reasonably foreseeable extend of the upset/hazardous conditions posed by the release of known contaminants during construction and/or operation of the Project.
5. The statement on the City’s Letter of Compliance dated 12/5/24 (“LOC”) on pages 14-15 which states "There is no evidence in the record that the approved incentives and waiver would have a specific adverse impact, is not true and is incorrect. A “specific adverse impact” is defined as “a significant, quantifiable, direct, and unavoidable impact, based on objective, **identified written public health or safety standards**, policies, or conditions as they existed on the date the application was deemed complete” per LAMC Section 12.22 A.25(b)." The community has submitted hundreds of letters and over 2,000 signatures attesting that there are suspected soil contamination, adverse impact on health, safety, structural infrastructure of roads and more. Yet, the City has all but ignored said evidence.
6. A strong presumption in favor of requiring preparation of an Environmental Impact Report (“EIR”) is built into CEQA which is reflected in what is known as the “fair argument” standard, under which an agency must prepare an EIR whenever substantial evidence in the record supports a fair argument that a project may have a significant effect on the environment. Despite the numerous pieces of evidence submitted by the community as to severe adverse impact, no EIR was prepared nor presented to the community.

7. The City failed to provide substantial evidence to support the first finding, that the project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan. The facts of this development Project do not support such a finding.
8. The Project is not in substantial compliance with the community plan, nor is it in compliance with the recent CHIP vote taken in November 2024, in favor of Draft #3 and against Exhibit D.
9. The detriment to adjacent owners and residents, the noise, air quality impacts, and potential for a diminished quality of life has been ignored.
10. The Project substantially conflicts with policies by developing a highly impactful high traffic, high density mini-city next door to a single family residential neighborhood with no close by public transportation stops, no markets nearby starting as of January 2025.
11. The Project is most egregiously incompatible with adjacent properties and neighboring properties for failing to adequately analyze environmental impacts most importantly with regard to the hazards and hazardous materials and air quality impacts known to exist both on the Project site and its immediate vicinity, posing a real and actual threat to the health and well-being of the surrounding neighborhood.
12. The Project site is near sites that have a long history of contamination, that were formerly used by companies such as Atomic International, Rocketdyne, Hughes Missile System Group, and Raytheon which performed Research and Development (R&D) related to highly classified projects for the defense and military purposes. As part of these R&D processes, materials were used that caused contamination of soil and ground water. Contamination of soil resulting from decayed materials used by these companies (dangerous materials such as arsenic, freon and possible radioactive material) have existed in the area and are reasonably believed to exist on the Project site. There is also a very real possibility of the existence of certain dangerous materials used by such defense related companies that are still unknown to the general public. The MND is lacking in this file and the City has made no effort –known to us--- to ascertain this information.
13. The Project Site is likely located near Corporate Point which is within the boundaries of the former Hughes Missile Systems facility, the subject of an open Corrective Action Case associated with releases of contaminants from the former Hughes facility. A Corrective Action Consent Agreement between Raytheon and the Department of Toxic Substances Control ("DTSC") exists for Corporate Point nearby. Based on this Agreement, Corporate Point includes, and nearby sites such as the Project are highly likely affected, must be

tested for contamination and restored to below regulatory concerns. The Project is nearby the Corporate Point which is listed as a Superfund Site by Los Angeles County. Corporate Point is off Fallbrook and Roscoe, a short walking distance from this Project.

14. The problem for this Project, however, is that no analysis has been made as in an MND to ascertain the reasonably foreseeable extent of the upset/hazardous conditions posed by the release of these known contaminants during construction and/ or operation of the Project. None of the above information has been analyzed or impacts mitigated. There are no mitigation measures proposed to deal with this reasonably foreseeable release of the known contaminants into this community.
15. Whether or not the Applicant will comply with the health, safe, or environmental or DTSC requirements does not relieve the City of any of its CEQA obligations. CEQA sets out a fundamental policy requiring local agencies to "integrate the requirements of this division with planning and environmental review procedures otherwise required by law or by local practice so that all those procedures, to the maximum feasible extent, run concurrently, rather than consecutively." (Public Resources Code § 1003(a).) Toward that end, agencies are encouraged to "consult with state and local responsible agencies before and during preparation of an environmental report so that the document will meet the needs of all the agencies which will use it." (CEQA Guidelines, §15006(g)) A lead agency must consider related regulations and matters of regional significance. (CEQA Guidelines, §15126.6.). It is apparent that the City failed to partake in all of these CEQA requirements.
16. There is no scientific/engineering analysis provided to ascertain how far the old underground piping (containing arsenic, freon, and other hazardous material) has leaked into the surrounding areas. Due to such lack of analysis, it is not clear how many test locations should be drilled, and at what interval of depths these samples should be taken and analyzed.
17. INFRASTRUCTURE - Furthermore, the removal of the top 10-12 feet of soil will disturb the existing balance of the site and may cause additional spread of contamination. As an example, working on the Sewer line and Drain Line can disturb and increase the probability of spread of contaminants. A review of the builder's plans reveal that there will be significant adverse impact on sewer lines.
- 18.
19. Also, no soil sampling evidence was found in the City file that shows no testing for possible Radioactive Isotopes, a reasonably foreseeable find.

20. Due to the lack of any quantitative and qualitative analysis, there are no mitigation measures proposed for the reasonably foreseeable release of the hazardous contaminants due to construction - no plan to protect workers, the immediate neighbors, or the general public against airborne hazardous material contamination.
21. That approach is unacceptable not only under CEQA, as described above, but also scientifically/practically. It assumes that the contaminants will not become airborne (even though the West Hills area has strong winds, including Santa Ana Winds), and will not be mixed with water during construction or rainwater. It is well known and accepted that contaminated soil, if mixed with ground water, can creep and move to adjacent land - in this case -single family residential homes. Excavation and release of hazardous materials either airborne or washed through the storm drains will impact the environment with unknown consequences and has not been evaluated in any MND. Notably, there is no MND to analyze or provide mitigation for the transportation and disposal of contaminated soils through the residential neighborhood.
22. The City has failed to require any soil testing and/or environmental testing to ensure public health and safety. The statement in the LOC that the community has not provided evidence, when the City itself has failed to require testing or open up the Project for public testing, is incorrect.
23. NOISE - The corner of Saticoy and Woodlake is a sleepy and quiet residential area. The construction noise and pollution of the Project will forever change this neighborhood into a war zone inhabited by over 600 people with only 154 parking spaces on Saticoy and Woodlake where parking is prohibited.
24. TRAFFIC GRIDLOCK - there will be significant adverse impact on traffic. Residents who have lived here over 30 years state that there are a lot of pedestrian and automobile accidents at the intersection of Saticoy and Woodlake. The route on Southbound Woodlake is highly traveled by the Fire Department who has informed the West Hills Neighborhood Council that they use this route to go from the Fire Department southbound to the UCLA West Hills Hospital just north of Sherman Way at the corner of Woodlake. Add to this the 1,200 Chaminade students commuting daily and children's safety is also at stake here. The Fire Lane seems inadequate and insufficient. In case of evacuation in a fire or earthquake how will 600 plus residents and additional staff and caregivers, for less mobile seniors, safely exist through the narrow passage which serves as the only single point of entry into the property?
25. This area is a high traffic corridor on Woodlake and cannot absorb the increase in population and traffic. There simply is not enough space to absorb this type of density and increase in population and traffic. People will get trampled to death in an

evacuation, if not while trying to enter and exit the property on the narrow patch of land where there is NO sidewalk on Woodlake or Saticoy.

26. The list of City requirements in the City's letter dated November 8, 2024, requires entrances on all street facing elevations. However, there are none in the North facing side on Saticoy.
27. PEDESTRIANS NOT SAFE - pedestrian access must be separate from car traffic so that egress and ingress is safe and accessible for all. City Planner Laura Frazin-Steele states on the City letter dated 11/8/24 that this safety requirement is met. However, such is not true. Pedestrian access is unsafe because there are not sidewalks, all foot traffic must cross the main and ONLY driveway and narrow traffic lanes.
28. NO SIDEWALKS – There is no sidewalk on the Woodlake of the Project, but a thin patch of road. Attached are photos evidencing the lack of sidewalk, the thin narrow strip of land for the elderly, since this is a Senior Living Facility, to navigate. Attached as **Exhibit A** are true and correct copies of six (6) photographs showing the narrow road at issue, incorporated herein by this reference.
29. In the Compliance Review Form called "FINDINGS/SPECIAL REQUIREMENTS/ CITYWIDE DESIGN GUIDELINES/ Compliance Review Form," dated 11/8/24 ("**Findings/Special Requirements**"), in the Pedestrian-First design section/**Guideline 1**, the developer has written "A00- Residential entrances are sidewalk-adjacent." There may be a tiny bit of sidewalk that flows into the pedestrian entrance but there is NO property-surrounding sidewalk on Woodlake or Saticoy. **This is not "a safe, comfortable, and accessible pedestrian experience for all" as Guideline 1 on the form requires.** There is only one pedestrian entrance for the whole project, located on Woodlake with no sidewalk or path available to walk to the Saticoy intersection (a large berm with new trees uses up the space for a path). Pedestrians exiting the building through this one and only entrance/exit would not be able to cross Woodlake because there is no crosswalk there on this very busy street. The only way to legally and safely walk to the Woodlake bus stop or to walk East on Saticoy- would be to walk South on Woodlake to Cohasset, cross at the crosswalk, then walk North on Woodlake to the bus stop or to the Saticoy intersection. At the Saticoy intersection there is no accommodation for a crosswalk on the South side so this hapless pedestrian hoping to walk East on Saticoy would then have to cross Saticoy, then finally cross Woodlake again. It is very likely, that most pedestrians will instead walk in the narrow traffic lanes on Saticoy and Woodlake or dodge traffic to cross Woodlake directly to make this journey. We have seen a few people try this extremely unsafe maneuver over the years but with the very limited parking spots provided by the developer, there could be large numbers attempting it daily. We are extremely fearful of the public safety hazard created by this aspect of the project.

30. In said Findings/Special Requirements in the Pedestrian-First design section/**Guideline 2** the developer has written "A101-Vehicular exit at rear of the building away from all pedestrian activity". This could mean connecting the East side of the Property to the garage alley in between Saticoy & Covello (entered off Royer). It is impossible to allow this major flow of traffic through a small very narrow alley (intended for homeowners private garages). This would be another public safety hazard. There simply is not enough space.
31. In said Findings/Special Requirements in the in the new "Planning Review" document, pages A000 & A001/ New Site Plan and Overall 1st Floor Plan clearly show the footprint of the landscape extends past the true property lines on both Woodlake & Saticoy. It seems the developer is fulfilling the requirement for a minimum number of trees by putting them on public land that may be used for street widening and/or sidewalk in the future. We did not see any explanation of how public land can be simply appropriated by the developer. Is this allowed? If the city does widen Woodlake or Saticoy to add the "missing lanes" or missing sidewalks these trees would have to be removed thus negating the entire purpose of planting them in the first place.
32. In said "Planning Review" City document dated 11/8/24, the main (and only) vehicle entrance/exit located on Woodlake is entirely a public property alleyway. This also appears to us as a taking of public land for private use. We see no discussion of this in the project plans or City Planning reviews or checklists.
33. In said "Planning Review" document, the proposed property driveway will be connected to the existing paved alleys that provide access to the garages of homes on Woodlake, Quimby, Saticoy and Covello. It is not clear if they will be gated or blocked to prevent through travel to Cohasset or Royer. Presently both alleys terminate directly into the proposed Woodlake apartment property. I don't see where this is explained or made clear in the "Planning Review" document. A homeowner on Woodlake says the alley is so narrow that it can be blocked by trash trucks. Do you know if apartment traffic will have access to these alleys?
34. **Major Construction or Projects Requiring Zoning Variances:**
The City of Los Angeles typically requires a **public notice** to be sent to neighbors within a specific radius (usually 300–500 feet) if a project requires zoning variances, conditional use permits, or exceptions.
The notice must be sent at least **10–24 days** before a public hearing or decision, as specified in the Los Angeles Municipal Code (LAMC).
No such notices were provided.

35. No Notices went out to abutting neighbors, some of whom have advised that they received the City's Letter of Compliance only a few days ago, not affording them reasonable time to prepare an appeal.
36. **VIOLATIONS OF Americans with Disabilities Act (ADA):** The City of Los Angeles' requirement for submitting appeals, such as through USB flash drives with PDF files, raise concerns under accessibility and discrimination laws, particularly if it imposes undue barriers on elderly individuals or others who lack access to the necessary technology. Public entities, including city governments, must provide equal access to their programs and services under the ADA.
If requiring digital submissions via USB creates a barrier for individuals, the city might need to provide alternative submission methods.
37. **VIOLATION OF California Unruh Civil Rights Act:** This act prohibits discrimination based on age, among other protected characteristics. If the process disproportionately affects older residents, the city might need to accommodate this demographic.
38. **Equal Access and Procedural Fairness:**
The **due process principle** under the U.S. Constitution requires governments to ensure that all individuals have a fair opportunity to participate in legal or administrative processes. Requiring electronic submissions could be challenged if it creates undue hardship for certain groups.
- The LAMC and requirement that only abutting neighbors can file an appeal is a violation of the due process rights and violation of the California Constitution and our property rights.
39. City Planning office failed to provide Builder's revised application that was accepted either digitally or on paper, despite multiple written requests by neighbors by email and phone calls. To date, the updated Application has not been shared with the public.
40. **The Application failed to check the box (p. 2) for "uses that could release hazardous materials on soil and/or groundwater known to contain radioactive and carcinogenic materials and Valley Fever nearby**

On information and belief, the neighboring cities and areas have nuclear waste contamination and excavating and/or grading the soil to street level has been counter indicated. Moreover, existence of Valley Fever in the soil at the Property is apparently common knowledge by the long-time residents. Not only has disturbing the soil been counter indicated, but class action lawsuits and other lawsuits have been filed in the San Fernando Valley and nearby for soil

contamination, including but not limited to radioactive and other carcinogenic toxins, resulting in cancers in individuals living thereon.

The Developer should be held to the strictest standard here, given the totality of the circumstances, including but not limited to the risk of cancer and Valley Fever from well documented environmental contamination in the soils in this or nearby lands, and not allowed to disturb the carcinogenic elements so as to not cause life threatening hazards to the residents of not only West Hills, but beyond in the San Fernando Valley in Los Angeles.

41. **The Application failed to disclose that there are related City Planning Cases** such as the Chaminade High School project just across the street, pending at this time.

42. **5 to 7 story, 332 units, 150 parking spaces, will cause several problems, including, but not limited to the following:**

- a. The Project building will tower over existing one story single family residences, destroy the privacy, calm, and quiet enjoyment of neighboring occupants and beyond. It is not suitable for this location;
- b. The density does not fit into the existing layout of the neighborhood;
- c. **150 parking spaces are gravely insufficient** to meet the needs of individuals over 55 who still drive, their caregivers, visiting family, visiting nurses, physical therapists, and other vendors, staff, and services. Where will they all park? There is NO room on the streets. The parking will overflow onto the streets which are, as is, heavily burdened with traffic and parked cars, to the point where Fire Department trucks and Ambulances are well known to get stuck in traffic on Woodlake and Saticoy where there is no traffic light, but a 4-way stop sign.

Even if a traffic light were to be installed, the congestion at this intersection is notorious for being substantially heavy and problematic for emergency and first responders.

Having seniors and disabled individuals (per the Application) living in the Project will likely increase the need for first responders, ambulance and paramedic commute to this Project, thereby worsening the existing traffic congestion and lack of access during school drop off and pick up hours at Chaminade High School.

The current traffic situation is currently often described as a challenging, during student pick up and drop off times, is described as one that will turn into a “nightmare” when the Project is occupied and operational.

With the Project, this area may very well become so congested and undesirable that the drop in property values, environmental contamination, and damages ensuing therefrom, will be the least of the Developer's concerns.

43. ENVIRONMENTAL TESTING MUST BE PERFORMED –

Soil testing and, environmental testing are urgently needed from reputable third party neutrals with a history of reliability and public disclosure of conflict of interest check, including but not limited to nuclear fallout and valley fever. The soil in this area may be affected by the nuclear accidents and projects undertaken nearby.

Since the Developer plans to move the dirt and raze the soil to lower the elevation to street level, or close to it, this is a serious issue that may pose serious life hazards to residents. The nuclear fallout has over 100 year half-life. Nearby cities have filed class action lawsuits for damages including cancer. That is not an acceptable result in our homes here.

44. 100% Senior occupied Permanently and In Perpetuity

Which definition of "Senior" is being used? We respectfully request the City Planner to impose Covenants, Conditions and Restrictions ("CC&R's"), and/or demand, and make it a permanent covenant with the land and the Project, that the Property and Project **allow only senior (is it 55 or 62 years and over?) residents permanently and in perpetuity and that said condition not be removable, or negotiable, under any circumstances whatsoever.**

We respectfully request The City to **specify in detail the monetary and other penalties that will be imposed upon the Developer, investors, builder, owner and subsequent owners or transferees should any of said covenants be violated.** Without said penalties, the restrictions would be rather meaningless. Moreover, the cost to the residents to file claims for the violation of said covenants, conditions and restrictions for non-performance would be an undue burden.

Certain developments obtain approval under the guise of "100% senior" housing, only to go on and allow anyone to reside therein after the City has closed its file and moved on. That is not acceptable.

45. Insufficient Public Right of Way – (Application p.3). 1' on Woodlake and 1' on Saticoy is insufficient.

46. Actions Requested (Application p.3):

- a. To the extent that the Code Sections from which relief is requested benefit and protect the welfare, safety and health of the residents of West Hills, relief should be denied to this Developer.

- b. Side Yard reductions should be denied, and expanded side yard restrictions should be imposed.
 - c. The City to require more than 30% Open Space Restriction.
 - d. The City to require a minimum of one normal size, not compact size, parking space per unit, in addition to a substantial percentage per Code for similar sized visitor parking spaces for visitors, staff, nurses, vendors and emergency responders.
47. **Developer Failed to Attach to this Application, a copy of the recorded Covenants, affidavits or easements on the Property.** See page 4, section 5, box is checked “yes” for the existence of such Covenants, affidavit or easements. Nothing is attached.

APPLICATIONS

APPEAL APPLICATION Instructions and Checklist



PURPOSE

This application is for the appeal of Los Angeles Department of City Planning determinations, as authorized by the LAMC. For California Environmental Quality Act Appeals use form [CP13-7840](#). For Building and Safety Appeals and Housing Department Appeals use form CP13-7854.

RELATED CODE SECTION

Refer to the Letter of Determination (LOD) for the subject case to identify the applicable Los Angeles Municipal Code (LAMC) Section for the entitlement and the appeal procedures.

APPELLATE BODY

Check only one. If unsure of the Appellate Body, check with City Planning staff before submission.

- Area Planning Commission (APC) City Planning Commission (CPC) City Council
 Zoning Administrator (ZA)

CASE INFORMATION

Case Number: Case File ADM-2024-5202-DB-PHP-VHCA
APN: 2021-002-013
Project Address: 7556-7572 N. Woodlake Avenue, West Hills, CA 91304
Final Date to Appeal: December 20th 2024

APPELLANT

Check all that apply.

- Person, other than the Applicant, Owner or Operator claiming to be aggrieved
 Representative Property Owner Applicant Operator of the Use/Site

APPELLANT INFORMATION

Appellant Name: CARLOS L. MORALES

Company/Organization: _____

Mailing Address: 7542 WOODLAKE AVENUE

City: WEST HILLS State: CA Zip Code: 91304

Telephone: 818 730-9646 E-mail: CARLOS@WIKETAY.COM

Is the appeal being filed on your behalf or on behalf of another party, organization, or company?

Self Other: _____

Is the appeal being filed to support the original applicant's position? YES NO

REPRESENTATIVE / AGENT INFORMATION

Name: ROBERT C. BAKER

Company/Organization: _____

Mailing Address: 7522 WOODLAKE AVE

City: WEST HILLS State: CALIF Zip Code: 91304

Telephone: 818-883-2782 E-mail: CBAKER514 AT AOL.COM

JUSTIFICATION / REASON FOR APPEAL

Is the decision being appealed in its entirety or in part? Entire Part

Are specific Conditions of Approval being appealed? YES NO

If Yes, list the Condition Number(s) here: 1,2,5 through 17

On a separate sheet provide the following:


Reason(s) for the appeal

Specific points at issue

How you are aggrieved by the decision

APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true.

Appellant Signature:  Date: 12/18/2024

GENERAL NOTES

A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.

The appellate body must act on the appeal within a time period specified in the LAMC Section(s) pertaining to the type of appeal being filed. Los Angeles City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.

THIS SECTION FOR CITY PLANNING STAFF USE ONLY

Base Fee: _____

Reviewed & Accepted by (DSC Planner): _____

Receipt No.: _____ Date: _____

Determination authority notified Original receipt and BTC receipt (if original applicant)

GENERAL APPEAL FILING REQUIREMENTS

If dropping off an appeal at a Development Services Center (DSC), the following items are required. See also additional instructions for specific case types. To file online, visit our [Online Application System \(OAS\)](#).

APPEAL DOCUMENTS

1. Hard Copy

Provide three sets (one original, two duplicates) of the listed documents for each appeal filed.

- Appeal Application
- Justification/Reason for Appeal

- Copy of Letter of Determination (LOD) for the decision being appealed

2. Electronic Copy

- Provide an electronic copy of the appeal documents on a USB flash drive. The following items must be saved as individual PDFs and labeled accordingly (e.g., “Appeal Form”, “Justification/Reason Statement”, or “Original Determination Letter”). No file should exceed 70 MB in size.

3. Appeal Fee

- Original Applicant.* The fee charged shall be in accordance with LAMC Section 19.01 B.1(a), or a fee equal to 85% of the original base application fee. Provide a copy of the original application receipt(s) to calculate the fee.
- Aggrieved Party.* The fee charged shall be in accordance with LAMC Section 19.01 B.1(b)

4. Noticing Requirements (Applicant Appeals Only)

- Copy of Mailing Labels.* All appeals require noticing of the appeal hearing per the applicable LAMC Section(s). Original Applicants must provide noticing per the LAMC for all Applicant appeals.
- BTC Receipt.* Proof of payment by way of a BTC Receipt must be submitted to verify that mailing fees for the appeal hearing notice have been paid by the Applicant to City Planning’s mailing contractor (BTC).

See the Mailing Procedures Instructions ([CP13-2074](#)) for applicable requirements.

SPECIFIC CASE TYPES

ADDITIONAL APPEAL FILING REQUIREMENTS AND / OR LIMITATIONS

DENSITY BONUS (DB) / TRANSIT ORIENTED COMMUNITIES (TOC)

Appeal procedures for DB/TOC cases are pursuant to LAMC Section 13B.2.5. (Director Determination) of Chapter 1A or LAMC Section 13B.3.3. (Class 3 Conditional Use) of Chapter 1A as applicable.

- Off-Menu Incentives or Waiver of Development Standards are not appealable.
- Appeals of On-Menu Density Bonus or Additional Incentives for TOC cases can only be filed by adjacent owners or tenants and is appealable to the City Planning Commission.

- Provide documentation confirming adjacent owner or tenant status is required (e.g., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, driver's license, bill statement).

WAIVER OF DEDICATION AND / OR IMPROVEMENT

Procedures for appeals of Waiver of Dedication and/or Improvements (WDIs) are pursuant to LAMC Section 12.37 I of Chapter 1.

- WDIs for by-right projects can only be appealed by the Property Owner.
- If the WDI is part of a larger discretionary project, the applicant may appeal pursuant to the procedures which govern the main entitlement.

[VESTING] TENTATIVE TRACT MAP

Procedures for appeals of [Vesting] Tentative Tract Maps are pursuant LAMC Section 13B.7.3.G. of Chapter 1A.

- Appeals must be filed within 10 days of the date of the written determination of the decision-maker.

NUISANCE ABATEMENT / REVOCATIONS

Appeal procedures for Nuisance Abatement/Revocations are pursuant to LAMC Section 13B.6.2.G. of Chapter 1A. Nuisance Abatement/Revocations cases are only appealable to the City Council.

Appeal Fee

- Applicant (Owner/Operator)*. The fee charged shall be in accordance with the LAMC Section 19.01 B.1(a) of Chapter 1.

For appeals filed by the property owner and/or business owner/operator, or any individuals/agents/representatives/associates affiliated with the property and business, who files the appeal on behalf of the property owner and/or business owner/operator, appeal application fees listed under LAMC Section 19.01 B.1(a) of Chapter 1 shall be paid, at the time the appeal application is submitted, or the appeal application will not be accepted.

- Aggrieved Party*. The fee charged shall be in accordance with the LAMC Section 19.01 B.1(b) of Chapter 1.

1. Site Development

The drawing provided by the City Planner office is incomplete. The plan is missing exact property lines. It does not show the exact measurements of the site where it is abutting the neighbors. There is only one entrance on Woodlake Ave. Is this entrance wide enough for Fire Trucks to service this facility? Where is the entrance on Saticoy? Is there a route that leads out of the facility into the existing neighborhood alley way or street? Doesn't the law require two entrances/exits for a facility of this size with that many residents in case of natural disaster or fire? There are no current sidewalks for residents that are disabled or use wheelchair to cross the street safely to catch a bus? Where is the new bus stop for residents going East? See attached pictures of elderly mitigating this intersection. This Intersection is used by LAFD #106 for Fire trucks and EMT/Paramedics on their way to UCLA Medical Center. Will the City Planning office guarantee this route is not hampered during construction or operation of this project? if a patient dies on the way to the hospital due to grid lock that will be caused on this intersection with this many residents and expansion of Chaminade preparatory school, City of Los Angeles has to use tax payers money to defend itself for creating this situation. The Project site is near Rocketdyne R&D site with few meltdowns over the past 50 years. What has the City of Los Angeles has done to make sure that the soil is not contaminated and as the builder will level & grade certain areas of this site, dust from this contamination is not airborne?

2. Resident Density

The Incentives approved are not required in order to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5, or Section 500053 for rents for the affordable unit.

The Incentives approved will have a Specific Adverse Impact upon public health and safety or the physical environment for which there is no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to Very Low-, Low- and Moderate-Income households.

5. SB 8 Replacement Units

The statement on the City's Letter of Compliance dated 12/5/24 ("LOC") on pages 14-15 which states "There is no evidence in the record that the approved incentives and waiver would have a specific adverse impact, is not true and is incorrect. A "specific adverse impact" is defined as "a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" per LAMC Section 12.22 A.25(b)." The community has submitted hundreds of letters and over 2,000 signatures attesting that there is suspected soil contamination, adverse impact on health, safety, structural infrastructure of roads and more. Yet, the city has all but ignored said evidence.

What is the procedure for LAHD to make sure that the landlord or builder will follow LAHD guidelines to only rent to low income per defined on incentives to build this project? What is the

length of time for this enforcement by LAHD? How often LAHD will audit the facility to make sure that the number of low and moderate tenants are following the guidelines? What is the penalty for the owner if he/she does not abide by these guidelines? What is the LAHD policy for this project if there is a change of ownership to another individual or a corporation? Will the same guidelines be enforced by LAHD to the new owner(s)? How can the citizens of affected communities verify LAHD is following these guidelines?

7. Density Bonus Incentives

The City failed to provide substantial evidence to support the first finding, that the project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan. The facts of this development Project do not support such a finding.

The Open Space, Side Yard needs to be on the drawing submitted by the builder's Architect. Again, the drawing is incomplete and requires exact measurements pointing to these incentives.

8. Height

Solar panels were installed in order to take full advantage of the sun to save electricity based on a R1 zoning. Having 73 feet abutting the building next to you will block the sun. Who will compensate for this oversight?

9. Floor Area

1. Again, the measurement of the final drawing is incomplete as it is missing exact measurement of the property lines, open spaces and any appeasements to the abutting neighbors. The detriment to adjacent owners and residents, the noise, air quality impacts, and potential for a diminished quality of life has been ignored.

10. Automobile Parking for Residential Uses.

There is no parking zone along Saticoy or Woodlake Ave. Where are the rest of the resident's park? Where are service vehicles, guests and the rest of the residents are going to park? Is city issuing special permits to the existing residents of all the adjacent streets within ¼ mile of this facility, so any lack of parking does not over-flow and interrupt the parking situation for the current

residents? This project is 1.5 miles West from the nearest grocery store. With no Bus stops on the East Saticoy Avenue (1/2 mile away), how will elderly and handicap residents navigate their way with both Saticoy and Woodlake Avenue not having a Sidewalk in plans submitted by the builder?

11. Bicycle Parking

There is no mention of Motorcycle parking. Where are they going to park? The number of stalls for bicycles is too little for 800 + residents. There are no bike lanes either on Saticoy or Woodlake Ave. Is the city of Los Angeles planning to provide these bike lanes prior to this site being erected?

12. On-Site Trees

Will any of the onsite trees be outside of the property lines? Who will cut down the over-growth of the trees that encroach my residence? Will LAHD enforce this? Who do I need to call?

13. Street Trees

There was mention of sidewalks on both Saticoy and Woodlake once this property is built. How can the City Planning office ensure these trees are not eliminated while they are building sidewalks?

14. Off-Site Protected Trees on the Neighboring Properties

Who is enforcing this? Please outline these protected trees in your incomplete drawings so we can verify.

15. Landscape Plan

Again, the drawing provided by the City Planner office is incomplete. It does not show property lines, building location with exact offset measurements within the property to justify if builder is following the landscape ordinance.

16. Building Line

Same as above. The architectural drawing that was approved by the City Planner office is missing offsets, measurements within and around surrounding neighbor's property lines.

17. Equine Keeping in the City of Los Angeles

Who is enforcing this?

In addition, the community went door to door of the abutting neighbors, and we found only one house that was served the letter of appeal process just a few days ago. Need to remind City Planner office of:

1. VIOLATIONS OF **Americans with Disabilities Act (ADA)**: The City of Los Angeles' requirement for submitting appeals, such as through USB flash drives with PDF files,

raise concerns under accessibility and discrimination laws, particularly if it imposes undue barriers on elderly individuals or others who lack access to the necessary technology. Public entities, including city governments, must provide equal access to their programs and services under the ADA.

If requiring digital submissions via USB creates a barrier for individuals, the city might need to provide alternative submission methods.

2. **VIOLATION OF California Unruh Civil Rights Act:** This act prohibits discrimination based on age, among other protected characteristics. If the process disproportionately affects older residents, the city might need to accommodate this demographic.

3. **Equal Access and Procedural Fairness:**

The **due process principle** under the U.S. Constitution requires governments to ensure that all individuals have a fair opportunity to participate in legal or administrative processes. Requiring electronic submissions could be challenged if it creates undue hardship for certain groups.

The LAMC and requirement that only abutting neighbors can file an appeal is a violation of the due process rights and violation of the California Constitution and our property rights.

4. The City Planning office failed to provide Builder's revised application that was accepted either digitally or on paper, despite multiple written requests by neighbors by email and phone calls. To date, the updated Application has not been shared with the public.
5. **The Application failed to check the box (p. 2) for "uses that could release hazardous materials on soil and/or groundwater known to contain radioactive and carcinogenic materials and Valley Fever nearby."**

6. **Major Construction or Projects Requiring Zoning Variances:**

The City of Los Angeles typically requires a **public notice** to be sent to neighbors within a specific radius (usually 300–500 feet) if a project requires zoning variances, conditional use permits, or exceptions.

The notice must be sent at least **10–24 days** before a public hearing or decision, as specified in the Los Angeles Municipal Code (LAMC).

No such notices were provided.

7. No Notices went out to abutting neighbors, some of whom have advised that they received the City's Letter of Compliance only a few days ago, not affording them reasonable time to prepare an appeal.

According to information and belief, the neighboring cities and areas have nuclear waste contamination and excavating and/or grading the soil to street level has been counter indicated. Moreover, the existence of Valley Fever in the soil at the Property is apparently common knowledge by the long-time residents. Not only has disturbing the soil been counter indicated, but class action lawsuits and other lawsuits have been filed in the San Fernando Valley and nearby for soil contamination.

EXHIBIT “A”

to Appeal letter by

.... ,

West Hills, CA 91307

December 17, 2024

**Contents include: six (6)
photographs showing no
sidewalks on Woodlake and
Saticoy**

Photo #1 – corner of Woodlake & Saticoy, shows NO sidewalk or crosswalk, elderly crossing with cane into traffic



Photo #2 – corner of Woodlake & Saticoy, shows single lane of traffic next to street path

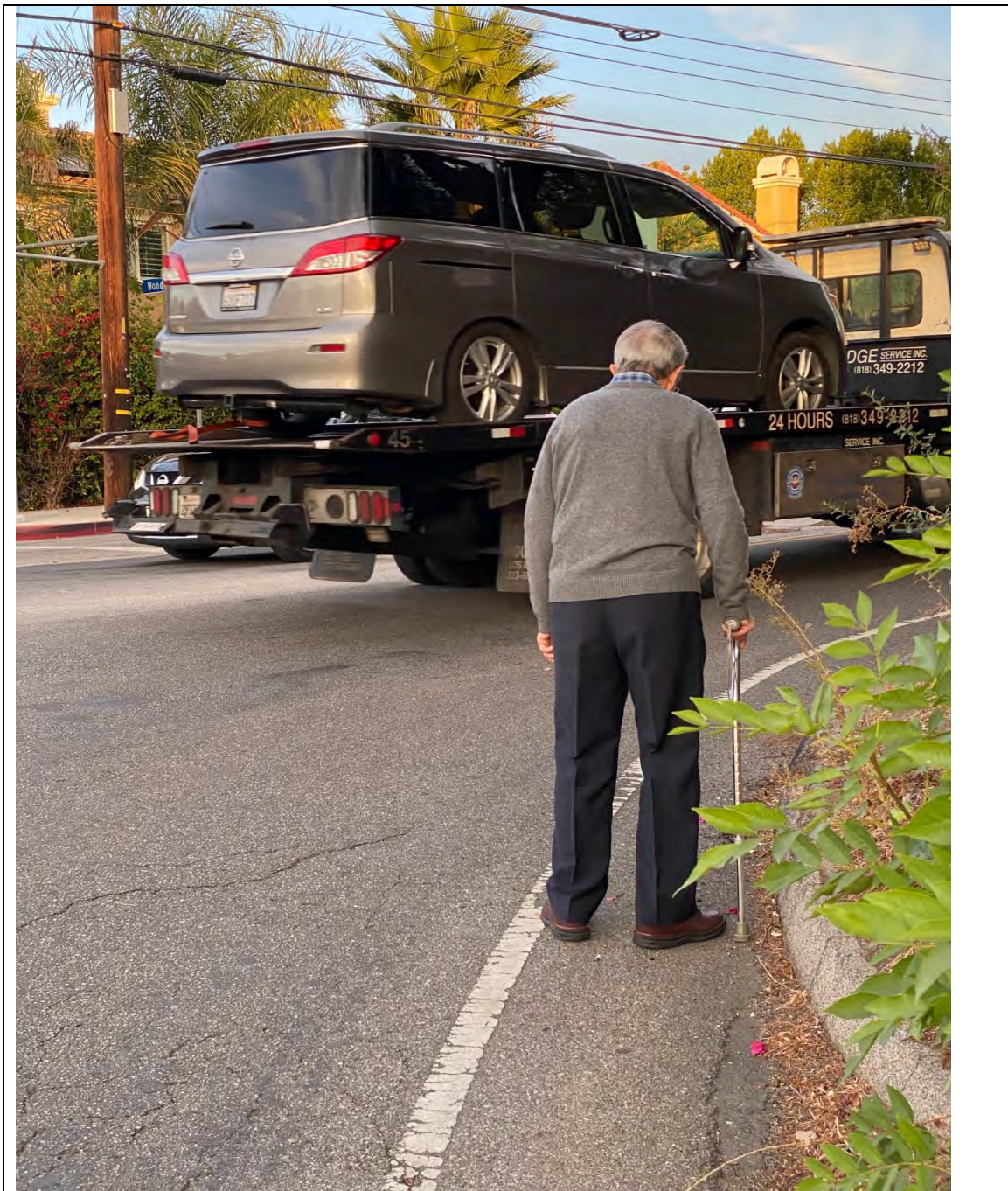


Photo #3 – Northwest side of property showing no safe sidewalk.



Photo #4 – single lane with traffic close to pedestrian on Woodlake



Photo #5 – single lane with traffic close to pedestrian on Woodlake



Photo #6 – traffic bumps to keep cars from running into property wall at Woodlake



If this document contains any restriction based on age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, that restriction violates state and federal fair housing laws and is void, and may be removed pursuant to Section 12956.2 of the Government Code by submitting a “Restrictive Covenant Modification” form, together with a copy of the attached document with the unlawful provision redacted to the county recorder’s office. The “Restrictive Covenant Modification” form can be obtained from the county recorder’s office and may be available on its internet website. The form may also be available from the party that provided you with this document. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. Gov. Code Sec. 12956.1(b)(1)

Any person who believes that this document contains an unlawful restrictive covenant as described above may submit to the County Recorder a completed Restrictive Covenant Modification form. A complete copy of the original document must be attached to the Restrictive Covenant Modification form, with the unlawful language redacted. After submission to the Recorder, the form and attached document will be reviewed by County Counsel, and if the attached document properly redacts an unlawful covenant, the form and attached document will be recorded. If you submit a request to record a modification document, you must provide a return address in order for the County Recorder to notify you of the action taken by the County Counsel regarding the form. Gov. Code Sec. 12956.2(a)(1), (b)(1), (c)

RECORDING REQUESTED BY:

WHEN RECORDED MAIL TO:

THIS SPACE FOR RECORDER'S USE ONLY

RESTRICTIVE COVENANT MODIFICATION

The following reference document contains a restriction based on age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, veteran or military status, genetic information, national origin, source of income as defined in Section 12955 of the Government Code, or ancestry, that violates state and federal fair housing laws and is void. Pursuant to Section 12956.2 of the Government Code, this document is being recorded solely for the purpose of redacting and eliminating that restrictive covenant as shown on page(s) ___ of the document recorded on _____(date) in book _____ and page _____ or instrument number _____ of the official records of the County of _____, State of California.

Attached hereto is a true, correct and complete copy of the document referenced above, with the unlawful restrictive covenant redacted.

This modification document shall be indexed in the same manner as the original document being modified, pursuant to subdivision (d) of Section 12956 of the Government Code.

The effective date of the terms and conditions of the modification document shall be the same as the effective date of the original document.

Signature of Submitting Party: _____ Date: _____

Print Name: _____

_____ County Counsel, or their designee, pursuant to paragraph (1) of subdivision (b) of Section 12956.2 of the Government Code, hereby states that it has determined that the original document referenced above contains an unlawful restriction and this modification may be recorded.

Or

_____ County Counsel, or their designee, pursuant to paragraph (1) of subdivision (b) of Section 12956.2 of the Government Code, finds that the original document does not contain an unlawful restriction, or the modification document contains modifications not authorized, and this modification may not be recorded.

County Counsel

By:

Date:

270 6162 6162

To Have and to Hold, all and singular the said premises, together with the appurtenances, unto the said party of the second part, and to her heirs and assigns forever.

In Witness Whereof, the said party of the first part has caused its corporate name and seal to be affixed by its Vice President and Secretary thereunto, duly authorized, the day and year in this indenture first above written

(Corporate Seal)

PROVIDENT MUTUAL BUILDING-LOAN ASSOCIATION

By J. M. Hunter Vice President

By G. H. Wadleigh Secretary

State of California, County of Los Angeles) ss.

On this 30th day of March A. D. 1916 before me, Robert M. Kedzie, a Notary Public in and for the said County and State, residing therein, duly commissioned and sworn, personally appeared J. M. Hunter known to me to be the Vice President and G. H. Wadleigh known to me to be the Secretary of the Provident Mutual Building-Loan Association the Corporation that executed the within Instrument, known to me to be the persons who executed the within Instrument, on behalf of the Corporation therein named, and acknowledged to me that such Corporation executed the same.

In Witness Whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(Notarial Seal)

Robert M. Kedzie Notary Public

in and for said County and State.

62 A full, true and correct copy of original recorded at request of Title Guarantee & Tr. Co.

Apr 1 1916, At 8:30 A. M. #205---

Copyist #3.

C. L. Logan, County Recorder by

J. U. Baldwin

Deputy

U.S.I.R. Stamps, \$16.00. Cancelled.

Corporation Grant Deed.

The Title Insurance and Trust Company, a corporation organized under the laws of the State of California, and having its principal place of business at Los Angeles, California, in consideration of Ten Dollars, to it in hand paid, the receipt of which is hereby acknowledged, does hereby Grant to John T. Hadley and Lillian H. Hadley, husband and wife, as joint tenants with right of survivorship and not as tenants in common, all that certain land situate in the City of Los Angeles, County of Los Angeles, State of California, described as follows, to-wit:

Lot Ten Hundred Fifty (1050) of Tract Number 1000, as per map thereof recorded in the office of the County Recorder of said Los Angeles County, in Book 19, at pages 1 to 34 inclusive of Maps, (generally known as subdivision of the Los Angeles Farming and Milling Company Rancho, being a portion of the Rancho Ex-Mission San Fernando). The acreage of the above described lot is computed to center of all adjoining streets and roads, and any rights of way for railways and boulevards shown on said plat.

There is hereby excepted and reserved from this conveyance the following: First: All rights of the City of Los Angeles to water in or upon lands in said Rancho lying North of the Los Angeles and Ventura Road, East of the Rancho El Encino, West of the East line of said Los Angeles Farming and Milling Company Rancho, and South of a line drawn from a point in said East line 22,260 feet North of center line of said Los Angeles and Ventura Road to the Northeast corner of said Rancho El Encino.

Second, Rights of way along all lines of lots herein described ten feet wide for the erection, construction, maintenance and operation of pole lines for the transmission of electrical energy and for telephone and telegraph lines, and for canals, ditches, conduits and pipe lines for the carriage and transportation of water, and for sewers and gas mains, together with

the right of entry upon said lands for the purpose of constructing, erecting, operating, repair-

ing, and maintaining any and all utilities mentioned herein.

Third. All minerals, oils, petroleum and kindred substances and natural gas under or in said lands, it being the intent of this reservation to prevent all exploration or use of said lands for oil or mining purposes, and party of the first part agrees that it will not bore for oil, gas or petroleum on said lands, or mine the same for minerals, nor will it grant to any other person or corporation permission to mine or bore on said lands at any time.

Fourth. Right of way over all ways, roads, streets and boulevards that are now public highways or may be hereafter dedicated as such pursuant to the plan of subdivision of said tract, together with rights of way for railroad now constructed, and any railroad or electric line, gas or water mains or conduits for telegraph or telephone lines or sewers to be hereafter constructed in any way, street, road or boulevard or reservation in said Tract 1000.

Fifth. The rights, privileges and easements granted the Suburban Home Company, a corporation by two certain deeds recorded in Book 4351, page 313 and Book 4410, page 99 of Deeds.

Sixth. Together with the right to first party to transfer, convey or assign to any person or persons or corporations any of the rights and privileges and rights of way herein reserved, at such times, for such consideration, and on such terms as it may elect.

Provided, however, that this conveyance is made and accepted upon each of the following conditions binding upon said Grantee, his heirs or assigns, and running with the land, namely:

1. That said premises shall be used for residence purposes only, provided, however, that nothing herein shall prevent or hinder the use of said premises for the raising of crops thereon, of fruits, plants or flowers for profit or otherwise; that no hotel, apartment house, lodging house, livery stable, store building nor any building whatever other than a private residence, to be used for residence purposes only, with the customary outbuildings, including a private stable or garage, shall be erected, placed or permitted on said premises or any part thereof, that such residence shall cost and be fairly worth not less than \$1000.00; and such residence and all porches thereof and approaches thereto which are a part of the main building or enclosed in front or at either end shall be located not less than 75 feet from the front property line of all premises in Tract One Thousand facing Sherman Way or the private ways or boulevards, as described in the deed to Suburban Home Company, recorded in Book 4351, page 313 of Deeds, and not less than 50 feet from the front property line of all premises in said Tract One Thousand facing on any other streets, avenues or roads, and shown on the map of said Tract and not less than 50 feet from any side street. (In interpreting these restrictions the front property line shall be considered the most Northerly or Easterly line of said private ways, as set forth in said deed recorded in Book 4351, page 313 of Deeds.)

That no building which may be placed on said premises shall be used in whole or in part for other than residence purposes with the said customary outbuildings; that any building whatever placed or erected on said premises before residence shall have been first erected, shall be located not less than 150 feet from any street adjoining said premises; that all outbuildings, corrals, chicken and barnyard fences and all buildings other than said residence shall not be placed in front of the rear line of said residence.

That there may be erected and maintained on said premises a structure to be used for residence purposes which may be of value and cost less than said residence as stipulated above, provided, that the same shall be located not nearer to said street than said outbuildings can

be placed in accordance herewith.

All buildings of whatsoever nature, including

thereof,
roofs, placed, erected or maintained on said premises shall be painted or stained at least two

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coats, and all fences shall be stained, painted or whitewashed.

2. And upon the following express condition:

That no part of said premises shall ever at any time be used for the purpose of buying, selling, or handling intoxicating liquors, and that no part of said premises shall ever at any time be sold, conveyed, leased or rented to any person of African, Chinese or Japanese descent.

Provided, that all and each of the restrictions, conditions and covenants herein contained in Condition "1" above, shall in all respects terminate and end and be of no further effect, either legal or equitable, after January 1, A.D. 1916, but each of the restrictions, conditions and covenants herein contained in Condition "2" above shall be perpetual and binding forever upon the parties hereto, their heirs, devisees, executors, administrators or assigns.

Provided, the breach of any of the foregoing conditions shall cause said premises to revert to the said grantor, its successors or assigns, each of whom respectively shall have the right of immediate re-entry upon said premises in the event of any such breach, and the title hereby granted, upon such breach or other violation of any of said conditions, shall thereupon cease and terminate and become vested in the said grantor, its successors or assigns, and the second party, his heirs or assigns, shall forfeit all right and title thereto.

Provided, also that the breach of either of the foregoing conditions, or any re-entry by reason of such breach shall not defeat or render invalid the lien of any mortgage or deed of trust made in good faith for value as to said land and the improvements thereon as above provided, or any part thereof, provided, however that the breach of either of said conditions or the continuance of any such breach may be enjoined, abated, or remedied by appropriate proceedings, and provided also that each of the foregoing conditions shall remain at all times in full force and effect as against any owner of said premises or any part thereof, by reason of any breach thereof by such owner, whether such ownership is acquired by purchase, foreclosure, devise, inheritance, or in any other manner.

It is understood and agreed that in sales and conveyances of other lands in said Tract 1000 there will be imposed condition Number "2" as above in all conveyances, and in sales and conveyances of land in said Tract 1000 peculiarly adapted for residence purposes there will be imposed and created conditions and restrictions substantially the same as the above hereby imposed, locality, adaptability and value relatively considered, but whereas, owing to the vast area of said Tract, its variety of contour, soils and adaptability, the conditions and restrictions hereby imposed are inapplicable and inappropriate to all lands in said Tract as contemplated by the general plan of the subdivision thereof, it is agreed that there may or may not be imposed these or similar conditions and restrictions on other lands in said Tract, as the grantor in this deed in its best judgment may deem most advisable and fit and for the best interest of all owners in said Tract, and the right to enforce the imposition of the above or similar restrictions on other lands in said Tract, and the right to abate or enjoin the violation of the same when imposed on other lands in said Tract, is hereby waived by second party in favor of said grantor in this deed, its successors and assigns.

Whereas it may in the future be deemed advisable and advantageous to all the lands in said Tract and to the several owners therein that one party rather than the several respective owners therein enter into contracts with the City of Los Angeles for the supplying of water to said lands, now therefore, this conveyance is subject to and the right is hereby reserved to the grantor in this deed to make such contracts with the City of Los Angeles on such terms and

conditions as to it may deem advisable and just, and in event such contracts are made, the party of the second part will pay his proportion of the cost and expense incident to the installation

of water system in said Tract 1000. To Have and to Hold to said Grantees, and to the survivor of them. Subject to taxes of the fiscal year 1916-17, and thereafter, and any tax sales, unpaid taxes or assessments prior thereto.

In Witness Whereof, the said grantor has this 8th day of March 1916, hereunto caused its corporate name and seal to be affixed by its President and Secretary thereunto duly authorized, a certified copy of the resolution therefor being recorded in Book 140, page 107 of Miscellaneous Records of Los Angeles County.

(Corporate Seal)

Title Insurance and Trust Company.

T.A.S. F.H.G.

By William H. Allen, Jr, President.

By O. P. Clark, Secretary.

State of California, County of Los Angeles,)ss.

On this 14th day of March 1916, before me, F.H.Greene, a Notary Public in and for said County, personally appeared William H. Allen, Jr, known to me to be the President and O.P.Clark, known to me to be the Secretary of the Title Insurance and Trust Company, the corporation that executed the within and foregoing instrument, and known to me to be the persons who executed the within instrument on behalf of the corporation therein named and acknowledged to me that such corporation executed the same.

Witness my hand and official seal

the day and year in this certificate first above written.

(Notarial Seal)

F.H. Greene, Notary Public in

and for the County of Los Angeles, State of California.

#53. A full true and correct copy of original recorded at request of Title Insurance & Tr. Co. Apr. 4, 1916, at 8:30 A. M. #167. Copyist #31.

C. L. Logan, County Recorder, by

A. Smith Deputy.

This Agreement, made the 7th day of November in the year of our Lord one thousand nine hundred and twelve, Between Rowena Fuerst, the party of the first part, and Edna Wyatt, the party of the second part. Witnesseth: That the said party of the first part, in consideration of the covenants, promises and agreements on the part of the said party of the second part, hereinafter contained, hereby covenants, promises and agrees to sell and convey unto the said party of the second part, and the said party of the second part agrees to buy that certain lot situate in the City of Los Angeles, County of Los Angeles, State of California, described as follows, to-wit: Lot Sixteen (16) in Block One (1) of Tract No. 26, as per map recorded in Book 14, pages 2 and 3 of Maps, in the office of the County Recorder of said County, for the sum of Eight Hundred Dollars (\$800.00) Forty Dollars (\$40.00) cash on the signing and delivery of these presents, the receipt of which is hereby acknowledged, Ten Dollars (\$10.00) on or before December 15th 1912; and Ten Dollars (\$10.00) on or before the 15th day of each month thereafter, together with interest on all deferred payments at the rate of seven per cent per annum payable quarterly, until full amount of principal and interest is paid.

Subject to the conditions, restrictions and reservations contained in the Agreement between the Title Insurance and Trust Company, a corporation and Rowena Fuerst, dated July 1st, 1909.

The said party of the second part agrees to pay all taxes and assessments now or hereafter levied or assessed against the said property before the same become delinquent, and upon failure so to do the party of the first part shall have the right to pay the same, with whatever costs and legal percentages that may be added, and the amount so paid, with interest thereon at the rate of seven per cent per annum from the date of payment until repaid, shall be secured hereby and shall be repaid by said party of the second part to said party of

not less than Three Thousand and no/100 Dollars (\$3,000.00) and shall face on the front line of said property, namely on Hobart Boulevard and no portion thereof, (including any porch, pergola or piazza) except the steps extending from the front of said building, shall be located less than twenty-five (25) feet from said front line. (c) That no outbuildings, including private stable or private garage, shall be erected, placed or permitted on said premises at a distance of more than thirty (30) feet from the rear line thereof, nor before the erection of a residence building thereon. (d) That no temporary home or homes shall be erected placed or permitted on said premises. (e) No building heretofore constructed on other property shall be moved upon or permitted on said premises. (f) That only one residence shall be erected, placed or permitted on said premises. (g) That no building or structure, except a fence or wall not over four feet in height shall be erected, placed or permitted on said premises within twenty-five (25) feet of the said front property line. (h) That all outside exposed wood in every building or structure erected on the said premises shall be stained or painted with at least two coats of stain or paint within thirty days after erection. Each and all of the foregoing conditions and restrictions shall remain in full force and effect until January 1, 1944 but not thereafter.

(i) No part of said real property shall ever be leased, rented, sold or conveyed to any person who is not of the White or Caucasian race, nor be used or occupied by any person who is not of the White or Caucasian race, whether Grantee hereunder or any other person. This conveyance is made subject to taxes for the fiscal year 1927-1928 and thereafter, and subject to any and all assessments of any kind or nature, now or hereafter levied or assessed against said property, or any part thereof, including street and other improvements, assessments, water rates, telephone rates, street lighting charges, electric lighting and gas charges, if any. As to the grantor of said real property, its successors or assigns, a breach of any of the foregoing conditions or restrictions shall cause the title to the particular lot upon which such breach occurs to revert to the grantor, its successors or assigns, each of whom respectively shall have the right, in the event of any such breach, to immediately, or at any time during the continuation of any such breach, re-enter and take possession of said lot and remove all persons therefrom, and the breach of any of such conditions or restrictions, or the continuance of any such breach may be enjoined, abated or remedied by appropriate proceedings by such grantor, its successors or assigns, but by no other person or persons. Provided further that a breach of any of such conditions or restrictions or any re-entry by reason of such breach shall not cease nor render invalid the lien of any mortgage or deed of trust made in good faith and for value, as to the said premises or any part thereof, but said conditions and restrictions shall be binding upon and effective against any owner of said premises whose title thereto is acquired by foreclosure, trustee's sale or otherwise.

IN WITNESS WHEREOF, the JOHN P. MILLS ORGANIZATION, INCORPORATED, a corporation, has caused its corporate name and seal to be affixed hereto in its behalf by its officers thereto duly authorized.

(Notarial Seal)

JOHN P. MILLS ORGANIZATION, INCORPORATED

By A. C. Ray, Vice-President
By F. B. Wells, Asst. Secretary.

STATE OF CALIFORNIA, COUNTY OF LOS ANGELES,) SS. On this 2nd day of March, 1927 before me, Lucile W. Smith, a Notary Public in and for said County and State, personally appeared A. C. Ray known to me to be the Vice-President and F. B. Wells known to me to be the Asst. Secretary of JOHN P. MILLS ORGANIZATION, INCORPORATED, the corporation that executed the foregoing instrument, and known to me to be the persons who executed the within instrument on behalf of the Corporation therein named, and acknowledged to me that such Corporation executed the same. Witness my hand and official seal the day and year in this Certificate first above written.

(Notarial Seal)

Lucile W. Smith, Notary Public

in and for said County of Los Angeles, State of California. My Com. Exp. Sep. 10, 1930.
197 Copy of original recorded at request of Title Ins. Co. on Mar 14 1927 at 8:30 A.M.
Copyist J.S. Compadre C.L. Logan, County Recorder, By H. M. [Signature] Deputy.

IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA IN AND FOR THE COUNTY OF LOS ANGELES
CALIFORNIA ASSURANCE COMPANY, INC., Plaintiff.)
vs.)
JAMES C. COOK and MARY WILF WOOD, Defendant.)
313261

The People of the State of California to the Sheriff of the County of Los Angeles, commanding: WHEREAS, the above entitled action was commenced by Plaintiff in the Superior

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of the County of Los Angeles, to recover from the Defendant CHARLES S. WOOD and MARY WAITT WOOD the sum of ONE THOUSAND FOUR HUNDRED SEVENTY-ONE and 75/100 Dollars, gold coin of the United States, besides interest at the rate of - per cent per annum from the - day of 192- and costs of suit; and an affidavit for, and undertaking on, attachment, have been filed as required by law. Now, you are commanded to attach and safely keep all property of such Defendants—ONE THOUSAND FOUR HUNDRED SEVENTY-ONE and 75/100 within your County not exempt from execution, or so much thereof as may be sufficient to satisfy the Plaintiff's demand against such Defendant unless such Defendant give you security, by the undertaking of at least two sufficient sureties in an amount sufficient to satisfy such demand against such Defendant, besides costs, or in an amount equal to the value of the property of such Defendant, which has been or is about to be attached; in which case you will take such undertaking, and hereof make service and return.

WITNESS, the Honorable and Presiding Judge of the Superior Court, attested by my hand and the seal of said Court, this 14th day of March, 1927.

(SEAL OF SUPERIOR COURT)

L.S. HAMPTON, County Clerk
By J.P. FUNDENBURGH, Deputy.

NOTICE OF REAL ESTATE ATTACHMENT

OFFICE OF THE SHERIFF, of Los Angeles County, California: Notice is hereby given that under and by virtue of a writ of attachment to me issued and delivered, and which the annexed is a true copy, I have, this, the 14th day of March 1927, at the County of Los Angeles, State of California, levied upon and attached all of the right, title and interest of CHARLES S. WOOD and MARY WAITT WOOD defendants named in said writ, in and to certain real property situated in the said County of Los Angeles, State of California, and more particularly described as follows; to-wit: Lot 158 of Mortimer's East Hollywood View Tract, as per map recorded in Book 8, page 27 of maps, belonging to defendants.

W.H. THORNTON, Sheriff
By JOHN O'BRIEN, Deputy Sheriff

Filed Copy of original recorded at request of Sheriff Mar 14 1927 at 32 min. past 1 P.M.
Copied 732 Compared C.L. Logan, County Recorder, By H.M. B.ett Deputy.

DECLARATION OF HOMESTEAD RIGHTS

NOW ALL MEN BY THESE PRESENTS: That I, Forrest McHenry do certify and declare that I am the head of a family, to wit, a married man, and that my wife's name is Eva McHenry, that I do now, at the time of making this declaration, actually reside with my family, consisting of wife and three children on the land and premises described as follows, to-wit:

lying and being in the County of Los Angeles, State of California and bounded and described as follows: The West forty feet of Lot 1081 of Tract 3844, in the City of Inglewood said County and state, as per map recorded in Book 38, page 58 of maps, in the office of the recorder of said county, excepting therefrom the southerly forty feet thereof, said distance being measured along, or parallel with the side lines of said lot. That it is my intention to use and claim the said lot of land and premises above described, together with the dwelling house thereon, and its appurtenances, as a homestead and I do hereby select, declare and claim the same as a homestead. That the actual cash value of said property I estimate to be \$4500.00. IN WITNESS WHEREOF, I have hereunto set my hand and seal this 14th day of March, nineteen hundred and twenty-seven.

Forrest McHenry (SEAL)
Eva McHenry (SEAL)

STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, SS. On this 14th day of March A.D., 1927 before me, Chas. T. Rippey, a Notary Public in and for the said County and State, residing therein, duly commissioned and sworn, personally appeared Forrest McHenry and Eva McHenry known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this Certificate first above written.

(Notarial Seal)

Chas T. Rippey, Notary Public

in and for said County and State. Filed Copy of original recorded at request of Claimant Mar 14 1927 at 41 min. past 1 P.M.
Copied 732 Compared C.L. Logan, County Recorder, By H.M. B.ett Deputy.

GRANT DEED

MARCOUS B. MONTGOMERY, an unmarried man, in consideration of Ten (\$10.00) Dollars, to him in hand paid, receipt of which is hereby acknowledged, does hereby Grant to CHARLES S. WOOD, an unmarried man, of Los Angeles, California, the real property in the City of Los Angeles, County of Los Angeles, State of California, described as Lots One (1) to

If this document contains any restriction based on age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, that restriction violates state and federal fair housing laws and is void, and may be removed pursuant to Section 12956.2 of the Government Code by submitting a “Restrictive Covenant Modification” form, together with a copy of the attached document with the unlawful provision redacted to the county recorder’s office. The “Restrictive Covenant Modification” form can be obtained from the county recorder’s office and may be available on its internet website. The form may also be available from the party that provided you with this document. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. Gov. Code Sec. 12956.1(b)(1)

Any person who believes that this document contains an unlawful restrictive covenant as described above may submit to the County Recorder a completed Restrictive Covenant Modification form. A complete copy of the original document must be attached to the Restrictive Covenant Modification form, with the unlawful language redacted. After submission to the Recorder, the form and attached document will be reviewed by County Counsel, and if the attached document properly redacts an unlawful covenant, the form and attached document will be recorded. If you submit a request to record a modification document, you must provide a return address in order for the County Recorder to notify you of the action taken by the County Counsel regarding the form. Gov. Code Sec. 12956.2(a)(1), (b)(1), (c)

RECORDING REQUESTED BY:

WHEN RECORDED MAIL TO:

THIS SPACE FOR RECORDER'S USE ONLY

RESTRICTIVE COVENANT MODIFICATION

The following reference document contains a restriction based on age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, veteran or military status, genetic information, national origin, source of income as defined in Section 12955 of the Government Code, or ancestry, that violates state and federal fair housing laws and is void. Pursuant to Section 12956.2 of the Government Code, this document is being recorded solely for the purpose of redacting and eliminating that restrictive covenant as shown on page(s) ___ of the document recorded on _____(date) in book _____ and page _____ or instrument number _____ of the official records of the County of _____, State of California.

Attached hereto is a true, correct and complete copy of the document referenced above, with the unlawful restrictive covenant redacted.

This modification document shall be indexed in the same manner as the original document being modified, pursuant to subdivision (d) of Section 12956 of the Government Code.

The effective date of the terms and conditions of the modification document shall be the same as the effective date of the original document.

Signature of Submitting Party: _____ Date: _____

Print Name: _____

_____ County Counsel, or their designee, pursuant to paragraph (1) of subdivision (b) of Section 12956.2 of the Government Code, hereby states that it has determined that the original document referenced above contains an unlawful restriction and this modification may be recorded.

Or

_____ County Counsel, or their designee, pursuant to paragraph (1) of subdivision (b) of Section 12956.2 of the Government Code, finds that the original document does not contain an unlawful restriction, or the modification document contains modifications not authorized, and this modification may not be recorded.

County Counsel

By:

Date:

DECLARATION OF ESTABLISHMENT
OF GENERAL PLAN OF
COVENANTS AND RESTRICTIONS

KNOW ALL MEN BY THESE PRESENTS:

That JITNEY HOMES, INC., NATURE HOMES, INC., RAMPART HOMES, INC., REASON HOMES, INC., REDEEM HOMES, INC., REFLEX HOMES, INC., SAFETY HOMES, INC., SANCTION HOMES, INC., SCOTCH HOMES, INC., SEASIDE HOMES, INC., TANGO HOMES, INC., TASTEFUL HOMES, INC., TENDON HOMES, INC., THANKFUL HOMES, INC., the foregoing being corporations, hereinafter sometimes collectively designated "Owner", being the owners of Lots 1 - 207 inclusive, of Tract 21391, situated in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in book 599 pages 7-10 inclusive, of Maps in the office of the County Recorder of said County, said real property hereinafter sometimes designated "Tract",

Hereby certify, establish and declare that it has and does hereby declare and establish a general plan for the protection, maintenance, development, improvement, use and occupancy of said tracts and each and every portion thereof and does hereby affix the protective provisions, covenants and restrictions, hereinafter sometimes jointly designated "Covenants", upon and subject to which said tracts, and each and every portion thereof, shall be improved, sold, conveyed, leased, used, occupied and held by owner and its successors and assigns, and each and all of which are hereby declared to be for the mutual benefit of all of the lots in said tracts or portions thereof, and each subsequent owner thereof and his successors and assigns, and further, that each and all thereof hereby declared shall run with the land and shall inure to and pass with each every lot, or portion thereof, and shall apply to and bind the respective successors in interest thereto, and are, and each thereof is imposed upon said lots, and each and every portion thereof, as a mutual, equitable servitude in favor of each and every of said lots of said tracts, as the dominant tenement or tenements.

Said covenants regarding Lots 1 - 207 inclusive, in Tract 21391 are as follows:

1. (a) All of said lots shall be known and described as residential lots. None of said lots shall be used for any purpose other than for private dwellings, and no structure shall be placed, erected, altered, maintained or permitted to remain on any thereof other than one detached single family dwelling house, not to exceed one story in height, a private garage for not more than two cars (either attached thereto or detached and separate therefrom) and other customary, necessary and appurtenant out-buildings.

(b) In no case shall any dwelling house placed, erected, altered, maintained or permitted to remain on any of said lots have a ground floor area of less than 1150 square feet, exclusive of garage, out-buildings, open porches and patios, except with the express written approval of the Architectural Committee first had and obtained.

(c) It is expressly declared that the use for a public boarding house, lodging house, sanatorium, hospital, asylum or anything which is or may become a nuisance to the neighborhood is excluded from "residential" as used in Paragraph 1, but nothing herein shall be deemed to exclude from said definition any appurtenant private garage, servants' quarters or other customary appurtenant out-building or structure.

2. There is hereby created an Architectural Committee. No building, including dwelling houses, garages and out-buildings, or other structure of whatsoever nature, shall be erected, assembled, placed or altered or permitted to remain on any of said lots in said tracts unless and until

the elevations, building plans, specifications and plot plans showing the location of such buildings and structures shall have been submitted to and approved in writing by said committee, but the authority of said committee shall be confined to questions of style, design, construction, appearance and location of such buildings and structures, said committee shall initially be composed of Willard Woodrow, Ira H. Oberndorfer and William S. Phelps, a majority of whom may act for the committee. If a vacancy at any time exists in the membership of said committee, whether caused by death, resignation, refusal or inability to act of any member or members, the vacancy may be filled by the remaining members or member of said committee or, if all membership on said committee be vacant, by the then owners of the majority of lots in said tracts. The powers of said committee may from time to time be exercised by a representative designated by a majority of the members of said committee, whether a member or not.

The decision of a majority of the members of said committee or of the said representative shall be conclusive upon any matter submitted or referred to it, provided, however, except as otherwise herein expressly provided, said committee and/or representative shall have no power to alter, modify, suspend or ignore any of the conditions herein contained.

Neither the owner, nor said committee, nor any of the members thereof, nor said representative shall have any obligation or liability whatsoever to any of the owners or persons in or entitled to possession of any lot in said tracts or to anyone else by reason of acting or not acting. If said committee or representative fails to approve or disapprove any matter submitted to it, and if no suit to enjoin the erection or maintenance of the subject of said submission has been commenced prior to the completion of such change, the approval of said committee and/or its representative will not be required and this condition will be deemed to have been fully complied with. Neither the members of such committee nor the said representative shall be entitled to any compensation for services performed pursuant to this covenant.

3. No residential structure shall be erected or placed on any building lot which lot has an area of less than 7,500 square feet or has an average width of less than 60 lineal feet.

4. No structure of any kind shall be located nearer than 3 feet to any side lot line on the front $\frac{1}{2}$ of any lot.

5. Houses, garages and all out-buildings must be built of good quality material, and if of frame construction, must be painted with at least two coats of paint or oil stain and at all times kept in a state of good repair.

6. No garage, basement, out-building, shack, barn, tent, trailer or temporary structure placed or maintained on any lot in said tracts shall at any time be used or occupied as a residence, either permanently or temporarily; no dwelling house on any lot in said tracts shall be occupied while in the course of construction, nor until it complies with all conditions set forth herein, nor until it complies with all conditions set forth herein, nor shall any trailer be parked on the front one-half of any lot.

7. No billboards or signs of any kind shall be erected, maintained or permitted to remain upon any lot in said tracts, other than one lighted sign, not exceeding eight square feet in area, pertaining only to the sale, lease or hire of the particular premises upon which displayed. Notwithstanding anything herein to the contrary, owner, its agents, successors in interest or assigns, may place, erect and maintain customary signs and offices for it or its accredited agents upon said tracts, and such signs and offices may be moved from time to time to other locations in said tracts, so long as any of the lots in said tracts remain unsold. No lot in said tracts shall be maintained or permitted to be used as a dumping

ground for rubbish, no noxious or offensive trade or activity shall be carried on thereupon nor shall anything be done or suffered which may be or become a nuisance in the neighborhood, and there shall not at any time be maintained nor suffered any cattle, horses, hogs, goats, rabbits, poultry or other livestock thereon.

8. All toilets, bathroom fixtures and other similar conveniences shall be installed inside a house or building.

9. No derrick or other structure designed for use in the boring, drilling, mining or quarrying for water, oil, gas or minerals shall be permitted, erected or maintained upon any lot of said tract.

10. Except for the purpose of actual construction upon a lot, no sand, gravel or soil shall be removed from any lot in said tract; provided, however, that the owner, its successors and assigns, in carrying out the improvement and development of said tract, shall have the right to remove or to add to any soil on any lot, and shall have the right to ingress and egress upon all lots for the purpose of grading and excavating thereon, of construction and completing street improvements, installation of public utilities and to do any and all other things necessary to complete the general plan of improvement on said tract. Unless suitable retaining walls are constructed to support the earth, the natural angle of repose of the ground shall not be altered by excavation within five feet from any lot line in said tract by other than a slope of one and one-half feet horizontal to one foot vertical; provided, however, that nothing in this paragraph shall be construed to prevent any such alteration in any manner with or without retaining walls, in the course of carrying out the development and improvement of said tract.

11. All of the easements and restrictions shown and designated on the Record Map of said tract are re-affirmed for the purposes therein mentioned.

12. Vehicular ingress and egress restricted to lots 1 through 13 inclusive on Woodlake Avenue.

Lots 139 through 147 inclusive and lots 154 through 159 inclusive on Saticoy Street.

Lot 167 shall face Covello.

13. These conditions are to run with the land and shall be binding upon all parties and persons claiming under them until January 1, 1986, at which time said conditions shall all expire, unless prior to said date a majority of lots in said tract shall have been placed or record in the office of the County Recorder of Los Angeles, to continue these restrictions, or some of them, in effect for a specified period of time. At any time, and without regard to or limitation upon the method of change or of extension hereinbefore set forth, any amendment, change, modification or termination of these conditions may be made by the mutual written agreement between the then owners of record (excluding trustees of deeds of trust) of not less than 66-2/3% of the lots in said tracts, duly executed and placed of record in the office of the County Recorder of said County.

14. Except as otherwise herein provided, if any owner of a lot or lots in said tract, or any person claiming under him, or the heirs, successors or assigns of such person, shall violate or attempt to violate any of the conditions provided for herein, it shall be lawful for any other person or persons owning any one or more of said lots in said tract to prosecute any proceedings at law or in equity against any such violator either to prevent him from so doing or to recover damages for such violation or both.

15. If any clause, phrase, sentence or other portion of any condition herein set forth shall be or become illegal, null or void for any reason, or shall be held by any court of competent jurisdiction to be so, the

validity of the remaining portions of these conditions shall not be affected thereby, and such remaining portions shall remain in full force and effect.

16. The breach of any of said covenants or restrictions shall not defeat or affect or render invalid the lien of any mortgage or deed of trust made in good faith and for value, upon any one or more of said lots or portions of lots in said tract, but such conditions shall be binding upon and effective against any owner whose title is acquired by foreclosure, trustee's sale or otherwise.

17. It is not the intention of owner to create hereby a condition subsequent or a condition of forfeiture, or an implied condition of forfeiture, or possibility of reverter in the event of any violation of any of the provisions herein set forth, but it is the intention that the remedy for the enforcement of this general plan of covenants and restrictions shall be an action for injunction to prevent the violation thereof, or by action for damages, or for both. Such action or actions shall inure to and pass with each and every of said lots in said tract for the mutual benefit of the subsequent owner or owners thereof and their successors and assigns, excepting, however, that no action for damages nor for injunction shall lie against, nor shall any liability accrue on the part of or against JITNEY HOMES, INC., NATURE HOMES, INC., RAMPART HOMES, INC., REASON HOMES, INC., REDEEM HOMES, INC., REFLEX HOMES, INC., SAFETY HOMES, INC., SANCTION HOMES, INC., SCOTCH HOMES, INC., SEASIDE HOMES, INC., TANGO HOMES, INC., TASTEFUL HOMES, INC., TENDON HOMES, INC., THANKFUL HOMES, INC., all of the foregoing being corporations, or any of the officers, directors, agents or employees of any of them and by reason of any violation on their part of any of the provisions herein set forth. In accordance with the foregoing provisions, owner hereby expressly disclaims any right, whether express or implied, of re-entry upon the said property to enforce the provisions hereof, or to reversion of title thereto.

IN WITNESS WHEREOF, the undersigned have caused this instrument to be executed this _____ day of _____, 1956.

JITNEY HOMES, INC.
BY Ira H. Oberndorfer
Ira H. Oberndorfer, President
BY Clarene Hindriks
Clarene Hindriks, Secretary

NATURE HOMES, INC.
BY Thelma C. Walker
Thelma C. Walker, President
BY Mary B. Frederick
Mary B. Frederick, Secretary

RAMPART HOMES, INC.
BY Willard Woodrow
Willard Woodrow, President
BY Clarene Hindriks
Clarene Hindriks, Secretary

REASON HOMES, INC.
BY Willard Woodrow
Willard Woodrow, President
BY Helen Nolen
Helen Nolen, Secretary

REDEEM HOMES, INC.
BY Willard Woodrow
Willard Woodrow, President
BY Thelma C. Walker
Thelma C. Walker, Asst. Secretary

REFLEX HOMES, INC.
BY Willard Woodrow
Willard Woodrow, President
BY Thelma C. Walker
Thelma C. Walker, Secretary

SAFETY HOMES, INC.
BY Willard Woodrow
Willard Woodrow, President
BY Ira H. Oberndorfer
Ira H. Oberndorfer, Secretary

SANCTION HOMES, INC.
BY Mary B. Frederick
Mary B. Frederick, President
BY Ira H. Oberndorfer
Ira H. Oberndorfer, Secretary

SCOTCH HOMES, INC.

BY David Zaid, President
BY Ira H. Oberndorfer, Secretary

TANGO HOMES, INC.

BY Evelyn M. Littleton, President
BY Ira H. Oberndorfer, Secretary

TENDON HOMES, INC.

BY Clarene Hindriks, Vice President
BY Ira H. Oberndorfer, Secretary

STATE OF CALIFORNIA

COUNTY OF LOS ANGELES } ss

SEASIDE HOMES, INC.

BY Marvin Oberndorfer, President
BY Ira H. Oberndorfer, Secretary

TASTEFUL HOMES, INC.

BY Mary R. Frederick, President
BY Ira H. Oberndorfer, Secretary

THANKFUL HOMES, INC.

BY Marvin Oberndorfer, President
BY Ira H. Oberndorfer, Secretary

On the 10th day of July, 1956, before me, the undersigned, a Notary Public in and for said County and State, personally appeared the following persons in their official capacities as follows:

Ira H. Oberndorfer and Clarene Hindriks, President and Secretary, respectively, of JITNEY HOMES, INC.; Thelma C. Walker and Mary R. Frederick, President and Secretary, respectively, of NATURE HOMES, INC.; Willard Woodrow and Clarene Hindriks, President and Secretary, respectively, of RAMPART HOMES, INC.; Willard Woodrow and Helen Nolen, President and Secretary, respectively, of REASON HOMES, INC.; Willard Woodrow and Thelma C. Walker, President and Secretary, respectively, of REDEEM HOMES, INC.; Willard Woodrow and Thelma C. Walker, President and Secretary, respectively, of REFLEX HOMES, INC.; Willard Woodrow and Ira H. Oberndorfer, President and Secretary, respectively, of SAFETY HOMES, INC.; Mary R. Frederick and Ira H. Oberndorfer, President and Secretary, respectively, of SANCTION HOMES, INC.; David Zaid and Ira H. Oberndorfer, President and Secretary, respectively, of SCOTCH HOMES, INC.; Marvin Oberndorfer and Ira H. Oberndorfer, President and Secretary, respectively, of SEASIDE HOMES, INC.; Evelyn M. Littleton and Ira H. Oberndorfer, President and Secretary, respectively, of TANGO HOMES, INC.; Mary R. Frederick and Ira H. Oberndorfer, President and Secretary, respectively, of TASTEFUL HOMES, INC.; ~~Clarene Hindriks~~ and Ira H. Oberndorfer, ~~President and Secretary~~, respectively, of TENDON HOMES, INC.; Marvin Oberndorfer and Ira H. Oberndorfer, President and Secretary, respectively, of THANKFUL HOMES, INC.; the corporations that executed the within instrument, and known to me to be the persons who executed the within instrument on behalf of the corporations therein named, and acknowledged to me that such corporations executed the within instrument pursuant to its By-Laws or a resolution of its Board of Directors.

WITNESS my hand and official seal.

Iris A. Moffatt
Notary Public in and for said
County and State.
My Commission Expires September 12, 1958

Order No. 19560711

RECORDED AS PER REQUIREMENT

When received mail to:

Zeta Corporation

9838 East Delaport Ave

Bellflower, California
3906

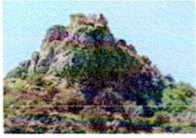
DOCUMENT No. _____
RECORDED AT REQUEST OF

3906

JUL 11 1956
9 MIN. 2 P.M.

OFFICIAL RECORDS
RAY E. LEE, RECORDER
LOS ANGELES COUNTY, CALIF.

FEE \$ 5.00



West Hills Neighborhood Council

"It's our neighborhood.
Let's build a community."

October 17, 2024

OFFICERS

Charlene Rothstein
President
Faye Barta, J.D.
Vice President
Brad Vanderhoof
Secretary
Carolyn Greenwood
Treasurer
Saif Mogri
Controller

City of Los Angeles
Department of Planning
201 N. Figueroa Street
Los Angeles, California 90012

**Re: Woodlake Apartments proposed at the Circle S Ranch Property
7566 N. Woodlake Avenue, West Hills, California 91307**

BOARD OF DIRECTORS

Aida Abkarians
Faye Barta
Carolyn Greenwood
Glenn Jennings
Kim Koerber
Vinura Kotuwelle
Noe Loera
Jonathan Marvisi
Saif Mogri
Penelope Newmark
Alejandro Phillips
Carolyn Poppert
Bill Rose
Charlene Rothstein
Miriam Schimmel
Cole Smith
Joan Trent
Brad Vanderhoof
Joanne Yvanek-Garb
Zhelbert Zohrabian

Case No: ADM-2024-5202-DB-PHP-WHCA

To The Director of Planning:

At a regularly scheduled West Hills Neighborhood Council Zoning & Planning Committee ("WHNC") meeting held on Tuesday, October 8, 2024, the proposed Woodlake Apartments was Item #7 on the agenda. This project has been discussed at several previous WHNC Zoning & Planning Committee meetings. There were over 400 public residents at one meeting alone who attended from the area surrounding the site.

The WHNC Committee with the public's support voted unanimously against the proposed project for, but not limited to the following reasons:

1. The WHNC has researched the developers' plans and found that the five-story, 332 unit proposed apartment building will tower some 75 feet over the surrounding one and two-story residential homes. Taken into consideration there was no grading plan included with the submitted documents and the proposed site is a hill, it is impossible to determine the exact building height that would actually dominate over the adjacent homes and the existing neighborhood;

2. Members of the public advised the WHNC that during rainy seasons, drainage problems and flooding have occurred on Woodlake Avenue, coming directly from the proposed site;

PAST PRESIDENTS

Daniel Brin
Stephen Lenske
Ed Youngblood
Charles "Chuck" Gremer

EXECUTIVE DIRECTOR

Michelle Ritchie

P.O. Box 4670, West Hills, CA 91308-4670 • mail@westhillsnc.org • www.westhillsnc.org



3. The apartment proposal is within 200 feet of Chaminade High School and has a current student enrollment of 1,250 and a maximum of 1,360 by their CUP. The developer omitted to declare this on page 2 of 12 of their City Planning Application;

4. Students and parents utilize Woodlake Avenue and Saticoy Street as their main thoroughfare. Please see Exhibit A attached hereto;

5. With 332 units proposed and only 154 parking spaces on site and little to no street parking allowed in the area, there is inadequate parking for the project;

6. The ingress and egress as shown on the plans appears to be next to a single family residence at 7542 Woodlake Avenue. Vehicles may also be able to enter/exit the site from the east side of the property but this would drive vehicles directly through a residential area and an alley adjacent to homes;

7. At the conclusion of the September 26, 2024 City Planning Commission Hearing regarding items #6, #7 and #8, the Commission voted to accept Draft #3 with no "options" based on the City Planning's report and their recommendation that would in effect protect single family neighborhoods from zone changes. Further, the City Planning report found there is sufficient zoning to meet the State's mandate without changing single family zones. Please see Exhibit B attached hereto;

8. The WHNC has received petitions against this proposal from over 1,000 residents in the area because the proposed site is in the middle of a single-family neighborhood with only one and two-story homes. The homeowners surrounding the site are currently exploring a land use attorney to consider further action;

9. There was discussion at the October 8, 2024, Zoning & Planning meeting regarding an appropriate building project for the proposed site. There were several suggested solutions; sub-divide the over 2 acre site and build single-family one and two-story homes; and building two-story condominiums, with open space that includes trees and planting compatible with existing neighborhood landscapes; and

City of Los Angeles
Department of Planning
October 17, 2024
Page 3

10. The Circle S Ranch site, the proposed location for the Woodlake Apartments, was considered by the City of Los Angeles and the West Hills Community to be designated as a historic site. The property owner declined. The community seeks to keep the site appropriate to the surrounding neighborhood.

Should you have any questions, please do not hesitate to contact us.

Respectfully submitted,

Bill Rose

Bill Rose, Co-Chair
Zoning & Planning Committee

Charlene Rothstein

Charlene Rothstein, Co-Chair
Zoning & Planning Committee

Enclosures

EXHIBIT A-1



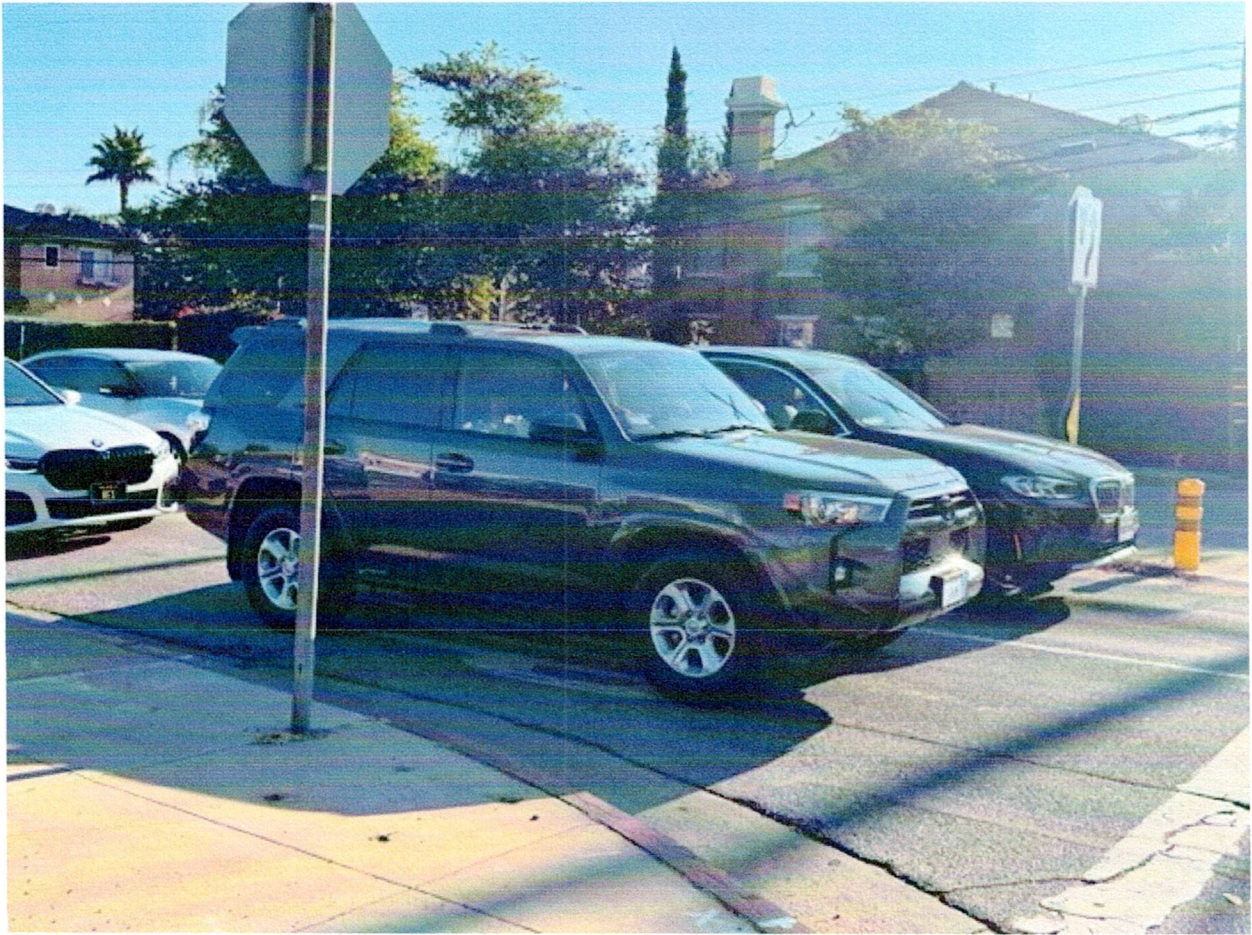
9/7/23 8:10 AM-CARS LINED UP GOING EAST ON SATICOY WAITING TO CROSS WOODLAKE

EXHIBIT A-2



9/7/23 8:15 AM-CARS GOING WESTBOUND ON SATICOY AT WOODLAKE.

EXHIBIT A-3



9/7/23 8:20 AM-CARS LINED UP AT WOODLAKE & SATICOY GOING SOUTHBOUND.

EXHIBIT A-4




9/7/23 8:25 AM-CARS LINED UP ON SATICOY TRYING TO CROSS INTERSECTION AT WOODLAKE & SATICOY.

EXHIBIT A-5



TAKEN ON SAME DAY FROM INSIDE MY CAR AS I'M WAITING TO GO THRU THE STOP SIGN AT WOODLAKE & SATICOY. CARS GOING WEST ON SATICOY WERE LINED UP FROM STOP SIGN AT WOODLAKE & SATICOY TO ABOUT 1/2 BLOCK FROM FALLBROOK & SATICOY

Program	Geographic Eligibility	Unit Thresholds	Limitations
			
Affordable Housing Incentive Program			
100% Affordable Housing Project	<ul style="list-style-type: none">- Be a project where all units are covenanted affordable, exclusive of manager's units (up to 20% may be for moderate income and the remaining 80% must be restricted to lower income categories)- In any zone/land use permitting multi-family or zoned for Parking (P/PB)	<ul style="list-style-type: none">- Project must contain at least 5 units	<ul style="list-style-type: none">- Lots in Very High Fire Hazard Severity Zones, Coastal Zones, and Sea Level Rise Areas <u>limited eligibility for Base Incentives</u>, not eligible for Menu of Incentives or certain Public Benefit Options and not eligible for the program if a Project's Maximum Allowable Residential Density is less than 5 units.- No projects in single-family zones and no projects in manufacturing zones (M1, M2, or M3), including sites zoned CM, MR1, MR2 if no residential uses are permitted through an applicable planning overlay if a Project's Maximum Allowable Residential Density is less than 5 units.- <u>No demolition of Designated Historic Resources and limited Menu of Incentives for sites with Designated Historic Resources.</u>
Faith-Based Organization (FBO) Project	<ul style="list-style-type: none">- Be a project where at least 80% of units are covenanted affordable on land owned by a FBO (Of which, up to 20% of units may be for moderate income with remaining restricted units covenanted for lower income categories)		<ul style="list-style-type: none">- No projects in Very High Fire Hazard Severity Zones, the Coastal Zone, Sea Level Rise Areas, manufacturing zones, or hybrid industrial zones with residential use restrictions- Single-family sites acquired after 1/1/24 must be located within 528 ft from parcel owned by filing Religious Institution with existing Church or House of Worship- Additional standards and no demolition permitted for projects with Designated Historic Resources or Surveyed Historic Resources- <u>No projects in manufacturing zones (M1, M2, or M3), including sites zoned CM, MR1, MR2 if no residential uses are permitted through an applicable planning overlay</u>

West Hills Neighborhood Council
charwhnc@gmail.com
October 23, 2024

Laura Frazin Steele
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, Ca 91401



Re Case No. ADM-2024-5202-DB-PHP-VHCA

Dear Laura:

Please find the petitions, some of the sign in sheets and an article regarding the above-mentioned case. The petitions refer to Item #8 on the West Hills Neighborhood Council letter dated October 17, 2024.

Please let us know if you have any questions.

Best regards,

A handwritten signature in cursive script that reads 'Charlene Rothstein'.

Charlene Rothstein
West Hills Neighborhood Council
President
Zoning & Planning
Co-Chair

PETITIONS

RECEIVED
CITY OF LOS ANGELES
OCT 28 2024
CITY PLANNING
VAN NUYS

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

1

I am against the proposed development of a 5-story, 324-unit “affordable housing” apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project will create:

- more traffic and safety issues
- more noise and pollution
- unwanted parked cars in front of our homes
- strain our already compromised police and firefighter resources
- reduce property values



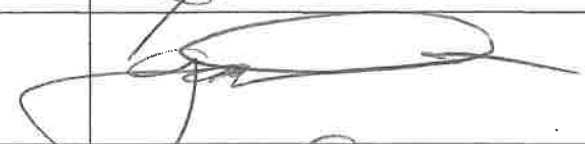





Print Name	Address	Email	Phone #	Signature
DONNA HOFFER	23241 Chase St. West Hills, 91304	Donnah4homes@ Gmail.com	818-421-8939	Donna Hoffer
NEEL HOFFER	23241 Chase St West Hills 91304	Donna.Hoffer@CAMOVES .COM	818-421-8938	Neel Hoffer
SENTHIL ARUNACHALAM	23700 Elkwood St WEST HILLS CA-91304	senhil.arunachalam @gmail.com	818-746-7239	A. K. A.
NANDHINI SANGANESWARAN	23700 ELKWOOD ST WEST HILLS CA - 91304	nandhini.sangu@ gmail.com	818-585-3915	N. S.
Ahmed Soudan	23650 Elkwood W.#91304		818 726-4500	A. S.
Ben Bartolotto	23684 Elkwood West Hills CA 91304	benabart@att.net	818-312-4094 (cell)	Ben Bartolotto

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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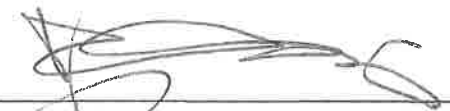



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Print Name	Address	Email	Phone #	Signature
Mary Barican	745 Quimby Ave	chilesbarican@yahoo.com		
Marissa Soriano	7545 Quimby Ave	marissamondeo@gmail.com		
Chito Soriano	7545 Quimby Ave	cmmsoriano@yahoo.com		
Melchor Mondeo	7545 Quimby Ave	melchoc@gmail.com		
JACK DEN	23701 Elkwood St	JACK@CRESTLIGHTING.COM	(818) 726-4500	
HAZAR BAGH	23650 Elkwood St	hazarbagh@yahoo.com	(818) 726-4500	

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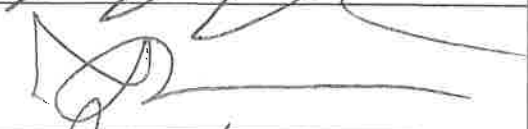



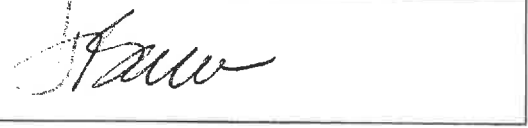
Print Name	Address	Email	Phone #	Signature
Rudy Chavez	23400 JUSTICE ST WEST HILLS	RCHAV2000@yahoo.com		
Ruben GRANADOS	7459 FAUST AVE. West Hills, CA 91302	RUBENGRANADOS7@GMAIL.COM		
Jenn Pundlovka	1100 Nevada Ave. Canoga Park, CA 91304	Jenn-pundlovka@yahoo.com		
MARIA SORRENTINO	7812 LOMA VERDE CANOGA PARK	mebelk05@gmail mebelk05@gmail	N/A	Maria Sorrentino
Edward Holmes	7846 Faust West Hills 91302			Edward Holmes
Kyle Melton	7428 Sale Ave West Hills, 91307	khk2010@att.net		

TALK MY KULTY!

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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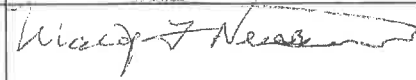
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Print Name	Address	Email	Phone #	Signature
Rick Dawson	23123 Cottrell St	oneofthedukes@gmail.com		
GABRIELE BIRKMAN	7524 Saticoy	GABRIELEBIRKMAN@GMAIL.COM		
Joe Birkman	7524 Quimby Ave 91307	joebirkman@gmail.com		
Patty Bolten	7531 Quimby Ave	Lkr3voc@yahoo.com		
Christian Soriano	7545 Quimby Avenue	cummertanose@gmail.com		
Jerome Barican	7545 Quimby Ave	nei1barican@yahoo.com		

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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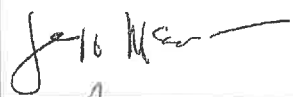


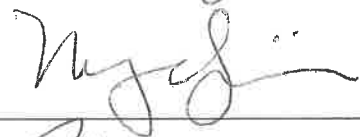
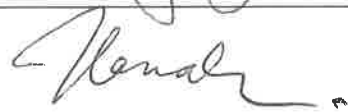
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Print Name	Address	Email	Phone #	Signature
Pamela Grossman	23633 Blythe St.	pamgroz@aol.com	818-321-2840	
F. Ancona	23113 Cavello St			
Chloe Bradshaw	8485 Valley Circle Blvd Apt 107	Chloe.Bradshaw11@gmail.com	818 914 8875	
Douglas Shatterly Jr	8485 VALLEY Circle Blvd Apt 107	Douglasgrat@gmail.com	650 305 0713	
GEORGE ATKINSON	7521 MINSTREL West Hills		818 883 4538	
Mary Neubauer	8211 Mason Ave #A Winnetka	mareraded2@gmail.com	818 577-5596	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Tracy McEvoy	8048 Sadring Ave	mcevoy2@sbcglobal.net	818 642 1720	
JEFF McEVoy	"	"	818 818 642 6230	
Leslie Cherney	8041 Sadring Ave	LChern@AOL.com	818-621-7111	
BRIAN ZREHIGIAN	23331 JONATHAN ST	bzrehig@sbcglobal.net	818-521-7153	
MARGARET ZREHIGIAN	23331 JONATHAN ST WEST HILLS	margiepz@yahoo.com	818-618-9761	
Hannah Simadibrata	23115 Saticoy St	hsimadibrata@gmail.com	818- 428 534-7437	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

7

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Print Name	Address	Email	Phone #	Signature
Shirley A. LAZOR	8051 Woodlake Ave. West Hills	NA	818-347-2245	
JOHN E LAZOR	8051 WOODLAKE AVE WEST HILLS, CA	JACK LAZOR @ SBC GLOBAL.NET	818-347-2245	
Lauren Ponticelli	8051 woodlake Ave. West Hills CA.	LaurenPonticelli@yahoo	818-624-8657	
DON SWINK	7927 MEUCKEN AVE WEST HILLS	DONSWINK@YMAIL.COM	818 635-9801	
Denise Lawrence		ddrapermarried@gmail.com		
Seth Lawrence		Sethlaw@gmail.com		

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

8

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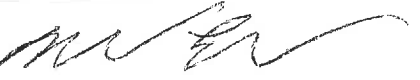
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Print Name	Address	Email	Phone #	Signature
Helda Gowinatta	23115 Saticoy St	sagita23@yahoo.com	818-428-8466	
Nakul Singh	23107 Saticoy St	Nakul-singh30@gmail.com	818-282-0504	
Hemant S	22900 Saticoy St	hswandhaputra@yahoo.com	818-569-9300	
Ariella Bauer	23633 Nader Street	ariellabauer@gmail.com	323-873-9900	
CHARLENE SWINK	7927 meadow West Hills, CA	CHARLENE SANDS@hotmail.com	818-635-6464	Charlene Swink
Susan Radovich	7837 Bobbyojo Ave	sradovcich@gmail.com	805-450-1986	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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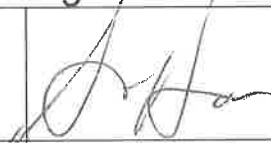





Print Name	Address	Email	Phone #	Signature
CYRUS FARNOUSH	7551 QUIMBY AVE	CFARNOUSH@GMAIL.COM	818-212-0520	
NEOSHIA YASHAR	7551 QUIMBY AVE	NEOSHIA.YASHAR@YAHOO.COM	818-605-9053	
SIMAN FARNOUSH	7551 QUIMBY AVE	SFARNOUSH@GMAIL.COM	818-307-4647	
Matthew HESTER	22713 ENADIA WAY	MATTHEWHESTER@YAHOO.COM	818-746-7479	
Danielle CORNWELL	7737 Justin #	d1cornwell2020@aol.com	310 793 7019	
Madison Edler	8041 Jason Ave	madisonkimmickcoller@gmail.com	818-918-0834	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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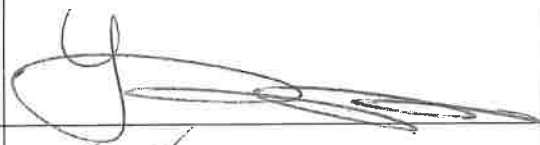
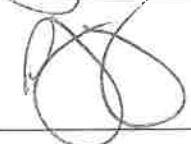
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Print Name	Address	Email	Phone #	Signature
Sari Hall	8028 Valley Flores	sarihall@gmail.com	818-633-0164	
DeArae Wall	8028 Valley Flores Drive	benefitsman12@gmail.com	818-633-6061	
Constance Christopher	7758 minstrel Ave West Hills	CCHRISTOPHER@SOCAL.RR.COM	818-512-7974	
Brian Christopher	7758 MINSTREL AVE WEST HILLS	BCHRISTOPHER@SOCAL.RR.COM	818-574-0449	
Judith Radovich	7837 Bobbybonar West Hills	judy.rad@gmail.com	818 8836795	
James McKeever	6039 Clemens Ave West Hills CA	mckeever910@gmail	818 577-0610	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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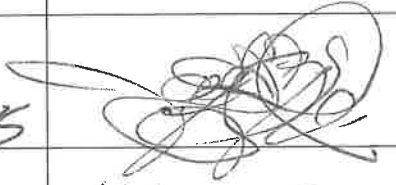

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- more noise and pollution
- unwanted parked cars in front of our homes
- strain our already compromised police and firefighter resources
- reduce property values

Print Name	Address	Email	Phone #	Signature
Billy ROSE	23229 KESWICK	STREELERS FANIE@SOCH.RR COM	818 8977992	
Yvonne Rose	23229 Keswick Street	Byrose627@gmail.com		
Bertha Schlank	22211 Burton St	beschlank@yahoo.com		
Todd Schlank	22211 Burton St	Todd_91423@yahoo.com		
Laura Goldberg	8040 Melba Ave.	Laura@The Transaction Solutions. com	310/613-1533	
Pablo Galvez	23616 Blythe St.	pablo_galvez14 @ yahoo.com	818-648-7728	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

I am against the proposed development of a 5-story, 324-unit "affordable housing" apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project will create:


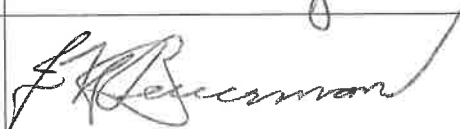


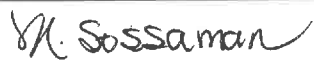
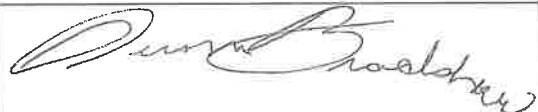
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Print Name	Address	Email	Phone #	Signature
Shawn McKeever	8039 Clemens Ave West Hills CA 91304	shawn3335@gmail.com	818-577-0608	
Francesca Gaffney	22713 Enadine Way West Hills 91307	francescagaffney@gmail.com	818 274 1878	
JASON GOLDBERG	5040 MEIDA AVE WEST HILLS CA. 91304	>GOLDBERG03@gmail.com	818-406-8819	
Kathleen Burke	7819 Kentland Ave West Hills CA 91304	kpburke67@gmail.com	818) 439-0727	
JAY CRITCHFIELD	23501 BENTLEY ST. WEST HILLS CA 91304	JAYCRITCHFIELD@HOTMAIL.COM	918 383-4876	
Kevin Holmes	8031 Clemens West Hills CA 91304	holmesusa@hotmail.com	818-429-6747	

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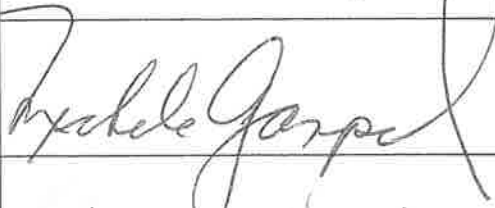
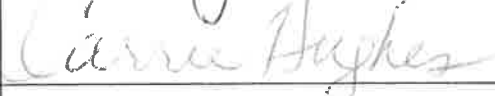



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Print Name	Address	Email	Phone #	Signature
Robin Reys	23716 Elkwood St.	robinesault@gmail.com	626-376-2368	
John Beuerman	8402 Starkland Ave	jbeuerman@aol.com	818-888-3515	
Georganna Beuerman	8402 Starkland Ave.	JBeuerman@aol.com	818-888-3515	
Larry Sossaman	8443 Pinelake Dr.	Larry.sossaman@gmail.com	818-983-7215	
Mardi Sossaman	8443 PINELAKE DR.	mandisossaman@gmail.com	818-983-7216	
Susan Bradshaw	23708 Elkwood ST	Susanbradshaw585@gmail.com	818716-0192	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood ^{L4} 2024

I am against the proposed development of a 5-story, 324-unit "affordable housing" apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project could create:

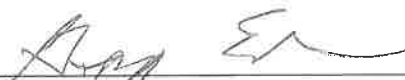





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Print Name	Address	Email	Phone #	Signature
Ashamash	23156 Lauren Lane West Hills CA	fivebyfive1@aol.com	(818) 606-8334	
MICHELE GAMPEL	22923 COVELLO ST. WEST HILLS	Michele Gampel 22@gmail.com	818 515 7890	
CHARLIE HUGHES	22150 Stagg St. Canoga Park, CA 91304	charliehughes5@yahoo.com	310/365-1733	
Nick Pellegrini	23661 Elkwood St W. Hills CA 91304	NPCAMARO@gmail.com	619 619 6676	
Lindsay Pellegrini	23661 Elkwood St West Hills, CA 91304	LINSPELLE@gmail.com	(310) 990-1152	
STEVEN BRADSHAW	23908 ELKWOOD ST. WEST HILLS, CA. 91304	sebradshaw@yahoo.com	818 716 0192	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
GREGG EDLER	8041 Jason Ave. West Hills CA 91304	rdbywolves@ aol.com	(818) 427-5528	
Wendy Ikeguchi- Edler	8041 Jason Ave. West Hills CA. 91304	gregg.edler @ aol.com	(818) 429-8153	
PAUL BROWN	8038 Clemens Ave. West Hills 91304	pbrown@fbfchurch. org	818-598-0720	
SUSAN HEISER	7852 Faust Ave. West Hills CA 91304	heiserco@aol.com	818 987-8557	
ROBERT HEISER	7852 FAUST AVE WEST HILLS, CA 91304	robdheiser@aol.com	818 987 6329	
PATRICIA DIAZ	2370 Ferkwood West Hills 91304	peeyagirl@yahoo.com	2134228448	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood ¹⁶ 2024

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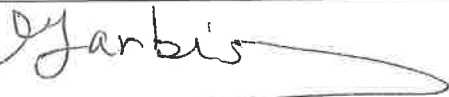

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Print Name	Address	Email	Phone #	Signature
Randi Popish	23711 Elkwood	Shopgirlwh@gmail.com	818-903-2995	Randi Popish
Eric Popish	23711 Elkwood	Eric.Popish@gmail.com	818-269-3157	Eric Popish
Debbie Porter	7850 Hillary Dr	debsugar@yahoo.com	818 601-8182	Debbie Porter
DAVID PORTER	7870 HILLARY DR	dporter99@gmail.com	818 594 0142	David Porter
MARK SHARON	23676 ELKWOOD WEST HILLS CA	MHS112752@AOL.COM	818 716 8045	Mark Sharon
Bernie Diaz	23707 Elkwood St. West Hills Ca 91304	bernied2111@gmail.com	310-594-9467	Bernie Diaz

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood¹⁷ 2024

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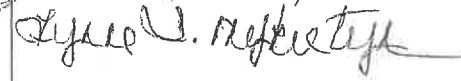
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Print Name	Address	Email	Phone #	Signature
CHRIS PERDUE	22861 Lull St. West Hills	CmPERDUE@AOL.COM	818. 631-4525	
Nabeeh Ayoub	23048 Enadria Way West Hills CA	Nabeeh57@hotmail.com	747-744-7300	
Rana Abbasi	23048 Enadria Way West Hills CA	Ranaeli7@live.com	747-254-6774	
Roula Cannoum	7630 Balasiano Ave West Hills CA 91304	roula.cannoum@hotmail.com	(818)667-6127	
Garbis Chrikjian	7630 Balasiano Ave West Hills CA 91304	garbis.chrikjian@hotmail.com	(818)653-7421	
Cheyenne Cople	7639 Ducor Ave West Hills, CA 91301	CheyC27@gmail.com	(818)585-1771	

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Print Name	Address	Email	Phone #	Signature
Eleanor Fountain	8061 Woodlake West Hill Ave	kag.fount112@gmail.com	8188845498	
LINDA THORNE	8040 Bobby Boyer West Hills Ca 91304	Thornebirds@kotmail.com	818 807-6686	
CLAIRE THORNE	"		818 9928470	Claire Thorne
Shelley Baker	1528 Woodlake West Hills 91304		818-583-3782	
LYNNE MYKIETYN	8060 Sadring Ave West Hills 91304	lmykietyn@sbcglobal.net		
WALID AYOUB	7538 BOBBY BOYER AVE West Hill 91304	William200976@yahoo.com	818-324-3949	walid ayoub

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Print Name	Address	Email	Phone #	Signature
Nicole Glasscock	8101 Woodlake West Hills CA 91304		818-912-8568	Nicole Glasscock
Lindsay Bush	8030 Sadring Ave West Hills, Ca 91304	bushlindsay2@gmail.com	747-367-6845	Lindsay Bush
William Glasscock	8101 Woodlake West Hills CA 91304		818-903-7788	William Glasscock
FREDRICK SCHULTE	7545 BOBBY BOYAR AVE West Hills CA 91304	_____	818-642-1150	Fredrick Schulte
Diane Schulte	7545 Bobby Boyar West Hills CA 91304	Dianelisa@sbcglobal.net	818-635-1846	Diane Schulte
Jack GARRETT	23143 Keys Way West Hills CA 91304	grenimof@gmail.com	818-585-3930	Jack Garrett

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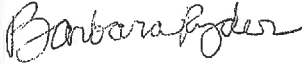
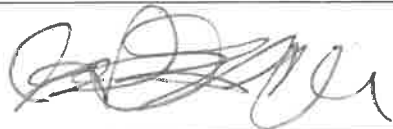




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Print Name	Address	Email	Phone #	Signature
ANNEMARIE RADEL	23232 JUSTICE ST West Hills CA 91304	Kidradello@aol.com	818 429 8663	
MILIE RADEL	23232 JUSTICE ST WEST HILLS 91304	KIDRADELLO @AOL.COM	818 429 8663	
Fileen Blazi	6609 Neddy Ave WOODLAND HILLS CA 91367	eblazi1@GMAIL.COM	818-378-5867	
FELICIA SILVERMAN	7532 BOBBYBOYAR WEST HILLS	MINIDOXMOM91304@GMAIL.COM		
Linda Glasscock	8101 Woodlake Ave West Hills, CA 91304	LindaGlasscock4321@gmail.com	818-307-5488	
Danielle Glasscock	8101 Woodlake Ave West Hills CA 91304		818-307-5498	

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Print Name	Address	Email	Phone #	Signature
Barb Ryder	23422 Justice St West Hills CA	Babsonsyca@comcast.net	818-8834784	
Joe Morrow	23422 Justice St West Hills CA 91304	_____	" "	
Katie Barde	7450 Quimby Ave West Hills, CA 91307	_____	818-346-4867	
Michael J. Cassidy JR	7450 Quimby West Hills CA 91307	MikeCassidy10@yahoo.com	8186182064	
Christine Kittelsen	7443 Quimby Ave. West Hills CA 91307	tanzentee@yahoo.com		
Shaun Kittelsen	7443 Quimby Ave. West Hills CA 91307	Shaun.Kittelsen@yahoo.com		

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Print Name	Address	Email	Phone #	Signature
VICKI DUMSTRA	7449 Quimby Ave 91307 West Hills, CA		818-292-5076	
Paul Mykietyn	7449 Quimby Ave West Hills Calif 91307	Vehicleone@aol.com	818-205-4263	
Jane and John Rasmussen	23760 NADIR ST. West Hills, CA 91304	johnandrasmussen@ myfbs.org	818 304 7541	
Nicole Rasmussen	23760 Nadir St West Hills CA 91304	jrass@gmail.com	(818) 914-9934	
John Rasmussen	7551 Bobby Linn Ave. West Hills, CA 91304		818 262 1904	
Michelle Rasmussen	7551 Bobby Linn Ave. West Hills CA 91304			

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

23

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Print Name	Address	Email	Phone #	Signature
William Pettis	23677 Elkwood St West Hills, 91304	wpettis26@icloud.com	818.297.4454	William Pettis
Carol Pettis	23677 ELKWOOD ST. WEST HILLS 91304	carol_pettis@yahoo.com	818-599-5358	Carol Pettis
ROBERT BAKER	7522 WOODLAKE AVE WEST HILLS 91304	P.BAKER.S14 AT AOL.COM	818-943-6584	Robert Baker
Commie Menchaca	7454 WOODLAKE AVE	Commie menchaca @ YAHOO.COM	818 518-3576	Commie Menchaca
SAM WELSH	7578 Jimby AVE WEST HILLS	LACR931@GMAIL.COM	818-744-3158	Sam Welsh
Ward Roban	2306 S Covello St WEST HILLS	wardroban@ G-mail.com	818-961-7779	Ward Roban

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Print Name	Address	Email	Phone #	Signature
Jane Garrett	23128 23143 West Hills Kens Ways	DEIDRER @ aol.com	818-800-1808	Jane Garrett
Cary Garrett	23128 Stortheart St West Hills CA 91304	carygarrett@gmail.com	818 424 7747	Cary Garrett
Brian White	7346 McLaren West Hills	RACING 933 @ G Mail	818 324 6017	Brian White
SCOTT RANDALL	7519 QUIMBY AVE WEST HILLS	QMD14@YAHOO.COM	818-261-2525	Scott Randall
Sandy Randall	7519 Quimby Ave West Hills CA 91307	sandy1u93@hotmail.com	(818)625-5965	Sandy Randall
Eric Anderson	23119 Covello St West Hills CA 91307	ericanderson4@live.com	818-715-9165	E. Anderson

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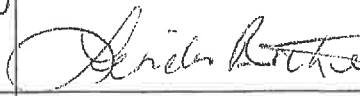
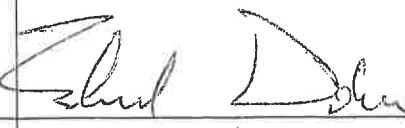

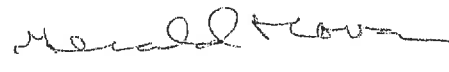
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Print Name	Address	Email	Phone #	Signature
Patrick Casel	23060 Saticoy St. West Hills	patrickcasel@gmail.com	818-205-7712	PC
Rachel Bass	7057 Bobby Boyar Ave West Hills	timberr319@gmail.com	818 912 0652	RB
Pamela Pinkham	23264 Keswick St West Hills, CA 91304	pppinkham@verizon.com	818 340 7557	Pamela Pinkham
Darlene Findlay	24642 Woodglade West Hills 91304 Lane	darlene.findlay@gmail.com	818 807 4806	D Findlay
Michelle Doubet	7500 Carmona West Hills	markdimitriev@worldwide.net	818-548-3871	Michelle Doubet
MARK DOUBET	7500 CARMONA WEST HILLS 91304	MARIE-DIM. CHEEFD @ BANGLINK. NET	818-348-3871	Mark Doubet

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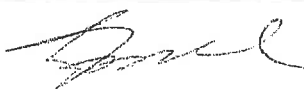

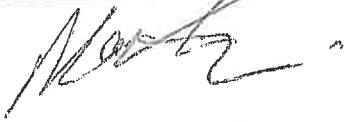
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Print Name	Address	Email	Phone #	Signature
MEL BERTRAND	7567 BOBBY BOYD AVE West Hills, CA 91304	MELBERTRAND@SBCGLOBAL.NET	818-324-3411	
Penny Newmark	23654 Del Cerro Circle West Hills 91304	pennyfirst@sbcglobal.net	818-620-5640	
Cinda Bothell	23057 Cowell St West Hills	lbothell@earthlink.net	818-347-4220	
Edward Deltis	23060 Saticoy St. West Hills, CA 91304	nelfinavin@gmail.com	818-687-3172	
Adam Zilberman	7820 Woodhall West Hills, CA 91304	Adam@ivetsys.com	818-807-4049	
Gerald Kovar	23528 Arminata West Hills 91304	dkkovar@live.com	818-298-4810	

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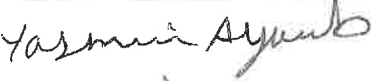



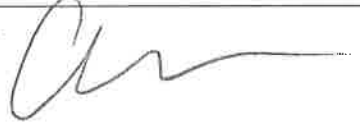
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Print Name	Address	Email	Phone #	Signature
Tamara Metten	7517 Belding Ave Wt Ca 91304	tamitarth@ aol.com	818 590 2244	
DEVERLY Prosswhite	22941 Saticoy St. ite 91304	bcrosswhite@icloud. com	818 805 8133	Beverly Croswhite
Tamara BROWN	23041 Barton St ca 91304	aimaeCORAWELL @gmail.com	(818) 427 4059	
STEVE BUCKNER	23058 Crestmont Dr	Steve Buckner @gmail.com	818 429-8324	
Margaret Torrance	23447 Arminia Bl	margieva@yhaos.com	818-426-8598	
Margaret E Wesner-Kovar	23528 Arminia	peg_kovar@yahoo.com	818-716-4043	M. E. Wesner-Kovar

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Cheree Coyle	7639 Ducor Ave West Hills 91304	chereecoyle@gmail.com	818-943-9678	
Yasmin Ayoub	7538 BOBBY Boyer AVE West Hills 91304		818-404-2570	
JANICE SEWES	22707 Hatterus WOODLAKE		(818) 660-0904	
ROBERT K. FINDLAY	24642 Woodglade Lane West Hills 91307	rkfindlay1@gmail.com	(818) 412 40942	
PAT CONLIU	7532 Quimby AVE. WEST HILLS	PCON33@Yahoo.com	818 347 4 719	
CHRISTINA PERDIBATO	22861 WOOD ST, WEST HILLS	CHRISTINE PERDIBATO@ AOL.COM	818 970 4525	

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Print Name	Address	Email	Phone #	Signature
CONCEPCION FONG	23455 Blythe St. 91304 West Hills CA	—	(818) 348-8844	Concepcion Fong
CESAR FONG	23455 Blythe St West Hills		818-388-2788	Cesar Fong
ESTELITA FONG	23455 Blythe St WEST HILLS, CA. 91304	EMF536@gmail.com	818-378-6835	Estelita Fong
GAVIN KAUFMAN	8010 Hilary Dr WEST HILLS, CA 91304	SMOKEDOG105@GMAIL.COM	818 497-7489	G. Kaufman
ENNA ZILBERMAN	7820 Woodhall Ave West Hills.	Enna.Zilberman@gmail.com	818 621-0803	Enna Zilberman
EVA SABO	23001 SATICOY ST. West Hills	EVIKECA@YAHOO	818-359-2500	Eva Sabo

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024



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- reduce property values

Print Name	Address	Email	Phone #	Signature
SIGRID RHODES	7514 WOODLAKE	SIGRHODES@YAHOO.COM	818 347-9687	
DAN WELLS	7454 WOODLAKE		818 340 4045	
CARLOS MORALES	7542 WOODLAKE RD 3 W.H 91304	CARLOS@WESTHILL.COM	918-730-9616	
JULIAN FURTAK	2042 Sedarum WEST HILLS	jnfurtak@gmail.com	818 371-5184	
Sophia Huynh	8031 Lena Ave West Hills Ca 91304	sahuynh27@gmail.com	818 216 8210	
Kevin Boyle	8039 Lena Ave West Hills Ca 91304	outridin1@gmail.com	818 451 9606	

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Print Name	Address	Email	Phone #	Signature
Naveed Stan.	7455 Quimby Ave West Hills CA 91307	Danny Stan. @ me.com	818 564 9384	
Pavitch Zargari	7455 Quimby Ave West Hills CA 91307	Pzargari@gmail.com	310 254 5698	
MARINA CASSIDY	22949 LEADWELL ST WEST HILLS, CA 91307	M4CASSIDY@aol.com	818-347-8655	
MICHAEL CASSIDY	22949 LEADWELL ST WEST HILLS, CA 91307	WCWYMAN@aol.com	818-347-8655	
Kathy LOUIS	22957 Leadwell St West Hills CA 91307	antzkath @aol.com	818 667 8480	
Romy LOUIS	22957 Leadwell Street West Hills CA 91307	RomyL@ aol.com	818 359 3200	

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LASLO SABO	23007 SATICOY ST	rosikeca@yahoo.com	818-3592500	
DAW ROSENWASSER	23535 ARMINITA ST		818-437-7966	
Lawrence Es hood	23527 Arminita St	lawofla@yahoo.com	818 631-2724	
IRIS ES HOOD	23527 Arminita		818 398-2846	
Annette Smith	7733 ATRON	ams.dogman@gmail.com	818 376-3991	
JAMES SMITH	7733 ATRON	ams.dogman@gmail.com	(818) 3713991	

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Maureen Sauter	7525 Bobbyboyer Ave West Hills, CA 91304	msauter33@yahoo.com	818-497-2815	
Paul Sauter	7525 Bobbyboyer Ave West Hills, CA 91304	psauter56@yahoo.com	818-497-2820	
Donna Virelli	7525 Bobbyboyer Ave West Hills, CA 91304		818-787-1340	
Arlene Denison	23720 Sandalwood St West Hill 91307	XXXXXXXXXX	818-400-1909	
DAN MINTZER	8018 HILLARY DR WEST HILLS CA 91304	DSM1956@SOCALRR.COM	818 266 8546	
Heidi Manning	23469 Justice Street	onefuddydaddy@yahoo.com	818 836-0250	

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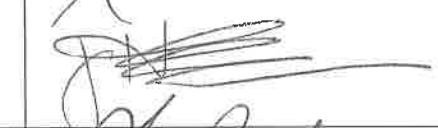

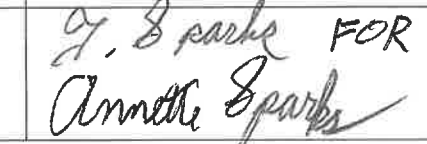
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Print Name	Address	Email	Phone #	Signature
Joel LITMAN	23100 Remyne	Joeltousz@gmail.com	818 914 4557	
WILLIAM MANNING	23469 JUSTICE ST WEST HILLS	GRIPDAD@GRIPDAD.COM	818 645-1792	William T Manning
Pasha ENTHJETKAR	23024 Saticoy St.	aashapa@yahoo.com	818 497-7742	
Shirin AFSAR	23024 Saticoy St.	afsharshirin@gmail.com	(818) 497-1548	
Ruben GONZALEZ	23950 Stagg St.	ratkegonzalez5@gmail.com	(818) 633-6314	
CORY WINICK	23045 LANARK ST	CoryWinick@earthlink.net	818 620-8091	Cory Winick

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Print Name	Address	Email	Phone #	Signature
JOE LAFIRENZA	7708 MARLBOROUGH W. H. 91304	XMATADOR 92 @YAHOO.COM	(818) 903 5527	
Vanessa Lafirenza	7708 Marlborough CA	vanessalafirenza@ gmail.com	(818) 703-3540	
Alma Magana	23950 Stagg Street 91364	vallejonzales101@gmail.com	(818) 404-6364	
Jill Haberman	8321 Sedan Ave. West Hills, CA	Jill @ Koolmom.info	(818) 888-7557	
TOM SPARKS	23345 JONATHAN W. HILLS, CA	SPARKS4144@G-MAIL.COM	(818) 704-1363	
ANNETTE SPARKS	23345 JONATHAN W. HILLS, CA	SPARKS4144@G-MAIL.COM	(818) 704-1363	

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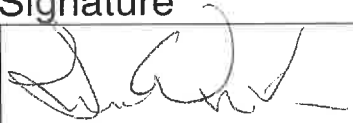
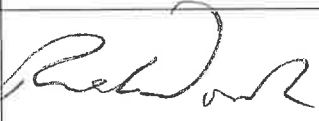




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Print Name	Address	Email	Phone #	Signature
Michael Greenwald	23639 Blythe St West Hills 91304	drmichaeldg@ gmail.com	310-968- 1345	
RON ZARKESH	8030 Bobby boyar Ave	RON.ZARKESH@ GMAIL.COM	310-365-0321	
Maryam ZARKESH	8030 Bobby boyar Ave.	MEHMAR1996@ Gmail.com	310-666-3095	
Perry HABERMAN	8321 Sedano Ave West Hills Ca 91304	thedeatchild@gmail.com	818 349 2887	
SANDRA WARNER	8044 JASON AVE West Hills, 91304	Sandi warner 121@gmail.com	818 426-7275	
Faye Barta	24001 Lance Place	Bartagal@aol.com	818-887-7811	

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Suzie Winick	23045 LAMAR ST	SWINICK@SMAIL.COM	818 422-7409	
Riley Winick	23045 LAMAR ST	RWINICK@gmail.com	818 422-2315	
Shelley Horwitz	23211 Keswick St. Cross Park, CA 91304	shelley.horwitz@hklaw.com	310 709-5902	
Naribe Robelo Ventura	23716 Strathern St West Hills	hblb@hblb nybrobelo@gmail.com	818-253-8161	
Joseph Ventura	23716 Strathern West Hills	Joseph.Ventura03@gmail.com	818-620-7261	
DAWN HEFLIN	23671 ELKWOOD ST WEST HILLS	hdcochef@aol.com	818-266-1941	

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Sherry B Goldojarb	8010 Maestro Ave West Hills 91304	sggmommy@aol.com	818/999-5921	
Adam Eichhorst	23211 Keswick West Hills 91304	adam.eichhorst@yahoo.com	213-675-0999	
Todd Heffler	23671 Elkwood St West Hills	TODD M HEFFLER AT @MAIL	310-466-0943	
Glenn Jennings	24001 WH Lance Place	glennjennings@aol.com	818-458-1690	
ILANA KAUFMAN	8010 HILARY DR WEST HILLS	ilana.m.kaufman@gmail.com	(818)640-1779	
Anh Nguyen	7711 Afron Ave West Hills	hac2anh@yahoo.com	818-395-2964	

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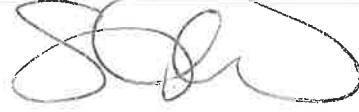


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Print Name	Address	Email	Phone #	Signature
Judith Greenwald	23639 Blythe St. West Hills 91304	judg730@aol.com	818 522 8027	Judith Greenwald
Nushi Afshar	23024 Saticoy St. 91304	afsharkirin@aol.com	818-274-7358	Nushi Afshar
MIKE CALL	23020 Elkwood St 91304	callus@pacbell.net	818-854-1871	Mike Call
PHIL ELINS	23052 SATICOY ST.	philelins@gmail.com	310-497-1021	Phil Elins
Aden Elins	23052 Saticoy St.	aden.voxan24@gmail.com	818-442-3831	Aden Elins
Christine Covella	23307 Windward West Hills, CA	twins4chris@ sbaqlobal.net	818-219-6261	Christine Covella

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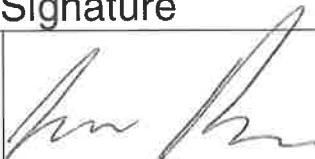


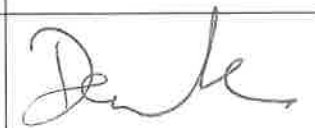


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Wilford Chin	7651 Melba Ave	cssdgyx@yahoo.com	(818) 468-4593	
Bob Patel	7615 Atherton	bp6321890@gmail.com	(818) 632 1890	
Kasey Casel	23000 Saticoy St.	Kaseycasel@gmail.com	818-205-7711	
Sharon Ponticelli	9601 Andora Ave, Chatsworth 91311	Sharonpont@yahoo.com	818 917-2890	
LINDA GARDNER	23512 ARMINDA ST WEST HILLS 91304	LGARD07648@AOL.COM	(818) 358-0643	
Philip Gardner	23512 ARMINDA ST WEST HILLS 91304	LGARD07648@AOL.COM	(818) 358-0643	

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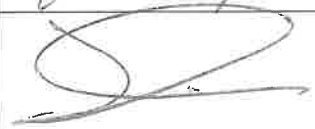


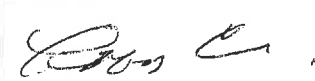
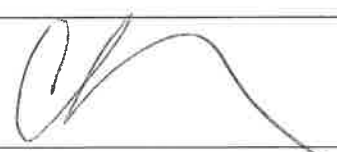
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Jesse Burke	7645 Melba Ave.	jessegburke@gmail.com	818-857-8127	
Fonda Burke	7645 Melba Ave. West Hills CA	fondaburke@gmail.com	818-917-6204	
B. Patel Bhargava	7610 Alhambra zone West Hills CA-91304	bpatel518@gmail.com	818-219-9220	
Danielle Minor	23455 Justice St West Hills, CA 91304	minorpartyof2@gmail.com	813-569-9008	
Michael Minor	23455 Justice St West Hills, CA 91304	minorpartyof2@gmail.com	310-367-7572	
Carmen Manzana	7053 Atron Ave	cmanzana@att.net	818-917-0104	

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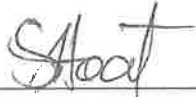


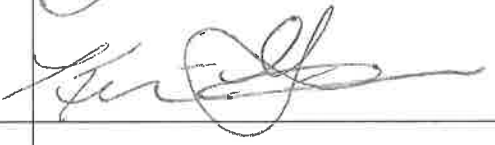

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HOWARD GFELNER	7637 ATRON AVE	hgfelner@yahoo.com	805-261-9850	
JASON SWINK	23400 Ingomar St West Hills 91304	JSwink21@gmail.com	(818)	
MARLENE JAMES	7651 MELBA WEST HILLS 91304	MXJ1949@YAHOO.COM	818-999-5663	
Debra Cohen	23625 Blythe St West Hills 91304	debbieC10687@gmail.com	818-968-2871	
JEFFREY Cohen	23625 Blythe St West Hills, CA 91304	JEFFC10687@GMAIL.COM	213-276-3754	
Cyndee Radwicz	23016 Elkwood West Hills 91304	akamonster@att.net	818 614-6382	

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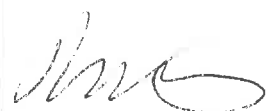
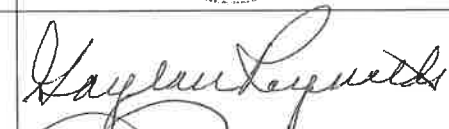
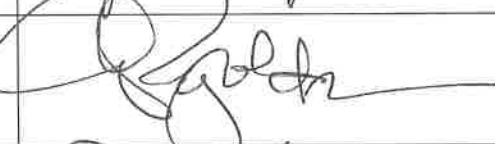

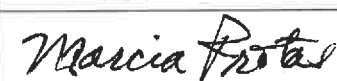

Print Name	Address	Email	Phone #	Signature
Hac Nguyen	7711 Atron Ave West Hills	hac2anh@yahoo.com	818-681-6236	
Serina Hoot	28310 Windom St West Hills	Serinahoot@gmail.com		
Albert Hoot	28310 Windom St. West Hills	AlbertHoot@icloud.com		
Noratte Gilbert	772 B Atron Ave West Hills CA 91304	noratteg@gmail.com	818 917-8834	
Kevin Gilbert	7728 Atron Ave West Hills CA 91304	Kevincgilbert@gmail.com	917 8817	
Lindsay Swink	23400 Ingomar St West Hills, CA 91304	Lbswink21@gmail.com	917 8817	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Hobarta Turitz	8041 Bobbyboyar Ave West Hills	Turitz2@gmail.com	518 2611219	
Gaylan Reynolds	8031 Bobbyboyar Ave West Hills	_____	818-883-4661	
Caprice Reynolds	8031 Bobbyboyar Ave West Hills	_____	818 389 2789	
EMILY THORNE	8040 BOBBYBOYAR AVE WEST HILLS 91304	missthorne@gmail.com	818-585-2002	
MARCIA PROTAS	7461 Tomelo Dr CP, CA 91304	mprotas@gmail.com	818-346-0462	
Stewart Solomon	7607 Woodlake West Hills CA.	Stewart@gmail.com	818 346-9941	

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I am against the proposed development of a 5-story, 324-unit "affordable housing" apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project could create:

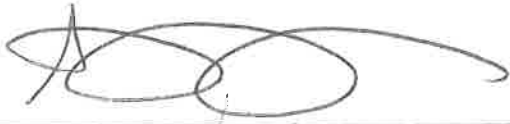

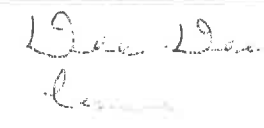


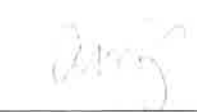
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Print Name	Address	Email	Phone #	Signature
JOHN LIPPAN	8465 S 4th Ave	JOHN LIPPAN@GMAIL.COM	614 657 8360	
Michael Cottrell	8478 Carla West Hills			
Glaine Gasfield	8391 Denise Lane West Hills	egunfield46@gmail.com	515 701-6222	
Julie Riddell	8320 Sicken West Hills	julieriddell@att.net	815-713-8220	
Tom Prober	8320 Sicken West Hills	tomprober@att.net	515-491-2153	
Todd Perry	8475 Carla West Hills	Terry@JTD.School.org	578 825 5211	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood⁷⁶ 2024

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Print Name	Address	Email	Phone #	Signature
Adrienne Perry	8475 CARLA W. WEST HILLS	KreativeKakes4U@ ADL.COM	818 439-3392	
Patricia Pile	8486 Saticoy West Hills, CA	Pattydreesbcglobal. net	818-942-4674	
Donna Lawrence	8490 Carla West Hills	TROPHYMAN TROPHYMAN.COM	510 341510	
MARK LAWRENCE	8490 CARLA WEST HILLS	TROPHYMAN TROPHYMAN.COM	818 522 2148	
Debra Rollins	84374 Carla W. West Hills	DebraRollins@ gmail.com	818 436 7096	
ANGELA JIMENEZ	8465 Saticoy Dr WEST HILLS, CA	ANGELAJIMENEZ@GMAIL.COM	818 489-8212	

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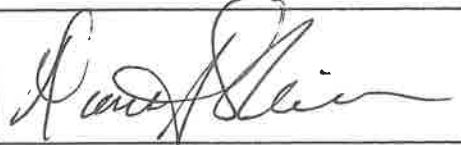




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Print Name	Address	Email	Phone #	Signature
CAROL THILLE	23041 Covello St West Hills, CA 91307	carolthille@gmail.com	818-918-8085	
EARLQUE VESZOVEZ	23029 COVELLO	EVΦ1Φ12Φ14 @GMAIL.COM	(747) 238-3324	
Patrick Schuster	23019 Covello St	c4schu@yahoo.com	818 577-8256	
JAMES SCHUSTER	23019 Covello St.	jschuster0500@ATT.NET	818-577-8255	
Ed Rivas	23013 Covello St.	vwcultmembers@gmail.com	(818)326-1777	
Elias Jahn	23050 COVELLO ST	west hills ca christian say 9/13/17 law.com	818-274-8245	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

I am against the proposed development of a 5-story, 324-unit "affordable housing" apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project will create:

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- reduce property values



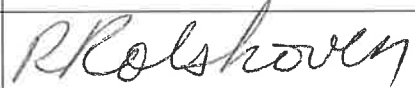


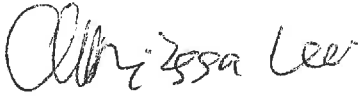
Print Name	Address	Email	Phone #	Signature
Kim Steele	23051 Covello	kimsteelela@gmail.com	6024153538	
DIANE MITLHAUSER	7557 Royer	dmilt@hauser@mac.com	818-259-1854	
Leng Lee	23028 Covello ST.		818-268-6468	
Warren Birkman	2524 Aquimby Ave.	wbirkman@gmail.com	818-401-7374	
Toki Bholanji	23036 Covello	gholami.tib@gmail.com	424-526-8688	
BRANDEN NEWSOME	23037 Covello ST	BRANDEN.NEWSOME89@gmail.com	818-527-0436	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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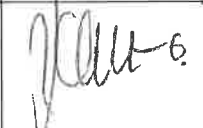
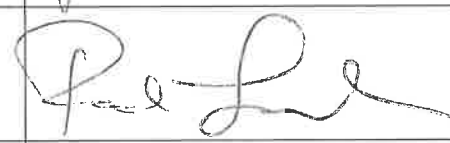
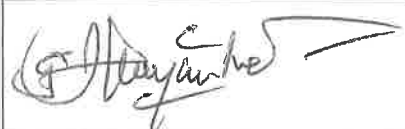
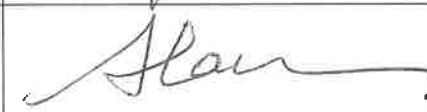
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Print Name	Address	Email	Phone #	Signature
TIM WHISNANT	22955 LOVELLO ST. WEST HILLS	TIM_WHISNANT@YAHOO.COM	818 427-5636	
Arthur Thomson Jr.	23430 Strathern West Hills	Mr AT23430@aol.com	(818) 716-8388	
Rachelle Rolshoven	23430 Strathern St. West Hills	RR23430@aol.com	818-203-1080	
LINDA LOUPEN	23033 SATICOY ST WEST HILLS, CA	LLOUPEN79@YAHOO.COM	818-309-5437	
Vivi Siu	22711 Cantlay St West Hills, CA	v-siu@yahoo.com	818-919-8588	
Clarissa Lee	22711 Cantlay St West Hills, CA		818-397-9499	

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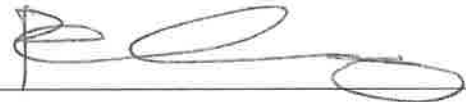
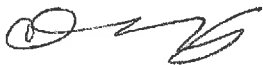




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Print Name	Address	Email	Phone #	Signature
Pete Raducich	23016 Elkwood West Hills	praducich@att.net	818 456-2726	
Bb Adinata	7736 justina West Hill 91304	bpaadinata@gbola.org	818-201429	
ADRIANTO	23115 Saticoy WEST HILLS 91304	adrisim@yahoo.com	818 428-9865	
Rod Louden	23033 Saticoy ST	rodlouden.rodlouden.com	818 348-7081	
HERJANTI Gunawan - Vinay	22421 SHERMAN WAY unit 4. West Hills	gheryanti@yahoo.com	818 -626-375 7632	
Alan Simadibrak	2515 Saticoy St	alansmadibrak@yahoo.com	818-428-8063	

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Print Name	Address	Email	Phone #	Signature
Rudy Chavez	23400 JUSTICE ST WEST HILL	rchav2000@yahoo.com	8182574929	
Darlene Rios	23400 JUSTICE WEST HILLS CA	chavezdarlene@yahoo.com	(818) 8546403	
Jeffrey Shapiro	7907 Maestro Ave West Hills CA 91304	Jeffdshapiro@gmail.com	818 585 1326	
Kathy Shapiro	7907 Maestro Ave West Hills, CA 91304	catgators@yahoo.com	818.314.6270	
RUNE NICKLASSON	23500 JUSTICE ST WEST HILLS	RUNEALBERT@YAHOO.COM	818 912 6492	
JESSICA FUENTES	22953 VALERIO ST WEST HILLS	Jessica.gibbs@me.com	310-612-8554	

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Print Name	Address	Email	Phone #	Signature
Kathy BOYD	8470 Samra Dr. West Hills CA 91304	KathyMarieBoyd@gmail.com	818-523-1742	
Michael Boyd	8470 Samra Dr. West Hills CA 91304		818-454-6572	
Stephanie Lopez	7814 Vicky Ave West Hills CA 91304	Mariell42@sbcglobal.net	818-335-6255	
Kyra BOYD	23271 Sylvan Woodland Hills CA 91367	Roxv@gmail.com	818-703-2315	
SUE MAGIDOW	23701 ARMINTA WEST HILLS	H MAGIDOW@aol.com	213-216-2771	
HARVEY MAGIDOW	23701 ARMINTA WEST HILLS	H MAGIDOW@aol.com	805-750-0345	

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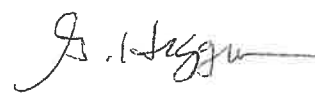
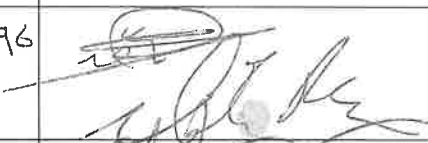


Print Name	Address	Email	Phone #	Signature
Don Schneider	8031 Woodlake			<i>Don Schneider</i>
Nancy Schneider	11			<i>Nancy Schneider</i>
Rita Hessler	8141 Woodlake Ave			<i>Rita Hessler</i>
EDWARD HESLER	8141 Woodlake Ave	Hessler2@SBCglobal.net	(818) 992 4636	<i>Edward H. Hessler</i>
Edward Hughes	6713 Neddy Ave. West Hills CA 91307	edandcj59@yahoo.com	818-347-9516	<i>Edward Hughes</i>
CAROLE HUGHES	6713 NEDDY AVE WEST HILLS CA 91307	edandcj59@yahoo.com	818-347-9516	<i>Carole J. Hughes</i>

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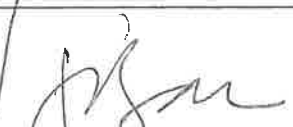



Print Name	Address	Email	Phone #	Signature
NELSON DIAMOND	23037 Cohasset	DIAMONDGROUP2@YAHOO.COM	818912 2854	
Chona Chua	8138 Royer Ave	Chona.chua@yahoo.com	818 730 2329	
GARY HIGGINBOTHAM	7701 QUINCY AVE	MIKE HIGG@SICAL.PR.COM	818606 1217	
Ibtisam Rehadi	7718 Justin Court West Hills CA 91304	nrabad186@gmail.com	818.667 6496	
NASRIN SHARIFEE	7730 Justin Ct West Hills CA 91304	Nasrin 940@gmail.com	(818) 264-8755	
Asharth Jackson	7724 Justin Ct West Hills CA 91304	ajackson6792@yahoo.com	810-620-3699	

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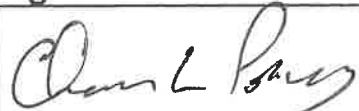





Print Name	Address	Email	Phone #	Signature
Dwayne Jackson	23066 Covello St.	dmijjcorp@gmail.com		
Mary S. Baricani	7545 Quincey Avenue West Hills	neilbarican@yahoo.com		
Deborah T. Baricani	7545 Quincey Ave	cnitebarican@gmail.com		
Seumas Rawlinson	24101 Lance Pl	s_Rawlinson@icloud.com	818-451-0942	
Rex S. Rawlinson	24101 Lance Pl, West Hills, CA 91307	r_rawlinson@icloud.com	818-933-1492	
Maureen E. Rawlinson	24101 Lance Pl, West Hills, CA 91307	M_Rawlinson m_Rawlinson@icloud.com	818-454-5225	

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Print Name	Address	Email	Phone #	Signature
CHARLES CONWAY	23024 Runway Mdr ST. WEST HILLS CA	2502138@pacbell.net	818-884-8877	
Judith Roberts	7467 Minstrel Ave West Hills CA USA 91307		818 3482341	
Bill ROSE	22450 SHERMAN WAY	Bill Rose@PARK REGENCY.com	818.723-8347	
Doreen Gordon	23227 Armonda St.	doreengordon1@ yahoo.com	424-832-4382	
Elizabeth A. Cantwell	23321 Hartland St.	ecantwell247@gmail. com	601-993-2178	
Robert Zazula	7796 Quimby West Hills 91304	zazula57@yahoo com	818 4504 3809	

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Print Name	Address	Email	Phone #	Signature
<i>[Faded]</i>	<i>[Faded]</i>	<i>[Faded]</i>	<i>[Faded]</i>	<i>[Faded]</i>
Brigid Bartolotto	23684 ELK wood ST West Hills, CA	brigid bart @ att.net	818 340-8867	Brigid Bartolotto
GREG FREISEN	23127 STRATHERN Westhills	GREG.CABRERA@GMAIL.COM	310 722 0314	<i>[Signature]</i>
Doris Treisen	23127 Strathern St West Hills	91304 doris.cabrera@ymail.com	310 742303	<i>[Signature]</i>
VANGIE DOBBS	23259 Kerwick St West Hills	Rassambay@yahoo.com	(818) 383-9066	<i>[Signature]</i>
CHARLENE Rothstein	7875 VALLEY FLORES DR. West Hills	CHARWNE@GMAIL.COM	818-888-3567	Charlene Rothstein

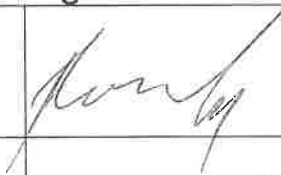
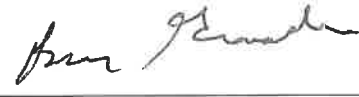

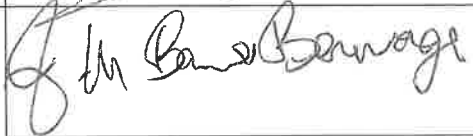


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Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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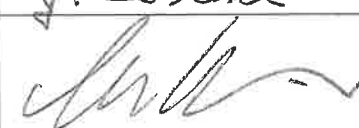
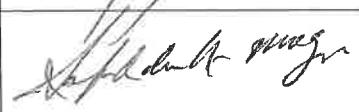
Print Name	Address	Email	Phone #	Signature
Rocco Covella	23307 WINDMILL ST West Hills, CA 91304	covella@bcsglobal.net	818-261-5495	
Rose Machado	23300 Hartland West Hills, CA	machado1234@aol.com	818-257-0255	
JASON CAMPBELL	8120 MELBA AVE West Hills, CA	jcampbellia@hotmail.com	213 841-6623	
Jeanne Michelle Banley-Berwager	7914 Quimby West Hills, CA	michellejber@dslextreme.com	(818) 632-0164	
FERNANDO PONZO	7908 QUIMBY AVE WEST HILLS, CA	FERNANDO.PONZO.7E@gmail.com	818 577-9843	
Liliana Ponzo	7908 Quimby Ave West Hills, CA	lilianaram.917@gmail.com	(818) 331-9365	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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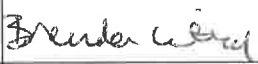


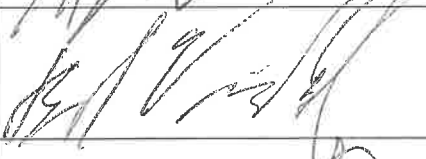
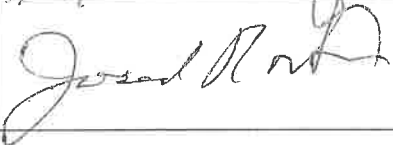

Print Name	Address	Email	Phone #	Signature
AIDA ABKARIANS	23681 DRACO WAY W-H. 91307	Aidakippy@iol. com	818-404- 7448	
Razmik Abkarians	23681 DRACO WAY WESTHILLS CA. 91307	Razmik@pharmark. com.	818 620-6027	R. Abkarians
JOAN TRENT	8503 FAUST AVE WESTHILLS, CA 91307	Joan West Hills	_____	J. Trent
Armen Hovavessian	2463 EILAT ST. WOODLAND HILLS CA	Armen	818-710-8035	
JOANNE VANER-GARB	8357 SAUSALITO	JOANNE. GARBO GMAIL.COM	818 518 7948	Jmg
SAIFUDDIN MOBRT,	23653 GARROD WAY WEST HILLS	Saifmogsi@lotmail.com	818 451-5548	

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Print Name	Address	Email	Phone #	Signature
Brenda Citrom	23309 Blythe St West Hills	Brenda.Citrom@gmail.com	(818) 642-7029	
Stan Yu	23838 Stathern St West Hills	ssierra762@hotmail.com	818-667-4949	
MIGUEL VIDAURRE	23246 WINDOM ST West Hills	MIGUELVIDAURRE.COM	310 7395543	
BRAD VANDERHOOF	23831 WREBY WAY WEST HILLS	BRADVANDERHOOF 1515@MSN.COM	N/A	
Joe Norton	23318 Stathern ST West Hills	Joen91304@hotmail.com	N/A	
MAXINE DEARBORN	22843 WINDOM ST West Hills		818 883-7851	

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Print Name	Address	Email	Phone #	Signature
Sam DeBevoise	2343 VALERIO	ABEHLROOZ@ATTORNEY	818 648-1172	[Signature]
BARRY JONES	22914 CANBY		818 348-3790	[Signature]
Terry Max Cather	7713 JUSTIN COURT	max_cather@yahoo.com	818-585-2792	Terry Max Cather
TERREST NIELD	23676 BALTAR ST.	terri@adwire.com	818 438-6546	Terrest Nield
Michael Cather	7655 Canby Ave West Hills Ca	michaelcather13@gmail.com	818 704-7674	[Signature]
ROSE MACHINA	7655 Canby Ave West Hills	macm35@gmail.com	818-704-7674 377 (99) 0787	[Signature]

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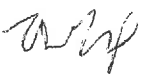
Print Name	Address	Email	Phone #	Signature
Rachel Rosenblatt	7658 Melba Ave West Hills CA 91304	rachelemlyle@yahoo.com	818 620 1877	Rachel Rosenblatt
Bruce Chiaro	7385 Buena DRIVE W. HILLS 91307	BChiaro2@GMAIL COM	818 518 0001	Bruce Chiaro
Brett Chiaro	7385 Pomelo Dr West Hills 91307	firefighter@D13.com AT Gmail	818 518 0001	Brett Chiaro
Lucy Brock	22865 Covello St West Hill	lucyBrock66@gmail.com	818-264-6312	Lucy Brock
Vida Schrab	23504 Blythe St West Hills	Vida Schrab@yahoo.com	(310) 486 9111	Vida Schrab
Robin Roberts	23106 BALTIMORE W. HILLS	ROBINCROBERTS7@GMAIL	818 YES 9163	Robin Roberts

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Cris Fontes	23356 Burton St	fontesdvm@gmail.com	205-243 6857	
Lan Fontes	23356 BURTON ST WH 91307	ltran@yahoo.com	818 074-6580	
Svetlana Kanooni	7519 Sedan Ave w H. 91307	S.Kanooni@gmail.com	818-625 1339	
Johnny Kanooni	7519 Sedan Ave w H 91307	JKanooni@aol.com	818-7108491 (no text) Home only	
Colin Welch	2475 Minstel Ave. 91307	ctwelch66@gmail.com	818-961 4975	
Riley Welch	2475 Minstel Ave 91307	rileywelch32@gmail.com	818 669-4126	

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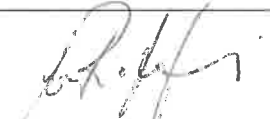
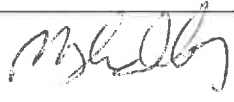
Print Name	Address	Email	Phone #	Signature
SANDY LESLIE	7631 Quimby W. Hill	SANDY@15804Ranch	818 515 9460	Shelly
DON LESLIE	7631 WEST HILL 91304 Quimby Ave	2doneyar1@gmail.com	818- 585-5709	Don Leslie
KUAN HUANG	23435 BLYTHE STREET	kuanhuang91304@gmail.com	818-324-4964	Kuan Huang
CHUAN HUANG	22951 STAGG ST. WEST HILLS	chuanhuang56@hotmail.com	818-746- 8287	1/13
FONDA BURKE	7645 MELBA W. HILL 91304	fondaburke@gmail.com	818-917-6204	Fonda
Jesse Burke	7645 Melba Ave 91304	Jesseburke@gmail.com	818-857-6127	Jesse Burke

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

65

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Print Name	Address	Email	Phone #	Signature
Phillip Lin	22639 Stockern W Hills 91307	ussa@ ussa-cal.org	818 227 0045	
Greta Hernandez	7238 Woodvale Court West Hills 91307	greta449@gmail.com	818-613- 2789	
Sergey Michaelov	23131 Baltar St West Hills	Sergeymichaelov@ yahoo.com	818 644 10 33	
Jacoba Mathot	23518 BALTAZ ST WEST HILLS	connymathot@ gmail.com	823 3551226	
Raffi Donoyan	23518 BALTAZ ST WEST HILLS	forraffi@aol.com	818-262-5481	
MARVIN SHEBBY	23735 Justice W-Hills 91304	shebby@sbcglobal .net	818 970 8716	

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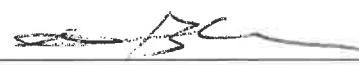
Print Name	Address	Email	Phone #	Signature
Vianny Gokool	23210 Sustine St	Vianny.gokool@td viannygokool@yahoo.com		VGokool.
Angelina Hernandez	7513 Lenarke West Hills CA 91307	tee.hernandez@yahoo.com	(818) 274-7170	Angelina Hernandez
Angel Guzman	7827 Melba Ave 91304	guzman.angel26@yahoo.com	(818) 257-9760	AG
DALE UYEDA	24717 STONEGATE DR WEST HILLS 91304	DRDALES@YAHOO.COM	(818) 312-3679	Dale Uyeda
CRYSTAL UYEDA	24717 STONEGATE DRIVE WEST HILLS, CA 91304	DRDALES@YAHOO.COM	(818) 825-1296	Crystal Uyeda
DENNIS RICE	7742 Minstrel Ave West Hill 91304	(Kalu@AHN.net	818 402-7628	

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Print Name	Address	Email	Phone #	Signature
Steve Alperson	23410 Bluff Ave. St West Hills, CA	ALPERSON.S@GMAIL.COM	323-367-1800	
Steve Graham	23436 Justice St. West Hills CA 91304	thesylmarguy@aol.com	(818) 489-2889	Steven Graham
Steve Bauman	7346 Woodlake Ct West Hills CA 91307	SteveBLS@aol.com	(818) 348-1222	
Phil Silver	8000 MacArthur Ave West Hills	PSilver3000@gmail.com	818 456-8849	PSilver
Sharon LaFirenza	23124 Lanark St West Hills, CA 91304	svlafirenza@gmail.com	818-731-3222	S.V. LaFirenza
Robert Gill	23334 Arminia St West Hills, CA 91304	rsq1181@hotmail.com	818-428-8371	RS Gill

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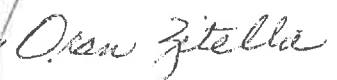


Print Name	Address	Email	Phone #	Signature
SAPANA GOPTA	23161 Valerius St WEST HILLS	ASIT. ASIT.GOPTA@GMAIL.COM		Sapana
Walter Krawczyk	23611 Blythe Wick.	WKRAWC@YAHOO.COM		W. Krawczyk
Mike Morash	7115 Woodlake	mike_morash@yahoo.com		[Signature]
Azar Nam	7115 Woodlake	azarnamin@yahoo		[Signature]
Aria Moradi	7115 Woodlake	aria.moradi@gmail	515-888-6135	[Signature]
Pink Gokool	23210 Justice St West Hills	pinkgokool@att.net		[Signature]

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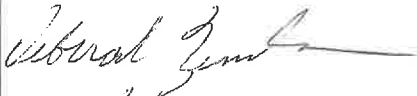
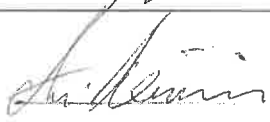


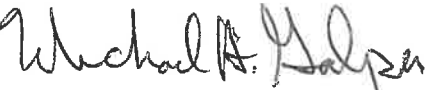
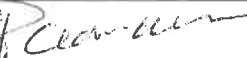
Print Name	Address	Email	Phone #	Signature
James Gonzalez	7641 Balasiano Ave. West Hills 91304	Jamieg@gmail.com		
Anne Bauman	7346 Woodvale Ct West Hills 91307	annebls@aol.com	818-634-4174	
Savin Calangui	7317 Woodlake Dr West Hills CA 91307	scalangui@icloud.com	818-830-4764	
ORAN ZITELLA	23710 BALTAR ST. WEST HILLS, CA 91304	ZITELLA@SPRGLOBAL.NET	818-621-5936	
Dale Stroman	8000 Maestro Ave West Hills 91304	Dstroman8000@gmail.com	818-424-7578	
Anna Decker	23220 Justice St West Hill 91304	annaloisiflorale@aol.com	818-456-7810	

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Print Name	Address	Email	Phone #	Signature
Deborah Zumburn	7513 Lena Ave West Hills	debbrezumburn@gmail.com	818-618-6693	
Ali Kerman	23137 Baltar St West Hills	Kavimian.a@gmail.com	818-472-2132	
FRANK FURST	5420 Fallbrook Woodland Hills Ave 91367	the1stline@webtv.net	818-424-8319	
GANESH SRINIVASAN	7422 Woodlake Ave West Hills CA 91307	Sganesh.Srinivasan@gmail.com	832-454-0181	
Michael Galper	7713 Armsby Ave	mikegalperconstruction@gmail.com	310.210.8939	
Pushpa Comar	7305 Woodvale ST West Hills, CA 91307	idenukapila28@gmail.com	918-610-9256	

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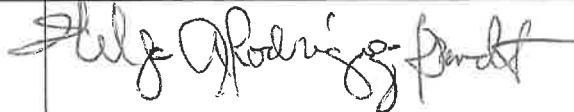



Print Name	Address	Email	Phone #	Signature
Nancy Shelby	23735 Justice St West Hills, CA 91304	Danqbri@comcast.net	(818) 484-5313	Nancy Shelby
Alexandra Sologub	7618 Wiscanet West Hills, CA 91304	asologub@yahoo.com	818-267-0252	Sologub
Lynadmir Sologub	7618 Wiscanet West Hills, CA 91304	lsologub@yahoo.com	818-442-9818	Sologub
VANEET KAPILA	7246 WOODVALE ST WEST HILLS CA 91301	V.kapila10@yahoo.net	818-347-1479	Vaneet Kapila
Linda Bothe	1123057 Covello St West Hills 91307	lbothe1@earthlink.net	818-347-4220	Linda Bothe
Nancy De... 781 De...	7922 E... Ave	N/A	818-346-1069	Nancy De...

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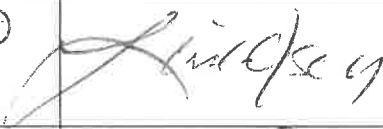

Print Name	Address	Email	Phone #	Signature
ROY GATES	7457 Leno Ave RUBEN	roygates712@yahoo.com	818-884-0372	
Malsd. Monsefy	23137 Baltar St, west Hills	monsefy@gmail.com	818-584-9270	
Helga A Rodriguez Brandt	7652 Bobby boyer West hills	helgarodriguez1960@gmail.com	818-456-2640	
Robert Zumbrum	55 7513 Lena Ave West Hills 91327	bobzumbrum@gmail.com	818-618-6659	
DAVID BRANDT	7652 Bobby boyer Ave West Hills CA	dbrandt910@gmail.com	747 347-7338	
Lynn Woodford	23524 11500 Elkwood St.			

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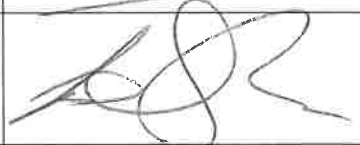
Print Name	Address	Email	Phone #	Signature
MICAH KEPE	23671 BALTAH ST.	michakepe@gmail.com	(818) 456-6591	
TINA Bick	27800 Woodlake	tinabickmeyer@yahoo.com	(818) 851-9798	
Deena Roberts	23100 Baltar St., West Hills	dasher4444@gmail.com	818-454-0110	
Jerome Olsen	23500 Baltar St West Hills	usuallylogical@yahoo.com	818-917-9960	
Linda Olsen	23500 BALTAH WEST HILLS	mrsolsenatthorpe@yahoo.com	818-917-9970	
Olga MICHALEV	23131 BALTAH ST. West Hills, 91304	OLGAMICHALEV@YAHOO.COM	818-644-1034	

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Print Name	Address	Email	Phone #	Signature
Desi Kege	23671 Baltan	desi@desikege.com	818 571-9059	
Debi Kege	23671 Baltan St.	DebiKege@gmail.com	(818) 571-9056	
Jack Gregory	1944 Bobby Kayser	abbetindustrial a sbcglobal.net	818 439-1678	
Linda Gregory	"	"	"	
Kaveh Khan	23504 Blythe St. West Hills, CA 91304	2kaveh@yahoo.com	310-486-1996	
TEHRA KANOONI	7115 Woodlake Ave West Hills, CA 91307	tkanooni@gmail.com	818-294-4382	

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Print Name	Address	Email	Phone #	Signature
Tracie Hedges	22841 Enadia Way West Hills, CA 91307	TnHedges@SBCglobal.net	310.678.0362	Tracie Hedges
DANIEL SAZAN	7748 DUCCI AVE WEST HILLS 91304	NRZAR-Daniel@ Yahoo.com	818.634.3129	Daniel Sazan
PAULA M. CONNOLLY	23518 WINDOM ST. WEST HILLS CA 91304	ARCPCMC@SOEAL.RA. COM	818- 599-7808	Paula Connolly
Diana Krawczynski	23611 Blythe St. West Hills, CA 91304	DianaWh7@Yahoo.com	818-912829	Diana Krawczynski
Ava Yazdandoost	7800 Bobby Boyar Ave, West Hills CA 91304	yazdandoostava311@gmail.com	818-201-4764	Ava Yazdandoost
EMIL COUFFE	23101 PALM ST. W. HILLS CA 91304		818.633.3272	Emil Couffe

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DAVID AYALA	7433 BYLE CT WEST HILLS, CA 91307	DALINA-TR@M5N. COM	818-564-5459	
Lizz Holman	7409 Kyle Ct WEST HILLS CA 91307	ELIZZE SB @ AOL.COM	—	
clai g Holman	7409 Kyle ct West Hills CA 91307		—	
Khalid Almekhitar	7410 Kyle Ct west Hills, 91307		818-274-926	
Julie Cromb	7704 Bobbi Jayne	Julie@JulieCromb.com	910-072- 610-022- 7441	
Shirley Larson	23300 Ingomar St. West Hills, 91304	techchildren@yaho.com	818 340-6091	

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Kayla RUST	7324 Woodlake Ct 91307 West Hills	KaylaRust@gmail.com	818 606 9546	
HALEH Amizi	23401 Blythe St West Hills, CA 91304	halehamiki@gmail.com	415.515.1330	
Nicole Wright	1613 Sheltondale West Hills, CA 91307	Desiraenicole330@gmail.com	310.900.9008	
RICHARD LEE	23600 BALTAR ST WEST HILLS, CA 91304	R1.LEE@YAHOO.COM	818-219-0671	
Ronald Lee	23600 BALTAR ST. WEST HILLS, CA 91304	RONALDLEE1950@GMAIL.COM	818 593-9481	
Zach Keefe	23671 Baltar Street West HILLS, CA 91304	zachkeefe@gmail.com	818-456-3911	

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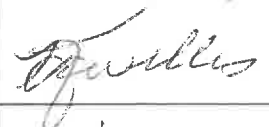

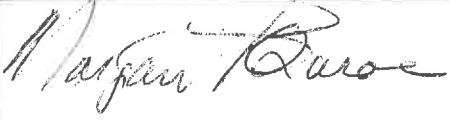



Print Name	Address	Email	Phone #	Signature
KRIS G	23235 ARMINTA ST WEST HILLS	N/A	818-517-1376	
JEANETTE GRIEGO	23235 ARMINTA ST WEST HILLS	N/A	818-577-3664	
SOFI GRIEGO	23235 ARMINTA ST WEST HILLS	N/A	818-585-3378	
DAN Musselman	8048 Hillside Dr West Hills		818 874703	
DONNA Coffield Wewe	23600 Justice west St			
Assad Amiri	23401 Blg Tr St	asamir@me.com	(818) 970-4996	

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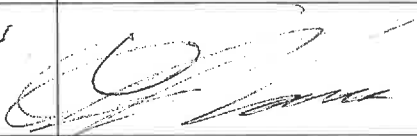


Print Name	Address	Email	Phone #	Signature
KAREN WILLIS	23617 BALTAZ ST WEST HILLS CA	KCARUBILLE@ GMAIL.COM	818 347-3471	
Cynthia Huber	23701 Baltaz West Hills St. CA 91304	contact.cindyjoc@ gmail.com	818-471-0494	
MARGARET BURON	23441 ARMINITA WEST HILLS, CA. 91304		818-340-7904	
JOSEPH A. BURON, SR.	23441 ARMINITA WEST HILLS CA, 91304		818-340-7904	
WAHEED HAIDARI	22850 COVELLO ST WEST HILLS, CA 91307		650-218-5855	
BETTY BECKERT	5331 Denise Lane West Hills 91304	BECKERTCB@Socal RR.COM	818 883- 4721	

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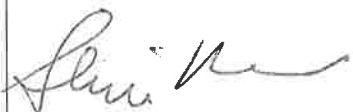
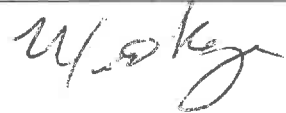
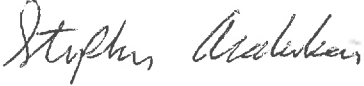
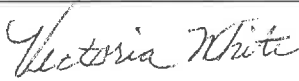
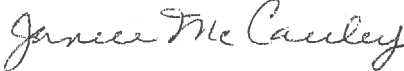
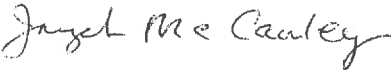
Print Name	Address	Email	Phone #	Signature
ROBERT BALL	23069 WOODLAKE	FEWDEL65999@GMAIL.COM C.V.I.E.	818 429 3918	
LOUIS LOREN	7852 BOBBY BOYD WEST HILLS	LORENCE JEE@AOL.COM	818-348-7587 818 425-5664	
DESMOND NIMMON	23305 CONRAD STREET WEST HILLS, CA	DNIMMON56 YAHOO.COM	(818) 264-9585	
CHARLES BECKER	8331 DENISE LANE WEST HILLS, CA	BECKERCE@SOPACORR.COM	(818) 883-4721	
Anna Vainshtein	23301 Valerio St	a_vainshtein@ YAHOO.COM	(818) 667-5135	
RORIC WHITE	23209 ARAVITA ST WEST HILLS	RWHITE34@GMAIL.COM	(818) 703 2226	

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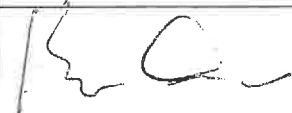
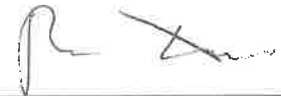

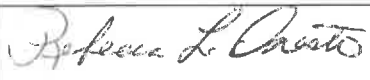

Print Name	Address	Email	Phone #	Signature
Sheri Burton	23015 Runnymede ST West Hills 91307	SheriSalman@ gmail.com	(818) 635- 9887	
Jacqueline Okoye	7274 Woodlake Ct	jakinanna@aol.com	(800) 907-2990	
Stephen Arakelian	23400 Blythe St West Hills, CA 91307	SJarakelian@hotmail.com	(818) 456-4423	
Victoria White	23269 Arminia St. West Hills, CA 91304	vwhite22@gmail.com	(818) 631-0285	
JANICE McCauley	23503 Blythe St West Hills, CA 91307	JMcCauley@aol.com	818 (517-9768)	
Joseph McCauley	23503 Blythe St West Hills CA 91304	Jmccauley@aol.com	818 517-9731	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
THOMAS CARPENTER	23700 Saticoy St West Hills, CA 91304	tom_carpenter@roadrunner.com	818 8845750	
Ruixue Guan	23149 Kens Way West Hills, CA 91304	candice19941228@gmail.com	7472048239	
Richard Xue	23149 Kens Way West Hills, CA 91304	richardxue22@gmail.com	6266076881	
Niloofer Rahimi	7800 Bobby Hojar Ave. West Hills, CA 91304	Soldbyniloo@yahoo.com	(818) 384-1023	
Rebecca Onesto	23536 Community St West Hills 91304	rlonesto@outlook.com	(818) 704-7131	
Nicole Arcakelian	23400 Blythe St West Hills, CA 91304	hyczyou@gmail.com	(818) 456-4423	

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Print Name	Address	Email	Phone #	Signature
Shirley Huber West Hills 91304	23701 Baltan st	shirley1548@att.net	818-888-3199	Shirley Huber
MURIEL ZOLLMAN	7823 Jason Ave West Hills	M.M. Zoll@att.net	818-612-4266	Muriel Zollman
Aliveza Golbahar	7721 Royer	golbahara@yahoo.com	949-540-8165	Aliveza Golbahar
Beverly Riney	7913 BOBBY BOYAR West Hills	Beverlyee1@ YAHOO.COM	818 340 1233	Beverly Riney
Ken Brandt	7930 Hillary Dr	Kbrandt900@aol.com	(818)992-0141	Ken Brandt
Maryam Vanaki	7721 Royer	MVGolbahar@yahoo.com	(818)234-6754	Maryam Vanaki

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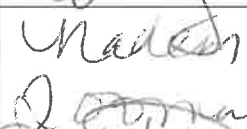

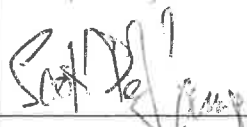


Print Name	Address	Email	Phone #	Signature
Simion Flores	7660 Balasiano		310 - 242-7255	Sim Flores
Lynn Friedman Friedman	7624 Balasiano		818 451 9781	Lynn Friedman
Carol Carter	7307 Woodvale Ct.	carolcarter@gmail.com	818 704-1351	Carol Carter
Monica Reming	7644 Arroyo Ave		818 421-4036	Monica Reming
ARMAN Maldini	23167 Valerio	armen.begpour@yahoo.com	310 980 8197	Arman Maldini
Lawrence OKOYE	7274 Woodlake	law.okoye@gmail.com	(805) 990 5409	Lawrence Okoye

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Print Name	Address	Email	Phone #	Signature
Cory Jacobs	23616 Strathorn St	Cory@jacobycompany.com	818-262-8238	
Nadeen Toomey	93600 Strathorn St West Hills CA	nogstar@aol.com	818-919-0227	
Cecilia Hernandez	740 Maistrone West Hills CA 91304	ceciliahernandez@gmail.com	(818) 723-8911	
Scott Leppin	22841 Saticoy St West Hills CA	scottleppin@gmail.com	(818) 919-6247	
Carrie Suter	5760 Woodlawn Ave Woodland Hills	sutolvi@gmail.com	818 634 7755	
Kathi Leppin	6312 Callcott Woodland Hills CA	leppinfamily@yahoo.com	818 317-0494	

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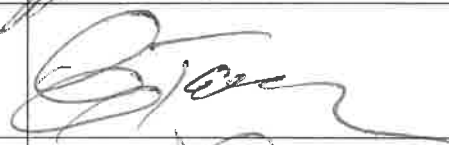
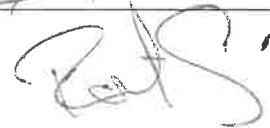
Print Name	Address	Email	Phone #	Signature
Esther Korn	7606 West Hills Attron Ave	E.Korngweeta@aol.com	818 421-8880	Esther R Korn
LAURA VITALE	24303 Woolsey	webgreen@yahoo	818 304 4027	Laura Vitale
YOUSSEF, MAGGIE	23101 Qu Baltan West Hills	YOUSSEF, Maggie@Comcast Comm	(818) 970-5358	Maggie
YOUSSEF Smil	23101 West Baltan Hills	—	(818) 633-3232	Smil
Sylvia Powers	43351 Mobile St West Hills 91307	SPAWERS49@YAHOO	818-601-6805	Sylvia Powers
GARY JACOBY	23616 Saticoy St West Hills 91307	GARY@JACOBYCOMPANY COM	818 262-8172	Gary Jacoby

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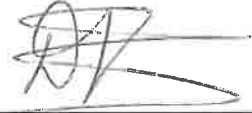


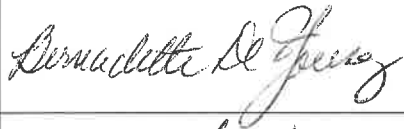
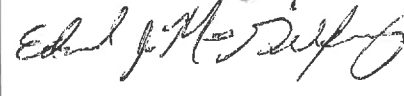
Print Name	Address	Email	Phone #	Signature
RODNEY CARTER	7367 WOODLAKE ST. WEST HILLS, CA	RCARTER7006@AOL.COM	(818)704-1351	
LG Rose	2551 Saticoy Street		315 515 1327	
BRUCE HUBER	23701 BALTAR ST	bruce2641@ATT.NET	818 888 3199	
Janet Guzman	7829 Melba Ave WEST HILLS	janetguzman6901@gmail	818 339 7634	
Esther Tezartes	23729 Justice St West Hills	esthertezartes@yahoo.com	818 205 4136	
Robert Montejano	23106 Jonathan St. west hills	robbiecrawford@ATT.net	818.338.5388	

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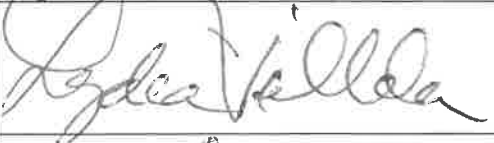




Print Name	Address	Email	Phone #	Signature
Ana Cuevas	15227 San Jose St	Camberes family @ gmail . com	818-205-4519	
Debbie Sigca Debbie Sigca	23633 Strathern Street	Debbie Social Office Systems, com	818-326-5603	
Zelda Halloran	23300 Keswick ST	Zeldapix@yahoo.com	818-702-8965	
Scott Halloran	23300 Keswick ST	ramjetranch@yahoo.com	818-702-8965	
Bernadette De Young	22840 Cohasset Street	dette74@aol.com	818 999-6247	
Edward J. Mac Gilfrey	21520 COLFA ST. #92 WOODLAND HILLS 91367	e.wasgilfrey@gmail.com	818-517-4665	

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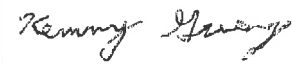
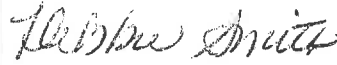

Print Name	Address	Email	Phone #	Signature
LYDIA VILLOLA	23138 BALTA WEST HILLS 91304	Lvillola@JUNACOM	702 721-2248	
* Creigh Heron	7922 Sadrins west hills CA 91304	Creigh@ CRMManagementCo.com	310 738-1135	
Soussan RAZIANI	23176 Jonathan ST W. Hills, CA 91304	Sraziani@ Yahoo.com	310.691.9806	
DOREEN LOUIS	7638 Melba Ave West Hills CA 91304	Dodilouis@AOL.com	(818) 512 5178	Doreen Louis
Sharon Banken Meeker	23700 Strathern St. West Hills CA 91304	Shanieca@AOL.COM	(818) 884-5150	
Andrew Weber	7300 G. bby boyar West Hills 91304	orangimark@gmail.com	(818) 279-3751	

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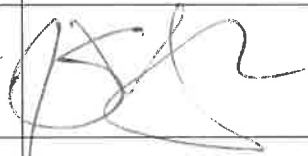


Print Name	Address	Email	Phone #	Signature
Keitha Robertson	23601 Baltar St.	Keitha/Keitha@gmail.com	818 535 2453	
HARJAN PALE	23601 BALTAR ST	RIIABOULTLANDSCAPE@GMAIL.COM	(818) 254-6547	
KERT S. GRIECO	23235 ARMINATA ST WEST HILLS CA	KERTSG317@GMAIL.COM	(818) 517-3951	
KENNY GRIECO	23235 ARMINATA ST		(747) 253-6141	
Debbie Smith	7850 Woodlake West Hills	JOHN_24950@SBCGLOBAL.NET	818 625-6472	
Andrea Suarez	7950 Woodlake Ct West Hills	one tough newkie@pacbell.net	818-481-7250	

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Print Name	Address	Email	Phone #	Signature
Thomas Hedges	22841 Envidia Way, West Hills	Hedges.thomas630@gmail.com	(818)-515-8179	Thomas Hedges
Stephen Gordon	23617 Blythe St West Hills, CA 91307	lawson@cs.com	818-321-3402	
Wendy Carroll	7866 West Hillay Dr. West Hills	wendycarr@stbcg.com	dad.net 414-772 818-477-0000	Wendy Carroll
Anita Nezar	7748 Ducor Ave West Hills, 91304		818 883-2071	
ANTHONY CONNELLY	23518 WINDOM ST WEST HILLS 91304	anthony@socialhr.com	818-599-7808	Anthony Connelly
Natasha Klihaner	22846 Covello St West Hills 91307	natasha.klihaner@gmail.com	818-472-9509	

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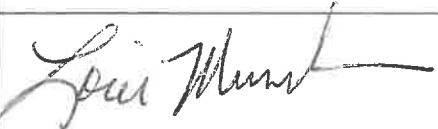




Print Name	Address	Email	Phone #	Signature
Manik Cheyne	7446 Woodlake Ave. West Hills. 91307	Manik.Cheyne@gmail.com	(818) 388-7179	Manik Cheyne
Melvin Guzman	7829 Melba Ave West Hills, CA 91304	MelvinGuzman818@gmail.com	818-426-0180	Melvin Guzman
Vick Mansourian	7618 Wisasse Drive West Hills CA 91307	Vick Mansourian@gmail.com	(818) 517-8488	Vick Mansourian
Megan Mansourian	7618 Wisasse Drive West Hills CA 91307	Megan Mansourian@gmail.com	(818) 517-5406	Megan Mansourian
Chris Mansourian	7618 Wisasse Drive West Hills CA 91307	Chris Mansourian@gmail.com	(818) 577-3535	Chris Mansourian
Michael Falkowitz	7752 Wimby Ave West Hills CA 91304	corvette74mf@aol.com	818-326-9989	Michael Falkowitz

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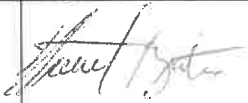



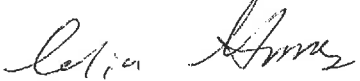

Print Name	Address	Email	Phone #	Signature
Sharon Suarez	7250 woodlake Ct. West Hills	ssuarezlaw@outlook.com	310-710-2012	
Lorei Musselman	8048 Hillary Dr West Hills	musselmanlorei@gmail.com	818-414-2087	
Joseph Nguyen	7904 Bobbyboyer Ave. West Hills	drjoeydc@aol.com	(918) 222-2272	
DENNIS LARSON	23300 INGRAM ST WEST HILLS CA	dandstar@yahoo.com	818 340-6031	
LILIDA RUST	7324 Saticoy Street West Hills CA	l-rustlinda@gmail.com	818 606-9546	
Jaime Guenilla	8034 Jason Av West Hills	Jaime92@gmail.com	(818) 235 8704	

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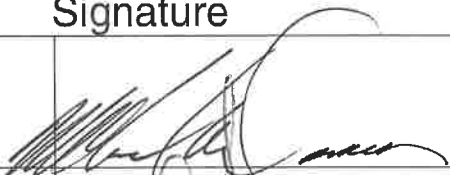
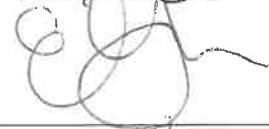




Print Name	Address	Email	Phone #	Signature
DANIEL TAZAKTES	23729 JUSTICE ST. WEST HILLS, CA 91304		818 346-5714	
MARIE ELENA STEIN	28187 VALERIO WEST HILLS CA 91307		818-634-5909	
ROSALINA GOMEZ	23932 CLARINGTON DR WEST HILLS CA 91307	ROSIE.GOMEZ @ GMAIL.COM	818-462-1206	
MARISOL GOMEZ	23932 CLARINGTON DR WEST HILLS CA 91307		818-384-1227	
Celia Gomez	23932 CLARINGTON DR. WEST HILLS CA 91307		818-384-1143	
GABRIEL GOMEZ	23932 CLARINGTON DR WEST HILLS CA 91304		818 535 9052	

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Print Name	Address	Email	Phone #	Signature
* MICHAEL DANVAR	7932 SADRANK AVE WEST HILLS, CA 91304	USCGE USE. STARTMAIL.COM	(818) 346-1069	
Edwarda Gomez	23124 WILLY ST WEST HILLS	millersignal@earthlink.net	747 888-3011	
Sohrah Avijeh	7600 ATRON AVE WEST HILLS	Avijeh@ATR.net	(818) 348-4013	
Daniel Sweet	7708 Minnow Ave West Hills CA 91304	dsweet10289@gmail.com	(818)-456-3959	
KAMRAN BEHROOZI	23143 VALERO WEST HILLS	KBEHROOZI@YAHOO.COM	(818) 648-1172	
TARANJEH BEHROOZI	23143 VALERO WEST HILLS	TBEHROOZI@YAHOO.COM	(818) 648-1172	

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Print Name	Address	Email	Phone #	Signature
KARIN BURNS	7557 Chamnade		747-293-0777	Karin Burns
ELISEO YNIGUEZ	7713 Quonby Ave. WEST HILLS, CA.	CITIZENYNIGUEZ@GMAIL.COM	661-904-8298	Eliseo Yniguez
Timothy O'Neill	7557 Chamnade Ave	timmyoneill@mac.com	626-429-5610	Timothy O'Neill
Anmarie Jones	22915 Cantara st West Hills	anmarie135@aol.com		Anmarie Jones
Julita Jones	22914 Cantara st West Hills	Julita150@aol.com		Julita Jones
Samantha Thoma	8034 Jason Ave West Hills	samth@rule12transport.com	818-087-0623	Samantha Thoma

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Print Name	Address	Email	Phone #	Signature
Ruth Gladstone	7825 Sadrington West Hills 91304	RZGLADSTONE@YAHOO.COM	818 203-9300	R. Gladstone
Masood Dirin	23611 Arminata St West Hills 91304	mdirin2001@gmail.com	978-501-4380	Dirin
Maritza Janet Gomez	7829 Malibu Ave West Hills CA 91304		818-339-7634	Janet
Gilbert Gomez	23932 Clarington Dr. West Hills 91307		818 535-4654	GG
Jaime Gomez	23932 Clarington Dr West Hills 91304		818 535-4654	JG
TOM WALSH	9924 JASON AVE WEST HILLS, CA 91304	TOM@TOMWALSHMUSIC.COM	818-888-3504	Tom Walsh

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Print Name	Address	Email	Phone #	Signature
PATRICIA TELLIER	8031 MAESTRO AVE WEST HILLS, CA	SFVLADY@AOL.COM	818-885-8581	
NICOLE TELLIER	10 JENKINS COURT OCEANSIDE, CA	KINGSHOCKEYLOVER @aol.com		
DAVID A. KAHN	23725 BALTA S WEST HILLS, CA	DKAHNJOB@GMAIL.COM	818-464-5246	
BERNARD D. FEINSTEIN	7317 Woodlake WEST HILLS CA 91307	bernardfeinstein@ yahoo.com	818 422-8520	
MABEL YOSIFI	2648 Wisconsin Dr. West Hills 91304	myosifi@aol.com	818-424-0940	
ASIT GUPTA	23161 Valerio St West Hills, CA	ASIT.GUPTA@GMAIL.COM		

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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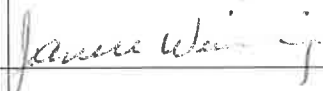
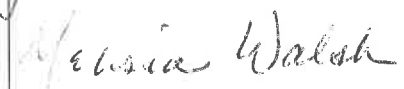
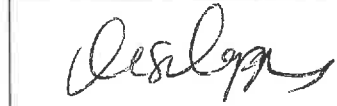


Print Name	Address	Email	Phone #	Signature
Christian S	23050 Covello	Christian.saxegh@att.net	818-274-824	Christian S
IRVIN Weller	7325 Woodvale West Hills	iweller411@gmail.com	818-929-9098	
Valerie Weller	7325 Woodvale West Hills	valerie.weller@yahoo.com	818-929-9098	Valerie Weller
Adrienne Johnston	23100 Covello St. West Hills, CA	johnston-five@sbcglobal.net	818-613-2114	Adrienne Johnston
Phyllis Shapiro	23766 Nader St West Hills	Phyllis.Shapiro@cloud.com	818-703-3435	Phyllis Shapiro
Susie	228 Woodlake St	Susie.bench@mac.com	818-448-4507	

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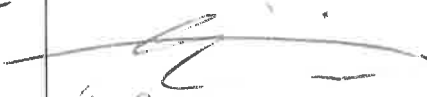

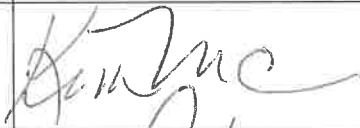

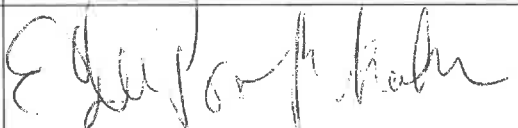
Print Name	Address	Email	Phone #	Signature
ROBERT WINNING	8009 SADRINE WEST HILLS CA	RIMWinning@Aol.com	815-429-4322	
JANICE WINNING	8009 SADRINE WEST HILLS CA	JANWINNING@AOL.COM	818-347-6072	
Melissa Walsh	7924 Jason West Hills 91304	MelissaWalsh@yahoo.com	918-426-7075	
LISA LIPPS	23009 RUNNYMEDE ST. WEST HILLS, 91307	LISAMLIPPS@AOL.COM	408-891-1872	
FIN JOHNSTON	23100 Covello St. WEST HILLS CA 91307	FINRAMA@sbcglobal.net	818-692-3099	
Chad Seitz	23810 Covello	chadseitz@aol.com		

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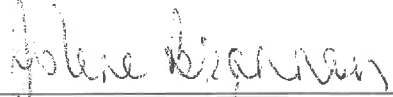




Print Name	Address	Email	Phone #	Signature
HAMED AMERI GHAEMMAGHANI	23156 EAGLE MOUNTAIN ST 91304	HAMERIGT@GMAIL.COM	626-840-5226	
ELVA FLORES	23156 EAGLE MOUNTAIN ST 91304	ELVAFLORES@YAHOO.COM	626-688-9872	
Shahzad Amir Ghazemaghani	23401 Blythe St West Hills, 91304	Sherry..yahoo.com	212.346.2529	
Kim McCRACKEN	23057 WINDOX WEST HILLS	KLM20161951@GMAIL.COM	818-298-1104	
DAVID LIPPS	23009 BUNNYMEDES WEST HILLS	DAVIDCLIPPS@GMAIL.COM	310-854-2141	
Eden Duckakou	7921 Quim West Hills	Eden Duckakou Eden Duckakou@gmail.com	818 298 2526	

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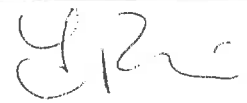



Print Name	Address	Email	Phone #	Signature
Linda Poque	8023 Maestro			
Jolene Brannon	2212.5 Baltar St CA 91304			
Elisa Kahn	23725 Baltar St West Hills 91304	LISAKAHN123@gmail.com		
Kate Cahawaring	23118 Jonathan St West Hills (CA) 91304	Kate Cahawaring@gmail.com		
Griseles Castillo	23148 Jonathan St West Hills, CA 91304	griselescastillo74@gmail.com		
Nannina Angioni	7641 Balasiano West Hills, CA 91304	NAngioni@kaediana.com	310-467-9796	

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Print Name	Address	Email	Phone #	Signature
Tyler Rice	7742 minstrel	1 Kalua @ a11.net	818 703 9047	
Tyler Rice	7742 minstrel	1kalua@a11.net	818 703 9047	Tyler Rice
Mark Behn	23319 Chase St.	Mark.behn@gmail.com	310-877-4851	
* CATHERINE HALL-FEIN	23684 BLYTHE STREET	CATHALFEIN@YAHOO.COM	(310) 890-3342	
Christina Games	23124 Lull St West Hills	train4up@a earthlink.net	747-888-3011	
Marylou Games	23124 Lull St West Hills	mmunes@a earthlink.net	747 888 30 11	Marylou Games

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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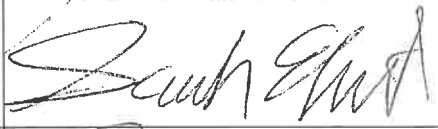


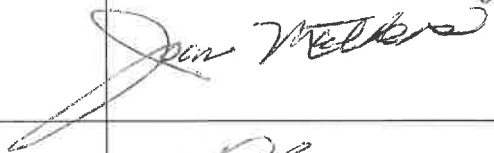

Print Name	Address	Email	Phone #	Signature
Kathy Rosaboff	7658 Melba Ave	KRose20@yahoo.com	818404-2620	
Diane Kwan	7817 Sadring	dakwan@obcglobal.net	818438-8509	
James Kwan	7817 Sadring	JKwan@RealTechLA.com	310-629-1586	
Joshua Asher	23100 Balter St. West Hills	Joshua.the.asher@gmail.com	818-457-8316	
James Kanani	7115 Woodlake Ave West Hills (CA 91367)	james.kanani@gmail.com	818 307-2893	
Richard Steinbeck	7238 Woodvale Ct West Hills	richardrs@gmail.com	626 523-8333	

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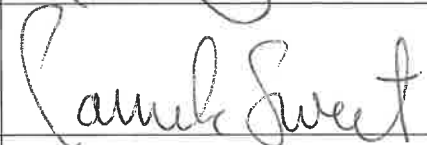


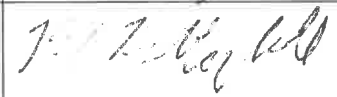
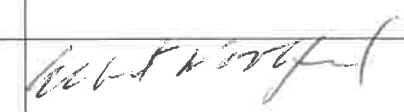
Print Name	Address	Email	Phone #	Signature
Karew Ebert	8816 Azul Cir. West Hills, CA 91314			
Sarah Ebert	8816 Azul Circle West Hills, CA 91304			
David Pina	23148 Sonathan St. West Hills, CA 91304	pin_dave@yahoo.com		
Hycy Connelly	7930 Bobbyboy AR. West Hills			
JOAN MATTHEWS	23682 GERARD WAY WEST HILLS			
T.M. Mehran	7821 Valley Flores Dorine			

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Print Name	Address	Email	Phone #	Signature
Brian Sweet	7708 Minstrel Ave	bsweet102@yahoo.com	(818) 884-4293	
* Pam Sweet	7708 minstrel Ave West Hills 91304	bsweet102@yahoo.com	(818) 324- 6681	
Barry Watnick	7639 Guimby WEST HILLS 91304	bwatnick@yahoo.com	818 883-9285	
Chris Huynh	23210 Justice St West Hills	c.huynh@me.com	818 - 430-3917	
Karl Katterfeld	7851 Woodlark 91304 West Hills	Karlhass@aol.com	818 96 2089	
Gilbert Woolford	23524 Elkwood West Hills 91304	Awoolford@aol.com	818 445-6671	

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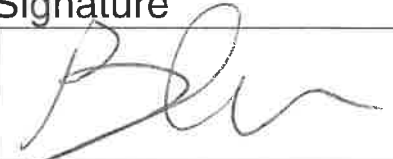

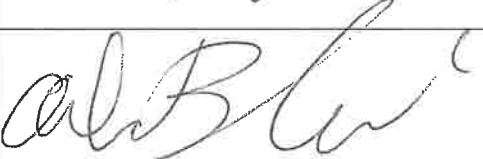

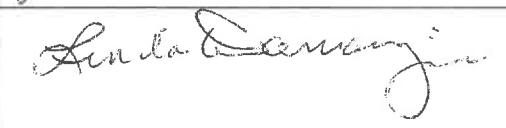
Print Name	Address	Email	Phone #	Signature
Robert Welch	7475 Minstrel Ave West Hills CA 91367	shfishirish@dsl-extreme.com	818-4486244	Robert Welch
Emilie B. Welch	7475 Minstrel Ave West Hills 91307	shfishirish@dsl-extreme.com	818-4488247	Emilie B Welch
Michelle Watnick	7639 Quimby West Hills	mlwatnick2000@yahoo.com	818-8098154	Michelle Watnick
* Thomas Milewski	7838 Woodlark West Hills 91304	tmilewski75@gmail.com	818-307-0743	Thomas Milewski
Loures Marta Cather	7913 Justin Ct West Hills 91304	ludycather@gmail.com	818-674-0962	Loures Marta Cather
Victoria Wyeth	7412 Cooper Ave West Hills	umw00@yahoo.com	818-5710310	Victoria Wyeth

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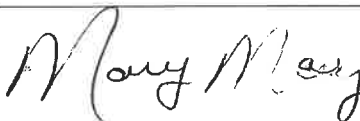

Print Name	Address	Email	Phone #	Signature
Sougand Baharloo	23366 Saticoy St West Hills CA	SougandBaharloo97@gmail.com	818-425-5895	
Sayeh Baharloo	23366 Saticoy St West Hills CA	sayehbaharloo00@gmail.com	818-431-3521	
Fatehna Rahnama	23366 Saticoy St West Hills CA	mitrarahna@gmail.com	818-205-5154	M. Fatehna
Ali Baharloo	23366 Saticoy St West Hills, CA	aliBaharloo9@gmail.com	818-921-2342	
Robin Shapiro	23906 Ingomar St West Hills, CA	robins22031@aol.com	818-884-7741	
LINDA DAMARJIAN	23610 Armita West Hills, CA	redhead11@Sbcglobal.net	818-438-4272	

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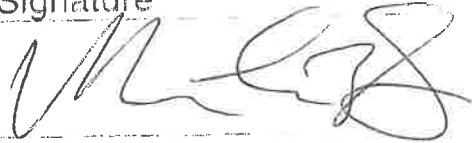



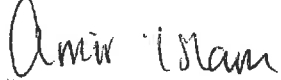


Print Name	Address	Email	Phone #	Signature
THANHDUYEN VO	23685 BALTAR ST. WEST HILLS 91304	tu-duyen@sbcglobal.net	(818) 876 2428	
TU PHAM	23685 Baltar St West Hills 91304	tu-duyen@sbcglobal.net	(818) 251 6561	
DIANA PHAM	23685 Baltar St West Hills 91304	dianapham27@yahoo.com	(818) 876 2406	
Amir Albateiha	23685 Baltar St West Hills 91304	amiraa687@yahoo.com	(818) 635 8699	
Mary May	8455 Pinalake Drive West Hills 91304	maylmary@sbcglobal.net	(818) 618-1954	
Jeffrey May	8455 Pinalake Dr. West Hills, CA 91304	mayjeff@sbcglobal.net	(559) 658-5287	

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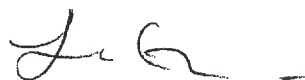
Print Name	Address	Email	Phone #	Signature
MARIA CARMEN WISZCALDERA	8458 ETON AVE CANOGA PARK CA 91304	m.carmen07@yahoo	818 269 7017	
ELVIRA CALDERA	8458 ETON AVE CANOGA PARK CA 91304	elvira Caldera@yahoo	818 918 4611	
Maria C Guzman	7829 MELBA AVE WEST HILLS CA 91344	Mariaguzman013@ GMAIL.com	818. 426. 0376	
Rafael Guzman	7829 Melba Ave West Hills CA 91304	guzmanrafael.910@ GMAIL.COM	818. 274. 9590	
Amirul Islam	7829 Melba Ave West Hills CA 91304	Anarindian @ Gmail.com	818. 297. 7091	
Alana Guzman	7829 Melba Ave West Hills CA 91304	guzman1207@ att.net	818. 326. 9995	
David Guzman	7829 Melba Ave West Hills CA 91304	Laindian 213@ GMAIL.com	818-326-8599	

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(11)

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Print Name	Address	Email	Phone #	Signature
George A. CHARNEY	8441 Samra Dr. West Hills CA 91304		818-389-4891	
Amintha Z. CHARNEY	8441 Samra Dr. West Hills CA 91304		818-624-9127	
Carlos CHARNEY	23404 WINDOM ST WEST HILLS CA 91304	Carlos.CHARNEY@ Gmail.COM	818-624-9127	
Jose L. GOMEZ	23932 Clarington Dr. WEST HILLS CA 91304		818-836-2352	
Tanya Gomez	23932 Clarington Dr. WEST HILLS CA 91304		818-554-4478	
Lucero GALLO	8034 Jason Ave WEST HILLS CA 91304	LuceroGallo99@ Yahoo.COM	818-481-4893	

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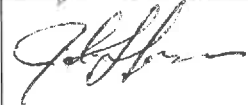
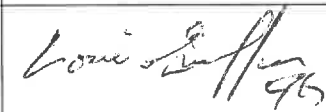
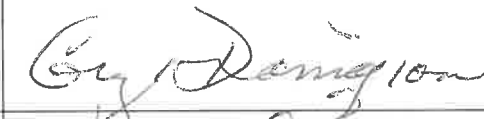

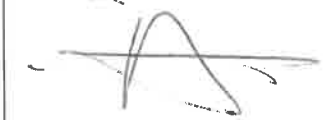
Print Name	Address	Email	Phone #	Signature
JESUS GALLO	8034 JASON AVE WEST HILLS CA 91304		818.916. 1804	
Jesus Crystal Gallo	8034 JASON AVE WEST HILLS CA 91304		818.212.2951	Crystal Gallo
Sammy Gallo	8034 JASON AVE WEST HILLS CA 91304		818.612.9916	Sammy Gallo
Deanna ZEPEDA	22835 Hartland St WEST HILLS 91307		818-464.8675	Deanna Zepeda
Polo Gomez	22835 Hartland St WEST HILLS CA 91307		818.535-6807	Polo Gomez
JESUS Gallo	6722 MELBA AVE. WEST HILLS CA 91307		818.419.7754	Jesus Gallo

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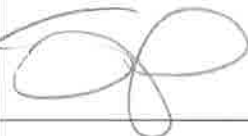




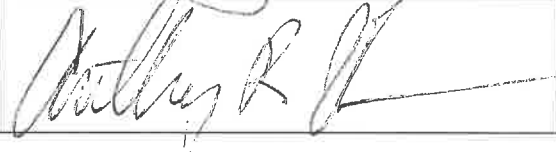
Print Name	Address	Email	Phone #	Signature
MINER KEN	23451 ARMINA ST WEST HILLS CA 91304	miner_kent17@yahoo.com	818-291-7848	
JOHN Griffin	7661 MUSTRA WEST HILLS		818 884 1823	
LOUI GRIFIN	7661 MUSTRA WEST HILLS		818 884 1823	
George Damarjian	23610 Arminia West Hills	gdamarjian@sbcbb.com	310 308 846	
Yesenia Cardenas	23685 Elkwood West Hills	yeseniacardenas1028@gmail.com	(818) 917-2117	
Jay Cardenas	23685 Elkwood ST	hardheadedhere@gmail.com	747-200-8252	

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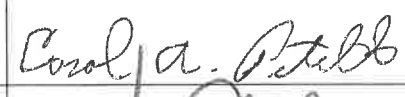



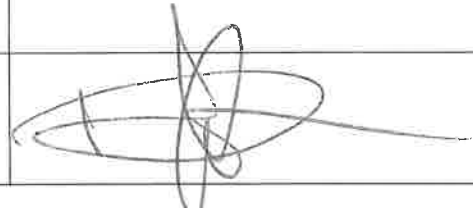
Print Name	Address	Email	Phone #	Signature
SUSAN PERRY	7820 Sadring Ave, West Hills, 91304	Sheehy.susan@gmail.com	818.259.2070	
GIDEON PERRY	7820 Sadring Ave, West Hills, 91304	theboss@fantastictheaters.com	818.681.4475	
NICOLE REBIBO	64109 Valley Circle Tehale West Hills 91301	rebibo.nicole@gmail.com	(818) 400-7149	
RACHEL POWERS	22679 Baltar West Hills, CA 91304	thepowers0425@gmail.com	818 438 1082	
TAMARA JOHNSON	7831 Sadring Ave West Hills CA 91304	favoreed.mail@gmail.com	747.900.2143	
Anthony Johnson	7831 Sadring Ave West Hills CA 91304	Tony Mercedes Johnson@yahoo.com	(765) 512-6696	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

115

I am against the proposed development of a 5-story, 324-unit "affordable housing" apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project will create:

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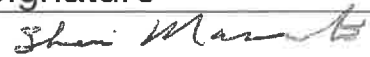





Print Name	Address	Email	Phone #	Signature
CARL PITILLO	8334 DENISE LN WEST HILLS, CA 91304	GRAYTAIL@SOCAL-RR.COM	818-521-6944	
EARL PITILLO	8334 DENISE LN WEST HILLS, CA 91304	SAME AS ABOVE	818-521-6955	
David Fox	8316 DENISE LANS, West Hills	COSS.Fox@gmail.com	818-585-9149	
Faviola Dominguez	8303 DENISE LN West Hills CA 91304	faviola.dominguez@yahoo.com	818 807 3785	
Marlon Dominguez	8303 DENISE LN West Hills CA 91304	d-marlon@yahoo.com	213 300 8020	
David Kaufman	8340 Woodlake West Hills 91304	dvdKaufman22@gmail.com	818 497-6140	

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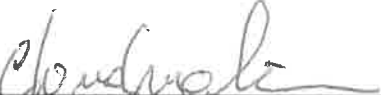
Print Name	Address	Email	Phone #	Signature
Sherril Maranta	8330 Woodlake Ave West Hills	sherrilmaranta@earthlink.net	820 307-3708	
Espinoza Rita	3951 8326 Woodlake	—	323 519-9197	
Raquelte Sofia	8340 Woodlake Ave	4Punit 4Punit@gmail.com	818 9925606	
Shyr-ching Wang	8341 Woodlake Ave	JONTAIW@GMAIL.COM	818-919-8884	
Maria Cecily Pangino	8317 Woodlake Ave	-maribratapangino@gmail.com	818-456-6700	
Kyle O'Brien	800 Woodlake Ave	Kyle@aces.la	818-216-8104	

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Print Name	Address	Email	Phone #	Signature
DIEN KHO	23677 23677 Baltar St West Hills, 91304	dienkho@yahoo.com	[REDACTED]	
GARY KHO	"	gkho@yahoo.com		
LORI Michiel	7474 Pomelo Dr. West Hills 91304	LORI M a Lori Michiel Fitness 1011		
Ralph Michiel	7474 Pomelo Dr West Hills 91304	Ralph michiel @ yahoo.com		
Suthida Chea	23935 Clarrington Dr West Hills ca 91304	suthidac@yahoo.com	818 209-7025	
Chand Nake Chea	23933 Clarrington Dr West Hills CA 91304	Clivishare@gmail.com		

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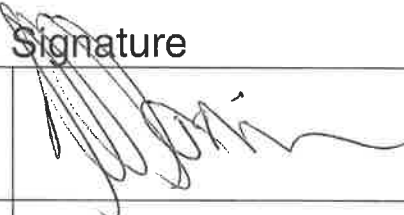





Print Name	Address	Email	Phone #	Signature
Deborah Ann Groves	24028 Clarrington Dr West Hills, Ca.	deborah.groves@yqinet.com	818-424-8934	
Kaylee Groves	24028 Clarrington Dr West Hills, CA 91304	kaylee.groves@rocketmail.com	818-216-0773	
JOEL GROVES	24028 CLARRINGTON DR WEST HILLS 91304	joelgroves@yahoo.com	818-631-7902	
Tyler Groves	24028 Clarrington Dr. West Hills 91304	tygroves43@gmail.com	818-644-9262	
Fariborz Poursaeed	24307 Calvert St. WH. CA 91367	imposterauthority@gmail.com	310-613-6136	
Kim Koerber	2326a Shafter St West Hills 91304	KKoerber@ix.netcom.com	818-346-2073	

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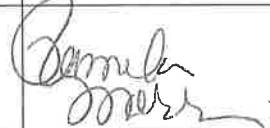



Print Name	Address	Email	Phone #	Signature
James Morrison	2430 Jason Av W.H.	EV MORRISON@DSLExtreme.com	818 999 0548	
Jonathan So	7660 Royer Ave	jonathan.so@berkeley.ed		
Alana TSPIT	23511 Arminia St	Detoxconciierge@gmail.com	818-288-6502	
BRENT OWENS	23730 W GOMARA St, West Hills, CA 91704	BRENTIS007@gmail.com	913 208 0547	
Brianna Shebby	23430 Jaymar St West Hills, CA 91304	bmshebby@gmail.com	818 521 7214	
Jacobs Kovar	23528 Arminia West Hills, CA 91304	Jacobs Kovar 8@gmail.com	818-970-5646	

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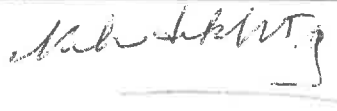



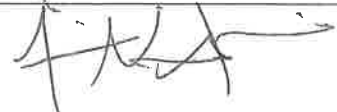
Print Name	Address	Email	Phone #	Signature
Taline Khosdikian	8100 Sedan Ave. West Hills, CA 91304	cheffack7@gmail.com	818-340-4703	
Robine Khosdikian	8100 Sedan Ave. West Hills, CA 91304	cheffack7@gmail.com	818-340-4703	
PAMELA S. MORRISON	8430 Jason Ave West Hills CA	psgmorrison@gmail.com	818 632-4821	
Ronald Singer	23661 BLUYTHE ST West Hills	spacejet@ sbcglobal.net	818 992 4443	
Cindy So	7660 Royer West Hills CA 91304	Sanso2009@yahoo.com	(818) 703-3030	
MARLENE HARTER	23511 ARIZONA	redhad21@hotmail.com	047338-9583	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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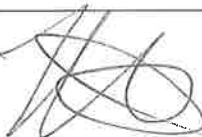

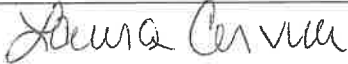


Print Name	Address	Email	Phone #	Signature
Mary Arjen	7600 Arroyo Ave West Hills	Arjen.mary@gmail.com	(818)800-0681	
Tera Monte	7530 7530 Royce Ave.	tfonseca100@gmail.com	818-307-3066	
ED WILSON	7326 McLAREN AVE	EDWIL95@AOL.COM	818-292-5472	Edward Wilson
COLEEN SIMMERS	8201 Quince Hill West Hills	coleen.simmers@gmail.com	818-970-1735	
BARONTE NORM	8800 ETON #54	n.baronte996@AOL	747202-0315	
Tina Griffin	4441 Shirley Reseda CA 91355	tgriffin444@gmail.com	818-435-7050	

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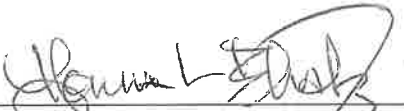
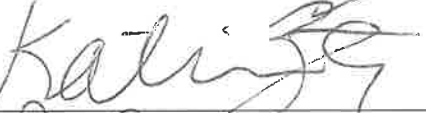

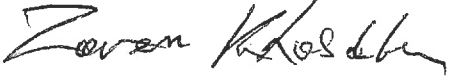
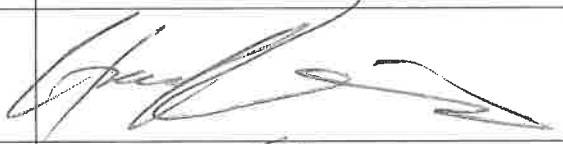

Print Name	Address	Email	Phone #	Signature
KEVORK NALBANDIAN	8100 CEDAR 8100 CEDAR AVENUE	AVENALBANDIAN 699 GARDEN AVENUE	747-256-9247	
Maya Steinberg	8211 Melba Ave West Hills CA	steinberg444@icloud.com	310 562 6292	
Maria Wilson	7326 McLaren	maria.wilson@ admexinc.com	818-414-0558	
Laura Cervini	7841 Vicky Av West Hills	calico2000-clubs@ yahoo.com	818-346-5095	
JOHN C SIMMERES	8201 Quiet Hills WEST HILLS, CA 91304	John@FRASCO.COM	818 523-1735	
HEATHER DUROSS	7629 Pomelo Drive West Hills, 91304	hldurosse@gmail.com	(818) 219-8532	

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Print Name	Address	Email	Phone #	Signature
DONNA BLATZ	7500 WOOD LAKE AVENUE	d1blatz@msn.com	389-8857 (818) 992-1926 (818)	
KATRINA BLATZ	7500 WOODLAKE AVENUE	KATRINAblatz@me.com	992-1926 (818) (619)592-5063	
Bernadette SINGER	93661 Blythe St 91304 West Hills	bernadettesinger@gmail.com	747 477 9420	
Zaven Khosdikian	8100 Sedan Ave. West Hills, CA 91304	zkhosdikian@gmail.com	818-340-4703	
Hayop Khosdikian	8100 Sedan Ave. West Hills, CA 91304	chefjack7@gmail.com	818-681-5432	
Anahid Khosdikian	8100 Sedan Ave. West Hills CA 91304	AnahidK@gmail.com	818-340-4703	

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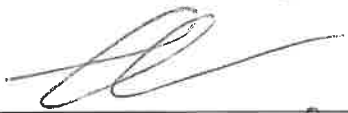




Print Name	Address	Email	Phone #	Signature
Elaine Severa	23001 Baltard St	EKROGERRN@aol.com	818-348-8387	
Victor Raysh	23364 Reservoir # 91304	vraysh@gmail.com	(818)653-2514	
Ralph Shoukry	7501 MePbe Ave West Hills CA 91304	rs.shoukry@yahoo.com	818-346-5399	
Nasha Avijeh	7600 Atwood Ave West Hills CA 91304	NAVIFEH @UCI.EDU	818-324-8984	
Erin Heath	8412 Nalacie Ln. West Hills CA 91304	erasullivan66@gmail.com	818 232-1393	
Joe Heath	" "	j.heath@hyasinc.com	818 723-9151	

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Print Name	Address	Email	Phone #	Signature
Jeanette Hoff	23108 Lull West Hills 91304	jeanettehoff@aol.com	818 309 8035	
Kameron Carlis	23644 Justice St West Hills CA 91304	KAMERONCARLIS@SBCGLOBAL.NET	818-802-5393	
MARK WIDAWER	23317 BLYTHE STREET WEST HILLS CA 91304	MW@WESTHILLSWEB.COM	818 9 6135044	
Dee-Dee Lawrence	8490 Cedar Lane West Hills CALIF 91304	Trophymau at Trophymau.com	(818) 344591	
Natalya Raysh	23364 Kesswick St West Hills 91304	nraysh@gmail	(818) 653-2037	
Robin Rueker	23255 Arminata St, West Hills CA, 91304	robin27095@aol.com	818-517-3479	

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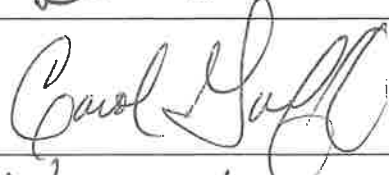


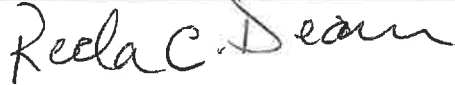
Print Name	Address	Email	Phone #	Signature
Alex Citron	23311 Blythe St West Hills	Biker357@gmail.com	(818) 42-7029	Alex Citron
Steve Dean	23708 A Avenue West Hills	svpaamern@att.net	818-294-6900	Steve Dean
Jordan Nevo	23116 Lull St. West Hills	jordan.nevo@gmail.com	818-341-8882	Jordan Nevo
Cynthia Nevo	23116 Lull St. West Hills	cmakabi@yahoo.com	818-434-2682	Cynthia Nevo
Laura Carlis	23644 Justust West Hills	lauraeangel@sbglobal.net	818)903-4356	Laura Carlis
Mark Lawrence	8490 CARLA LN WEST HILLS, CA	TROPHYMAN@TROPHYMAN.COM	818 522 2148	Mark Lawrence

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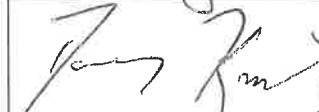


Print Name	Address	Email	Phone #	Signature
Shelby Mata	23469 Justice St. West Hills, 91304	shelbymanning93@yahoo.com	(818) 836-0254	
Luis Mata	23469 Justice St. West Hills, 91304	ljolmata@gmail.com	(818) 602-9210	
Carol Garfield	7766 Graystone Dr West Hills 91304	KALOLALA@aol.com	818 7497650	
HARRY GARFIELD	7766 GRAYSTONE DR West Hills 91304	HARRYGARFIELDMUSIC@GMAIL.COM	818-7497650	
Zhen Lin	23706 Blythe St. West Hills 91304	ZhenLin2002@gmail.com	818-599-1082	
REELA DEAN	23708 Arminia St West Hills CA 91304	ReelaDean@att.net	818-516-5047	

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Print Name	Address	Email	Phone #	Signature
DANIEL STEINBERG	8211 MELBA AVE WEST HILLS, CA 91304	gldmt1@sbcglobal.net	(310) 383-2666	
Jude Laine	8200 Fallbrook West Hills 91304	jylaine1313@ gmail.com	(818) 384-0757	
IKKA Laine	8200 Fallbrook West Hills 91304	OSKu4713@gmail. com	(818) 422-3279	
David, Keating	22752 Riviera			
MIKE BLATZ	1500 WOODLAKE AVE	TBLATZ@MEN.COM	818-992-1926	
Mila Padilla	7630 Ryun Ave - West Hills	laypadilla@gmail.com	818-476-2748	

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Print Name	Address	Email	Phone #	Signature
Marietta Probst	23061 Arminia St. West Hills 91304	millesage@yahoo.com	312 286 2570	
Dennis Rice	7742 Minstrel Ave West Hills CA 91304	1Kalua@Aht.net	402-7626 (818)	
Lynette Rice	7742 Minstrel West Hills 91304	1Kalua@Aht.net	818 321-5716	
Dan Hendrix	23122 Bunny mede St.	DanRHendrix.21@gmail.com	818-309-8081	
Kelly Pacheco	23505 Spire St. West Hills CA 91304	rogkellyp@sbcglobal.net	818-523-2415	
ARIEL PADIL	CA 7630 Royer Ave West Hills CA 91304	ar_pod@yahoo.com	818 334 9725	

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Print Name	Address	Email	Phone #	Signature
ROBERT VAITER	23032 Cull ST WEST HILLS CA 91304	Robertvaite@gmail.com 1007	(818) 667-5238	Robert Vaite
PATRICK McGURK	2362 STAG ST	MUGGZMC6@gmail.com 1007	818 625 5561	Patrick McGurk
Michelle DILLON	3600 S Harbor Oldland Cn 93035			Michelle Dillon
DAVID Brooks	Po Box 21 Esoga Park	devinecreations@yahoo.com	818/519-7333	David Brooks Sr.
Brenda Citrom	23309 Blythe St. West Hills	Brendacitrom@gmail.com	(818) 642-7029	Brenda Citrom
Eli Citrom	23309 Blythe St West Hills	Eli@Citrom.com	(818) 642-7029	Eli Citrom

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Print Name	Address	Email	Phone #	Signature
MIREILLE DE ANFRASIO	23616 Baltar St West Hills CA 91304	MIMIDEW@AOL.COM	818-429-0004	Mireille de Anfrasio
JOSEPH DROMI	23660 Blythe St. WEST HILLS CA 91304		(818) 515-3123	Joseph Dromi
MARY DROMI	23660 Blythe St WEST HILLS, 91304	MADJLD3731@ yahoo.com	818-515-3123	Mary Dromi
LAURIE MARKOWITZ	23716 Arminda WEST HILLS CA 91304	llmarkowitz29@gmail.com	818-703-7990	Laurie Markowitz
Annette Hutson	7948 Maynard West Hills, ca 91304	ambutson4@gmail	818-884-9740	A. Hutson
Emily Ryan	23631 Community st West Hills	patem192001@ Yahoo.com	818 645-6223	Emily Ryan

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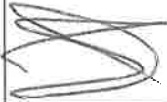




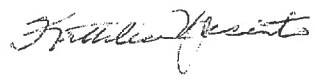
Print Name	Address	Email	Phone #	Signature
Edward Gershenzon	23650 Lanark St. West Hills, CA 91364	siincoacw@ipodjmail.com	818-601-7008	
Bella Gerstunzen	23650 Lanark St. West Hills, CA 91364	siincoacw@ipodjmail.com	818-523-8957	
Pamela Steinberg	8211 Melba Ave West Hills Ca 91304	happy faces daycare 1234 @gmail.com	(310) 383-2867	
WON CHANG	24000 WINDMILL ST WEST HILLS 91304	wonchan@s2@ymail.com	818 438 9531	
VENGA S. CHANA	24000 WINDMILL ST WEST HILLS 91304	JAYOUNGLET@GMAIL.COM	818 257 2228	
JEFF Ellman	7658 Ducor ave W.H. 91364	JEFFellman2112@gmail.com	(818) 717-8011	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

133

I am against the proposed development of a 5-story, 324-unit “affordable housing” apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project will create:

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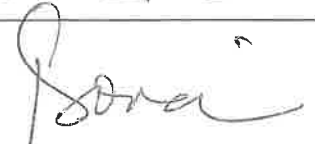



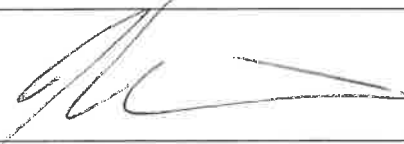
Print Name	Address	Email	Phone #	Signature
Shobert Varter	23032 Lull St West hills CA 91304	span T247365@ Gmail.com	818-577- 9996	
Maha Hamam	23032 LUST St. West Hills 91304	maha.hamam@icloud. com	(818)614-1477	
Tina alabdabai	23077 Acornia St West Hills 91304	etinat@yahoo	818 515 8504	
HOSSEIN BAHREINI	23043 Rynoma St, West hills CA. 91307	h576@yahoo.com	(818)493-0510	
CAROL MCGINNIS	23656 STAGG ST. WEST HILLS, CA 91304	MCGCAROL@GMAIL.COM	818 347-7262	
Kathy (Kathleen) Jacinto	7810 Sadring Ave. West Hills, CA 91304	mimseroni@aol.com	(808) 883-4331	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Aldona Piaskowski	75913 MARCH AVE.	aldona1@sbcglobal.net	818 321 6584	
MARISSA SORIANO	7545 Quimby AVE West hills	MARISSA MONDERO a & mal . com	818-731-7815	
MELCHOR MONDERO	7545 QUIMBY AVE WEST HILLS	mondero melchor@gmail.com	910 224 5023	
MARLENE FLEMING	7443 ROYAL R WEST HILLS	marlene17@gmail.com	818 347-2602	
Nazbeygom Adi	23043 Runnymede St. West Hills	nazbeygom@gmail.com	(818) 493-0712	
Juvenio Lombrano	23057 Ingomar St. Canoga Park	JRL-001@yahoo.com	(818) 703-2957	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
ROBIN RATH	76385 STAGE WEST HILLS 91304	FITZWILLI@901.com	818-348-2145	R.R. Rath
FRANK RATH	73085 STAGE WEST HILLS 91304	FRANKRATH@SRDSOPAS.COM	818-216-8801	F.R. Rath
Erin Jundt	23037 Erin Pl West Hills 91301	erinjundt@gmail.com	818 489 5041	E. Jundt
Elaine L. Medina	8356 Marla Ave CA 91304	ELMedina007@aol.com	818 398 2553	E. Medina
MARY S. SARI AN	7545 OLYMPIA MOUNTAIN VIEW CA 91307	cnilesbari.com@gmail.com	818 325 6065	M. Sari An
BRIGITTE OLPINNEN	7545 OLYMPIA MOUNTAIN VIEW	Reilpari.com@yahoo.com	818 27-8014	B. Olinnen

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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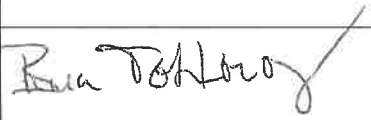
Print Name	Address	Email	Phone #	Signature
P. D. Reeb	8444 JASON AVE WEST HILLS	doneightp@gmail.com	818 348 1391	P. D. Reeb
James Reyes	20100 Avenue San Luis Woodland Hills	jsr9215@yahoo.com	661 470 1994	James Reyes
Philip Cusack	7914 Jason Avenue West Hills 91304	philip.cusack@gmail.com	818 615 3292	PC
Joy Golden	29014 Jayman Way West Hills CA 91304	Joy@JoyGolden.com	818 635 0471	
DIANTE CAPOZZOLA	7209 LINLEY WEST HILLS CA	DCAPOZZOLA@gmail.com	415 907 810	Dante
MELANIE CAPOZZOLA	7209 LINLEY LN WEST HILLS 91304	MELANIE@GMAIL.COM	818 416 0539	Melanie Capozzola

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
UMA KARUPPIATHI	8221 MELBATH E1 WEST HILLS 91304	Uma.karuppiath @Yahoo.com	818 264 5273	
HOWARD BAUER	23633 NADIE St West Hills Ca	HOWARDCBAUER @ Yahoo.com	323.691.9697	
Rachel Garcia	20470 PUYERAS CLAYTON 91311	Rachel.g7@gmail.com	818-515-0774	
Lee SLOBODKIN	24014 INGLEWOOD MOON 9106	lee.slobodkin@gmail.com	818 355-5785	
Mehdi Mondaj Z.M.	7755 DUCOR Ave 91304	mehdi332@gmail.com	818-470-6653	
BEA TOLSTONOG	8364 DENISE LN WEST HILLS 91304	beabea325@SBCglobal.net	818-298-0907	

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Print Name	Address	Email	Phone #	Signature
Stephen Jones	23252 Strathern St West Hills, CA 91304	desertpastor@gmail.com	760-987-7307	
Rita Beyler	7446 Greenstone Dr West Hills, CA 91307	albrigo.m@gmail.com	818-439-7925	
Mary Albrigo	8121 Lena Ave West Hills, CA 91304	McShane@sths.com	818-201-4440	
Steve Backus	23059 Colfax St West Hills, CA 91304	ANTBACUS@gmail.com	323-691-3813	
Jan Damer	23433 Nadir St West Hills, CA 91304		818-317-3469	
Terri Harris	8151 Sedan Ave West Hills			

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Rosemarie Albriago	22712 Enadia Way West Hills CA 91307	ralbriago@gmail.com	818-462-1378	Rosemarie Albriago
Kristine Jewett	8140 Melba Ave West Hills, 91307	Kristinejewett@gmail.com	360 953 1771	Kristine Jewett
* BARBARA HALPERN	7507 MELBA AVE WEST HILLS 91304	Barbaraq.21@SBCglobal.net	818-590-5405	Barbara Halpern
* JACK HALPERN	7507 MELBA AVE WEST HILLS 91304	JACKHALPERN@SBCGLOBAL.NET	818-438-2276	Jack Halpern
ASHISH TRIVEDI	8355 SEDAN AVE 91304	ASHISH91304@gmail.com	(818) 474-2275	Ashish Trivedi
SIMA SHARMA	8355 SEDAN AVE West Hills, 91304	DORNB15@gmail.com	(937) 303-1075	Sima Sharma

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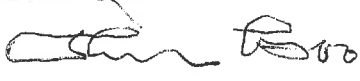



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Print Name	Address	Email	Phone #	Signature
RASHID VARAHRAM	7646 GUMBY Ave.		818-888-0846	
Afza Avijeh	7600 Arvon Ave	afza.avijeh@gmail.com	818-384-6881	
Catherine Chesnoff	8121 Lena Ave.	catherine.chesnoff@gmail.com	818-201-7104	
Janet Hu	22738 Inyarn	JanetHu@Paebell.net	818-518-7022	
STEVE MORSE	7700 ROYER AVE. WEST HILLS	seabeestephen@yahoo.com	818-451-5209	
EVANGELINE MORSE	7700 ROYER AVE, W H	vangie55@sbxglobal.net	818-888-1711	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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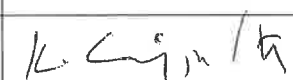


Print Name	Address	Email	Phone #	Signature
Yea-Wen Tsao	7500 Atherton Ln West Hills	Lee.Yea.wen@gmail.com	(818) 554-7006	
Jade Tsao	7500 Atherton Ln	Jadie.tsao@gmail.com	(818) 297-7464	
John Tsao	7500 Atherton Lane.	Tsao.Tse.Tsong@gmail.com	(818) 294-2747	
Ray Tsao	7500 Atherton Lane	rtsao1@gmail.com	(818) 297-7465	
VLADIMIR BLATIN	23651 STAGG ST. West Hills	vblatin@hotmail.com	(818) 578-4554	
Berardo Rodriguez	7644 Ducorav. West Hills, CA	Berardo.rodriguez@yuhoo.com	(818) 251-1194	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Henry Wessner	7580 Marble	lwade55@earthlink.net	818 345-9041	
Cathy Gunter	23073 Stagg St W.H. 91307	RGunter105@email.com	818 3478931	
Barbara Kaye	23679 Stagg St	Kayeland@aol.com	818 8251811	
LAKSHMI KARUPPIAH	8221 MELBA AVE WEST HILLS	KARUPPIAH LAKSHMI @yahoo.com	818-428-9573	
VICKETZ RAVEIHEP	23686 STAGG ST. WEST HILLS CA	VR312@HOTMAIL.COM	818-264-6231	
Fegma STOLAR	23651 STAGG ST WEST HILLS CA	STOLAR@aol.com	818/269-6959	

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Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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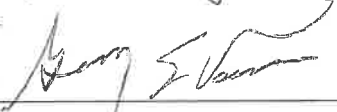


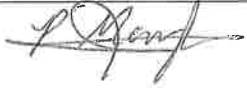
Print Name	Address	Email	Phone #	Signature
Julie Russell	23820 Hamlin St.	Justjules207@yahoo.com		J Russell
Aura Orellana	7617 Pomelo Dr West Hills.			Aura Orellana
SILVESTRE ORELLANA	7617 POMELO DR WEST HILLS	FIRSTSLY@AOL.COM		S
Walfred Orellana	7617 Pomelo Dr. West Hills			Walfred Orellana
David Glosinski	WINDOM ST WEST HILLS			D Glosinski
Melissa Rodriguez	7644 DULORANE WEST HILLS CA 91304	melissavallin@hotmail.com		Melissa Rodriguez

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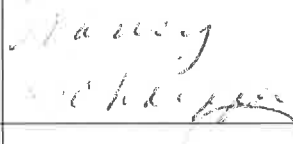



Print Name	Address	Email	Phone #	Signature
Thomas Horton	7645 Roper Ave	thorton466@gmail.com	818-648-2841	
Austin Greenberg	2320 Nahr St			
GARY E. VANCE	7631 MAESTRO	GEVANCE@SBCGLOBAL.NET	818-887-1386	
KYLE RUSSELL	23820 HAMLIN ST	KYLERUSSELL92@GMAIL.COM		
• TESS LETTA	WINDOM ST WEST HILLS	rebelwitchery@gmail.com		
PARYN MARTIN	7646 QUIMBY AVE.			

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Print Name	Address	Email	Phone #	Signature
Chiehlian Liu	7570 March Ave West Hills CA 91304		(818) 716-1249	
Steve Feldman	7808 Washall West Hills		818-347-5851	
Marcy Schaefer	8511 Lemis West Hills		818- 657-6958	
LESLI BIRKHEAD	21371 WINDY TRAIL CLAYTON	LBIRK@HOTMAIL.COM	818-620-6807	
LOIS TANENBAUM	7621 LINDEN LA WEST HILLS		818- 827-7927	
DEBRA A WILSON	7530 Washall West Hills	WILSON@COMCAST.NET	818- 346-8011	

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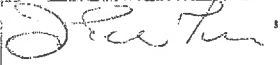
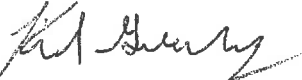

Print Name	Address	Email	Phone #	Signature
EMILY STEWART	Woodlake Ave West Hills 7713		818 236-3707	Emily Stewart
ELLEN FALKOWITZ	7732 Woodlake Ave West Hills	SLUTTER@FALCOWITZ.COM	818 439-5515	Ellen Falkowitz
KATHRYN STEWART	7727 Woodlake Dr	kathryn.stewart@att.net	818-747-7103	Kathryn Stewart
CHARLES FEISTMAN	7441 RIBBY BURN Ave	CFEISTMAN@AOL.COM	714-309-3785	Charles Feistman
WILLIAM FEISTMAN	4155 WOODLAKE AVE		818 715 0070	William Feistman
JOAN GLOREN	23722 Saticoy St.	JOANGLOREN@aol.com	818-436-2660	Joan Gloren

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Print Name	Address	Email	Phone #	Signature
R. Fessell	24017 CLAXINGTON DR WEST HILLS CA	R.FESSELL@FMS3.COM	818 625 4378	
SHU-REN, LUO	91304 7570 MARCH AVE WEST HILLS CA	NONCE	(818) 716-1299	
Edna R Horton	7645 Royer Ave. West Hills	edna4810@gmail.com	(818) 648 2842	Edna R. Horton
NICK GREENBERG	23620 NAIDIR ST WEST HILLS	K6YRAH60@YAHOO.COM	818/425-1868	
Angela Vance	1631 Maestro Ave West Hills Ca	GEVance@SBC Global.Net	818 887 1356 C-3719607	Angela Vance
Lana Sera	7917 maestro Ave. West Hills 91304	zmoymy1@gmail.com	(818) 716-5144	

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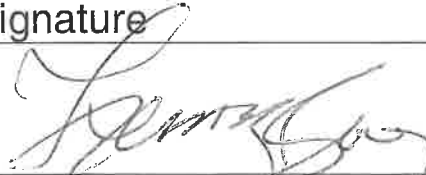





Print Name	Address	Email	Phone #	Signature
Chun Yia S. Cheung	23327 Saticoy St West Hills 91304	eyscheung12@gmail.com	818-486-2809	Chun Yia S. Cheung
Charlene Feldman	7808 Woodhall Ave West Hills, 91304	CFneedles@aol.com	818)347-5859	Charlene Feldman
MARY ANN Lapointe	23671 Blythe St West Hills CA 91304	jomalapointe@sbcglobal.net	818-436-6469	Mary Ann Lapointe
John Lapointe	23671 Blythe St. West Hills CA 91304	jomalapointe@sbcglobal.net	818-436-6469	John Lapointe
John Martensson	7936 Menken West Hills CA 91304	smartensson@comcast.net	818-700-0130	John Martensson
Wendy Gill	231 Melba Ave. West Hills, CA 91304	shoesforwendy@gmail.com	818-271-7709	Wendy Gill

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Print Name	Address	Email	Phone #	Signature
Lenny Beoy	7600 Maestro et		✓	
Sandra Tubaccini	7752 Maestro et West Hills			
FABIO DANIVA	7668 MAESTRO WEST HILLS, CA			
Jonny Hughes Charissy Hughes	7761 MAESTRO AVE			
Chrissy Hughes	7701 maestro			
Tristan Verstraeten	7711 Maestro ave	Tristan.triston.2000@ yahoo.com	323 654-4285	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

150

I am against the proposed development of a 5-story, 324-unit “affordable housing” apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project could create:

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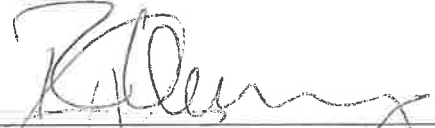

Print Name	Address	Email	Phone #	Signature
RICHARD Russell	23520 SUSTLER ST	RICHARD11@ GMAIL.COM	(818) 378-8450	R. Russell
Glenn Grossman	23633 BLYTHE ST	Thegrossman@ aol.com	(818) 321 2389	Glenn Grossman
LAINIE GAITHER	23407 WATSON ST	lainiegaithe@ gmail.com	30-804-9355	Lainie Gaither
AL PRAZZOLA	23624 Blythe ⁵	Santabrosjewelry@ Hotmail.com	818-298-8170	Al Prazzola
Sophie Adrons	23624 Blythe st West Hills	preciousandrarepieces@ hotmail.com	323 369 3329	Sophie Adrons
Pejman Kahirinia	23640 Arminde st west hills	Pejman.Kahirinia@ yahoo.com	310-766-1143	Pejman Kahirinia

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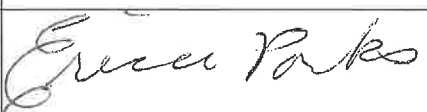



Print Name	Address	Email	Phone #	Signature
Jessica G. Gogus	23501 Balmoral Ln. West Hills, CA 91307	jgssmile@yahoo.com		
Rafi Gogus	23501 Balmoral West Hills CA 91307	jgssmile@yahoo.com		
Olivia Habibi	24561 Stonegate Dr West Hills, CA 91304			
Valene Mamane	6571 Randij Ave Woodland Hills 91303			
Rebecca Olan	23634 Draco Way WH 91307			
Laurie Allyn	22427 Cairnloch St Calabasas CA 91302	bikini.gun@gmail.com		

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

152

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- reduce property values

Print Name	Address	Email	Phone #	Signature
KAREN NAVASARDYAN	8145 Sedan Ave	karen.navasardyan@ gmail.com	(218) 641-9113	
Debbie Daniel	8132 Sedan Ave		818 522 0875	
Darren Erica Parks	8132 Sedan Ave		818 884 4948	
Sean Erin Parks	23069 Baltari		818 884 4948	
WINTON	170 Park		818 215 3351	
Hilary Kokenda	23030 Burton	hilary.kokenda@ sbccglobal.net	310-266-7998	

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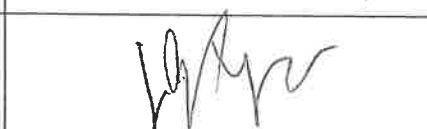
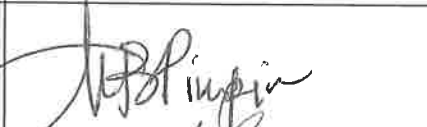


Print Name	Address	Email	Phone #	Signature
Birgitta Alm-Rubimowitz	23764 Del Cerro Cir 91304	birruban@gmail.com	818-314-0578	B. Alm-Rubimowitz
Faye Gonobi	24224 Archwood West Hills	fayegonobi@gmail.com	(818) 357-3344	F. Gonobi
Krishna Saha	7019 Maynard	angelsproduct@com	864-650-3457	K. Saha
Lynn Friedman	7624 Bala Siano w. Hills Ave	lynnfriedman@group.net	(818) 451-9781	Lynn Friedman
Samah Edalat	23008 Blythe St. West Hills, CA 91301	samahgholami@yahoo.com	(818) 606-2023	Samah Edalat
Arian Edalat	23008 Blythe St. West Hills, CA 91304	arianedalat@gmail.com	(818) 300-3383	Arian Edalat

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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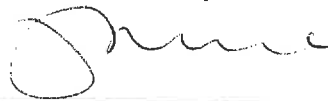



Print Name	Address	Email	Phone #	Signature
Pasha Entiqatkar	23024 Saticoy St., West Hills	aashapa@yahoo.com	818-497-7742	
Shirin Afshar	23024 Saticoy St., West Hills, CA 91304	afsharshirin@ aol.com	818-497-1540	
TONY PINPIN.	23543 ARMINTA ST. WEST HILLS, CA 91304	TMC PIN2@YAHOO. COM	(818)-456-6160	
MILLIE PINPIN	23543 ARMINTA ST. WEST HILLS, CA 91304	TMC PIN2@YAHOO. COM	(818)456-6162	
Laura V.	24425 wood/sex Canyon Rd #86	avieola.laura@hotmail.com	323-547-9049	
CHRIS CLEMENTZ	3805 LINDA CLARKING, CA 91305	CHRISTOPHERC3951 @yahoo.com	310-579- 4137	

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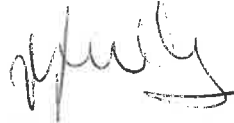


Print Name	Address	Email	Phone #	Signature
MEHRI SAROUKHANI	23008 Blythest West Hills, CA 91304	Samahgholami@yahoo.com	(818) 961-3078	
SAMA FAZL Gholam:	24068 Eagle mountain st. West Hills, CA 91304	sama.fazl@gmail.com	(818) 355-5953	
Jacqueline Devine	8843 Hazel Cir West Hills Ca. 91304	Jackie m. Devine @ gmail.com	323) 356-5037	
Holly Wofford	1415 mesa rd West Hills, CA 91304	hw@ventura2000.com hwventura2000@gmail.com	818. 720. 2800	
Kezia Mirzadeh.	21925 Lorckelius St West Hills CA 91304	Kezia.mirzadeh@yahoo.com	818 - 857-6296	
Lori Sarkissian	22115 Ingomar st. Conejo Park	Lorckelius St	818 - 720 - 2100	

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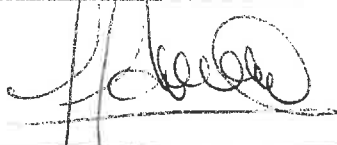
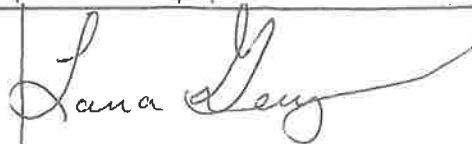



Print Name	Address	Email	Phone #	Signature
Erin Gunter	8411 Starkland Ave West Hills CA 91304	eringunter34@gmail.com	(818) 903-3283	
Kerry Harr	23947 Strathern West Hills 91304	kerry.harr38@gmail.com	818-929-7175	
Cory Gunter	8411 Starkland Ave West Hills CA 91304	csg1024@gmail.com	(818) 903-9799	
Jennifer Marks	7270 Easthaven Ln, 91307	jenni_jmarks@gmail.com	818-212-1032	
PAM YAMAGUCHI	7143 HEMSDALE RD WEST HILLS 91307	PKURIMOTO@GMAIL	510 418-8173	
KEITH YAMAGUCHI	7143 HEMSDALE	WOKITUP292@Yahoo	510	

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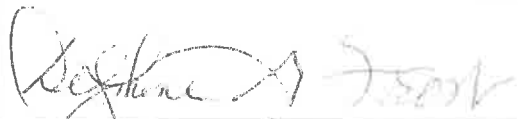
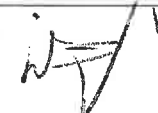


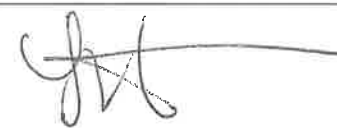

Print Name	Address	Email	Phone #	Signature
Chloe Echegoyen	2177 Michalee St Canoga Park CA 91304	chloe.echegoyen@gmail.com	818 414 7699	
Fernanda Fandino	7270 Easthaven Ln. 91307	fernanda.fandino@hotmail.com	818.535.7548	
Laura Levy	8017 Valley Flors 91304	loy/lawyer@yahoo.com	818-321-2484	
Gustavo Marks	7270 Easthaven Ln 91307	runnorm@u2w.com runnorm.blackberry.com	818.914.5681	
Jonathan Greenfield	7431 Liz CRT West Hills 91304	jjgreenfield007@gmail.com	818-458-3165	
Fernando	7270 Easthaven	fernando.carrizo		

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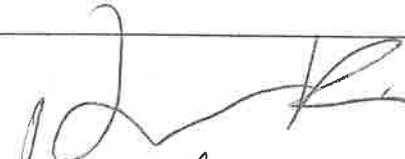
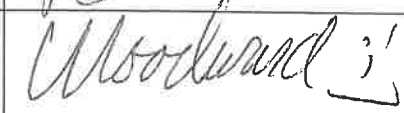

Print Name	Address	Email	Phone #	Signature
DELPHINE FROST	93310 INCOME	DELPHINEFROST@ YAHOO.COM	818 425-2292	
Sana Z Sdari	23622 Baltar St	sana21111@yaho.com	(310) 404-8115	
Mohammad Razipour	23622 Baltar St	mr.razipour@ yahoo.com	(310) 729-3657	
Shawn Breedlove	23650 STRATHEARN ST	Darksided728 CA@yaho.com	818 727-8312	
HARLOT WELLS	23651 Blythe west	Hills of (Pindly)	818-348 6784	
Alexus Hoffman	6835 Vadel var	alexushoffman123@ gmail.com	818 203 1233	

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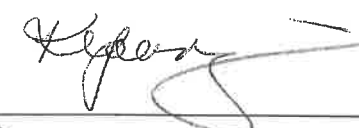
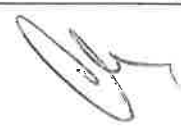



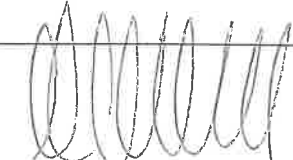
Print Name	Address	Email	Phone #	Signature
MATTHEW KIC	7642 MANNA 91304	matthekate@gmail.com		
EDWARD GLICK	23530 LULL 91304	EDWARD_GLICK@ YAHOO.COM		
MARLENE GLICK	23530 LULL ST 91304	MISS FAT FREE @YAHOO.COM		
Demetra Vouyouvaki	7625 POMELO DRIVE	Dee1303@hotmail.com	530-949-5559	
William Woodward	7638 POMELO DRIVE	WWW@AFL.COM		
RICHARD CLARK	7639 POMELO DR	RCLARK137@ME.COM	818-207-5304	

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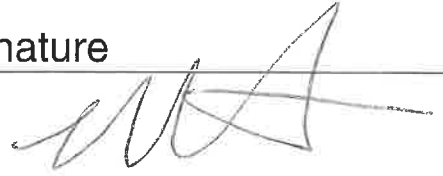
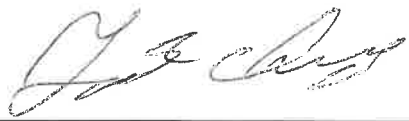




Print Name	Address	Email	Phone #	Signature
Kimberly Young	7613 PINELO DR WEST HILLS CA	kyoung6847@aol.com	818 536-2890	
Cheryl Moser	7609 Pine Lo Dr West Hills	Cherylmoser@Yahoo.com	818 621-5759	
Fran Wilson	2612 March Ave West Hills		918-340-4980	
Melissa Katz	Melissa Katz	mekatz4297@gmail.com	818 425-3170	
Arthur Mehvinger	7650 March Ave	1312 Mehvinger@SBCglobal.net	—	
NG	7511 SEDFWICK	msperisa@aol.com		

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Print Name	Address	Email	Phone #	Signature
Marina Haentjen	7711 Maestro Ave. West Hills	menchieswesthills@gmail.com	805-441-4646	
Tai Chung	23421 Maestro Pl	taichung@yahoo.com	818-974-0066	
Yanni Vouyoukias	7625 Pomeo Dr.	vouyoukias@gmail.com	310 927-1596	
GABRIEL MOSES	7609 Pomeo Dr.	gabrielmoses@hotmail.com	818 429-1927	
	7612 Pomeo		818-883-7413	
Nancy Reeve	7622 Pomeo		818-483-7413	NANCY Reeve

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Print Name	Address	Email	Phone #	Signature
John Forrester	2616 Atroix	JFCIS10@gmail.com	747-318-9911	
Amirsasan Kohandani	7647 Quimby Ave	amirsasan.kohandani@gmail.com	310-735-3449	
NAOYE YAMADA	22109 Ingomar St.	—	818 348-3408	Naoye Yamada
Dawn Slowi	22751 Stegg St	dawnslowi56@gmail.com	818-347-3448	
Ron & Ning DeGuzman	23148 Ingomar West Hills.	—	818 521 1094	R. Ali Bryman
Helen Sullivan	21236 Escorial Dr	—	310-291-3171	







- 818 461 1122

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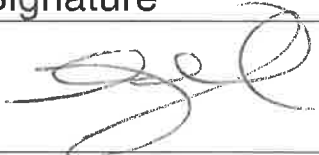



Print Name	Address	Email	Phone #	Signature
Richard Devine	8843 Azul Circle West Hills, CA 91304	richard.devine@gmail.com	310-593-3597	
Rachel Garcia	23280 Keswick West Hills, CA 91304	Rachiel51983@gmail.com	818-517-7227	
Shannon Sican	7828 Shoup West Hills 91304	shannonbsloane@gmail.com	818-631-4785	
Elysa Greenfield	7431 L; 2nd West Hills CA 91304	455greenfield@yahoo.com	818-645-7938	
Jennifer Gaskill	23643 Del Cerro Cir West Hills, CA 91304	Jenballplyr@msn.com	818-689-4297	
Cameron Gaskill	"	camgaskill24@gmail.com	818-631-3677	

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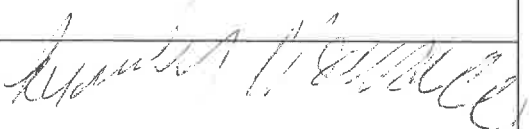
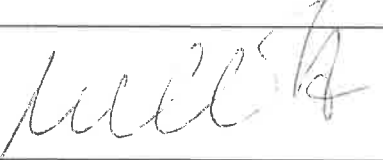


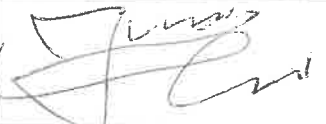
Print Name	Address	Email	Phone #	Signature
Giulia van Keeghden	22254 Cohasset St	gnrhouse@gmail	(818) 312 6800	
Robert van Keeghden	22254 Cohasset St	gnrhouse@gmail	818 312 6800	
Elham Saweres	8359 Sale Ave. West Hills	elham.saweres31@yahoo.com	818-307-6478	
Sam Saweres	8359 Sale Ave. West Hills	Samusaweres@yahoo.com	818-307-6894	Sam Saweres
Angie Saweres	8359 Sale Ave. West Hills	Angie.saweres@yahoo.com	818-649-8362	Angie Saweres
Ejen Attalla	8478 Carla Ln. West Hills	 eplanattalla@gmail.com	818-5775412	

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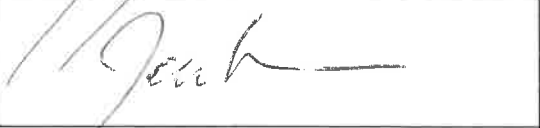
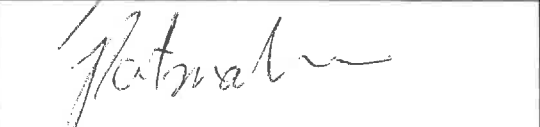
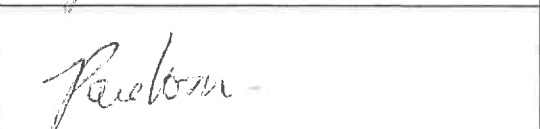
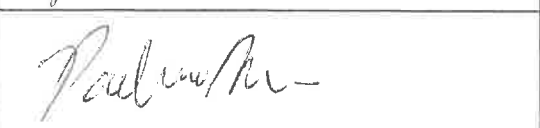
Print Name	Address	Email	Phone #	Signature
Chris Schmitz	7423 Bobbybouyer ave. 91307	CSchmitz@ME.COM	818/400-3250	
Lynny Mon	7439 BOBBYBOUYER AVE 91307	LYNNBY144@GMAIL.COM	818-645-5755	
Nellie	7475 Bobbybouyer	stocker37@gmail.com	(818) 6458740	
Julia Chi	23215 Runnymede St. 91307	Yeonchi@hotmail.com	818-519-3997	
David Chi	23215 Runnymede St. 91307	Davidchi60@hotmail.com	818-519-8520	
Justin Chi	23215 Runnymede St 91307	Justin.k.chi@gmail.com	818 519 8538	

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Print Name	Address	Email	Phone #	Signature
Shahrouz Molajpour	7417 Saticoy Ave West Hills	Shahrouz. Molajpour@ Comcast.com	425 233 2243	
JOEL MANUWAN	23242 CALLEJO ST W. HILLS	JOELMANUWAN@GMAIL.COM	818-6677227	
JENNIFER MANUWAN	23242 VIRENO ST. W. HILLS	JENJLM@YAHOO.COM	818 6489579	
PATRICIA MANUWAN	23242 VIRENO W. HILLS	PATMANUWAN@GMAIL	818-3405340	
PAUL MANUWAN	23242 VIRENO W. HILLS 91307	PLMANUWAN@YAHOO	818-4043673	
PAULINE MANUWAN	23242 VIRENO W. HILLS 91307	P.MANUWAN@GMAIL	818-6465129	

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ADELINA AYALA	7433 KYLE CT WEST HILLS CA 91307	DALINA.FR@MSN.COM	818-564-5459	Adelina Ayala
MARIE Meneshaen	7434 Melba Ave 91307	—	8183462919	M. Meneshaen
ROBERT MENESHAN		—		
Karindra Amarasingh	7429 Sasonbu 91307	karis1@gmail.com	818268237	
Chandru Amarasingh	91307	—	8187471044	
Chamika Amarasingh	91307	—	8182652372	

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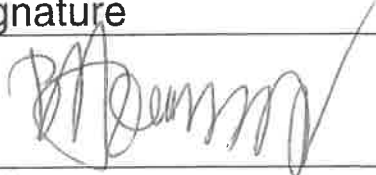
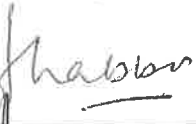
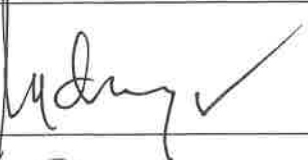



Print Name	Address	Email	Phone #	Signature
Cathy Coleman Ackerman	4400 Jason Avenue SOCAL. RR. CON	ccoleman2@	818-554-2806	Cathy Coleman Ackerman
David Moran	7416 Jason Avenue	david.moran1194@Yahoo.com	818-633-8366	
Chloe Portillo West Hills	7416 Kyle Ct	YagoyP@hotmail.com	818 642-3914	Chloe
Vernon Stanley	7410 Melba Ave West Hills	gers.stanly@gmail.com	310-922-5073	Vernon Stanley
Margaret DeLuca	7416 Melba Ave West Hills	Ogame5bcglobs1.net	(818) 317-4222	Margaret DeLuca
Stephanie Hubbard Doug Hubbard	7410 Jason Ave West Hills CA 91307	sa.hubbard1@gmail.com dghubbard1123@gmail.com	(818) 430-112	Stephanie Hubbard Doug Hubbard

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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I am against the proposed development of a 5-story, 324-unit "affordable housing" apartment building on the former Circle S Ranch property at the corner of Woodlake Avenue and Saticoy Street. It is incompatible with the existing character of our unique West Hills single-family neighborhoods. The project will create:

- more traffic and safety issues
- more noise and pollution
- unwanted parked cars in front of our homes
- strain our already compromised police and firefighter resources
- reduce property values

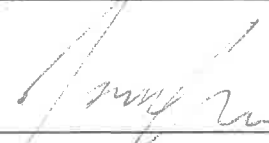


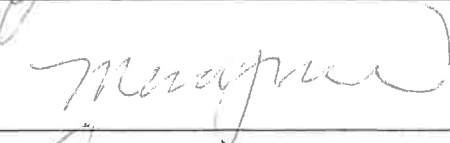
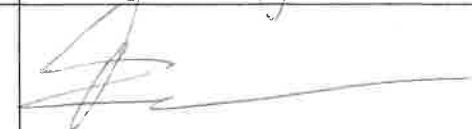

Print Name	Address	Email	Phone #	Signature
Boris ZHITOMIRSKY	7411 Jason Ave	BZ 008@HOTMAIL.COM	323-333-6758	
SHABBIR BAMBOT	7405 Jason Avenue	sbambot@outlook.com	678-907-4711	
RChingwang @ 1427 Kyle Ct	1427 Kyle Ct	Rchdingwangco@gmail.com	818 687 4193	
Julie Nadler	7422 Jason Ave West Hills	jnadler@social.rv.com	(818) 406-7243	
BRIAN STARIC	23218 VALEPIO	BRIAN@SPECIALTYPRODUCTSUSA.COM	818 4394141	
Tamara Poretz	23109 Runnymedest. West Hills	tporetz@yahoo.com	818-903-2121	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Joseph Chi	23215 Runnymede St 91307	josephchi92@gmail.com	818-687-6993	
Quang Trac	23234 Runnymede St. West Hills	Quangtrac@yahoo.com	(626) 826-1478	
Loan Giang	23234 Runnymede St. West Hills	Lgiang88@yahoo.com	(818) 489-5801	
Mary Yen	23230 Runnymede West Hills	meyan2021@gmail.com	818 314 1321	
Rich Nguyen	7900 Vicky West Hills	RichN818@gmail.com	(818) 489 620-5899	
Kailey Poretz	23109 west hills Runnymede St.	k.poretz@gomeril.com	(818) 921 5867	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Melissa Marote	2225 P Covello St Conoga Park CA 91303	meli.ssa.matthews2005@gmail.com	740 541 0214	Melissa Marote
Linda Fitzgerald	8733 Katello Kennelka 91306	Linda.fitzgerald@sbcglobal.net	(818) 312-4313	Linda Fitzgerald
Julie Borden	17609 Miranda St. Enureo	JulieA.Borden@gmail.com	818-414 1461	Julie Borden
David Early	5830 Reseda Blvd. #201 Tarzana 91356	dearly1961@att.net	818-389- 5777	David Early
Tracy Watson	21800 Stratford St Conoga Park 91304	tracyj.watson@yahoo.com	818- 346-0902	Tracy Watson
Savalyne Tom	23536 Spinnaker St West Hills	Slisrown@gmail.com	818 999 6592	Savalyne Tom

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
NICK Deily	23158 Schumann rd Chatsworth CA 91311	nick.deily89@gmail.com	818-431-0848	Nick Deily
Myra Deily	23158 SCHUMANN RD CHATSWORTH CA 91311	DEILY@ATT.NET	818-883-2358	Myra Deily
DAVE DELLY	23158 SCHUMANN RD CHATSWORTH, CA 91311	DEILY@ATT.NET	818-883-2358	Dave Deily
Annabelle Deily	23158 Schumann Rd. Chatsworth, CA 91311	annabelledeily@gmail.com	818-651-5676	Annabelle Deily
Tom Deily	23158 Schumann Rd Chatsworth CA 91311	Tom.Deily@gmail.com	818-292-9929	Tom Deily
JOHN MOORE	7501 Quincey Ave	Qpande51@gmail.com	818-486-7023	John Moore

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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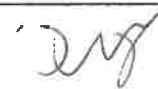



Print Name	Address	Email	Phone #	Signature
Rita Brown	236413 Del Cerro Cir. West Hills CA 91301	ritakeckeybrown@ yahoo.com	818-521-6497	Rita Brown
Briana Caskill	11	brianagaskill24@ gmail.com	818-631-5439	Briana Caskill
Jim Holcombe	23710 Burton St West Hills Ca 91304	jholson@aol.com	818 419-2276	Jim Holcombe
Lester Holcombe	↓	L Holcombe@aol.com	818 523-2276	Lester Holcombe
Mack Weber	7959 Quimby Ct	paperweber12@ gmail.com	818-712-9729	Mack Weber
DAVID BATTI	2401A HIGHLANDER WEST HILLS 91301	dbatti@aol.com	818-419-0744	David Batti

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

174

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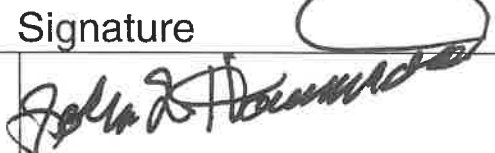
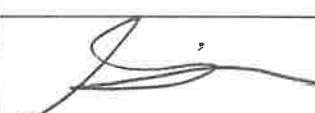

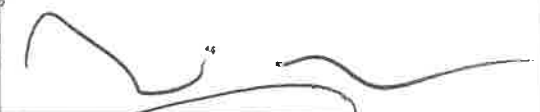


Print Name	Address	Email	Phone #	Signature
Hannah Widawer	23317 Blythe St. West Hills, CA	hannahwidawer@gmail.com	818-297-7054	
Omri Toren	23317 Blythe St. West Hills	omri.toren@gmail.com	818 644 0582	
Emily Toren	23317 Blythe St. West Hills	e.t.toren@icloud.com	818 456 7957	
Martene Widawer	23317 Blythe Street	Martene @ InvitationMaven.com	818-917-9525	
Jane Batt	24019 HSHARDOR Rd WEST HILLS CA 91307	jeaneebatti@aol.com	818-298-1545	
Suzanne Gillhaus	24530 Indian Hill Lane West Hills 91307	skgillhaus@gmail.com	818-219-5906	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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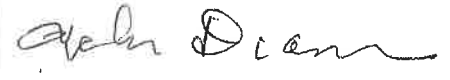



Print Name	Address	Email	Phone #	Signature
John Hammond	6642 Neddy	winham3@gmail.com	818 291-9620	
Brad L. Linn	23710 Fitzjail	lbrman3@gmail.com	(818) 619-0781	
ROBERT GRDANC	22908 FUNNYMEDE	ROBERT GRDANC@GMAIL	818 307 4775	
Kevin Hummel	8009 Crothers Ct West Hills 91364	kevinlanehummel@gmail.com	310.560.8799	
Joe GUZMAN	8057 MADRO AVE	JoeGuzman@SFCglobal.net	(818) 515-5060	
Scott Law	7940 Sadring Ave	Scott@Law@yahoo.com	(818) 648-9517	

Stop the Proposed High-Density Apartment Project in our West Hills Neighborhood 2024

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Print Name	Address	Email	Phone #	Signature
Wendy Schwarz	7426 Royal Ave	ETHeiler@gmail.com	818 473 5536	
Deena Montez	22842 Lull St	dmmhome2@gmail	803 4581832	
NELSON DIAMOND	23037 Cohasset St	DIAMONDGROUP2@YAHOO	818 912 7854	
Julie Cohen	2714 Quimby Ave	JCohen@nortanmelnik.com	818 571-4138	
Yasmin Jackson	7224 Justin Ct	Yasminjackson@gmail.com	810-423-5781	
Lara Bojarsky	7729 Dulcor Ave.	Laraboj@sbcglobal.net	310-592-8353	

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Name	City	State	Postal Code	Country	Signed On
Julie Cuomo				US	2024-06-12
Sean Parks	West hills	CA	91304	US	2024-06-13
Margaret Gomollon	Granada Hills	CA	91344	US	2024-06-13
Beverly Rimer	West Hills	CA	91307	US	2024-06-13
Arlene Denison	West	CA	91304	US	2024-06-25
Wendy Edler	Canoga Park	CA	91304	US	2024-07-05
CAMMIE MENCHACA	Los Angeles	CA	90005	US	2024-07-13
Sam Welch	Panorama City	CA	91402	US	2024-07-13
Mike Welsh Welsh	Pilot Hill	CA	95664	US	2024-07-13
Brittany Welch	West Hills	CA	91307	US	2024-07-13
Pat Conlin	Woodland Hills	CA	91367	US	2024-07-13
Joan Welsh	Woodland Hills	CA	91367	US	2024-07-13
Ward Roban	West Hills	CA	91307	US	2024-07-13
JAMES Thompson	Canoga Park	CA	91304	US	2024-07-13
Maureen Armentrout	Woodland Hills	CA	91367	US	2024-07-13
Brandon Conley	Los Angeles	CA	91307	US	2024-07-13
Adriana Garcia	Chatsworth	CA	91311	US	2024-07-13
Drew Ferrante	West Hills	CA	91307	US	2024-07-13
Lori Jasmine	Woodland Hills	CA	91367	US	2024-07-13
DAVID SILBERMAN	Canoga Park	CA	91304	US	2024-07-13
Nanette Svolos	West Hills	CA	91304	US	2024-07-13
Jennelle Stewart	West Hills	CA	91304	US	2024-07-13
Paolo Galvez	Canoga Park	CA	91303	US	2024-07-13
Amy Signarvic	Morrison	CO	80465	US	2024-07-14
Sandy Randall	Woodland Hills	CA	91367	US	2024-07-14
Patty Bolten	West Hills	CA	91307	US	2024-07-14
Michael B	West Hills	CA	91307	US	2024-07-14
Danny Bolten	Thousand Oaks	CA	91362	US	2024-07-14
Stephen Mikita	Winnetka	CA	91306	US	2024-07-14

Robert Baker	Woodland Hills	CA	91367	US	2024-07-14
WENDY LUPOFF	Panorama City	CA	91402	US	2024-07-14
Mary Chiles Barican	Los Angeles	CA	90019	US	2024-07-14
Joe Liper	Malibu	CA	90265	US	2024-07-14
Pilar Zorrilla	West Hills	CA	91307	US	2024-07-14
Judith Anderson	Woodland Hills	CA	91367	US	2024-07-14
Scott Scheff	West Hills	CA	91304	US	2024-07-14
Sherry Goldojarb	West Hills	CA	91304	US	2024-07-14
Charlene Hopey	Topanga	CA	90290	US	2024-07-14
Mary Soares	Chatsworth	CA	91311	US	2024-07-14
Nancy Gowani	Woodland Hills	CA	91367	US	2024-07-14
Dawn Lehrfeld	Woodland Hills	CA	91367	US	2024-07-14
Anne Bauman	Woodland Hills	CA	91367	US	2024-07-14
Fern White	West Hills	CA	91304	US	2024-07-14
Dina Tamberello	Los Angeles	CA	91304	US	2024-07-14
Sharon TREINEN	Canoga Park	CA	91304	US	2024-07-14
Marsha Graham	West Hills	CA	91304	US	2024-07-14
Cj Miller	Woodland Hills	CA	91364	US	2024-07-14
Matt Cope	Canoga Park	CA	91304	US	2024-07-14
Pat Winning	Canoga Park	CA	91304	US	2024-07-14
Jennifer Reddy Chao	Calabasas	CA	91302	US	2024-07-14
Lori Jo Satnick	Woodland Hills	CA	91364	US	2024-07-14
Aldona Piaskowski	Woodland Hills	CA	91367	US	2024-07-14
Marilyn Flick	Canoga Park	CA	91304	US	2024-07-14
Tracey Singer	West Hills	CA	91304	US	2024-07-14
Susan Moinpour	Canoga Park	CA	91304	US	2024-07-14
Michelle Agovino	Woodland Hills	CA	91367	US	2024-07-14
Beverly Anderson	West Hills	CA	91307	US	2024-07-14
Ricci Somoza	Woodland Hills	CA	91367	US	2024-07-14
Nancy Andrada	Canoga Park	CA	91304	US	2024-07-14
Michael Anello	Los Angeles	CA	90037	US	2024-07-14
Andrea Lewis	Los Angeles	CA	90036	US	2024-07-14

Sakina Nawaz	West Hills	CA	91307	US	2024-07-14
Myla Hardy	West Hills	CA	91307	US	2024-07-14
Debbie Philcox	Los Angeles	CA	90003	US	2024-07-14
Jeffrey Mazur	Wesr Hills	CA	91304	US	2024-07-14
STACY TILLISS	west hills	CA	91304	US	2024-07-14
Nevis Jaymie	Winnetka	CA	91307	US	2024-07-14
Casey Dow	Los Angeles	CA	90060	US	2024-07-14
Melanie Demont	Woodland Hills	CA	91367	US	2024-07-14
Mercedes Scalco	Canoga Park	CA	91304	US	2024-07-14
Deanna Martin	West Hills	CA	91304	US	2024-07-14
Jose Garcia	West Hills	CA	91307	US	2024-07-14
HALLEI MONTALBANO	West Hills	CA	91307	US	2024-07-14
Christina Perdigao	Woodland Hills	CA	91364	US	2024-07-14
Barry Seybert	Reseda	CA	91335	US	2024-07-14
Michelle Freedman	West Hills	CA	91307	US	2024-07-14
Nancy McLean	Woodland Hills	CA	91367	US	2024-07-14
Cheri Haft	West Hills	CA	91304	US	2024-07-14
John McGowan	West Hills	CA	91304	US	2024-07-14
Carol Rees	Woodland Hills	CA	91364	US	2024-07-14
Melanie McMillan	Woodland Hills	CA	91367	US	2024-07-14
Hans Johansson	Los Angeles	CA	91307	US	2024-07-14
Donna Trent	Canoga Park	CA	91303	US	2024-07-14
Daniel Nasserian	Canoga Park	CA	91307	US	2024-07-14
Marie Youngblood	West Hills	CA	91364	US	2024-07-14
Joey Nguyen	West Hills	CA	91307	US	2024-07-14
FRANK CASCASI	Malibu	CA	90265	US	2024-07-14
Cecilia Hernandez	West Hills	CA	91307	US	2024-07-14
Kevin McAllister	West Hills	CA	91304	US	2024-07-14
Patrick Schuster	Woodland Hills	CA	91367	US	2024-07-14
Joe Bernal	Clovis	CA	93619	US	2024-07-14
CoCo Bennett	Los Angeles	CA	90007	US	2024-07-14
Kel Watrin	Woodland Hills	CA	91367	US	2024-07-14

Niki Watrin	Los Angeles	CA	90060	US	2024-07-14
lisa fielding	West Hills	CA	91307	US	2024-07-14
Natalie Kolkovich	Los Angeles	CA	91307	US	2024-07-14
Jamie DeRosa	Chatsworth	CA	91311	US	2024-07-14
Arie bitan	Woodland Hills	CA	91367	US	2024-07-14
Paula Connolly	Woodland Hills	CA	91367	US	2024-07-14
Shelley Pascale	Canoga Park	CA	91304	US	2024-07-14
Jeri Johns Sugarman	Los Angeles	CA	91367	US	2024-07-14
Robbin Stevens	Dalton	GA	30721	US	2024-07-14
Maria Bruckner	Las Vegas	NV	89108	US	2024-07-14
Lisa GOLDSMITH	West hills	CA	91304	US	2024-07-14
Brenda Citrom	Woodland Hills	CA	91367	US	2024-07-14
Tytan Tumbleson	Minneapolis	MN	55404	US	2024-07-14
Lorraine Peneyra	Honolulu	HI	96808	US	2024-07-14
Lucia Robelo	West Hills	CA	91307	US	2024-07-14
Jeff Ames	West Hills	CA	91304	US	2024-07-14
S Vaughan	Los Angeles	CA	90023	US	2024-07-14
Cheryl Oakley	Woodland Hills	CA	91367	US	2024-07-14
Patrick Duong	Canoga Park	CA	91304	US	2024-07-14
Ellyse Moinpour	Thousand Oaks	CA	91362	US	2024-07-14
MIKE ORD	Woodland Hills	CA	91364	US	2024-07-14
Ansley Thoma	West Hills	CA	91307	US	2024-07-14
Alexis Moinpour	West hills	CA	91304	US	2024-07-14
Ashley Zakoo	Canoga Park	CA	91304	US	2024-07-14
Jose Danon	Los Angeles	CA		US	2024-07-14
Gloria Nunes	Chatsworth	CA	91311	US	2024-07-14
Thomas Ryan	Los Angeles	CA	90061	US	2024-07-14
Barbara Kogen	West Hills	CA	91304	US	2024-07-14
Andy Beltran	West Hills	CA	91307	US	2024-07-14
Melodie Kaufman	Woodland Hills	CA	91367	US	2024-07-14
Jennifer Strickland	West Hills	CA	91307	US	2024-07-14
Sandra Beltran	West Hills	CA	91307	US	2024-07-14

Miguel Dy	West Hills	CA	91307	US	2024-07-14
Bill Perry	West Hills	CA	91307	US	2024-07-14
Cynthia Carman	West Hills	CA	91307	US	2024-07-14
Margaret Rehorst	West Hills	CA	91304	US	2024-07-14
Deborah Magerr	Reseda	CA	91335	US	2024-07-14
Kara Parker	Woodland Hills	CA	91367	US	2024-07-14
Katherine Koonce	Canoga Park	CA	91304	US	2024-07-14
Micki Davidovicz	Winnetka	CA	91306	US	2024-07-14
Melanie Capozzola	West Hills	CA	91304	US	2024-07-14
Barbara Meyers	Woodland Hills	CA	91367	US	2024-07-14
Oleg Agaronov	Woodland Hills	CA	91367	US	2024-07-14
Sarah Lee Pett	Chatsworth	CA	91311	US	2024-07-14
Gisele Vallas	Palmdale	CA	93536	US	2024-07-14
Kelli Grenier	Canoga Park	CA	91304	US	2024-07-14
Linda Damarjian	Canoga Park	CA	91304	US	2024-07-14
Shian Aram	Woodland Hills	CA	91367	US	2024-07-14
Shawn McKeever	Signal Hill	CA	90755	US	2024-07-14
Dennis Curoe	West Hills	CA	91304-4563	US	2024-07-14
Terri Bricker	West Hills	CA	91307	US	2024-07-15
Stephanie So	Los Angeles	CA	91303	US	2024-07-15
James Koonce	Canoga Park	CA	91304	US	2024-07-15
Janet Fleming	West Hills	CA	91304	US	2024-07-15
Carrie West	Woodland Hills	CA	91367	US	2024-07-15
Anissa Howes	Dayton	OH	45440	US	2024-07-15
Jacquelyn Damarjian	Los Angeles	CA	90037	US	2024-07-15
Lori Chavez	Chatsworth	CA	91311	US	2024-07-15
Mindy Dang	West Hills	CA	91307	US	2024-07-15
Hannah Sellers	Woodland Hills	CA	91367	US	2024-07-15
Maria Reynoso	Chatsworth	CA	91311	US	2024-07-15
Michelle Hillery	Canoga Park	CA	91304	US	2024-07-15
Harpreet Hans	Woodland Hills	CA	91364	US	2024-07-15
Laurie Nelson	Canoga Park	CA	91304	US	2024-07-15

Karen Harlan	West Hills	CA	91304	US	2024-07-15
Shelley Baker	Woodland Hills	CA	91367	US	2024-07-15
Millie Fernando	Panorama City	CA	91402	US	2024-07-15
Alana Preziosi	Swedesboro	NJ	8085	US	2024-07-15
Dolly Vergara	West Hills	CA	91307	US	2024-07-15
Mark Mendoza	Los Angeles	CA	90060	US	2024-07-15
Con Con	New York	NY	10128	US	2024-07-15
Teresa Conroy	Los Angeles	CA	90003	US	2024-07-15
Krystle Britton	Canoga Park	CA	91304	US	2024-07-15
Stephanie Storey	Canoga Park	CA	91304	US	2024-07-15
Sandy Britton	West Hills	CA	91307	US	2024-07-15
jill sorensen	Los Angeles	CA	91307	US	2024-07-15
Maria Sievert	Oakland	CA	94601	US	2024-07-15
Suzanne Ecklund	Canoga Park	CA	91304	US	2024-07-15
Christine Seth	Woodland Hills	CA	91364	US	2024-07-15
Saba F	Canoga Park	CA	91304	US	2024-07-15
Joyce Reyes	Camarillo	CA	93010	US	2024-07-15
Jocelyn Garalza	Los Angeles	CA	90002	US	2024-07-15
Kathy Shapiro	Woodland Hills	CA	91367	US	2024-07-15
Ashish Sadana	Canoga Park	CA	91304	US	2024-07-15
A S	Woodland Hills	CA	91364	US	2024-07-15
Suzan Sacket	Woodland Hills	CA	91367	US	2024-07-15
Arturo Jacinto	Woodland Hills	CA	91367	US	2024-07-15
Jason Barthel	Chicago	IL	60647	US	2024-07-15
Erika Rikhiram	Clermont	FL	34711	US	2024-07-15
Frank Collins	Woodland Hills	CA	91364	US	2024-07-15
Lourdes Cather	West Hills	CA	91304	US	2024-07-15
Jennifer Miranda	Thousand Oaks	CA	91360	US	2024-07-15
Terry Cather	West Hills	CA	91304	US	2024-07-15
Kelly Chu	Los Angeles	CA	90060	US	2024-07-15
Nicole Dee	Canoga Park	CA	91306	US	2024-07-15
Vardui Marshall	Canoga Park	CA	91304	US	2024-07-15

Divya Nagendran	Aurora	IL	60505	US	2024-07-15
Jennifer Kellar	Caliente	NV	89008	US	2024-07-15
JoElla Elias	Canoga Park	CA	91304	US	2024-07-15
Christina Adjieff	Woodland Hills	CA	91367	US	2024-07-15
Steve Morse	Woodland Hills	CA	91367	US	2024-07-15
Josh Standiford	Lake Zurich	IL	60047	US	2024-07-15
Melissa Johnson	Winnetka	CA	91306	US	2024-07-15
Nancy Wiest	West Hills	CA	91307	US	2024-07-15
Mabel Yosifi	Canoga Park	CA	91303	US	2024-07-15
Gayle Brooks	Woodland Hills	CA	91367	US	2024-07-15
Iilana Melcher	Los Angeles	CA	91356	US	2024-07-15
Ana Yap	Los Angeles	CA	90029	US	2024-07-15
Patricia Hayes-Malcor	West Hills	CA	91307	US	2024-07-15
Suzan Perry	Los Angeles	CA	90045	US	2024-07-15
Alaim Lindo	West Hills	CA	91307	US	2024-07-15
Julie Wilson	West Hills	CA	91304	US	2024-07-15
John Trainor	West Hills	CA	91303	US	2024-07-15
Kim Flanagan	Woodland Hills	CA	91367	US	2024-07-15
Doris Panza	Woodland Hills	CA	91367	US	2024-07-15
Adrian Thomson	Parker	CO	80134	US	2024-07-15
Kseniya Glukhovsky	Los Angeles	CA	91304	US	2024-07-15
Margarita Latman	Woodland Hills	CA	91367	US	2024-07-15
jason osier	Canoga Park	CA	91304	US	2024-07-15
Barbara Olah	West Hills	CA	91304	US	2024-07-15
Valerie Reynolds	Canoga Park	CA	91304	US	2024-07-15
GERALDINE C. MITCH	Hyattsville	MD	20783	US	2024-07-15
Wendy Ross	Valley Village	CA	91607	US	2024-07-16
Jay Ross	Valley Village	CA	91607	US	2024-07-16
Rocco Covella	Canoga Park	CA	91304	US	2024-07-16
Melissa Daggett	Canoga Park	CA	91304	US	2024-07-16
Serina Hoot	Woodland Hills	CA	91367	US	2024-07-16
Rose Machado	Woodland Hills	CA	91367	US	2024-07-16

Kiana Tu	Oceanside	CA	92056	US	2024-07-16
Naomi Caldwell	West Hills	CA	91304	US	2024-07-16
Michelle Kubiak	West hills	CA	91307	US	2024-07-16
Donald wleklinski	Terre Haute	IN	47803	US	2024-07-16
Viktorya Fooks	West Hills	CA	91304	US	2024-07-16
Felix Fooks	Canoga Park	CA	91305	US	2024-07-16
Manleen Kaur	Columbia	SC	29229	US	2024-07-16
Rebecca A	Winnetka	CA	91306	US	2024-07-16
Elisabeth Aziz	Winnetka	CA	91306	US	2024-07-16
Mark Metcalf	Panorama City	CA	91402	US	2024-07-16
Hassan Paria				US	2024-07-16
Andrew Floyd				US	2024-07-16
Mary McCormack	Woodland Hills	CA	91367	US	2024-07-16
Darcy Brody	Woodland Hills	CA	91367	US	2024-07-16
Sue Ruopp	West Hills	CA	91307	US	2024-07-16
Benjamin Brody	West Hills	CA	91307	US	2024-07-16
Jessica Fuentes	West Hills	CA	91307	US	2024-07-16
Hilary Wessels	Canoga Park	CA	91307	US	2024-07-16
Dylan BOTHA				US	2024-07-16
Leslie Greenberg	Malibu	CA	90265	US	2024-07-16
Gina DeSavia	Woodland Hills	CA	91364	US	2024-07-16
Melissa Alook	Woodland Hills	CA	91367	US	2024-07-16
Erin Fukuda	West Hills	CA	91307	US	2024-07-16
Kanika Ditt	Woodland Hills	CA	91367	US	2024-07-16
Siena Cawelti	Canoga Park	CA	91304	US	2024-07-16
Clarissa Tullis	Atlanta	GA	30345	US	2024-07-16
Adam Kaluba	Burleson	TX	76028	US	2024-07-16
Mike Adams	Fontana	CA	92336	US	2024-07-16
Christine Bartolomeo	San Antonio	TX	78234	US	2024-07-16
Neil Sokoler	Los Angeles	CA	90004	US	2024-07-16
Samira Kermani	Woodland Hills	CA	91307	US	2024-07-16
Jeff Cruz	Bronx	NY	71064524	US	2024-07-16

Erica Dattolo	Greensburg	PA	15601	US	2024-07-16
Deborah Griffiths	Los Angeles	CA	90007	US	2024-07-16
Mischa Khamissi	Houston	TX	77052	US	2024-07-16
Liz Favazzo	Los Angeles	CA	91307	US	2024-07-16
Yogesh Dhiman	Woodland Hills	CA	91367	US	2024-07-16
John Hutton	Winston-salem	NC	27104	US	2024-07-16
Maria Sais	West Hills	CA	91304	US	2024-07-17
Richard Burke	West Hills, CA 91	CA	91367	US	2024-07-17
Philip Elins	Woodland Hills	CA	91367	US	2024-07-17
Randi Popish	West Hills	CA	91304	US	2024-07-17
Sophia Yuen	Woodland Hills	CA	91367	US	2024-07-17
Michael Yuen	Woodland Hills	CA	91307	US	2024-07-17
Daniel Feeley	Las Vegas	NV	89107	US	2024-07-17
susan farrell	Woodland Hills	CA	91367	US	2024-07-17
sherry lopata	west hills	CA	91307	US	2024-07-17
Iwona Sapienza	West Hills	CA	91307	US	2024-07-17
Cande Match	Woodland Hills	CA	91367	US	2024-07-17
Vhumbani Mancilla	North Hollywood	CA	91602	US	2024-07-17
Thomas Blatz	West Hills	CA	91304	US	2024-07-17
Joel Klass	West Hills	CA	91307	US	2024-07-17
Michele Sanner	Winnetka	CA	91306	US	2024-07-17
mike lopata	Canoga Park	CA	91304	US	2024-07-17
Rebecca Mehr	Winnetka	CA	91306	US	2024-07-17
Dee Dee Henley	Los Angeles	CA	90011	US	2024-07-17
Wendy P	Los Angeles	CA	91367	US	2024-07-17
Teresa Ernest	West Hills	CA	91307	US	2024-07-17
Dr Beverly Griffin PhD		CA		US	2024-07-17
kellie nelson	Indian Land	NC	29707	US	2024-07-17
Robert Kerrigan	Winnetka	CA	91306	US	2024-07-17
Orva M Gullett	Marion	OH	43302-8435	US	2024-07-17
Fathima Gowhar	Canoga Park	CA	91304	US	2024-07-17
Shefa Gowhar	West Hills	CA	91304	US	2024-07-17

Doreen Louis	Canoga Park	CA	91304	US	2024-07-17
Sabryna-Joi King-Bell	Chicago	IL	60680	US	2024-07-17
Adriana McGowan	Canoga Park	CA	91304	US	2024-07-17
Carolyn Balian	Los Angeles	CA	91304	US	2024-07-17
Kristin Vass	New York	NY	10080	US	2024-07-17
Mariah Vigil	Bellflower	CA	90706	US	2024-07-17
Jeanne Scola	Woodland Hills		91367	US	2024-07-17
Robin Peterson	Calabasas	CA	90290	US	2024-07-18
Barbara Fong-Pesuti	Canoga Park	CA	91304	US	2024-07-18
maddie barott	Minneapolis	MN	55413	US	2024-07-18
Ashlyn Fitzgerald	Solon	OH	44139	US	2024-07-18
Ralphie Beam	Cumberland	MD	21502	US	2024-07-18
Deborah Goldstein	Woo	CA	91304	US	2024-07-18
Rebecca Straw	St Petersburg,	FL	33712	US	2024-07-18
Laura Esquer	West Hills	CA	91307	US	2024-07-18
Gregg Levine	Astoria	NY	11102	US	2024-07-18
Amelia Rojas Pérez	Miami	FL	33128	US	2024-07-18
Scott Law	West Hills	CA	91304	US	2024-07-18
Cheryl Ginolfi	West Hills	CA	91307	US	2024-07-18
Dan De Yo	Yorba Linda	CA	92886	US	2024-07-18
Pamela Carlisle	West Hills	CA	91304	US	2024-07-18
Rachel McDonald	Walnut Creek	CA	94597	US	2024-07-19
Nicholas Noetzel	Naples	FL	34120	US	2024-07-19
adrienne ross	Woodland Hills	CA	91367	US	2024-07-19
Heather Isaac	Vista		92084	US	2024-07-19
Sarah Beck	Denver	CO	80251	US	2024-07-19
Debbie E	Felton	DE	19943	US	2024-07-19
Sam Clemetsen	Greenville	SC	29601	US	2024-07-19
Rochelle Douglas-Holt	St. Louis	MO	63143	US	2024-07-19
LeeAnn Trevino	Pendleton	OR	97801	US	2024-07-19
Bertha Maldonado	Pasco	WA	99301	US	2024-07-19
Patricia Alba	West Hills	CA	91304	US	2024-07-19

Latisha Heath	Talladega	AL	35160	US	2024-07-19
Michael Naiditch	West Hills	CA	91307	US	2024-07-19
thomas moore	Houston	TX	77084	US	2024-07-20
Louis Ahearn	Babylon	NY	11702	US	2024-07-20
John Houch	General Trias	CA	Whatzipcode?	US	2024-07-20
Shawn Khacherian	Chatsworth	CA	91311	US	2024-07-20
Cecilia Magos	Los Angeles	CA	90011	US	2024-07-20
Tracy Dupree	Woodland Hills	CA	91364	US	2024-07-20
dayna blankenship	Canoga Park	CA	91304	US	2024-07-20
Regina Brooks	Pittsburgh	PA	15209	US	2024-07-20
Alyssa Simmons	Mesa	AZ	85201	US	2024-07-20
Albert Hoot	Woodland Hills	CA	91367	US	2024-07-21
Robert Madrid	West Hills	CA	91304	US	2024-07-21
Maryam Abasi	Portland	OR	97207	US	2024-07-21
James Kukunas	Pittsburgh	PA	15215	US	2024-07-21
Nazia Soheb	Edison	NJ	8817	US	2024-07-21
Heather Ramirez	Woodland Hills	CA	91367	US	2024-07-21
Fonda Burke	West Hills	CA	91304	US	2024-07-21
Jesse Burke	West Hills	CA	91304	US	2024-07-21
Megan Castro	Los Angeles	CA	91307	US	2024-07-21
Anita Boghossian	Los Angeles	CA	91303	US	2024-07-21
Amanda Blumenfeld	Woodland Hills	CA	91364	US	2024-07-21
Lynnie Neal	Geneseo	NY	14454	US	2024-07-21
Paul Boghossian	Woodland Hills	CA	91367	US	2024-07-21
Daniela Varjabedian	West Hills	CA	91304	US	2024-07-21
William Port	Kittanning	PA	16201	US	2024-07-22
Roger Eisenbrey	Daly City	CA	94015	US	2024-07-22
Mike Mahoney	Wilmington	MA	1887	US	2024-07-22
Kody Fritz	Klamath Falls	OR	97603	US	2024-07-22
Hope Jones	Woodland Hills	CA	91367	US	2024-07-22
Agop Varjabedian	West Hills	CA	91304	US	2024-07-22
Dale Miller	Plymouth	IN	46563	US	2024-07-22

Katie Mefford	Indianapolis	IN	46260	US	2024-07-22
Magaly Fregoso	West Hills	CA	91307	US	2024-07-22
Terrie Williams	Vidor	TX	77662	US	2024-07-22
Merrill Wasserman	Albuquerque	NM	87123	US	2024-07-22
Sondra Kurtz	Woodland Hills	CA	91367	US	2024-07-22
Jon Inwood	Brooklyn	NY	11226	US	2024-07-22
Austin Ward	Corvallis	OR	97330	US	2024-07-23
Devin McCarthy				US	2024-07-23
Tiffany Sant'Anselmo	West Hills	CA	91304	US	2024-07-23
Milton Zaft	Canoga Park	CA	91304	US	2024-07-23
Jessica Sahabi	Woodland Hills	CA	91364	US	2024-07-23
Derek Burns	Menifee	CA	92584	US	2024-07-23
Les Kaski	Battle ground	WA	98604	US	2024-07-23
Makaley Stowers	Myrtle Beach	SC	29579	US	2024-07-23
larry fountain	Tallahassee	FL	32309	US	2024-07-23
Doris Kitchen	Hendersonville	NC	28739	US	2024-07-24
Isaac Dick	Craig	CO	81625	US	2024-07-24
David Pacheco	Orlando	FL	32811	US	2024-07-24
Patty Price	West Hills	CA	91304	US	2024-07-24
justin wilson	Bensalem	PA	19020	US	2024-07-24
Wendy Weitz	Sacramento	CA	95814	US	2024-07-24
Mike Thomas	Dallas	TX	75270	US	2024-07-24
Nicola Williams	Suncook	NH	3275	US	2024-07-24
Liam Verdesi	Beacon	NY	12508	US	2024-07-25
Pamela Okum	Valencia	CA	91355	US	2024-07-25
C Rimier	Wading River	NY	11792	US	2024-07-25
Karen Dalton	Van Nuys	CA	91405	US	2024-07-25
john urbonas	Plainfield	IL	60586	US	2024-07-25
Udoh Orji	Tallahassee	FL	32304	US	2024-07-25
Mamie Carter	Great Falls	MT	59404	US	2024-07-25
Sandra Eschbach	Northville	MI	48168	US	2024-07-25
Tamika Shackelford	Detroit	MI	48205	US	2024-07-25

Ashlyn Acosta	Cliffside Park	NJ	7010	US	2024-07-25
Gsyyahaha Hahahahaha				US	2024-07-25
Carrie Kokenda	West Hills	CA	91304	US	2024-07-25
Catherine Law	West Hills	CA	91304	US	2024-07-25
Joe Law	Canoga Park	CA	91304	US	2024-07-25
Daniel Law	West Hills	CA	91304	US	2024-07-25
Zizi Sutter	Rockland	ME	4843	US	2024-07-25
Safiq Bhuiyan	New York City	NY	10013	US	2024-07-25
Diane De Luca	El Cajon	CA	92019	US	2024-07-25
Brody Niskanen				US	2024-07-25
Tony Lentini	Snellville	GA	30039	US	2024-07-25
Jasmine Jean-Louis	Jamaica Plain	MA	2130	US	2024-07-26
Texanna Fernandez	Waverly		26101	US	2024-07-26
Shelbi Fisher	Lincoln		62656	US	2024-07-26
Abhishek Sharma	Mountain View	CA	94043	US	2024-07-26
John Mortellaro	Erie	CO	80516	US	2024-07-26
Emran Hossain	Los Angeles	CA	90014	US	2024-07-26
May Pha	Woodland Hills	CA	91367	US	2024-07-27
Steven Terrell	Chicago	IL	60656	US	2024-07-27
Aaron Brienzo	Glendale	AZ	85302	US	2024-07-27
Allison Rains	Atlanta	GA	30306	US	2024-07-27
Jessica ZazaJessica Z	Laconia	NH	3249	US	2024-07-27
Gary Shlifer	West Hills	CA	91304	US	2024-07-27
Natalya Shlifer	West Hills	CA	91304	US	2024-07-27
Edward Arroyo	Branson	MO	65616	US	2024-07-28
LYNNE KELLEY	Yellville	AR	72687	US	2024-07-28
Yadi Pagan	Arlington	TX	76012	US	2024-07-28
Carmela Hagan	225 Wood Ave S	NY	10312	US	2024-07-28
Perla Abarca	Atwater	CA	95301	US	2024-07-29
Ross Porter	Canoga Park	CA	91304	US	2024-07-29
chelsea hardy	camas	WA	98607	US	2024-07-29
Morgan Simpson	Asheville	NC	28803	US	2024-07-29

Carl Curatola	Merrick	NY	11566	US	2024-07-29
Caylee Mccann	Lexington	TN	38351	US	2024-07-29
Debbie Gaab	St louis	MO	63126	US	2024-07-29
Joscilyn Reitemeyer	Marlton	NJ	8053	US	2024-07-29
Bonnie Cummings	Milwaukee	WI	53205	US	2024-07-30
Ali Nowaid	Woodland Hills	CA	91367	US	2024-07-30
Amanda Kerns	stanley	VA	22851	US	2024-07-30
Alex Raver	Boise	ID	83709	US	2024-07-31
Elizabeth Aziz	Tarzana	CA	91356	US	2024-07-31
Jordan Stanly	Chicago	IL		US	2024-07-31
Shannon Akens	Flat Rock	MI	48134	US	2024-07-31
Adam Hoffman	West Hills	CA	91304	US	2024-07-31
Vanessa Hubbard	Amarillo	TX	79106-6404	US	2024-07-31
CHRISTOPHER EUBAN	SPOKANE VALLEY		99016	US	2024-07-31
Sari Hall	West Hills	CA	91304	US	2024-07-31
Duane Campbell	Phoenix	AZ	85041	US	2024-08-01
Maureen Jones	Akron	OH	44305	US	2024-08-01
Lakia Smith	Camden	NJ	8105	US	2024-08-01
Janice Kassner	Carlsbad	CA	92008	US	2024-08-01
Melinda Kinnaird	Hot Springs Nati	AR	71913	US	2024-08-01
Amanda Powell	Kansas City	MO	64184	US	2024-08-02
SERGEY MICHALEV	Canoga Park	CA	91304	US	2024-08-02
Luis ospino	Charlotte	NC	28216	US	2024-08-02
Genessis Velasquez	Detroit	MI	48209	US	2024-08-02
J Peezy	Teaneck	NJ	7666	US	2024-08-02
Robert Madera	Hollywood	FL	33021	US	2024-08-02
Shannon Withus	Hopewell junctio	NY	12533	US	2024-08-02
Stephanie Berry	Fayetteville	NC	28314	US	2024-08-02
sam I	Montville	NJ	7045	US	2024-08-03
Molly Chacko	Fremont	CA	94538	US	2024-08-03
Corey Duerst				US	2024-08-04
DeAnna Schaefer	Palmer	AK	99645	US	2024-08-05

Pamela Holbert	Tucson	AZ	85711	US	2024-08-06
Jennifer Hahn	Los Angeles	CA	91335	US	2024-08-06
Kristina Doyle	Island Park	ID	83429	US	2024-08-06
Aubri Taylor	Pleasant Grove	UT	84062	US	2024-08-07
Elizabeth Woods	Little Elm	TX	75068	US	2024-08-07
Julie Herron	Canoga Park	CA	91304	US	2024-08-07
Nestor Alabada	Canoga Park	CA	91304	US	2024-08-07
Jodi Resnick	Woodland Hills	CA	91367	US	2024-08-07
Marlene Widawer	Canoga Park	CA	91304	US	2024-08-07
Angelique Waltmire	roseville	CA	95747	US	2024-08-07
E. Kang	Canoga Park/We	CA	91303	US	2024-08-07
addy t	Pacifica	CA	94044	US	2024-08-07
Melinda Seltzer	West Hills	CA	91304	US	2024-08-08
Susie Smith	Woodland Hills	CA	91367	US	2024-08-08
Douglas Hubbard	West Hills	CA	91307	US	2024-08-08
Laurene O'Malley	Sherman Oaks	CA	91403	US	2024-08-08
Erica Posard	Woodland Hills	CA	91304	US	2024-08-08
Bryan Obi	Carrollton	TX	75007	US	2024-08-08
John Grisham	West Hills	CA	91304	US	2024-08-08
Dina Javadi	Woodland Hills	CA	91364	US	2024-08-08
JOSHUA LUSTYAN	Woodland Hills	CA	91367	US	2024-08-08
Kristy Grisham	West Hills	CA	91304	US	2024-08-08
Helen Chan	West Hills	CA	91304	US	2024-08-08
Carmen Chan	West Hills	CA	91304	US	2024-08-08
Danielle Minor	Los Angeles	CA	90060	US	2024-08-08
Lindsey Green	West Hills	CA	91304	US	2024-08-09
Malcolm Coronel	Los Angeles	CA	91304	US	2024-08-09
Stephanie Wang	West Hills	CA	91304	US	2024-08-09
Recep Ozdag	West Hills	CA	91307	US	2024-08-09
Sarah Calderon	Rohnert Park	CA	94928	US	2024-08-09
Megan Tyni	Canoga Park	CA	91304	US	2024-08-09
Rita Magliocco	Woodland Hills	CA	91367	US	2024-08-09

Kellie Tafet		CA		US	2024-08-09
Not Rick Astley	Los Angeles	CA	90212	US	2024-08-09
Karina Gwyn	West Hills	CA	91307	US	2024-08-09
Ross Stewart	Canoga Park	CA	91304	US	2024-08-09
Ana Abrahamian	West Hills	CA	91304	US	2024-08-09
Mirena Martin	West Hills	CA	91307	US	2024-08-09
Suzanne Madigan	West Hills	CA	91307	US	2024-08-09
Michelle Russell	Canoga Park	CA	91304	US	2024-08-09
Jesse Martin	West Hills	CA	91307	US	2024-08-09
Fanny Vera	Davenport	FL	33837	US	2024-08-10
Travis Griffin	Canoga Park	CA	91304	US	2024-08-10
Gabereull Figueroa	Holbrook	NY	11201	US	2024-08-10
Christopher Joseph Ch	Spring Hill	FL	34609	US	2024-08-11
Brown Helen	Palos Verdes	CA	90274	US	2024-08-11
Virginia McArtor	Canton	OH	44709	US	2024-08-11
Selena Collins	Slidell	LA	70461	US	2024-08-11
MICHELLE GONZALES	Las Vegas	NV	89156	US	2024-08-11
AMÁBILE GOULART	Orlando	FL	32835	US	2024-08-12
Kyler Doyle	Lake Charles	LA	70601	US	2024-08-13
light mar	orlando	FL	28304	US	2024-08-13
Matthew McMahan	Waseca	MN	56093	US	2024-08-13
Matthew Aziz	7917 Ducor Ave	CA	91304	US	2024-08-13
James Jackson	San Antonio	TX	78221	US	2024-08-13
Jack MacDonald-Hilton	Worcester	MA	1609	US	2024-08-14
Adairy Nava	Georgetown	TX	78626	US	2024-08-15
Sally Durham	West Hills	CA	91304	US	2024-08-15
Janessa Hall	Binghamton	NY	13901	US	2024-08-15
Casper Magoo	Washington	DC	20009	US	2024-08-15
joe Futterer	topanga	CA	90290	US	2024-08-16
Lori Dixon	Los Angeles	CA	91402	US	2024-08-16
Pamela Abbott	Woodland Hills	CA	91367	US	2024-08-16
roger hollandier	tarzana	CA	91356	US	2024-08-16

robert farber	Woodland Hills	CA	91367	US	2024-08-16
Stephanie & Ernest Da	Sherman Oaks	CA	91401-6011	US	2024-08-16
Allison Schimke	Los Angeles	CA	91306	US	2024-08-16
Sharon Hartmann	Simi Valley	CA	93065	US	2024-08-16
Elizabeth Golden	Topanga	CA	90290	US	2024-08-16
Miya Dagoat	Fort Lauderdale	FL	33313	US	2024-08-16
Jeff F	Chatsworth	CA	91311	US	2024-08-16
cindy stein	Thousand Oaks	CA	91360	US	2024-08-16
Elaine Hanken	Pacific Palisades	CA	90272	US	2024-08-16
Devi Ortiz	Palestine	TX	75801	US	2024-08-16
Kendrick Collins	Harrisburg	PA	17112	US	2024-08-16
Kenneth Hiatt	Santa Clarita	CA	91350	US	2024-08-16
Bree Ramos	Sun Valley	CA	91352	US	2024-08-16
cathy crum	Oak Park	CA	91377	US	2024-08-16
Ralph Kober	Reseda	CA	91335	US	2024-08-16
Angelina Glez	Canoga Park	CA	91303	US	2024-08-16
Teresa Castillo	Reseda	CA	91335	US	2024-08-16
Jacqueline Beasley-He	Thousand Oaks	CA	91362	US	2024-08-16
Hillary Ostrow	Encino	CA	91316	US	2024-08-16
Carolyn Schuetz-O'Kee	Chatsworth	CA	91311	US	2024-08-16
Darcy Rubin	Westlake Village	CA	91361	US	2024-08-17
DIANE AMIEL	Sherman Oaks	CA	91423	US	2024-08-17
Deborah Nelson	Simi Valley	CA	93065	US	2024-08-17
Tania Maldonado	Mission Hills	CA	91345	US	2024-08-17
Soham Vohra	Los gatos	CA	95032	US	2024-08-17
MAEGEN CADENA	CASTAIC	CA	91384	US	2024-08-17
Tera Houston	Canyon Country	CA	91351	US	2024-08-17
Diane Bedrosian	Granada Hills	CA	91344	US	2024-08-17
LAWRENCE DEL PRET	Abingdon	MD	21009	US	2024-08-17
Josh Walters	Santa Monica	CA	90404	US	2024-08-17
Brenna Howell	Atlanta	GA	30087	US	2024-08-17
Cathy Kraus	North Hollywood	CA	91606	US	2024-08-17

Judith Campo	Canoga Park	CA	91304	US	2024-08-17
Carolina Gil	Hartsburg	MO	65039	US	2024-08-18
Sabrina VanHorn	City of Saint Pet	MO	63376	US	2024-08-18
collin wolff	chico	CA	95988	US	2024-08-18
Vimal Kumar	Austin	TX	78704	US	2024-08-18
LORI FRIES	Yuba City	CA	95993	US	2024-08-18
Diane Calderon	Lake Forest	CA	92630	US	2024-08-19
Scott Mason	Tarzana	CA	91356	US	2024-08-19
Amanda Clark	Louisville	KY	40258	US	2024-08-19
Stephanie Colet	Sherman Oaks	CA	91423	US	2024-08-19
Michone Williams	Chesapeake	VA	23320	US	2024-08-19
Polly Haas	Northridge	CA	91325	US	2024-08-19
Davon Jones	Los Angeles	CA	90013	US	2024-08-20
Denise Mitchell	Woodland Hills,	CA	91364	US	2024-08-21
Alexander Shonjani				US	2024-08-23
diana norwood	Topanga	CA	90290	US	2024-08-23
christina ciesla	simi valley	CA	93063	US	2024-08-23
Robert Ferber	Calabasas	CA	91302	US	2024-08-23
Eder Lopez	Los Angeles	CA	91356	US	2024-08-23
Shannon Woodland	Canyon Country	CA	91387	US	2024-08-23
Emily Gnatowsky	Oak Park	CA	91377	US	2024-08-23
David Melkonian	Reseda	CA	91335	US	2024-08-23
Fabio Bandini	Simi Valley	CA	93065	US	2024-08-23
Stephanie Baumann	Oak Park	CA	91377	US	2024-08-23
Alexis Bazarro	Woodland Hills	CA	91364	US	2024-08-23
Andrea Halperin	Los Angeles	CA	90049	US	2024-08-24
Helene Freedman	Chatsworth	CA	91311	US	2024-08-24
Tiffany Padilla	West Hills	CA	91304	US	2024-08-24
Jae Padi	West Hills	CA	91304	US	2024-08-24
Alissa P.	Canoga Park	CA	91303	US	2024-08-25
Kevin Yi	Canoga Park	CA	91303	US	2024-08-25
Isabel Ferreira	Chatsworth	CA	91311	US	2024-08-25

Carol Garfield	Simi Valley	CA	93063	US	2024-08-25
Adrienne Bergstrom	Simi Valley	CA	93065	US	2024-08-25
M. Browning	Chandler	AZ	85224	US	2024-08-26
Svitlana Shneydin	Los Angeles	CA	90049	US	2024-08-30
Sarah Franklin	Encino	CA	91316	US	2024-08-30
Gloria Meyerson	Westlake Village	CA	91361	US	2024-08-30
Martha N	Canoga Park	CA	91304	US	2024-08-30
Harry Hemphill	Reseda	CA	91335	US	2024-08-30
Bruce Scott	Los Angeles	CA	90272	US	2024-08-30
Sheryl Tratner	West Hills	CA	91307	US	2024-08-30
Genie Saffren	Los Angeles	CA	90025	US	2024-08-30
Teri L	Agoura Hills	CA	91301	US	2024-08-30
Kevin Czerwonka	Canoga Park		91307	US	2024-08-30
Jessica Somarriba	Winnetka	CA	91306	US	2024-08-30
Karen Emanuel	Los Angeles	CA	91356	US	2024-08-30
Jonathan Abrams	Los Angeles	CA	91335	US	2024-08-30
Jo Lise Shiener	Los Angeles	CA	91316	US	2024-08-30
Saeid Moinpour	West Hills	CA	91307	US	2024-08-31
Junko Sugita	Woodland Hills	CA	91367	US	2024-08-31
dan studebaker	valley glen	CA	91401	US	2024-08-31
Anne Marie Zuckerman	Sherman Oaks	CA	91403	US	2024-08-31
elaine edell	westlake	CA	91362	US	2024-08-31
Anita Wisch	Valencia	CA	91355	US	2024-08-31
Walter Calhoon	Canoga Park	CA	91304	US	2024-08-31
Felicia Becker	Chatsworth	CA	91311	US	2024-08-31
Stephanie Nunez	Van Nuys	CA	91405	US	2024-09-01
May Motamedi	Panorama City	CA	91402	US	2024-09-01
Alexander Edelman	Reseda	CA	91335	US	2024-09-03
Karen Witthoft	Los Angeles	CA	90025	US	2024-09-03
John Ulloth	Van Nuys	CA	91409	US	2024-09-06
Amanda Pleitez-Cortez	Granada Hills	CA	91344	US	2024-09-06
Zulema Cano	Sylmar	CA	91342	US	2024-09-06

Melissa Grossman	Simi Valley	CA	93065	US	2024-09-06
Cristy Vanderhyde	Valencia	CA	91354	US	2024-09-06
Helene Dutra	Canoga Park		91303	US	2024-09-06
Fred Berkley	Westlake Village	CA	91361	US	2024-09-06
Rick Kinzel	Sunland	CA	91040	US	2024-09-06
Adam Ghodsi	Woodland Hills	CA	91364	US	2024-09-06
mary rojeski	santa monica	CA	90405	US	2024-09-06
Alexander Kasman	Porter Ranch	CA	91326	US	2024-09-06
Marissa Danelle	Burbank	CA		US	2024-09-06
Z Gjonaj	Malibu	CA	90265	US	2024-09-06
Robert Bell	Shadow Hills	CA	91352	US	2024-09-06
Bonnie Rotheiser	Woodland Hills	CA	91364	US	2024-09-06
Valerie Libhart	Los Angeles	CA	90064	US	2024-09-06
Amanda Zazanis	Simi Valley	CA	93063	US	2024-09-06
Joy Doerzapf	Sylmar	CA	91342	US	2024-09-06
jesse berg	Thousand Oaks	CA	91360	US	2024-09-06
Lynne Weiske	Los Angeles	CA	90048	US	2024-09-06
George Ferrell	Santa Monica	CA	90402	US	2024-09-07
Emily Schwartz	Woodland Hills	CA	91364	US	2024-09-07
CL Chmielewski	Beverly Hills	CA	90210	US	2024-09-07
Jonathan Tachibana	Los Angeles	CA	90025	US	2024-09-07
Julie du Bois	West Hills	CA	91304	US	2024-09-07
Michael Alexanyan	Woodland Hills	CA	91367	US	2024-09-07
N G	Woodland Hills	CA	91367	US	2024-09-07
Jennifer Giraldi	Oak Park	CA	91377	US	2024-09-07
nancy gillis	valley village	CA	91607	US	2024-09-08
andy tryer	fillmore	CA	93015	US	2024-09-08
Nick Palleroni	Reseda	CA	91335	US	2024-09-09
Jeannette Nemon	Woodland Hills	CA	91364	US	2024-09-11
Diana Ayy	Palmdale	CA	93551	US	2024-09-12
Behrooz Mazaheri	Encino	CA	91436	US	2024-09-13
Reza Attefat	Woodlan hills	CA	91364	US	2024-09-13

Dalia Salgado	Burbank	CA	91506	US	2024-09-13
Ellen Segal	Toluca Lake	CA	91602	US	2024-09-13
Jeff Levicke	Valley Village	CA	91607	US	2024-09-13
Janeen Moore	Valley Village	CA	91607	US	2024-09-14
Abbie Bernstein	West Hollywood	CA	90069	US	2024-09-14

CHANGE.ORG PETITION

RECEIVED
CITY OF LOS ANGELES
OCT 28 2024
CITY PLANNING
VAN NUYS



Stop Rezoning for High-Density Apartments in West Hills



Sign Petition 

689[✓]

Verified signatures 

Andrea Jussim • 2 weeks ago

Armando Reyes • 4 weeks ago

Rokhsan Taherpour • 1 month ago

Plum Rums

The Issue

Many of us West Hills residents, including my family and neighbors, have lived here for over 50 years. We've witnessed a rise in crime, including break-ins, home invasions, burglaries, and physical attacks. Rapid community growth has strained our resources, leaving us with insufficient police, firefighters, and homeless outreach. The police are overwhelmed, often unable to respond promptly to emergencies. How can we accommodate more residents under these conditions?

The proposed replacement of the historic Circle S Ranch property with a five-story, 324-unit affordable housing apartment building will drastically change our neighborhood. The plan includes rezoning single-

...ing neighbors need to allow high-story apartment buildings, potentially bringing up to 500 new tenants into our area.

This development can potentially reduce our quality of life by increasing traffic, pollution, crime rates, and decreasing open space. Additionally, density bonuses allow developers to increase units beyond initial proposals without considering the impact on existing residents.

We have 12 Schools, a hospital and Church within minutes of this project.

Wednesday there were reports of a man walking through West Hills with a gun walking on peoples front lawn and driveways. Additionally, Wednesday night there were street races in our neighborhood.our resources are already stretched thin.

Please sign this petition to protect West Hills from overdevelopment and preserve the character of our community!

[Report a policy violation](#)



Julie Nguyen
Petition Starter

[Media inquiries](#)

The Supporters

Featured Comments



Ali, West Hills
3 months ago

"High density brings nothing but trouble to communities that were designed for low density initially. I was raised here as a child and now by own kids are being raised here. Stick together everyone, our children live here too keep it safe for them."

0 likes · [Report](#)



Erin, West Hills
3 months ago

"This neighborhood started as single family homes and should stay that way. Cars are now being parked on

Stop Rezoning for High-Density Apartments in West Hills



Started June 11, 2024

Why this petition matters



Started by [Julie Nguyen](#)

[Media inquiries](#)

Many of us West Hills residents, including my family and neighbors, have lived here for over 50 years. We've witnessed a rise in crime, including break-ins, home invasions, burglaries, and physical attacks. Rapid community growth has strained our resources, leaving us with insufficient police, firefighters, and homeless outreach. The police are overwhelmed, often unable to respond promptly to emergencies. How can we accommodate more residents under these conditions?

The proposed replacement of the historic Circle S Ranch property with a five-story, 324-unit affordable housing apartment building will drastically change our neighborhood. The plan includes rezoning single-family neighborhoods to allow eight-story apartment buildings, potentially bringing up to 950 new tenants into our area.

This development can potentially reduce our quality of life by increasing traffic, pollution, crime rates, and decreasing open space. Additionally, density bonuses allow developers to increase units beyond initial proposals without considering the impact on existing residents.

We have 12 Schools, a hospital and Church within minutes of this project.

Wednesday there were reports of a man walking through West Hills with a gun walking on peoples front lawn and driveways. Additionally, Wednesday night there were street races in our neighborhood.our resources are already stretched thin.

Please sign this petition to protect West Hills from overdevelopment and preserve the character of our community!



Share this petition in person or use the QR code for your own material.

[Download QR Code](#)

[Report a policy violation](#)

Media inquiries



Are you a member of the media looking to cover this petition?

[Reach out for available actions.](#)

646

Signatures

1,000

Next Goal

[Support now](#)

Sign this petition

First name

Last name

Email

West Hills, 91307
United States

Display my name and comment on this petition

[Sign this petition](#)

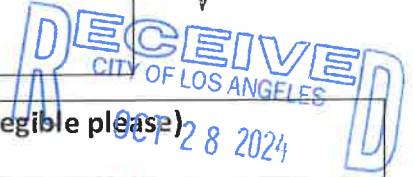
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**SIGN IN SHEETS
WHNC JUNE 11, 2024
ZONING & PLANNING
COMMITTEE**

RECEIVED
CITY OF LOS ANGELES
OCT 28 2024
CITY PLANNING
VAN NUYS

WHNC Zoning & Planning Committee Meeting – June 11, 2024

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PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Chris & Shelley Baker	7533 Woodlake Ave	818-853-7762	SBaker213@aol.com
Christian Sayegh	23050 Cavello St	818-274-2242	christiansayegh@yahoo.com
Elian Sayegh	23050 Cavello St	818-274-8240	eliansayegh@yahoo.com
ART CONNOLLY	23518 WINDOM ST	818-346-9674	artcpc@social.rm.com
PAULA CONNOLLY	"	"	"
Ofelia Damiani	7908 Ducor Ave	818-987-5561	Gth.of.nine@gmail.com
Sam Gill	23226 W Remington Way	248-763-4386	SamGill7@gmail.com
Ravi Gill	Same as above	248-763-4387	RaviBG2@gmail.com
Cheryl Ginolfi	23101 Victory Bl 91307	818-903-5868	cherylginolfi@gmail.com
LINDA THORNE	8040 Bobbyboyar Av 91304	818-507-6686	Thornebirds@hotmail.com
ANNE MARIE RADEL	23232 Justice Street, West Hills CA 91304	818-429-8663	ANNE MARIE RADEL@CAMOVES.COM
Donna Hoffew	23241 Chase St, West Hill 91304	818-420-8939	Donnah4homes@gmail.com
* JONATHAN POOLE		818-606-7536	cknmn@yahoo.com
** Arlene Demison		818-400-1979	

* Added per request by email 6/11/2024
 xx Added per request by email 6/14/2024

WHNC Zoning & Planning Committee Meeting – June 11, 2024

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PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Michele Gampel	22923 COVELLO ST WEST HILLS, CA 91307	818 515 7890	MICHELE GAMPPEL 22 @ GMAIL.COM
Bonnie Klea	Ponce Ave 91304		
ERIK ELIAS	Juston Ct west hills 91304	(818) 716-7666	erik@earthlink.net
DAVID & LISA KAHN	23725 BALTAR ST WEST HILLS 91304	818-464-5246 818-606-7501	DKAHN 503 @ GMAIL.COM LISA KAHN 123 @ GMAIL.COM
Linda Glasscock	8101 Woodlake Ave	818-307-5488	Lindaglasscock4321@gmail.com
Kay fountain	8061 Woodlake Ave	818 884 5498	kay.fount112@gmail.com
Aether Thomson	23430 Strathern St	818-716- 8388	rr23432@aol.com
Sherry Goldojub	8010 Maistro Ave 91304	818/489-2113	sggmommy@aol.com
ROB LARSEN	PO Box 4160	818-999-9090	ROBGLARSEN@aol.com
Sof BATH	PO Box 5111, West Hill	818 335 6455	SofBATH@gmail.com
CARLITO & MARIA SALUDARES	7563 BOBBYBOYAR AVE WEST HILLS, CA 91304	(818) 451-5198	litosaludares@gmail.com
Rauro A VACA	7560 Bobbyboyar Ave	818 2690554	RVACA ramva7556@gmail.com
Fraha VACA	7556 Bobbyboyar Ave	818 2690554	RVACA ramva 7556@gmail.com
Jeff + Debra Cohen	23625 Blythe St	818-968-287	
RON ZARKESH	8030 Bobbyboyar Ave	818-999-0176	RON.ZARKESH@gmail.com
Adrienne McNulty	7800 Barring Av	818 610-9729	Adentoy@aol.com

WHNC Zoning & Planning Committee Meeting – June 11, 2024

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PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
JOHN GRIFFIN	7661 MINSING AVE	818 884 1823	JTGRIFF@GMAIL.COM
JEFF & MARION AMES	22839 SATICOY ST	818 437-4453	westrails@aol.com
Julie Wilson	7723 Sauselito Ave.	818 825-9401	momec2eme@gmail.com
Ida Lin	23312 Schoenborn St ^{West Hill}	818-963-8875	idajlin@yahoo.com
Brenda Wright	7524 Royce Ave ^{West Hill}		wright5050@yahoo.com
ROBERT PALLUCH	7524 ROYCE AVE	818 8369111	SRP01@GMAIL.COM
Bob Kern	23676 Blythe St	7605142884	bobkern247@gmail.com
Carla Tade	7816 Marquand Ave	818 648-2549	cartade@yahoo.com
Charles Tade	7816 Marquand Ave	818 648-2549	cartade@yahoo.com
Roula Carroum	7630 Balasiano Ave (818) 667-6157	RoulaCarroum@hotmail.com
Michelle & Barry	7630 Quimby Ave	818 8839285	MichelleWalnick
VIIVIAN PARCELLS	8048 Royce Ave	818 216 9691	vparcells4@gmail.com

WHNC Zoning & Planning Committee Meeting – June 11, 2024

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PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
CYRUS FARNOUSH	7981 QUIMBY AVE	818-22-8520	CFARNOUSH@GMAIL.COM
Karen Tandler	7902 Maestro Ave. ^{West Hills, CA 91307}	(818) 618-5535	datkarenattorney@yahoo.com
ARMANDO ROMUALDO	7508 woodlake Av ^{West Hills}	818 590 -1849	ARMANDOROMUALDO@yahoo.com
Lorelie S Yu	23104 Valerio St.	818-667-5389	lorelie.yu@equalpridemedia.com
IRVIN Weller	7325 Woodvale CT	818 929-9098	iweller101@gmail
MIGUEL VIDAURRI	23246 WINDOM ^{ST WEST HILLS} 91307	310 739 5543	MIGUELVE@ME.COM
CONSTANCE MANDERS	24008 Ingomar St ^{West Hills}	310 985 785	mandersc@mr.com
BETTY FELDMAN	7277 Pondera Cir	818 421 9002	Betfeldm@90L.com
Edward Feldman	7277 Pondera Cir	818 421 6647	Betfeldm@AOL.com
Pasha Ehtiyatkar	23024 Saticoy St.	818 497 7742	P.ehtiyatkar@gmail.com aashapa@yahoo.com
Hannah Simadibrata	23115 Saticoy St.	818 ⁵³⁴ 4 -7433	hsimadibrata@gmail.com
Adrianto Simadibrata	23115 Saticoy St.	818 428 9865	adrisim@yahoo.com
CAROL THILLE	23041 Covello St	818-918-8085	carolthille@gmail.com
KELLI JOHNSON	7708 QUIMBY AVE.	310 804 6846	kdkiana@gmail.com
VERONICA LENA	7646 MINSTER AV	818 523 9112	LENAVERONICA@ATT.NET

WHNC Zoning & Planning Committee Meeting – June 11, 2024

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PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Joan Welsh	7454 Woodlake	818-3576	Cammie menchica@yahoo
Nour Alrabadi	7725 Justin Ct	602-510-6644	Rabadi3@yahoo.com
Linda Gregory	7444 Bobby Boyar Ave	818 434 1678	abhotindustrial@skyglobal.net
FRANINE WEINER	7808 MARQUANO AVE	818 419-4820	franine.weiner@mac.com
Sari Hall	8025 Valley Floor	818-633-0164	Sarihall@gmail.com
Jeffrey Hall	8028 Valley Floor	818-633-6061	Benefitsman12@gmail.com
LORI & Ralph Michiel	7474 Pomelo Dr	818-620-1442	Swapwarrior@so.ca.gov.com
SHABBI BAMBOT	7405 JASON AVE	678-907-4711	shabbib@aol.com
FARIDA BAMBOT	7405 JASON AVE	678-907-4710	fbambot@gmail.com
INSIYA BAMBOT	7405 JASON AVE	678-687-6874	insiyab5@gmail.com
Valerie Miller	7325 Woodvale Ct	818-884-8319	
BILL PERRY	23108 Covello St	818 639 0310	perbill@gmail.com

WHNC Zoning & Planning Committee Meeting – June 11, 2024
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PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Terry & Lourdes Cather	7713 Justin Ct.	818-674-0962	max_cather@yahoo.com
BARBARA J. HARTMAN	7507 Melba Ave	818-438-2276	shelp926@sbglobal.net
Aimee Florea	7660 Balasiano Ave	310.703.9917	aimée.florea.xmwh@statefarm.com
Jandy Pearce	22605 Marlin Pl.	818 314 7407	Jandypearce@aol.com
Lynn Shortino	22344 Lull St CP 91304	818 3883050	LSHORTINO@aol.net
Philip Cusack	7914 Jason Ave	818 645 3292	philip.cusack@gmail.com
Marieth Peost	23661 Acminka St	312 286 2580	millesage@yahoo.com
MATT COPE	8846 AZUL DR	818 326 1740	MATEOCOPE@GMAIL.COM
STEWART Solomon	23529 Balmora Lane	818 324 4938	STEWART 8128@gmail.com
AZ Auto Technicians	7607 Woodlake Ave	818 340 9941	stewart 8128@gmail.com
George Kaskus	7516 Melba Ave	818 207 9040	georgekaskus@gmail.com
John J WALSH III	7041 ROYER AVE	818 926 1362	JJWALSHIII@YAHOO.COM
Cheree Coyle	7639 Ducor Ave.	818-943-9678	chereecoyle@gmail.com
Shawn Kerkhoff	23055 Sherman Way #4723	818-347-7243	sikerkliff@icloud.com
Don Leslie	7631 Quimby Ave	818-585-5709	4leslies@sbglobal.net

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PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Robert Welch	7475 Minstrel Ave	818-948-6244	
EMILIE WELCH	" " "	818 884 3993	EMBOB8@GMAIL.COM
Svetlana Vannishchuk	23943 Stagg St	323-428-3344	sretvav@gmail.com
Jackson Chong	23943 Stagg St	310-871-7138	lxv15@yahoo.com
Tora Ziaei	7466 Jansen Ave	909-921-2181	Shahab_Sadyadi@yahoo.com
BG Adinata	22900 Saticoy St	818-201-4293	bgadinata@gmail.com
Stephanie Wang	23500 Blythe St	818 987 3732	Changetswanged@gmail.com
Bill McKay	24606 Overland Dr	818-517-0660	bboyd04@AOL.COM
JOSÉ CARRILLO	7939 Bobby Boyar Ave	818 489 6926	CARRILLO987@GMAIL.COM
Katy Morales	7939 Bobby Boyar Ave West Hills,	(818) 523-9311	klm2.km@gmail.com
Joseph Ellich	7648 Bulasiano Ave CA 91304	818-836-8717	joeellich@me.com
Besli Betty Tamalton	7562 Bobby Boyar A westhill 91304	(818) 521-4999	
Srinivas Dhiman	7823 Cooper Ave WEST HILL	(818) 625-6005	SDHIMAN487@YAHOO.COM
Yogesh Dhiman	22936 Lull St west hills	818-523-9203	yogeshdhiman@hotmail.com
Stan Yu	23838 Strathern St west Hills	818-667-4949	ssierra762@hotmail.com
Rose Calderon	22435 Saticoy St West Hills CA 91307	818-371-8384	rrcc@gmail.com

WHNC Zoning & Planning Committee Meeting – June 11, 2024
Sign Up Sheet

(15) ✓

PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
BARRY SEYBERT	7515 GRAYSTONE DR WH 91304	818 517-5424	BARRYSEYBERT@USA.NET
Rod Carter	7307 Woodvale Ct. WH ⁹¹²⁰⁷	818 704-1351	carollecarter@gmail.com
Carol Carter	" " "	" "	
Shaun Riggie	7813 Maynard Ave WH	818-917-8056	smriggie@sbcglobal.net
JOHN MOORE	700 7501 Quimby Ave	818/456/7027	qmoore@yahoo.com
Mel Watrin	7625 minstrel ave	818-613-2350	mwatrin@gmail.com
Niki Watrin	7625 minstrel ave	818-613-2181	Niwatrin@gmail.com
Cyndee Pradovich	23016 Elkwood St	818 614 6382	akamomster@att.net
Peter Pradovich	23016 Elkwood St	818 456 2726	pradovich@att.net
Tina Donkian	23358 Saticoy St	818-621-0002	charlieandtinad@hotmail.com
ASIF SHAN	22940 COVELLO ST	818 414 6303	arifasteh@gmail.com
WALID-Ayoub	7538 BOBBYBOYAN AVE	818-324-3949	William200970@yahoo.com
Kathy Vidaurre	23246 Windom St	818-9324589	Ksher27@aol.com
JAHANGIR DEHMARDAN	23399 SANDALWOOD ST	818-561-3056	JDEHMARDAN@YAHOO.COM
Cecilia Hernandez	7140 Maestro Ave,	(818) 723-8911	ceciliaghdez@gmail.com

WHNC Zoning & Planning Committee Meeting – June 11, 2024

Sign Up Sheet

20 ✓

PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Ruth GLADSTONE	7825 SADRING AVE	818 203-4344	RUTHZGLADSTONE@ ^{Yahoo} SCORRIS.COM
LINDA DAMARJIAN	23610 ARMUDA ST ^{West Hill}	818 438-4272	redhead77@Sbcglobal.net
Maryam Zarkesh	8030 Bobbybayer Ave	818-999-0176	Mehmar1@aol.com
Jane Hernandez	2450 Chaminede Ave	818-605-2553	louishez94@gmail.com
Louis Hernandez	↓ ↓	818 481 3028	↓
PAT & JIM SHEVLET	7817 COWPER AVE WEST HILL, CA 91304	818-449-3967	JSHEVLET@SOCAL.RR.COM
Ellen + Michael Falkovitch	7732 Quimby Ave West Hill 91304	818 326-9989 818-489-5515	SLUTQUEENEF@AOL.COM
Nabeeh Ayoub	23048 Enadia Way West Hills CA 91307	747-744-7300	Nabeli57@hotmail.com
Ralph SHOUKRY	7501 Melba Ave 91304	818-585-6800	ra.shoukry@yahoo.com
Natalia Zhitomirsky	7411 Jason Ave 91307	310-8808424	nataliamoscow@yahoo.com
Boris Zhitomirsky	7411 Jason Ave 91307	323-333-6758	BZ008@hotmail.com
Tom Cusinano	23058 Lull St 91304	310-995-7432	Tom.Cusinano@gmail.com
Keren Drennan	23699 Sandalwood Dr.	858-837-3756	k.drenn@me.com
JIM TELLIER	5719 BLANCO AVE WHIS 23668 MADIR ST WEST HILLS	A/A-313-7112 818-406-8819	BLIP201DS@GMAIL.COM Jtellier@130@gmail.com
Jason + Laura Goldberg	8040 Melba Ave. WH 91304	310-413-1533	Laura & The Transaction Solutions.com
Amy Tu RJ Brightenburg	23700 Highlander Rd 91307	562 208 4275 818 634 0730	Brightenburg Brightenburg, RJ@gmail.com amy_ttu@yahoo.com

WHNC Zoning & Planning Committee Meeting – June 11, 2024

Sign Up Sheet

18+20
38 ✓

PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
ROB LARSEN	22922 ARMINA	818-999-9090	ROBCLARSEN@POL.COM
EDWARD BARKETT	7414 Moorcroft Ave		barketted1@gmail.com
DOUGLAS HUBBARD	7410 JASON AVE	818 451 8933	DAHUBBARD1123@GMAIL.COM
ADRIAN BERRY	8475 CARLA LN	818 439-3372	KREATIVE KAKES 4U@AZ.COM
Sophia Huynh	8031 Lena Ave 91304	818-42168210	SAHUYNH27@GMAIL.COM
VANGIE DOBBS	23259 Keswick St West Hills, CA 91304	(818) 383-9066	Rassambay@yahoo.com
Pamela Pinkham	23264 Keswick St West Hills, CA 91304	818-340-7551	pppinkham99@yahoo.com
Lam Biebel	23251 Keswick St West Hills Ca. 91304	818 340-7622	lambiebel@gmail.com
Nicole Bulman	8369 Maynard Ave 91304	(781) 2570440	NBulman@att.net
Renee Jacobs	8330 Maynard Ave 91304	818 917-8330	rrarenee@yahoo.com
Michael Brumleve	23506 Blythe St. 91304	818 692-5497	MBrumleve1@SOCAL.FR.COM

THOMAS BLATZ 7500 WOODLAKE AVE.
STEPHEN MORSE 7100 ROYER AVE

818 992-1926 TBLATZ@MSN.COM
818-888-1741 stvethetish66@gmail.com

Greg Herman 7544 Bobbyboyar Ave

818 422 4393 gherman26@gmail.com

Youhan Bakoozi 7745 sedan Ave
Robert Zanzule 7756 Cumbly Ave
Shirin Afshar 23024 Satcoy St
SUSAN MORRIS 22844 Lull St.

818 426-3080 Youhan424@gmail.com
818-489-3889
818-497-1540
818-884-8174
SUSAN KAY COE@HOTMAIL.COM
shirin00@gmail.com

all in →

WHNC Zoning & Planning Committee Meeting – June 11, 2024
Sign Up Sheet

17 + 5 ✓
(22)

PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Sue Mainpour	23317 Cohasset St	818 251 6079	heysuz80@yahoo.com
MARIA SAIS	23905 Cohasset	818-427-5670	MISAI@EARTHLINK.NET
Assad Amiri	23401 Blythe St.	(818) 970 4996	asamiri@me.com
Charles Winning	7946 Hillary Dr	915 825-0961	charles_winning@yahoo.com
Patricia Winning	7946 Hillary Dr	818-704-6326	Pwinning@yahoo.com
Danny Bolten	7531 Quimby Ave	805 558-6640	danny_bolten@yahoo.com
Patty Bolten	7531 Quimby Ave	805 558 6680	patty-bolten@yahoo.com
Aileen Ruiz	23010 Strathern St.	818-854-229	anr2987@gmail.com
Cynthia DeRuiz	23010 Strathern St.	818-299-9037	cynthiaderuiz@yahoo.com
SCOTT RANDALL	7519 QUIMBY AVE.	818-227-6835	QRNDK@yahoo.com
Sandy Randall	7519 Quimby Ave	818-625-5965	Sandy1u93@hotmail.com
John Lapointe	23671 Blythe St	818 704 6367	Johnlapointe@sbcglobal.net
Susan Bradshaw	23708 Elkwood St	818 421-1426	susanbradshaw585@gmail.com
Deborah Goldstein	23639 Arminta St	818-618-7812	debiegoldstein@gmail.com
Stephanie Hubbard	7410 Jason Ave West Hill CA 91307	818-430-1123	sahubbard1@gmail.com
SAM WELCH	7518 Quimby Ave	818.744.3158	Wardoban@gmail.com
Ward Robon	23065 Covell St	818 961 7779	

WHNC Zoning & Planning Committee Meeting - June 11, 2024
Sign Up Sheet

PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
Karenjo Crump	23706 Ingomar St ^{West Hill} 91304	818 312 3190	Kgoodwin@exactstaff.com
David Lynn Schrempf	23500 Lull St	818 632 4507	Lschrempf@gmail.com D.L.schrempf@gmail.com
Kathy Tedesco	23665 Community St.	818- 674 ⁶⁷⁴⁻⁰³⁶⁰ -0360	Kathytedesco@yahoo.com
Simian Floreo	7660 Balasiano Ave	310 242 7655	simirel@yahoo.com
Kasey Casel	23060 Saticoy St.	818-205-7711	Kaseycasel@gmail.com
MARCUS WIZAM	7501 Quimby Ave	818 640 3241	mkelasuram@yahoo.com
DAVID LAWRENCE	7827 WOODLAKE AVE	818 825 5667	DALAW109@MSN.COM
Jeff + Debbie Cohen	23625 Blythe St	818 968-2871	debbiec10687@gmail.com
Genevive Kiser	23501 Stratbarn St	818 692 6711	gpkiser01@gmail.com
JEFF ELLMAN	Ducor Ave 7638	(818) 917-8044	JEFFellman2112@gmail.com
Michael Brumleve	23506 Blythe St	818) 692-5497	mbrumleve1@social.rr.com
SUSY BRUMLEVE	23506 Blythe St	818) 692-5495	susybrumleve@gmail.com
DRAW ZITELLA	23710 BALTAR ST.		ZITELLA@SBCGLOBAL.NET
TARA BEHROOZI		818.634.6321	Tarabehroozia@yahoo.com
Diane Schulte	7545 Bobbyboyar Ave	818-635-1846	Dianelisa@sbcglobal.net
* Jack Halpern	7547 Malibu Ave	818 438-2276	jhalpern@sbcglobal.net

WHNC Zoning & Planning Committee Meeting - June 11, 2024
Sign Up Sheet

PRINT NAME (Legible please)	ADDRESS	CONTACT PHONE NUMBER	CONTACT EMAIL (Legible please)
TOM + ANNETTE SPARKS	23345 JONATHAN ST.	(818) 704-1363	SPARKS4144@GMAIL.COM
LYNNE MYKIETYN	8060 SADRING	(818) 883-9060	
GURJEET DHIMAN	7823 COMPER AVE W.H.	(818) 635-2537	GURJEETDHIMAN@YAHOO.COM
Deborah Ellis	6973 Bobbyboyar W.H.	818-406-2105	dmbearmont@hotmail.com
ALFUSATIAND	8000 HILLARY DR	818-226-9922	ALFUSATIAND@GMAIL.COM
JOSEPH PERRET	23717 BLYTHE ST WH	818-425-5452	JoePerret@msn.com
KAMRAN BRUKER		(818) 648-1172	KBEHR0071@Yahoo.com
Tamara Metken	7517 Bobbyboyar Ave	885902244	tamitur+L2@aol.com
Tami Kraveitz	7514 Bobbyboyar Ave.	(323) 702-8264	tamicohen128@hotmail.com
Jesse Burke	7645 Melba Ave.	(818) 857-8127	jessegburke@gmail.com
Richard Parcells	8048 Rover Ave	8185991381	poohmerpods@gmail.com
Wilchin	7651 Melba Ave WH.	818 999-5663	cssdgy@yahoo.com
M JAMES	7651 MELBA AVE WH	818-999-5663	MKS1949@YAHOO.COM



Hundreds of West Hills Residents Oppose Affordable Housing at Ranch Site

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CITY PLANNING
VAN NUYS

by VNG / June 14, 2024



A standing-room-only crowd of local residents jammed into a meeting of the West Hills Neighborhood Council's Zoning & Planning Committee to learn about a proposal to build a five-story "affordable housing" apartment building on the site of the recently demolished Circle S Ranch farmhouse.

More than 150 people attended the June 11 meeting at Chaminade College Preparatory High School, adjacent to the historic Circle S Ranch site on the southeast corner of Saticoy Street and Woodlake Avenue. (Chaminade, which has plans to develop the current Fields Market shopping center on the northwest corner, is not involved in the Circle S plan.) In addition, approximately 150 other West Hills stakeholders viewed the meeting online.

Many of the attendees voiced opposition to the project, which they said was inappropriate for the neighborhood of sing



The meeting was led by Bill Rose and Charlene Rothstein, co-chairs of the WHNC's Zoning & Planning Committee. Rothstein also serves as president of the WHNC Board of Directors.

Rose and Rothstein provided details of the tentative development plan submitted by members of the Ross family, which owned the 1920s-era Dutch Colonial Revival farmhouse for several decades before demolishing it in early June.

The proposal includes a structure containing 324 units housing as many as 900 tenants ages 55 and older, with parking on the ground floor. The plan would take advantage of density bonuses allowed under current California laws enacted to facilitate the building of affordable housing. The applicants have until Sept. 16, 2024 to submit a formal plan for the development.

Rose and Rothstein said the definition of "affordable housing" in the plan was unclear at this early stage of the proposal.

Several attendees advocated an organized community effort to oppose the development. Such an effort could include hiring a land-use attorney and circulating petitions to submit to representatives in state and local government.

Tags: [#WOODLANDHILLS](#)



TAKE IT TO THE MASSES!!! 

#LocalNews #community #ktla5news
#abc7eyewitness

STOP WOODLAKE AVE. LOW INCOME HIGHRISE APARTMENT PROJECT!!!!!!

Did you know? A developer is planning to build a **5 to 7 story, 332-unit 100% low-income housing** project with **INADEQUATE PARKING**, at 7556 Woodlake Ave, West Hills, S/E Saticoy corner. Concerns: **negative impact on our neighborhood, safety, pocket book, and our daily lives**. This was originally the Historical Circle S Ranch property.

PLEASE EMAIL YOUR CONCERNS TODAY to Laura Frazin-Steele, City Planner, Laura.frazinsteele@lacity.org. (818-374-9919). Subject Line: **Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills. Deadline approaching fast!!!**

CONCERNS: SAFETY HAZARDS, MONETARY LOSSES

- **Negative impact on our home property values.**
- **Increased traffic gridlock + accidents. Within 300 ft* of Chaminade**
- **Only 150 parking spaces for the 600+ residents expected.**
- **NO visitor parking - WHERE will visitors, residents park? Flooded streets!**
- **Fire Dept. & LAPD not currently outfitted to absorb 600+ people**

CONCERN: AVOID ECONOMIC DAMAGES:

We are now paying property taxes. Single family zoning replaced with low income housing on SFR zoning may **decrease our homes values, YET we must still pay the same or higher property taxes**. Lower home values mean tougher refinance and lower sale prices. **NOT FAIR!**

West Hills Neighborhood Council has been unsuccessful in stopping this development from moving forward, will not file any legal claims nor hire an attorney to stop this developer. **It is up to us, individual homeowners, to stop this developer**, who has already moved forward with obtaining permits. As of October 8, 2024, final architectural plans have not been made public.

Chaminade HS planning to build sports complex where Fields Market is currently located on Woodlake Ave. - traffic will be even heavier with student egress/ingress.

What you need to know about the proposed 5 story apartment building at Woodlake & Saticoy (i.e. the former Circle S Ranch property)

1. The owner of this property is working with a developer and submitted a preliminary application for this project.
2. They are planning this as a 324 unit senior living building. 259 units are designated for low income & 64 for moderate income.
3. They are proposing 184 auto parking spaces & 172 bicycle parking spaces.
4. The developer has applied for incentives, waivers, concessions & parking reductions pursuant to CA Gov Code Section 65915 (a.k.a. Density Bonus Law), the Transit-oriented Communities program & other "affordable housing" programs.

For West Hills, this likely means:

- more traffic and safety issues
- more noise and pollution
- unwanted parked cars in front of our homes
- strain on our already compromised police and firefighter resources
- reduced property values

Two other factors to consider regarding this proposed apartment building:


1. An expansion plan for Chaminade has been proposed to put lighted athletic fields/stadium and pool complex on the existing Fields shopping center site. Kindly note that a prestigious, private school could be more harmonious on the Fields Market property than a potential cluster of high rise apartments/condos.
2. The 2024-2025 S.W. Valley Community Plans (currently being worked on) will apply new state & city zoning regulations to allow developers more freedom to build incompatible "affordable housing" within and next to existing single-family neighborhoods. This could mean more density in our west valley neighborhoods.


Interested in finding out more? Go to the following link and scroll to the Circle S Ranch section:

<https://www.westhillsnc.org/committees/viewCommittee/zoning-&-planning-committee->

Last but not least, here are the email addresses of our CA representatives to send objections or concerns to:


- **Councilmember John Lee**, 12th L.A. Council District, Vice Chair Planning & Land Use Management Committee, Vice Chair Public Safety: Councilmember.Lee@lacity.org
- **Councilmember Bob Blumenfield**, 3rd L.A. Council District, Vice Chair Housing & Homelessness Committee: councilmember.blumenfield@lacity.org
- **Assembly Member Jesse Gabriel**, 46th CA State Assembly District, Subcommittee on State Administration (includes policies affecting housing, homelessness): assemblymember.gabriel@assembly.ca.gov
- **Senator Henry Stern**, 27th CA State Senate District, Chair Joint Legislative Committee on Climate Change Policies; Senator.Stern@Senate.Ca.Gov
- **Senator Nancy Skinner**, 9th CA State Senate District, Chair Housing Committee: <https://lcmspubcontact.lc.ca.gov/PublicLCMS/ContactPopup.php?district=SD09&iframe=N>
- **Senator Scott Weiner**, 11th CA State Senate District, authored bills expediting and allowing local governments to zone more housing more quickly: <https://sd11.senate.ca.gov/contact>
- **Assembly Member Christopher M. Ward**, 78th Assembly District, Chair Housing and Community Development Committee: <https://a78.asmdc.org/contact>
- **CA Governor Gavin Newsom**: <https://www.gov.ca.gov/contact/>

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Ward Roban
Chaminade • 13 Jul • 



Stop Rezoning for High-Density Apartments in West Hills



Many of us West Hills residents, including my family and neighbors, have lived here for over 50 years. We've witnessed a rise in crime, including break-ins, home invasions, burglaries, and physical attacks. Rapid community growth has strained our resources, leaving us with insufficient police, firefighters, and homeless outreach. The police are overwhelmed, often unable to respond promptly to emergencies. How can we accommodate more residents under these conditions?



The proposed replacement of the historic Circle S Ranch property with a five-story, 324-unit affordable housing apartment building will drastically change our neighborhood. The plan includes rezoning single-family neighborhoods to allow eight-story apartment buildings, potentially bringing up to 950 new tenants into our area. This development can potentially reduce our quality of life by increasing traffic, pollution, crime...

Continue reading and sign this petition on [Change.org](https://chnng.it/Zs8nzHPHWx): <https://chnng.it/Zs8nzHPHWx>



Sign the Petition
change.org

 1 



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

ADM-2024-5202-DB-PHP-VHCA

2 messages

ADRIAN COOK <adriankcook@yahoo.com>
To: Laura.frazinsteede@lacity.org

Thu, Dec 5, 2024 at 9:16 PM

To: Laura Frazinsteede,

As a resident of the West Valley, I am reaching out to express my concerns regarding the proposed development in our neighborhood. This project presents numerous challenges and would significantly disrupt our community.

Key issues include:

- Devaluation of Homes: The proposed changes are likely to decrease property values in the area.
- Increased Traffic Accidents: Adding more residents and activity will worsen an already congested area, increasing the risk of accidents.
- Impact on Infrastructure: Our current infrastructure is not equipped to handle the additional strain from increased housing and traffic.

Additionally, replacing the existing supermarket with a baseball field and building more low-income housing raises serious questions:

1. Neighborhood Impact: How does this benefit our community? The loss of a supermarket is inconvenient and detrimental to residents.
2. Overcrowding: Cramming 600 more people into a small area without sufficient parking will create chaos.
3. Emergency Services: The LAPD and fire department are already stretched thin; how will they manage the added demand?

It appears that city planning has not fully considered the long-term consequences of this proposal. I urge you to re-evaluate the project and prioritize the well-being of the existing community.

I look forward to your response and hope you will consider the impact this development will have on our neighborhood.

Sincerely,
Adrian Cook
adriankcook@yahoo.com
818-631-3010

[Sent from Yahoo Mail for iPhone](#)

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: ADRIAN COOK <adriankcook@yahoo.com>

Mon, Dec 9, 2024 at 12:08 PM

Hello,
Your name has been added to our interested parties list.
A determination on this matter was issued on 12/5/24 prior to receiving your comment at 9:16 p.m.
For your reference, the letter and plans are attached.
Thank you,
Laura

 Exhibit A_Companded.pdf



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430



Laura Frazin-Steele <laura.frazinsteele@lacity.org>

URGENT! 7556 Woodlake Avenue | Opposed to this development

4 messages

Aimee Cornwell <aimeecornwell240@gmail.com>
To: Aimee Cornwell <aimeecornwell240@gmail.com>
Bcc: laura.frazinsteele@lacity.org

Mon, Oct 28, 2024 at 2:44 PM

I am a 50 year home & business owner in the San Fernando Valley who is strongly opposed to the 332-unit low income housing project in my neighborhood.

Over 1,000 signatures and counting have been collected and we urge our voices and concerns be heard.

I ask all of the representatives how would you like to have this project in your neighborhood?

Please think about that question before dismissing the concerns of so many tax paying homeowners.

Aimee Cornwell
(818) 427-9059

Flora Melendez <flora.melendez@lacity.org>
To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>
Cc: Blake Lamb <blake.lamb@lacity.org>

Mon, Oct 28, 2024 at 3:05 PM

Hello.

I'm forwarding an email received by Vince.

Thank you.

~ Angie



Flora (Angie) Melendez
Pronouns: She, Hers, Her
Executive Administrative Assistant III
Los Angeles City Planning
200 N. Spring St., Room 525
Los Angeles, CA 90012
T: (213) 978-1271 | F: (213) 978-1275
planning.lacity.gov



[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Flora Melendez <flora.melendez@lacity.org>
Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>

Tue, Oct 29, 2024 at 7:40 AM

I will respond, thank you.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org
f i X in ▶ E-NEWS

Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see here.

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Aimee Cornwell <aimeecornwell240@gmail.com>

Tue, Oct 29, 2024 at 7:42 AM

Good Morning,
Your email to Vince Bertoni was forward to me. I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Thank you for your comments. Please address any additional comments to me.
I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org
f i X in ▶ E-NEWS

Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see here.

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case# ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave., West Hills

2 messages

Amy Farhadzadeh <amyfarhadzadeh@gmail.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Sun, Oct 20, 2024 at 10:48 AM

Dear Ms. Frazin-Steele,

This email is a form of a Petition to stop the project named in the subject line.

Please re-consider the city's plan about the low income highrise apartment project in West Hills!
There are many factors that would affect our lives adversely if this project goes forward.

Some of our concerns are:

- Decreasing home values
- Huge traffic and parking issues
- Extreme safety issues

With regards,
Amy Farhadzadeh
[23001 Cohasset St.](#)
[West Hills, CA 91307](#)

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Amy Farhadzadeh <amyfarhadzadeh@gmail.com>

Mon, Oct 21, 2024 at 10:29 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | [Planning4LA.org](#)



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

andrew rimes <rimesae@yahoo.com>
 To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>
 Cc: Andrew Rimes <rimesae@yahoo.com>

Wed, Oct 23, 2024 at 9:05 AM

I am writing to object to the planned development in my neighborhood. I reside at [7338 Woodvale Court, West Hills](#).

This housing project will negatively impact home property values in my area. It will increase congestion and traffic on our streets and has the potential to adversely impact safety in the general West Hills area.

Thank you for considering my input into your decision regarding this unwanted project. I hope it will not advance forward any further.

Andrew Rimes

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
 To: andrew rimes <rimesae@yahoo.com>
 Cc: Andrew Rimes <rimesae@yahoo.com>

Wed, Oct 23, 2024 at 9:44 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
 Laura



LOS ANGELES
 CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | [Planning4LA.org](#)



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Concerns Regarding High-Density Housing Project on Woodlake Avenue

2 messages

Angelina Chen <sk8chenangelina@gmail.com>

Thu, Nov 28, 2024 at 1:04 AM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

My name is Angelina Chen, and I am a student at Chaminade High School, located near the proposed high-density housing project on Woodlake Avenue. I am writing to express my concerns about the impact this project may have on our school, our community, and the safety of those who live and study in the area.

As a student, I see firsthand how bad the traffic already is during school hours. Cars frequently back up on Woodlake Avenue, making it difficult for students, parents, and staff to arrive on time. Adding a high-density housing complex with hundreds of new residents will only make this situation worse. The limited parking spaces proposed for the project will likely lead to overflow parking in nearby streets, further increasing congestion.

I am also deeply worried about public safety. The area around our school is already busy with cars and pedestrians, especially during drop-off and pick-up times. With the addition of so many new residents, the risk of accidents will undoubtedly increase. This is a concern not just for students but for everyone in our neighborhood.

Lastly, I worry that this development could change the peaceful and welcoming nature of our community. Chaminade and the surrounding area have always been places where families feel safe and connected. I'm not sure our neighborhood can handle such a large increase in population without compromising what makes this community special.

Please consider the long-term effects this project could have on students like me and the entire neighborhood. I respectfully ask that the city carefully evaluate whether such a high-density housing complex is truly a good fit for this area and explore other solutions that address both the housing needs and the well-being of the community.

Thank you for taking the time to listen to my concerns.

Sincerely,

Angelina Chen

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Dec 2, 2024 at 4:11 PM

To: Angelina Chen <sk8chenangelina@gmail.com>

Hello,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Barbara Kaye <kayeland@aol.com>
To: Laura.frazinsteede@lacity.org

Tue, Oct 22, 2024 at 9:51 AM

Dear Ms. Frazin-Steele:

As a long time resident of West Hills, I am strongly opposed to the construction of the proposed 5-7 story, 332-unit, high rise apartment project at [7556 Woodlake Ave, West Hills](#), S/E Saticoy corner. I believe this will negatively impact traffic, safety, our quiet neighborhood and our property values. It is laughable to believe there would be adequate parking or even multiple lanes or traffic lights to absorb the increased traffic. Please consider the present neighborhood and wishes of those who already live here.

Sincerely,

Barbara Kaye

[Sent from the all new AOL app for iOS](#)

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Barbara Kaye <kayeland@aol.com>

Wed, Oct 23, 2024 at 10:40 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Proposed Circle S Ranch property high density apartment complex.

2 messages

Bill Perry <perbill@gmail.com>
To: Laura.frazinsteede@lacity.org

Tue, Oct 22, 2024 at 1:30 PM

Dear Ms Steele,

I have just been informed by concerned immediate neighbors that a five story, high density project is being proposed for our residential neighborhood at the intersection of Saticoy St. and Woodlake Ave. in West Hills. Formerly the Circle S Ranch property. A project of this magnitude will have a major negative impact on many more people than it will benefit at this location. The density of this project will overwhelm the lifestyle of everyone living in the immediate neighborhood. There are no amenities to speak of within walking distance of the proposed site and bus service for any residents living in the project would be forced to travel miles to even access a grocery or drug store or any other basic services. The idea that this building site would be beneficial to anyone except the developers of the property is ludicrous.

My wife and I have lived a stone's throw from that location since 1978. We moved to West Hills (then Canoga Park) exclusively for the rural atmosphere and have raised our family and enjoyed the community here ever since. We have invested heavily in our home and property never suspecting that the quality of life here could be so drastically and permanently changed by circumventing the zoning laws that were in place when we bought our home to accommodate a facility better located in a commercially designated location. We have counted on the laws that ensured West Hill's health, regulate its growth, raise our property values and ensure a stable quality of life. Building a project of this magnitude at that location is a violation of our trust in city government.

Sincerely,

William and Suzan Perry

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Bill Perry <perbill@gmail.com>

Wed, Oct 23, 2024 at 10:08 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Re: Case #ADM-2024-5202-DB-PHP-VHCA , 7556 N. Woodlake Avenue, West Hills.

2 messages

Trevor Martin <trevor.martin@lacity.org>
 To: Bill Perry <perbill@gmail.com>
 Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Nov 4, 2024 at 6:02 PM

Hi William,

Laura Frazin-Steele is the Project Planner assigned to this case. I've cc'd her on this email.

Best,

Trevor



Trevor Martin

Pronouns: He, His, Him
 City Planner | BESt Unit

Los Angeles City Planning

201 N. Figueroa St., Room 525

Los Angeles, CA 90012

T: (213) 978-1341 | Planning4LA.org



Effective September 30, 2024, Planning.CCU@lacity.org will no longer be in use for inquiries to the Beverage and Entertainment Streamlining (BESt) unit. Starting on that date, email Planning.BESt@LACity.org for questions about BESt services and LA City alcohol authorization procedures, including the Restaurant Beverage Program, AI Fresco Alcohol Authorizations, and alcohol- and dancing-related Conditional Use Permits.

Efectivo el 30 de septiembre del 2024, Planning.CCU@lacity.org ya no va estar disponible para preguntas para la unidad de Simplificación de Entretenimiento y Bebidas (o BESt por sus siglas en inglés). Empezando esa fecha, mande correos electrónicos a Planning.BESt@LACity.org con preguntas sobre servicios de BESt y procedimientos de autorización de alcohol de la Ciudad de Los Ángeles, incluyendo el Programa de Bebidas de Restaurante, Autorizaciones de Alcohol de AI Fresco, y Permisos de Usos Condicionales relacionados con bailar y alcohol.

On Mon, Nov 4, 2024 at 10:13 AM Bill Perry <perbill@gmail.com> wrote:

Dear Mr Martin,

I am writing about my concerns for the proposed high rise building project at 7556 N. Woodlake Ave. in West Hills 91304. This project as planned would disrupt this quiet single family neighborhood immeasurably. We purchased our home in this neighborhood as did our neighbors specifically because of its quiet nature which would be destroyed by reducing our privacy and increasing the traffic on the streets surrounding this building. Surely a project of this magnitude would be better suited to a neighborhood with more commercial businesses and public transportation that could accommodate such a high density project? Our utilities, the water, power and sewers, were not designed or planned for such an increase in population density. Most of the utilities around this proposed project were developed in the early 1950's with certainly no idea or thoughts that in the future they would be required to withstand the burden of so many apartment units on them. They are already starting to fail with just the homes that are already here. It would also overwhelm the police and fire departments which are already too understaffed to service the current population in a timely manner.

The new changes in our local zoning laws at the state level are of a "one size fits all" nature. Surely the concerns and desires of the constituents living within the city and county must be fairly considered and addressed as well. The need for more housing can certainly be addressed by building apartment complexes in areas that can accommodate the people who will live in them by building them in areas where services and

businesses are conveniently located as well. Places where noise and traffic are more easily absorbed into the region.

Sincerely,
William and Suzan Perry

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Wed, Nov 6, 2024 at 9:55 AM

To: Trevor Martin <trevor.martin@lacity.org>

Cc: Bill Perry <perbill@gmail.com>

Good Morning Mr. and Mrs. Perry,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case No. ADM-2024-5202-DB-PHP-VHCA

1 message

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Bill Perry <perbill@gmail.com>

Mon, Nov 4, 2024 at 12:38 PM

Hello Mr. and Mrs. Perry,
The email that you send to the attention of Vince Bertoni at Los Angeles City Planning was forwarded to me. I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Re: Reference #CPC-2023-7068-CA

2 messages

Housing Element <housingelement@lacity.org>
To: Brad Curry <brad@curryins.com>
Cc: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Oct 3, 2024 at 4:26 PM

Hi Brad,

Thank you for your email. Case number CPC-2023-7068-CA refers to the Citywide Housing Incentive Program (CHIP) Ordinance, which is a proposed ordinance which will apply citywide once adopted and is part of the [Housing Element Rezoning Program](#). Please note that this inbox (housingelement@lacity.org) is for questions and comments related to the [Housing Element Rezoning Program draft ordinances](#). I believe that your email is referring to a proposed project located in West Hills. The project planner for the area where this proposed project is located is Laura Frazin-Steele. I've cc'd her here so that she can record your comments.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Sat, Aug 24, 2024 at 12:05 PM Brad Curry <brad@curryins.com> wrote:

Hello,

Re: Reference #CPC-2023-7068-CA

I have lived here in the same home since 1986, and I have noted many changes over the years, however it has remained a quiet neighborhood that is safe to walk in, our children to play, and with a low incidence of crime. I am writing to you to express my firm belief that the 354 unit apartment project which has apparently been permitted for up to 8 stories at the corner of Saticoy & Woodlake Ave is a big mistake. There is nothing for miles in any direction that exceeds 2 stories. This will be an enormous eye sore to the whole area that will stick out like a sore thumb. It is inappropriate for you to allow such a large structure, which will result in a parking nightmare in the neighborhood, and will increase traffic exponentially when added to West Hills Hospital, and Chaminade high school. It is also not unusual for drivers to run the stop sign at Saticoy and Woodlake. This will only become more common as many of today's drivers have no consideration for the vehicle code or the safety of the people around them. As it is, the stop signs on Woodlake are run over regularly by careless drivers. What will it be like with so many new residents trying to park their vehicles,

and driving on our streets. This neighborhood is nothing but single family homes for a mile or more in any direction. Developers have no concern for the neighborhood they are turning upside down all for their own greed. There are many other areas where there are dilapidated homes that are appropriate to be taken down and replaced with new housing. In addition how was it approved that a beautiful home over 100 years old that is on the property now is to be destroyed. It's not like it's an eye sore or inappropriate for the area as this apartment project would be.

The construction itself will severely affect the neighborhood. The traffic from large trucks, contractors, and the dirt and dust it will stir up will affect all of the residents in the neighborhood. This project will not be completed in a year. It will take multiple years for the project to complete due to it's size. I write insurance for projects like this, and I know how long it will take. A minimum of 2 years, and probably longer due to it's size. It simply reflects the greed of this developer who obviously has no consideration for the people who do and will live here. In addition there will have to be 2 levels of parking to be able to handle a minimum of 354 vehicles. There is going to be a huge hole in the ground to accommodate that many vehicles, and all of the soil will need to be moved. Again, big trucks raising dust in the neighborhood adversely affecting the health and safety of the residents, and the students at the nearby schools. How is this sudden influx of new residents many of whom will have families going to affect the local schools? It won't be an improvement, and would adversely affect the education of the children currently attending those schools due to over crowding. The number of vehicles parking on Saticoy, and Woodlake will swell, and will affect the safety and peace of the current neighbors, the children walking from school including the new students, and again create a parking nightmare.

On top of that our quiet neighborhood is going to be less attractive to potential buyers, and the value of our properties will be affected. There is nothing I can see in this situation where the needs and wants of the neighborhood will be helped by an invasion of so many new residents in an area that was not developed with this purpose in mind. All of our services will be adversely affected.

I request that you reconsider this invasion of a quiet residential neighborhood to have it become an over-crowded and more dangerous place to live.

Thank you for your consideration in this matter.

Brad Curry

[23247 Arminta St](#)

[West Hills CA 91304](#)

Brad Curry Insurance Services
14011 Ventura Blvd #208E
[Sherman Oaks, CA 91423](#)
Phone (818) 986-1030
Fax (818) 986-7613
brad@curryins.com
www.curryins.com

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>
Cc: Brad Curry <brad@curryins.com>
Bcc: Housing Element <housingelement@lacity.org>

Mon, Oct 7, 2024 at 9:10 AM

Hello Mr. Curry,

I believe that you are referencing Case No. ADM-2024-5202-DB-PHP-VHCA located at 7556 N. Woodlake Ave. I am the project planner assigned to this case. Your comments are a part of the public record, and I am adding your name to our interested parties list.

Please be aware that no decision has been made on this case. Currently, the case is on hold while we wait for the applicant to provide required materials. I am not the decision-maker on this case. The decision-maker is the Director of Planning. However, the decision-maker will review all public comments, including yours, prior to making a decision.

Thank you for your comments and your patience.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Woodlake and Saticoy Proposed Apartment

5 messages

bpally@aol.com <bpally@aol.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Thu, Oct 10, 2024 at 12:56 PM

Hi Ms. Frazin Steele

I am a long standing resident of West Hills and feel the proposed affordable living apartment building at Saticoy and Woodlake is ill advised. The extra traffic that it will add will make a bad intersection must worse. Being so close to a high school is an added issue. Having 1 parking space for 2 apartments makes little sense. Parking on the street near there is very limited.. A 5 story apartment doesn't fit the area and will change the feel to the area negatively. There are no high rise apartments in the vicinity and would change the dynamic for all the residents in the area.

Police and fire are over burdened in the area and this project would put more strain on fire and police.

Please give the residents input the consideration we deserve.

Sincerely,

Bruce Pally

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: "bpally@aol.com" <bpally@aol.com>

Thu, Oct 10, 2024 at 1:27 PM

Hello Bruce,

Thank you for your comments regarding Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]

bpally@aol.com <bpally@aol.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Oct 10, 2024 at 1:35 PM

Thank you and much appreciated.

Sincerely

Bruce Pally

[Quoted text hidden]

bpally@aol.com <bpally@aol.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Wed, Oct 30, 2024 at 12:48 PM

Hi

I called you yesterday and left a message. Would appreciate a call back at 818-340-9222 as I have a few questions about this project.

Thanks

Bruce Pally

On Thursday, October 10, 2024 at 01:27:47 PM PDT, Laura Frazin-Steele <laura.frazinsteel@lacity.org> wrote:
[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: "bpally@aol.com" <bpally@aol.com>

Wed, Oct 30, 2024 at 4:12 PM

Hi Bruce,
Please email your questions to me, and I will respond.
In the meantime, I have added you to our interested parties list.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org
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[Quoted text hidden]

bpally@aol.com <bpally@aol.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Wed, Dec 4, 2024 at 11:45 AM

Hi

What's the latest on this project? Below you stated I am on an interested party list and have heard nothing.

Instead of this corner has anyone looked at the old Vallarta market site at Roscoe and Owensmouth? There are high density apartments next to it and shopping is close.

Thanks

Bruce Pally



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

STOP WOODLAKE AVE HIGHRISE #ADM-2024-5202-DB-PHP-VHCA, 7556 N. WOODLAKE, West Hills.

2 messages

Carole Mazer <wanderlustcc@gmail.com>

Thu, Nov 7, 2024 at 9:22 AM

To: "laura.frazinsteel@lacity.org" <laura.frazinsteel@lacity.org>

This is a horrible idea and will change our neighborhood negatively, not just our property values, but traffic gridlock and accidents.

I work locally as an ER nurse and I can tell you this kind of structure will impact negatively, many of the local businesses. I work closely with the Fire Department and LAPD and the idea that they are inheriting this property to attend to also, it is unjust, unreasonable, unnecessary and it needs not to happen and I will do everything in my power to see that it doesn't.

Sincerely,

Carole Mazer

818-231-0656

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thu, Nov 7, 2024 at 12:36 PM

To: Carole Mazer <wanderlustcc@gmail.com>

Hello,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

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I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Fwd: Opposition to multistory development at 7556 Woodlake Ave, West Hills

2 messages

Carol <carolthille@gmail.com>
To: laura.frazinsteede@lacity.org

Sun, Nov 3, 2024 at 11:36 AM

I have owned my single story, single family home in this neighborhood since 1966. We bought because of good schools, natural environment, low volume of traffic, low noise and clean air. There were no apartment buildings or multi story building here.

Now we have increased traffic on the neighborhood street with students driving to Chaminade High School. They are driving through the neighborhood because Saticoy Street is only one lane in each direction at the intersection with Woodlake. There is a 4 way stop at that intersection but the flow of traffic is diminished. There are no sidewalks at 7556 Woodlake Ave as well as on Saticoy next to the property.

There is no on street parking on Woodlake or Saticoy adjacent to this property where there is no sidewalks.

With the proposed increase in the population there will be a strain on the utilities, water, power and sewers. A large influx of people will also strain the fire and police response times.

Increased population is likely to raise the crime rate which will impact us all. Noise and congestion will also have a negative impact on this neighborhood.

Sincerely, Carol Thille

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Carol <carolthille@gmail.com>

Mon, Nov 4, 2024 at 7:55 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Re: : Opposition to multistory development at 7556 Woodlake Ave, West Hills

2 messages

Housing Element <housingelement@lacity.org>
To: Carol <carolthille@gmail.com>
Cc: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Tue, Nov 5, 2024 at 8:24 AM

Hi Carol,

Thank you for your email. Please note that this inbox (housingelement@lacity.org) is for questions and comments related to the [Housing Element Rezoning Program draft ordinances](#). The project planner for the area where this proposed project is located is Laura Frazin-Steele. I've cc'd her here so that she can record your comments.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Sun, Nov 3, 2024 at 1:27 PM Carol <carolthille@gmail.com> wrote:

I have owned my single story, single family home in this neighborhood since 1966. We bought because of good schools, natural environment, low volume of traffic, low noise and clean air. There were no apartment buildings or multi story building here.

Now we have increased traffic on the neighborhood street with students driving to Chaminade High School. They are driving through the neighborhood because Saticoy Street is only one lane in each direction at the intersection with Woodlake. There is a 4 way stop at that intersection but the flow of traffic is diminished. There are no sidewalks at 7556 Woodlake Ave as well as on Saticoy next to the property.

There is no on street parking on Woodlake or Saticoy adjacent to this property where there is no sidewalks.

With the proposed increase in the population there will be a strain on the utilities, water, power and sewers. A large influx of people will also strain the fire and police response times.

Increased population is likely to raise the crime rate which will impact us all. Noise and congestion will also have a negative impact on this neighborhood.

Sincerely, Carol Thille

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Housing Element <housingelement@lacity.org>
Cc: Carol <carolthille@gmail.com>

Wed, Nov 6, 2024 at 9:29 AM

Good Morning Ms. Thille,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. Your name has also been added to our interested parties list.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

#ADM-2024-5202-DB-PHP-VHCA,7556 N.Woodlake Ave, West Hills

2 messages

Carol <carolthille@gmail.com>

Sun, Oct 20, 2024 at 11:44 AM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

I am a very concerned resident, since 1969, living adjacent to the above project. This is a single family resident community and not equipped for a high rise development. Traffic is already congested, Saticoy near Woodlake Ave is only one lane in each direction with a 4 way stop and there is heaving congestion with students driving through the neighborhood getting to Chaminade. The neighborhood can't absorb more traffic

The Fire Department and LAPD are stretched thin and will be unable to respond in a timely manner now. How can they service an additional 300 to 600 people.

There will be no near by shopping for the residents. The local market is closing and there is nothing else in walking distance.

Depending on onsite parking, will residents or visitors be parking in the neighborhood?

I am also concerned about the negative effect on the water usage and stress on the sewer system.

Perhaps a few single family homes would be a better fit for this neighborhood.

Sincerely, Carol Thille

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 10:29 AM

To: Carol <carolthille@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



LOS ANGELES CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake, West Hills

2 messages

Carole Kirschner <ckirschner1@gmail.com>
To: Laura.frazinsteede@lacity.org

Tue, Oct 22, 2024 at 7:11 PM

I have real concerns about building such dense housing on this corner. It will cause more traffic, more accidents, put pressure on the LAPD and LAFD services and will affect the quietness of the neighborhood.
Please reconsider.
Carole Kirschner
818-516-2188

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Carole Kirschner <ckirschner1@gmail.com>

Wed, Oct 23, 2024 at 8:24 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Woodlake Highrise

2 messages

Catherine Nolan <cenolan@yahoo.com>
To: Laura.frazinsteel@lacity.org

Mon, Oct 28, 2024 at 7:59 PM

I am against the highrise. This is a single family residence area and building a 4 to 5 story apartment would ruin the neighborhood and cause more traffic. Why don't they build garden homes to help new homeowners purchase homes!!
Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Catherine Nolan <cenolan@yahoo.com>

Tue, Oct 29, 2024 at 7:16 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA Property located at 7556 N. Woodlake Avenue, West Hills

2 messages

Ceci H <ceciliaghdez@gmail.com>
To: Laura.frazinsteel@lacity.org

Mon, Oct 28, 2024 at 10:08 PM

Hello,

I am writing to you as a concerned West Hills resident. I live an only few blocks from this proposed apartment planed on Woodlake Ave. Our neighborhood is not built for this type of housing. The corner of Woodlake and Saticoy is currently a 4 way stop and is not equipped to handle such a population increase. There is absolutely no way to guarantee that there won't be 500+cars coming in and out for this corner from that proposed apartment building. It is a hazard 1000%. Our police and fire departments are already understaffed and underfunded. This is a disaster waiting to happen. Not to mention that this neighborhood is a single family community. It is not the place for an apartment building.

Please help us to prevent the destruction of our beautiful single family community.

Respectfully,

Cecilia Hernandez
Home Owner

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Ceci H <ceciliaghdez@gmail.com>

Tue, Oct 29, 2024 at 7:13 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Chantal Banapour <chantalyavari@gmail.com>
To: laura.frazinsteel@lacity.org

Wed, Oct 30, 2024 at 8:43 AM

Chantal Banapour

7749 Ducor Ave
West Hills, CA 91304
10/24/24

Dear Councilwoman Frazin,

I hope this letter finds u well. My name is Chantal Banapour, and I am a resident of West Hills. I am writing to express my concerns regarding the proposed low-income housing project at [7556 Woodlake Ave](#).

While I understand the importance of affordable housing, I believe that this project poses significant challenges to our community. The potential increase in population density could negatively impact our daily lives and overall safety. As residents of single-family homes, we take pride in our community and the quality of life it offers.

Moreover, I am worried about the impact this project will have on property values in our area. With the construction of this low-income housing, there is a real concern that our home values may decrease while we continue to pay the same—or potentially higher—property taxes. This situation would place an unfair financial burden on homeowners like myself who are committed to our community.

I urge you to consider these factors as you evaluate the project. It is crucial to find a balance that supports affordable housing initiatives without compromising the well-being and financial stability of current residents.

Thank you for your attention to this matter. I hope to see a solution that benefits everyone in our community.

Sincerely,

Chantal Banapour
310 622 5541

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Chantal Banapour <chantalyavari@gmail.com>

Wed, Oct 30, 2024 at 4:19 PM

Hello,

I am not a member of the Los Angeles City Council. If you wish to contact John Lee, the Councilperson for Council District 12 regarding this case, please following this link: [Council District 12 | CD12](#)

I am the project planner in Los Angeles City Planning who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. You may also provide comments regarding this case to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Re: Re Case #2024-3365-AHRF-PHP

1 message

Dani Dirksen <dani.dirksen@lacity.org>

Tue, Oct 1, 2024 at 1:11 PM

To: Char Rothstein <charwhnc@gmail.com>, Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Cc: Greg Guillermo <greg.guillermo@lacity.org>

Hello,

+[Laura Frazin-Steele](#) is the point of contact for comments on this project (unless she directs you to another staff member).

Thank you,

On Tue, Oct 1, 2024 at 1:05 PM Char Rothstein <charwhnc@gmail.com> wrote:

Good afternoon,

I hope you are having a good day.

This comes to you from the West Hills Neighborhood Council (WHNC) regarding the above mentioned case:

Please find several pages attached regarding this case.

**Note that on page 2 of 12, the applicant did not check the box stating that a school is located within 500 feet however it is. The same school, Chaminade Preparatory High School also owns the center across the street from the site for the proposal and will be expanding the school onto that site as soon as the city has given approval. We have already had the first hearing. The case number is 2023-1254-VZC-HD-ZAD-ZAA. If you need further information, Trevor Martin in city planning will be able to assist.

I believe that you should be aware that the WHNC Zoning & Planning committee has received petitions from residents with over 1000 signatures against the project because it is in the middle of a single family residential neighborhood with only one and two story homes. The homeowners that surround the site are currently seeking a land use attorney.

After attending the City Planning Commission meeting on 9/26/24, it appears that the vote to protect single family zones from upzoning has passed and will now go to city council. Please note the page sent with this email from that hearing labeled Item NO. 6, 7, and 8

Please let me know if you have any questions.

We appreciate your help with information on this case.

There is a WHNC Zoning meeting on Tues Oct 8th and residents have questions.

Best regards,
Char Rothstein
WHNC/Pres
Zoning & Planning/Co-Chair



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Re Case #2024-3365-AHRF-PHP

2 messages

Char Rothstein <charwhnc@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Tue, Oct 1, 2024 at 2:04 PM

Good afternoon,

I hope you are having a good day.

This comes to you from the West Hills Neighborhood Council (WHNC) regarding the above mentioned case:

Please find several pages attached regarding this case.


**Note that on page 2 of 12, the applicant did not check the box stating that a school is located within 500 feet however it is. The same school, Chaminade Preparatory High School also owns the center across the street from the site for the proposal and will be expanding the school onto that site as soon as the city has given approval. We have already had the first hearing. The case number is 2023-1254-VZC-HD-ZAD-ZAA. If you need further information, Trevor Martin in city planning will be able to assist.

I believe that you should be aware that the WHNC Zoning & Planning committee has received petitions from residents with over 1000 signatures against the project because it is in the middle of a single family residential neighborhood with only one and two story homes. The homeowners that surround the site are currently seeking a land use attorney.

After attending the City Planning Commission meeting on 9/26/24, it appears that the vote to protect single family zones from upzoning has passed and will now go to city council. Please note the page sent with this email from that hearing labeled Item NO. 6, 7, and 8

Please let me know if you have any questions.
We appreciate your help with information on this case.
There is a WHNC Zoning meeting on Tues Oct 8th and residents have questions.

Best regards,
Char Rothstein
WHNC/Pres
Zoning & Planning/Co-Chair

 Scan_2024-10-01_122943.pdf
1649K

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Char Rothstein <charwhnc@gmail.com>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Courtney Yellen <courtney.yellen@lacity.org>

Mon, Oct 7, 2024 at 11:57 AM

Good Morning Char,

I am looping in +Claudia Rodriguez and +Courtney Yellen for their awareness.

Thank you for your comments regarding Case No. ADM-2024-5202-DB-PHP-VHCA located at 7556 N. Woodlake Ave.

Please be aware that no decision has been made on this case. Currently, the case is on hold while we wait for the applicant to provide required materials. I am not the decision-maker on this case. The decision-maker is the Director of Planning. However, the decision-maker will review all public comments and all comments received from the West Hills Neighborhood Council prior to making a decision.

Further, at this time, I cannot comment on a City Planning Commission action on 9/6/2024. That will need to be reviewed by the decision-maker.

Please forward any additional comments to me. I am responsible for collecting all comments for the review of the decision-maker.

Thank you,

APPLICATIONS



CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

ED1 Eligible

AB 2097 Eligible

Case Number:

ADM-2024-5202 - DB- PHP - VHCA

Env. Case Number:

Application Type: Density Bonus

Case Filed With (Print Name): Jacqueline Torres

Date Filed: 8/15/24

Application includes letter requesting:

Waived Hearing

Concurrent hearing

Hearing not to be scheduled on a specific date (e.g. vacation hold)

Related Case Number(s):

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Refer to the City Planning Application Filing Instructions ([CP13-7810](#)) for more information.

1. PROJECT LOCATION

Street Address¹: 7556-7572 N WOODLAKE AVE

Unit/Space Number:

Legal Description² (Lot, Block, Tract): LOT: FR 208, BLOCK: NONE, TRACT: TR 21391

Assessor Parcel Number: 2021-002-013

Total Lot Area: 95,783 SF

2. PROJECT DESCRIPTION

Present Use: VACANT LAND

Proposed Use: 332-UNIT, 100% AFFORDABLE HOUSING FOR SENIORS

Project Name (if applicable): WOODLAKE APTS

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>).

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site).

Describe in detail the characteristics, scope and/or operation of the proposed project:

Additional Information Attached:

YES NO

EXISTING SITE CONDITIONS

Complete and check all that apply:

- Site is undeveloped or unimproved (i.e., vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/was developed with uses that could release hazardous materials on soil and/or groundwater (e.g., dry cleaning, gas station, auto repair, industrial)
- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g., school, park)
- Site has special designation (e.g., National Historic Register, Survey LA)

PROPOSED PROJECT INFORMATION

Check all that apply or could apply:

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Removal of any on-site tree
- Removal of any street tree
- Removal of protected trees onsite/in public right-of-way
- Grading
- Haul Route
- New construction: 182,750 square feet
- Additions to existing buildings
- Interior tenant improvement
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Uses or structures in public right-of-way
- Phased project


HOUSING COMPONENT INFORMATION

Number of Residential Units: Existing 2 - Demolish(ed)³ 2 + Adding 332 = Total 332
Number of Affordable Units⁴: Existing 0 - Demolish(ed) 0 + Adding 331 = Total 331
Number of Market Rate Units: Existing 2 - Demolish(ed) 2 + Adding 0 = Total 1

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

³ Number of units to be demolished and/or which have been demolished within the last five years.

⁴ As determined by the Los Angeles Housing Department.

Program	Geographic Eligibility	Unit Thresholds	Limitations
			
Affordable Housing Incentive Program			
<p>100% Affordable Housing Project</p>	<ul style="list-style-type: none"> - Be a project where all units are covenanted affordable, exclusive of manager's units (up to 20% may be for moderate income and the remaining 80% must be restricted to lower income categories) - In any zone/land use permitting multi-family or zoned for Parking (P/PB) 	<ul style="list-style-type: none"> - Project must contain at least 5 units 	<ul style="list-style-type: none"> - Lots in Very High Fire Hazard Severity Zones, Coastal Zones, and Sea Level Rise Areas <u>limited eligibility for Base Incentives</u>, not eligible for Menu of Incentives or certain Public Benefit Options and not eligible for the program if a Project's Maximum Allowable Residential Density is less than 5 units. - No projects in single-family zones and no projects in manufacturing zones (M1, M2, or M3), including sites zoned CM, MR1, MR2 if no residential uses are permitted through an applicable planning overlay if a Project's Maximum Allowable Residential Density is less than 5 units. - <u>No demolition of Designated Historic Resources and limited Menu of Incentives for sites with Designated Historic Resources.</u>
<p>Faith-Based Organization (FBO) Project</p>	<ul style="list-style-type: none"> - Be a project where at least 80% of units are covenanted affordable on land owned by a FBO (Of which, up to 20% of units may be for moderate income with remaining restricted units covenanted for lower income categories) 		<ul style="list-style-type: none"> - No projects in Very High Fire Hazard Severity Zones, the Coastal Zone, Sea Level Rise Areas, manufacturing zones, or hybrid industrial zones with residential use restrictions - Single-family sites acquired after 1/1/24 must be located within 528 ft from parcel owned by filing Religious Institution with existing Church or House of Worship - Additional standards and no demolition permitted for projects with Designated Historic Resources or Surveyed Historic Resources - <u>No projects in manufacturing zones (M1, M2, or M3), including sites zoned CM, MR1, MR2 if no residential uses are permitted through an applicable planning overlay</u>



Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Re: Re Case #2024-3365-AHRF-PHP

3 messages

Courtney Yellen <courtney.yellen@lacity.org>

Tue, Oct 1, 2024 at 2:57 PM

To: Char Rothstein <charwhnc@gmail.com>

Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Hello Char,

Thank you for providing this information. I am looping in our supervisor, [+Claudia Rodriguez](#) for her awareness. It appears the number you provided is for a Preliminary Application Review (PAR) for the Affordable Housing Referral Form however, a case has not been filed with Valley Project Planning (Laura and myself) for processing. At this time, I have taken note of the concerns raised in your email.

Best,

Courtney Yellen



Courtney Yellen-Colbert

Pronouns: She, Her, Hers

Planning Assistant, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430,

Van Nuys, CA 91401

T: (818) 374-5059 | Planning4LA.org



LOS ANGELES
CITY PLANNING

**** RDO (Regular Day Off) is alternating Fridays**

Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

On Tue, Oct 1, 2024 at 2:20 PM Char Rothstein <charwhnc@gmail.com> wrote:

Good afternoon Courtney:

Hope this note finds you well.

Please find an email sent today to Laura Frazin-Steele below.

I'm sending this to you because Laura will not return to her office until Oct 7th and we currently need help.

10/01/2024 sent to Laura Frazin-Steele

This comes to you from the West Hills Neighborhood Council (WHNC) regarding the above mentioned case:

Please find several pages attached regarding this case.

****Note that on page 2 of 12, the applicant did not check the box stating that a school is located within 500 feet however it is. The same school, Chaminade Preparatory High School also owns the center across the street from the site for the proposal and will be expanding the school onto that site as soon as the city has given approval. We have already had the first hearing. The case number is 2023-1254-VZC-HD-ZAD-ZAA. If you need further information, Trevor Martin in city planning will be able to assist.**

I believe that you should be aware that the WHNC Zoning & Planning committee has received petitions from residents with over 1000 signatures against the project because it is in the middle of a single family residential neighborhood with only one and two story homes. The homeowners that surround the site are currently seeking a land use attorney.

After attending the City Planning Commission meeting on 9/26/24, it appears that the vote to protect single family zones from upzoning has passed and will now go to city council. Please note the page sent with this email from that hearing

labeled Item NO. 6, 7, and 8

Please let me know if you have any questions.
We appreciate your help with information on this case.
There is a WHNC Zoning meeting on Tues Oct 8th and residents have questions.

Best regards,
Char Rothstein
WHNC/Pres
Zoning & Planning/Co-Chair

Courtney Yellen <courtney.yellen@lacity.org>

Tue, Oct 1, 2024 at 2:59 PM

To: Char Rothstein <charwhnc@gmail.com>

Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Apologies, I see a case has been filed under ADM-2024-5202-DB-PHP-VHCA. Thank you for making us aware of the concerns and I will leave Claudia and Laura looped in for their awareness.

Best,

--



Courtney Yellen-Colbert
Pronouns: She, Her, Hers
Planning Assistant, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430,
Van Nuys, CA 91401
T: (818) 374-5059 | Planning4LA.org



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[Quoted text hidden]

Char Rothstein <charwhnc@gmail.com>

Tue, Oct 1, 2024 at 3:13 PM

To: Courtney Yellen <courtney.yellen@lacity.org>

Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thank you so much for your help Courtney.
Really appreciate it.

We'll wait to hear back from Claudia and Laura on next steps in the process.

Have a great week.

Best regards,
Char

[Quoted text hidden]



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers
City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]

Char Rothstein <charwhnc@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 14, 2024 at 2:08 PM

Good afternoon Laura:

Just a question regarding this case. Will Vince Bertoni be the decision maker and/or others?

Thank you,
Char

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Char Rothstein <charwhnc@gmail.com>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>

Tue, Oct 15, 2024 at 8:04 AM

Good Morning Char,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

The LAMC specifies that the decision-maker for a density bonus case with on-menu incentives is the Director of Planning. You and other community members can continue to address all comments to me. I am adding all public comments to the official case file, and comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. Emails sent directly to Vince Bertoni and/or other members of the Executive Office are being routed to me. Phone calls made to the Executive Office are being routed to me. This is important, because one person needs to collect all public comments for the official case file. All comments will be reviewed by the decision-maker and our Department management.

That is the best information that I can give you at this point in time, and I hope that it is helpful.

I am cc'ing my supervisors, [+Claudia Rodriguez](#) and [+Blake Lamb](#) so they are aware of your concerns.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers
City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]

Char Rothstein <charwhnc@gmail.com>

Tue, Oct 15, 2024 at 10:38 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thank you Laura.
We will direct all information to you and have been advising the same to our constituents.

I was asking the question regarding Vince Bertoni because there is a letter forthcoming from the WHNC. I'll address the letter to the " Director of Planning" and will send it to you as planned.

Thank you again and have a great day.

Best regards,
Char
[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Char Rothstein <charwhnc@gmail.com>

Tue, Oct 15, 2024 at 11:24 AM

Thank you, Char! Enjoy your day.

Laura



Laura Frazin Steele
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Re Case No. ADM-2024-5202-DB-PHP-VHCA

5 messages

Char Rothstein <charwhnc@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>


Fri, Oct 18, 2024 at 2:28 PM

Good afternoon Laura:

Attached please find a West Hills Neighborhood Council (WHNC) letter and Exhibits regarding case.No. ADM-2024-5202-DB-PHP-VHCA.

Please let me know if you have any questions and have a good weekend.

Best regards,
Char Rothstein
WHNC

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4768K

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Char Rothstein <charwhnc@gmail.com>

Fri, Oct 18, 2024 at 3:23 PM

Received, thank you Char.
Have a nice weekend.

Laura



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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Char Rothstein <charwhnc@gmail.com>
Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Mon, Oct 21, 2024 at 10:53 AM

Hi Char,
In response to Item No. 8 (see screenshot below), I have not received a petition. I am, however, receiving emails from members of the community who insist that a petition was submitted to Planning. Did the Neighborhood Council submit a petition to Planning? If so, can you provide more information (i.e., who was the petition submitted to in Planning; when was the Petition submitted; was a hard copy submitted; was this an email submission)?
Thank you,
Laura

8. The WHNC has received petitions against this proposal from over 1,000 residents in the area because the proposed site is in the middle of a single-family neighborhood with only one and two-story homes. The homeowners surrounding the site are currently exploring a land use attorney to consider further action;



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[Quoted text hidden]

Char Rothstein <charwhnc@gmail.com>

Mon, Oct 21, 2024 at 11:50 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Good morning:

The petition is quite large and in possession of Penny Newmark, WHNC Board member and member of WHNC Zoning & Planning committee.

We are currently working on copying the petition in order to release the same to city planning via Laura.

Best regards,
Char

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 21, 2024 at 12:06 PM

To: Char Rothstein <charwhnc@gmail.com>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Thank you for that information, Char.

If it is more than 10 pages, I suggest that you provide a hard copy as well as a pdf.

The pdf can be emailed to me as an attachment to an email.

A hard copy can be sent to me (address below) via USPS or Fedex. You can also drop off a hard copy on the 2nd floor, 6262 Van Nuys Blvd, Planning Development Services Center, to my attention.

Laura



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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Re Case No. ADM-2024-5202-DB-PHP-VHCA

8 messages

Char Rothstein <charwhnc@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>


Fri, Oct 18, 2024 at 2:28 PM

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 **Scan_2024-10-18_141345.pdf**
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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Char Rothstein <charwhnc@gmail.com>
Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

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[Quoted text hidden]

Char Rothstein <charwhnc@gmail.com>

Mon, Oct 21, 2024 at 11:50 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Good morning:

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Best regards,
Char

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 21, 2024 at 12:06 PM

To: Char Rothstein <charwhnc@gmail.com>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Thank you for that information, Char.

If it is more than 10 pages, I suggest that you provide a hard copy as well as a pdf.

The pdf can be emailed to me as an attachment to an email.

A hard copy can be sent to me (address below) via USPS or Fedex. You can also drop off a hard copy on the 2nd floor, 6262 Van Nuys Blvd, Planning Development Services Center, to my attention.

Laura



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[Quoted text hidden]

Char Rothstein <charwhnc@gmail.com>

Thu, Oct 24, 2024 at 2:41 PM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Good afternoon Laura:

Yesterday, we mailed the petition (200 pages plus) to your office on Van Nuys Blvd., directly to your attention.

The box should arrive sometime on Friday, 10/25/24.

Have a good weekend ahead.

Best regards,
Char

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thu, Oct 24, 2024 at 3:47 PM

To: Char Rothstein <charwhnc@gmail.com>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Hello Char,

Thank you for letting me know.

Did you also include a flash drive with a pdf copy of the petition?

If not, you can email the petition to me as a pdf attached to this email. We don't use dropbox for security reasons.

I will need a pdf to include in the electronic case file.

Thank you,

Laura



Laura Frazin Steele

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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 28, 2024 at 9:38 AM

To: Char Rothstein <charwhnc@gmail.com>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Hello Char,

I did receive a petition and exhibits in the mail. However, I did not receive a pdf. Could you please email a pdf to me?

Thank you,

Laura



Laura Frazin Steele

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Re Case # ADM-2024-5202-DB-PHP-VHCA

2 messages

Char Rothstein <charwhnc@gmail.com>

Tue, Nov 12, 2024 at 3:55 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Good afternoon Laura:

I hope this note finds you doing well.

I'm following up on the above mentioned case and your email from Oct 7, 2024.
(please see attached)


Is this case still on Hold or has the city received the required materials and/or documents?

We usually find all documents and updates at lacity.org, but there is little information on this case.
If you know where I can find additional material, please advise.

Also, folks that surround the site are inquiring regarding filing a lawsuit or an appeal.
I've heard several opinions that folks within 200 feet of the site can file; and no one can file an appeal. Folks have also asked if there will be a public hearing. This seems very different from the normal case.

Thanks as always for your help, much appreciated.

Best regards,
Char

 **Scan_2024-11-12_154408.pdf**
437K**Laura Frazin-Steele** <laura.frazinsteede@lacity.org>

Wed, Nov 13, 2024 at 2:43 PM

To: Char Rothstein <charwhnc@gmail.com>, Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Hello Char,

I'm looping in [+Blake Lamb](#) and [+Claudia Rodriguez](#) for their awareness.

The applicant provided revised materials which Planning is in the processing of reviewing. The application will remain on hold until our review is complete. Planning will complete review no later than 12/6/24 pursuant to State law which regulates time to review new materials.

The case file is publicly available and accessible to all interested parties by appointment. If you or any interested party is interested in reviewing the case file, please let me know your availability and we can arrange a time.

I am not in a position to advise on a lawsuit. Procedures for case processing and / or filing appeals for Density Bonus cases are regulated by Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

Once Planning has all of the information requested from the applicant, I can better advise regarding case processing procedures and / or appeal procedures. Please feel free to check back with me.

Thank you.

Laura

**Laura Frazin Steele**

Pronouns: She, Her, Hers

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Los Angeles City Planning

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Van Nuys, CA 91401

T: (818) 374-9919 | [Planning4LA.org](https://planning4la.org)



Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Letter of Compliance / Exhibit-A: Case File ADM-2024-5202-DB-PHP-VHCA

Char Rothstein <charwhnc@gmail.com>

Fri, Dec 6, 2024 at 3:34 PM

To: Leitha Young <leitha.young@lacity.org>, Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Cc: billrose@parkregency.com, pennyfirst@sbcglobal.net, powcp@aol.com, tianleart@gmail.com, tom.cusimano@gmail.com, "Jeff S. McConnell" <jeff@ekapr.com>, qmd14@yahoo.com, brad@curryins.com, candice19941288@gmail.com, wscottdeyoung@gmail.com, patty_bolten@yahoo.com, Cbaker514@aol.com, bpally@aol.com, evmorrison@dslextreme.com, Samira@kermanilaw.com, mllesage@yahoo.com, jsmjwong@sbcglobal.net, Partyon101a@gmail.com, Renukapila28@gmail.com, shilimpit@aol.com, ztinat@yahoo.com, Eneudorff09@gmail.com, lbothell@earthlink.net, elaiz@hotmail.com, kbeherozi@yahoo.com, tarabehrozi@yahoo.com, 2donearl@gmail.com, lluvjordan1960@yahoo.com, igarciavidana@gmail.com, Ayoub.jenny@yahoo.com, Safshar5@yahoo.com, afsharshirin@aol.com, aashapa@me.com, Escobar.lana@gmail.com, cnimako@gmail.com, Dwa521@yahoo.com, carolthille@gmail.com, Amyfarhadzadeh@gmail.com, davidelipps@gmail.com, Mehmar1996@gmail.com, ludycather@gmail.com, ron.zarkesh@gmail.com, Jennifersamuel718@yahoo.com, Shirley.parker@pacbell.net, thornebirds@hotmail.com, max_cather@yahoo.com, Eileenbarkley0214@gmail.com, ebfranklin10@gmail.com, marjorie.levin@gmail.com, tricole44@aol.com, ckirschner1@gmail.com, eclivin@gmail.com, jacklazor@sbcglobal.net, rimesae@yahoo.com, socalfleming@aol.com, fdzt@aol.com, brendawhitman@gmail.com, julielmck@gmail.com, perbill@gmail.com, corinnestandy@gmail.com, tmarroquin02@gmail.com, marion.ames@ngc.com, nsvolos@sbcglobal.net, westrails@aol.com, kaylamonchatre1@gmail.com, ellenengler@sbcglobal.net, kayeland@aol.com, dbueche65@gmail.com, hutchg@me.com, judyvhook@gmail.com, jordan.nevo@gmail.com, Karenabelson43@gmail.com, jyhimot@gmail.com, nilou76@yahoo.com, ericanderson4@live.com, hjs36@att.net, laurierose824@gmail.com, jkmartine@me.com, robin27095@aol.com, gronimof@aol.com, lindaglasscock4321@gmail.com, Larrybass360@gmail.com, john_29950@sbcglobal.net, vkapila10@sbcglobal.net, kree1224@gmail.com, mvennela@live.com, mstein348@gmail.com, Chereecoyle@gmail.com, mcevoy1@sbcglobal.net, tomcrosthwaite1@gmail.com, senthil.arunachalam@gmail.com, kim.guedin@gmail.com, jesse_burke@oxfordcorp.com, susanbradshaw585@gmail.com, mehdi332@gmail.com, joeellick@me.com, vasanthavennela@gmail.com, ceciliaghdez@gmail.com, cenolan@yahoo.com, tbooth032@gmail.com, socal1500@aol.com, lb1design@aol.com, aimeecornwell240@gmail.com, ottercal@yahoo.com, dlcornwell7737@gmail.com, rodlouden@rodlouden.com, redhead77@sbcglobal.net, delldr@aol.com, rezapez@icloud.com, chantalyavari@gmail.com, pcon33@yahoo.com, Donnah4homes@gmail.com, Nandhinisangu@gmail.com, Benabart@att.net, Chilesbarican@yahoo.com, Marissamonde@gmail.com, Cmmsonio88@yahoo.com, Melchoc@gmail.com, Jack@crestlight.co.com, hazarbagh@yahoo.com, osztreicher.daniel@gmail.com, raysh8@charter.net, llouden79@yahoo.com, dsm1956@socal.rr.com, dsm1956@spectrum.com, philelins@gmail.com, tblatt@msn.com, cherihaft@gmail.com, mitchhaft@yahoo.com, stacytilliss@gmail.com, davidtilliss@gmail.com, russell4usa@aol.com, Carole Mazer <wanderlustcc@gmail.com>, tyandruszkewicz@gmail.com, aida.abkarians@westhillsnc.org, gordonmorris20@gmail.com, tina@btmline1040.com, MCrump@mcbainsystems.com, Nasrin940@gmail.com, Racerwedge@gmail.com, smith4RE@sbcglobal.net, sandylu93@hotmail.com, kgoodwin@exactstaff.com, melissafares007@gmail.com, sherry_lopata@hotmail.com, RCHAN2000@yahoo.com, RubenGranados7@gmail.com, Mcbella05@gmail.com, Gabriellebirkman@gmail.com, Joebirkman@gmail.com, LKRSROC@yahoo.com, neilbarican@yahoo.com, Pamgroz@aol.com, Dougisgraet@gmail.com, Marenade22@gmail.com, Bnzrehig@sbcglobal.net, margiepz@yahoo.com, Hannah Simadibrata <hsimadibrata@gmail.com>, laurenponticelli@yahoo.com, DonSwink@ymail.com, Denise Draper <ddrapermarie@gmail.com>, sethlaw@gmail.com, sagita23@yahoo.com, nakul.singh30@gmail.com, Sradovcich@gmail.com, Cfarnoush@gmail.com, Nooshinyashar@yahoo.com, Sfarnoush@gmail.com, Mathewhester@yahoo.com, madisonkimikoedler@gmail.com, Sarihall@gmail.com, benefisman12@gmail.com, CChristopher@socal.rr.com, Bchristopher@social.rr.com, judy.rad@gmail.com, mckeever910@gmail.com, Byrose627@gmail.com, beschlank@yahoo.com, todd_91423@yahoo.com, Paolo_galvez14@yahoo.com, shawn3335@gmail.com, francescagaffney@gmail.com, JGoldbergOB@gmail.com, Kpburke67@gmail.com, Holmesusa@hotmail.com, Robineraylz@gmail.com, JBeuerman@aol.com, Larrysossaman@gmail.com, Mardisossaman@gmail.com, firebyfirela@aol.com, michelegampel22@gmail.com, carriehughes5@yahoo.com, Npcamaro@gmail.com, Linspelle@gmail.com, sebradshaw@yahoo.com, doncervantes@gmail.com, Redbywolvs@aol.com, gregg.edler@aol.com, Pbrown@tbbfchurch.org, Heiserco@aol.com, Robdheiser@aol.com, Shopgirlwh@gmail.com, Eric.popish@gmail.com, Debsugar@yahoo.com, Dporter99p@gmail.com, Bernied21111@gmail.com, Nabeli57@hotmail.com, Ranaeli7@live.com, Roulacarroum@hotmail.com, garbischrikjam@hotmail.com, CheyC27@gmail.com, Kag.fount112@gmail.com, Lmykietyn@sbcglobal.net, william200970@yahoo.com, Bushlindsay2@gmail.com, Dianelisa@sbcglobal.net, gronimof@gmail.com, Kidradello@aol.com, eblazi1@gmail.com, Minidoxmom91304@gmail.com, Babsonsycamore@gmail.com, 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Thank you Leitha and Laura,

Question from some of our constituents regarding filing an Appeal:

There has always been a form that could be filed as opposed to using the QR Code which is cumbersome for some of our folks.

Would you be so kind and send that form to those concerned?

Much appreciate your help with this matter.

Best regards,
Char Rothstein
WHNC
President
Zoning & Planning
Co-Chair

On Thu, Dec 5, 2024 at 7:06 AM Leitha Young <leitha.young@lacity.org> wrote:

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Charles Nimako <cnimako@gmail.com>
To: Laura.frazinsteede@lacity.org

Sun, Oct 20, 2024 at 12:56 PM

CONCERNS: SAFETY HAZARDS, MONETARY LOSSES CONCERNS:

1. *Negative impact on our Home and property values.*
2. Increased traffic gridlock + accidents. Located within 250* ft of Chaminade
3. Only 150 parking spaces for the 600+ residents expected.
4. NO visitor parking – WHERE will visitors, residents park?
Flooded streets!
5. Fire Dept. & LAPD not outfitted to service & absorb 600+ people in existing infrastructure (our local fire & police are already over stressed)

Regards,

Charles Nimako
Concerned Homeowner

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Charles Nimako <cnimako@gmail.com>

Mon, Oct 21, 2024 at 10:26 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Low income high rise

2 messages

cheree coyle <chereecoyle@gmail.com>
To: laura.frazinsteede@lacity.org

Sun, Oct 27, 2024 at 8:36 PM

I am reaching out to you because I am a little confused on why a commercial building for low income housing, five stories high is being allowed to be built in a residential neighborhood. Homes range from 700,000 to 2,000,000. It's a very busy intersection and what is worse they tore down a historical house that has been there forever and that property was originally The Circle S Ranch dating back to when the San Fernando Valley first started. Chaminade HS is building an aquatic center across the street. They are removing an old grocery store to do so. The community does not mind that being added to their school because it is zoned commercial. The low income housing project is a 5 story building which is residential homes zoned and even horse property. I have lived in this neighborhood for 30 years. 300 local residents showed up to our local neighborhood council to ask questions and basically told that our politicians will not listen and they will build it anyway.

Newsom does not seem to understand that this is why many people are moving out of this city and State. I just retired as a teacher and my husband was already retired from the Studios. We discussed it and if it is approved we are leaving as well. No one seems to care about hard working people who did everything right to be able to buy into this wonderful community. It was our first and only house we have ever owned. We will miss these neighbors. We throw block parties and have each others phone numbers in case of an emergency. That is very rare in this state.

Please consider stopping this development and making the builder stick to the building zones. There is an empty spot not two miles from this location by all shopping needs and it has been empty for 6 years. Commercial area by other apartments. Topanga Canyon and Sherman Way. Houses are fine. Not high rises on a property not zoned for that.

Then to allow a high rise with a small community is crazy. Plus, parking for only have the residents. So, where are 150 other people parking. There is no infrastructure for this. Market is closing for the school expansion, bus lines come by hardly ever and other amenities not close except the hospital which is a 8 hour wait the last time my family member had to go.

Sometimes I really believe politicians are purposely trying to ruin this State. My own sister had to live in low income apartments for a while and she is even shocked they are trying to do this.

Sincerely,
Cheree Coyle

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: cheree coyle <chereecoyle@gmail.com>

Mon, Oct 28, 2024 at 8:02 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

CASE: #ADM-2024-5202-DB-PHP-VHCA,7556 N. Woodlake Ave, West Hills

2 messages

Cheri Haft <cherihaft@gmail.com>

Sat, Nov 2, 2024 at 2:29 PM

To: laura.frazinsteel@lacity.org, dan.rosales@lacity.org, councilmember.lee@lacity.org

Cheri and Mitchell Haft
7649 Woodhall Ave.
West Hills, Ca 91304

11/02/2024

Laura Frazen-Steel
City Planner

Dear Ms. Frazen Steel,

We are writing to express our deep concerns regarding the proposed low-income, high-rise apartment project planned for Woodlake Avenue, specifically at the intersection of Saticoy Street and Woodlake Avenue, within our community of West Hills.

While we recognize the need for affordable housing solutions, we believe that this project is not appropriate for our neighborhood and would result in significant safety hazards and economic losses for residents.

Having lived in West Hills for over 40 years, we take great pride in our community and have a vested interest in ensuring its continued well-being. We continue to live in the West Hills Community.

Recently, our niece and her husband purchased a home in this neighborhood. We want to ensure that the next generation can enjoy the same sense of community, security, and stability that we have cherished over the years.

My sister and brother-in-law also have lived in the West Hills community for over 30 years.

The introduction of this high-density project in a small, already congested area will create numerous challenges, including:

- 1. Traffic Gridlock and Accidents: The increased traffic from a high-rise complex will exacerbate congestion on our narrow streets. Woodlake Avenue and the surrounding areas are not designed to accommodate the volume of cars and activity such a project will bring, increasing the risk of traffic accidents and gridlock.**
- 2. Street Size and Parking Issues: Ingomar Street and Woodlake Avenue are already struggling with limited parking. A development of this size will overwhelm our streets, making it difficult for residents to park and navigate safely, particularly during peak hours.**
- 3. Economic and Property Value Impact: A project of this nature may negatively affect property values in the area, leading to financial hardship for homeowners. Preserving the**

character and economic stability of our community is a priority for us, and we fear this development could jeopardize both.

We urge you to reconsider the location of this high-rise project. There may be alternative areas in the city that are better equipped to handle such a development, without compromising the quality of life in a long-established, tight-knit neighborhood like ours.

We are committed to the growth and betterment of West Hills, but not at the expense of safety, community values, or economic stability. We hope that you will take our concerns seriously and work with us to find a more suitable solution for affordable housing that does not disrupt our neighborhood.

Thank you for your time and attention to this matter. We look forward to hearing from you and are happy to discuss these concerns further at your convenience.

Sincerely,
Cheri and Mitchell Haft
7649 Woodhall Ave.
West Hills, Ca 91304
818-730-2379
cherihaft@gmail.com
mitchhaft@yahoo.com

--
Cheri Haft
office: (818) 992-7922
cell: (818) 730-2379

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Cheri Haft <cherihaft@gmail.com>

Mon, Nov 4, 2024 at 8:00 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Concerns Regarding Proposed High-Density Development on Woodlake Avenue

2 messages

Claire Tsai <ct5507@gmail.com>

Thu, Nov 28, 2024 at 1:02 AM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Dear City Planning Team,

I hope this message finds you well. I am writing to express my deep concerns regarding the proposed high-density apartment project at 5707, 5715, and 5733 Woodlake Avenue. As a resident living near this location, I feel compelled to highlight the potential negative impacts this project may have on our community, property values, and quality of life.

Traffic and Parking Concerns

This project proposes only 150 parking spaces for over 600 expected residents. This is inadequate to meet the needs of such a dense population, leading to overflow parking into surrounding streets. Additionally, increased traffic on Woodlake Avenue, a street already heavily utilized, will exacerbate congestion and safety risks for residents and students in the area.

Public Safety Risks

Woodlake Avenue has a history of gridlock and accidents, and the addition of such a large-scale development will significantly increase these hazards. With schools and pedestrian activity in close proximity, this development poses a direct threat to public safety.

Economic and Property Value Impacts

The addition of a high-density apartment complex will likely result in lower property values for neighboring homes and could make refinancing or selling homes in the area more difficult. This is especially concerning for long-term residents who have invested heavily in this community.

Environmental and Historical Concerns

This project also risks altering the historical character of the area, which is a defining aspect of our neighborhood. The potential strain on infrastructure and services may also compromise the livability of this community.

Given these significant concerns, I respectfully request that the city reevaluate this development proposal and consider the long-term implications for the surrounding community. Residents deserve a transparent process and the opportunity to provide input on how this project could be better aligned with the needs of our neighborhood.

Thank you for your attention to this matter. I look forward to hearing about steps the city can take to address these issues and work with the community to find a more balanced solution.

Sincerely,

Claire Tsai

7653 Balasiano Ave

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Dec 2, 2024 at 4:13 PM

To: Claire Tsai <ct5507@gmail.com>

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City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

See below

2 messages

Corinne Schnur <corinnestandy@gmail.com>
To: Laura.frazinsteel@lacity.org

Tue, Oct 22, 2024 at 12:57 PM

I received this plea a few minutes ago from a friend. Be sure any property owners in that area are early and well advised of this plan!

A developer is planning to build a **5 to 7 story, 332-unit high rise apartment** project with **INADEQUATE PARKING**, at **7556 Woodlake Ave, West Hills, S/E Saticoy corner**, that may **negatively impact traffic, safety, the quiet neighborhood, property values. Soil may potentially be contaminated with nuclear waste, environmental toxins and/or Valley Fever as some nearby lands are and closed off**. This was originally the Historical Circle S Ranch property. Will LFD, LAPD be able to absorb the calls and resulting services. With increased traffic, accidents may be inevitable with no traffic light at this intersection.

Corinne

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Corinne Schnur <corinnestandy@gmail.com>

Wed, Oct 23, 2024 at 10:21 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills.

3 messages

dsm1956@socal.rr.com <dsm1956@socal.rr.com>

Fri, Nov 1, 2024 at 1:14 PM

To: Laura.frazinsteede@lacity.org

Cc: dsm1956@spectrum.com

Ms. Frazinsteede and Los Angeles City Planning Department.

I opposed the above development.

This project is out of character for the neighborhood. Our area consists of single-family homes in a semi-rural setting.

Your approval of a multistory housing structure is unacceptable and destroys the continuity of the area.

The lot size is insufficient to support such a project in terms of parking and open space.

The existing structure was demolished suddenly in secret and with little public notice.

The owners are already fencing off areas on the property when the project is not approved.

Your authorization of this project harms the property values of our homes and the tranquility of the West Hills area.

It sets a bad precedent on future large-scale development in the area.

Where is the EIR? What impact is anticipated in the area in terms of traffic, pollution, construction etc.

We already have the approved Chaminade project that will impact the area in terms of traffic.

We don't need another that will add to the congestion of the area.

Dan Mintzer

[8018 Hillary Drive](#)

[West Hills, CA 91304](#)

818-266-8546

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Fri, Nov 1, 2024 at 1:17 PM

To: dsm1956@socal.rr.com

Cc: dsm1956@spectrum.com

Hello,

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City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

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[Quoted text hidden]

Mail Delivery Subsystem <mailer-daemon@googlemail.com>
To: laura.frazinsteel@lacity.org

Fri, Nov 1, 2024 at 1:17 PM



Message blocked

Your message to **dsm1956@spectrum.com** has been blocked.
See technical details below for more information.

The response from the remote server was:

550 5.4.1 Recipient address rejected: Access denied. [DS2PEPF0000343C.namprd02.prod.outlook.com 2024-11-01T20:17:39.385Z 08DCF6D79E02AA5E]

Final-Recipient: rfc822; dsm1956@spectrum.com
Action: failed



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

ADM- 2024-5202-DB-PHP-VHCA

2 messages

Daniel Osztreicher <osztreicher.daniel@gmail.com>
To: laura.frazinsteel@lacity.org

Thu, Oct 31, 2024 at 1:21 PM

7556 north woodlake.

I live at Woodlake and Starthern and I fully support this project. We need more affordable housing everywhere.

Danny
23029 Strathern, west hills

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Daniel Osztreicher <osztreicher.daniel@gmail.com>

Thu, Oct 31, 2024 at 4:24 PM

Hello Danny,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



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CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

🚨🚨🚨 **7556 WOODLAKE AVENUE: WE OPPOSE!**

10 messages

Danielle Cornwell <dlcornwell7737@gmail.com>
To: Danielle Cornwell <dlcornwell7737@gmail.com>

Mon, Oct 28, 2024 at 10:22 AM

My family are 50 year homeowners near this property who are strongly opposed to the re-development of over 300 low income housing units at: [7556 Woodlake Avenue, West Hills, 91304](#).

<https://valleynewsgroup.com/historic-west-hills-home-demolished/>

We have collected over 1,000 signatures and counting on homeowners who do NOT want this terrible project to move forward, yet we've been met with silence.

Why weren't we initially notified with an official letter announcing your intentions towards this development? I believe this was done intentionally to push this project through.

We are urgently requesting that our concerns be addressed & not dismissed.

Thank you,

Danielle Cornwell (Resrepresentative of the Cornwell Family)
(310) 773 7019

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Danielle Cornwell <dlcornwell7737@gmail.com>

Mon, Oct 28, 2024 at 10:58 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org

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[Quoted text hidden]

Danielle Cornwell <dlcornwell7737@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 28, 2024 at 12:13 PM

Hi Laura,

I know many people in the commercial real estate and development world who see this project as being fast tracked and not giving the average homeowners enough time to act.

We appreciate full attention to this matter as many of us feel as though we are getting placated and ignored.

Danielle Cornwell
(310) 773 7019

[Quoted text hidden]

Trevor Martin <trevor.martin@lacity.org>
To: Danielle Cornwell <dlcornwell7737@gmail.com>
Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 28, 2024 at 2:00 PM

You're welcome, Danielle.

The proposed apartment building appears to be a ministerial density bonus project that does not require a public hearing. The Determination Letter would likely need to go to those who are abutting property owners. If this were a discretionary density bonus project seeking off-menu incentives and waivers, the project would require noticing to all owners and occupants within a 300-foot radius.

For further questions on this project, please contact Laura Frazin-Steele.

Best,

Trevor



Trevor Martin
Pronouns: He, His, Him
City Planner | BESt Unit
Los Angeles City Planning
201 N. Figueroa St., Room 525
Los Angeles, CA 90012
T: (213) 978-1341 | Planning4LA.org



Effective September 30, 2024, Planning.CCU@lacity.org will no longer be in use for inquiries to the Beverage and Entertainment Streamlining (BESt) unit. Starting on that date, email Planning.BESt@LACity.org for questions about BESt services and LA City alcohol authorization procedures, including the Restaurant Beverage Program, Al Fresco Alcohol Authorizations, and alcohol- and dancing-related Conditional Use Permits.

Efectivo el 30 de septiembre del 2024, Planning.CCU@lacity.org ya no va estar disponible para preguntas para la unidad de Simplificación de Entretenimiento y Bebidas (o BESt por sus siglas en inglés). Empezando esa fecha, mande correos electrónicos a Planning.BESt@LACity.org con preguntas sobre servicios de BESt y procedimientos de autorización de alcohol de la Ciudad de Los Ángeles, incluyendo el Programa de Bebidas de Restaurante, Autorizaciones de Alcohol de Al Fresco, y Permisos de Usos Condicionales relacionados con bailar y alcohol.

[Quoted text hidden]

Danielle Cornwell <dlcornwell7737@gmail.com>
To: Trevor Martin <trevor.martin@lacity.org>
Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 28, 2024 at 2:28 PM

I travel extensively for work and have been seeing projects like these on a global scale which are clearly a result of our open borders policy.

I want to preface that I am a daughter of a North Korean immigrant mother who worked very hard to build her life, home and business in the San Fernando Valley and am shocked with how these new projects are being fast tracked into safe, peaceful neighborhoods with little concern for the tax paying homeowners.

Opposition is growing rapidly for this project as we are now hearing (which we hope are rumors) that historic Orcutt Ranch in the San Fernando Valley could one day be put at risk.

Thoughtless developments like these are slowly ripping out the charming soul of what was once the San Fernando Valley & converting them into hotbeds for crime and other issues.

Question is with the nearby school taking over the adjacent Fields supermarket, where will all these apartment dwellers be shopping as there is currently minimal amenities within walking distance. The corner adjacent to the proposed development is already flooded with cars during rush hour. What will happen to the flow of traffic then?

Appreciate your time and response.

Danielle Cornwell
(310) 773 7019

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Danielle Cornwell <dlcornwell7737@gmail.com>

Tue, Oct 29, 2024 at 7:56 AM

Good Morning Danielle,

Case No. ADM-2024-5202-DB-PHP-VHCA is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#). LAMC Section 12.22 A.25 regulates noticing for density bonus cases.

Thank you,

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]

Danielle Cornwell <dlcornwell7737@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Tue, Oct 29, 2024 at 8:38 AM

I appreciate the response Laura but is this your way of telling me + 1,000 other tax paying homeowners there is nothing they can do about it?

We all pay high property taxes that continue to rise & now you're telling us to basically suck it up & let it happen because of a idiotic code that clearly does not have the tax paying Americans interest at heart.

What happened to America? This is pure socialism coming our way and shame on all of you for dismissing so many homeowners.

Question to you & the property masterminds behind this project: Will our property taxes be reduced for this development coming into our neighborhood as this will negatively affect all of our values?

Excuse the tone of this email but please put yourselves in our shoes and ask if you would want this project next to your home.

Danielle Cornwell
(310) 773 7019

On Oct 29, 2024, at 7:57 AM, Laura Frazin-Steele <laura.frazinsteel@lacity.org> wrote:

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Danielle Cornwell <dlcornwell7737@gmail.com>

Tue, Oct 29, 2024 at 9:01 AM

Received, thank you.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]

Hi Vince,

My family and I have been West Hills home and business owners for the past 50 years. I would love to have the opportunity to setup a call with you being that myself, along with several thousand homeowners are strongly opposed to the low-income apartment building proposed for [7556 N. Woodlake Avenue](#) due to severe safety & infrastructure concerns. We hope you take our concerns very seriously as we all know this proposed project will negatively effect our property values which we all pay dearly for in taxes.

Thank you for your time,

Danielle Cornwell

M: 310 773 7019

SAFETY ISSUES

The proposed apartment site and surrounding area does NOT have available infrastructure to evacuate all residents in emergency situations (*close to 800 homeowners*) and *1,500 highschool students at nearby Chaminade*. *This number does not include the increase of guests and traffic once Chaminade's Sports Center is completed at the existing Fields Market site across from the proposed apartment development.*

*The proposed site has inadequate entrance/exits to apartment complex with cars and pedestrians because of street traffic; **fire engines will not be able to manage the narrow streets** especially during morning and afternoons with Chaminade school traffic; **no sidewalks**; Two 4-way stops at both Ingomar/ Woodlake & Saticoy /Woodlake will **back up traffic** in all four directions; both Saticoy and Woodlake are **not sufficiently wide enough for sidewalks and traffic**. There are also **no grocery stores or shopping businesses conveniently located close to the apartment complex.***

*The project **plans do not include appropriate set backs to allow for widening the roads.** Because the property sits on a hill and is so close to the streets, large, thick retaining walls will need to be in place.*

*The property has **drainage problems, during the rainy season water rushes down the alleyway** entered from Quimby. If the apartment is hooked up to the **existing sewer (again Quimby entrance)** this will cause potential problems with neighbors' homes that are steps away from the sewer line. There are wide gates at the former Circle S Ranch property lines that can clearly be seen in the photos.*

--



Anna Orellana

Pronouns: She, Her, Hers

Executive Administrative Assistant

Los Angeles City Planning

200 N. Spring St., Room 525

Los Angeles, CA 90012

T: (213) 978-1271 | Planning4LA.org



Valley News Group



Warner Center News Valley Vantage LAS VIRGENES AND CALABASAS ENTERPRISE ENCINO ENTERPRISE North Valley News

Historic West Hills Home Demolished

by VNG / May 24, 2024



The old ranch house at 7556 Woodlake Avenue in West Hills was demolished this week.

The house was built in 1927 and sat on 2.18 acres, according to Zillow.

The property is currently owned by William G. Ross and Joy A. Ross as Trustees of the Ross Trust.

For several years members of the West Hills Neighborhood Council attempted to have the site declared a cultural and historic monument, given its age.

Community activist Dan Brin applied to have it designated such, but then-Councilman Mitch Englander "killed it," according to Brin.

A year ago Brin restarted the process but said that Councilman John Lee also vetoed the measure, agreeing with Englander that property owner rights superseded.

According to the Valley Relics Museum, this is the history of the property, dating back to 1911.

The land was originally purchased by John T Hadley in 1911 from a land syndicate that was established by five of Los Angeles' most prominent businessmen. One of the owners was Harrison Gray Otis, founder and publisher of the *Los Angeles Times*.

The towns of Owensmouth and Van Nuys were also established by this organization. When Hadley died by 1920, the property went to his wife. She sold the property to Virgil Deaver, a nurseryman. Frank Howard bought the property sometime in 1926.

The two-story Dutch Colonial Revival Home was built for Frank Stewart Howard, a Buick distributor, in 1927 at the cost of \$8,500. Howard founded The Howard Motor Company and had dealerships in Pasadena and Hollywood. He hired J.H. Hillard to build the house, a garage and 14 chicken coops of varying sizes to house exotic birds, and other animals including thoroughbred horses. The largest coop was 108 feet long.

Unfortunately, Howard was a drinker and during a family argument in which he was choking his wife, his 12 year old son shot him and he died before he reached the hospital. The Howard Estate deeded the property to George Chambers on October 18, 1930.

Chambers and his wife, Mary retired to the ranch until George passed away in 1940. Mary sold the ranch to May Carraud, who leased it to Grenville Stratton, a Douglas Aircraft executive who was well known for breeding horses, in 1944. Grenville built a guest house and turned the largest chicken coop into a barn.

Greenville W. Stratton purchased the property from Mary in 1947. As the new owner, he changed the name of the property to Circle S Stables to suit the needs of his thriving horse racing and breeding business. Under his ownership, Circle S Ranch became widely recognized as a landmark on the southeast corner of Tenth Street and Santa Ana Avenue, later changed to Saticoy Street and Woodlake Avenue. Under his ownership, the Circle S Ranch made a name for itself in the horse racing industry.

When his wife passed away, his stepdaughter sued him for half of the estate. In 1954, the cost of the long, drawn out lawsuit and Greenville's bad health forced him to close the ranch. In 1956 they subdivided the ranch into 207 home site lots and one 3.46-acre lot for the remaining ranch buildings. The 100-foot horse barn was removed from the property and later razed when its new location was subdivided. The original barn was moved to a location on Zelzah but was also demolished to make way for an apartment building. Greenville's second wife, Janice, sold the remaining property to William & Joy Ross in 1972. In 1990 it was put in a family trust.

According to sources the Ross family has entered into a joint venture to develop the property. Attempts by *Valley News Group* to reach the owners were unsuccessful.

The speculation is that the parcel will be developed into single-family homes, though a search of Los Angeles City Planning records did not turn up any permit requests.

Tags: [#WESTHILLS](#)

PREVIOUS

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Related Posts



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

email sent to Vince Bertoni

1 message

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Danielle Cornwell <dlcornwell7737@gmail.com>

Mon, Nov 25, 2024 at 7:56 AM

Good Morning,
Your email sent to Vince Bertoni on Fri, Nov 22, 2024 at 11:51 AM regarding the proposed project at 7556 Woodlake Ave. was forwarded to me.
Your comments are received.
Thank you.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

7556 N Woodlake Ave. West Hills

2 messages

Danny Ayoub <dwa521@yahoo.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 11:56 AM

Hello Laura,

I am a homeowner in West Hills. As a father of 2 young children, I am strongly opposed to the proposed low income housing project on Woodlake Ave. This is a residential area that is in close proximity to several schools. I don't have to educate you about the potential safety risks this project would pose to our families. It would be highly irresponsible and unethical for our elected officials to allow this project to proceed. I urge you to do the right thing and stop this project from going any further.

Respectfully,
Danny Ayoub

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Danny Ayoub <dwa521@yahoo.com>

Mon, Oct 21, 2024 at 10:27 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Feedback on Proposed Development on 7556 Woodlake Blvd - West Hills

2 messages

Dave LA Los Angeles <dbueche65@gmail.com>
To: laura.frazinsteel@lacity.org

Tue, Oct 22, 2024 at 8:52 AM

Ms Frazin-Steele,

I'm writing today to urge you to please consider scaling down the size and footprint of the proposed development at 7556 Woodlake Blvd. in West Hills. An apartment this large is completely out of character with the existing density and character of this neighborhood. I live just down the street. I have a young son who rides his bike everywhere. We picked this neighborhood, and he can do this, because it's relatively quiet, a single family vibe. It's a beautiful part of the valley and we should preserve this.

I understand there's a need for more housing, and there have been many ADUs installed in the neighborhood that are addressing this while still maintaining the existing flavor of the neighborhood.

Please don't let them develop a 5 story apartment. It's WAY too big. If there's some way to go back to the drawing board and scale this back to 1 or 2 story condos or houses, (similar to The Remington development built just down the street), that would be ideal.

Thank you for your time and consideration.

David Bueche
8006 Sedan Ave
West Hills, CA 91304
213 259 9562

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Dave LA Los Angeles <dbueche65@gmail.com>

Wed, Oct 23, 2024 at 10:41 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave. West Hills.

2 messages

David Lipps <davidlipps@gmail.com>
To: laura.frazinsteel@lacity.org

Sat, Oct 19, 2024 at 6:57 PM

Hello,

My name is David Lipps. I am the homeowner/resident @ 23009 Runnymede St. in West Hills. I live approximately 2 block from the new proposed low income housing development project @ 7556 N. Woodlake. This new project has myself, my wife, and many of my neighbors very concerned and frustrated.

I have lived in many low income areas in my lifetime. I do not believe the people living in them are bad, or dirty or any of the other negative things generally associated with them. That being said, my number one concern is my property value. My wife and I have worked extremely hard, our entire lives. We were finally able to afford a home within a good school district for our children in 2017, here in West Hills. Since 2017 our home value has significantly increased, giving us equity to pass on to our children. This development will devalue our neighborhood significantly, hindering our ability to set our children up for success. California is constantly becoming harder and harder to live in and my number 1 priority is making sure I can ease that burden on my children as they grow into adulthood.

You're planning on putting a 5-7 story apartment building in a neighborhood with no apartments? It doesn't fit. Chaminade is expanding across the intersection of the proposed development. This will impact traffic tremendously. Please do not let this happen here. No one in this neighborhood comes from money. We've all worked very hard to have a modest, aging, home in a decent neighborhood. The homes are going to be retirement income for some of these homeowners at some point. This development will only decrease the value of the homes we have all worked so hard to secure. There are plenty of other areas in the county to put these developments.

I am a utility worker. My territory is from here, all the way up to Santa Maria. I am very familiar with Southern California. Trying to put these developments in ESTABLISHED neighborhoods is criminal, it's basically theft. There are so many commercial/residential zones where these types of developments are appropriate. Suburban neighborhoods do not benefit from this. The only beneficiary is the city, tenements and everyone else that has any money to make off these developments, but there is absolutely no positive impact for the current residents. That's not a fair deal for us who are the ones actually paying the taxes. Please, please, get this project shut down.

David Lipps

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: David Lipps <davidlipps@gmail.com>

Mon, Oct 21, 2024 at 10:31 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



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CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Low income housing on Woodlake

2 messages

John H Smith <john_29950@sbcglobal.net>
To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>

Thu, Oct 24, 2024 at 2:17 PM

Hello,

My family and I have lived on Melba Ave since September 1979. We have raised our 3 sons here and have enjoyed a nice peaceful neighborhood.

I can not imagine who would approve of such a large project on such a small corner. Housing so many people without enough parking for the residents alone.

The noise level will be horrible to the area with the amount of traffic added as well to small streets. It is to be built very close to 2 elementary schools and Chaminade High School.

This will have a large in pack on our property valves

If you have not taken the time to visit the area, please do so. You then will see how ridiculous the entire plan is. There is a lot of open property around that could be used. It is a stupid plan and should be reconsidered.

This is going to disrupt our way of life and the peacefulness we have known for years.

Please reconsider

Sincerely,

Debbie Smith

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: John H Smith <john_29950@sbcglobal.net>

Thu, Oct 24, 2024 at 3:44 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura

LOS ANGELES
CITY PLANNING**Laura Frazin Steele**

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

2donearl@gmail.com <2donearl@gmail.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 4:22 PM

Attention: Laura Frazinsteel

The developer plan for [7556 N. Woodlake Avenue, West Hills](#), must stop. The increase of dwelling units (higher density) will affect the community in the following ways:

- A. Increased traffic and especially with the added plan of Chaminade High School sports complex – adding traffic.
- B. Inadequate parking. The area cannot sustain parking on the streets. With the projects proposal of 332 units, this equates to approximately 600 additional residents in the area. There is not enough area for parking.
- C. Economic ramifications for the community.
 - a. Lower property values
- D. Local Fire Department not equipped to assist 600+ additional residents.

City planning is to assist in the management of the present infrastructure and urban resources of a community. This higher density project is not in keeping with the present infrastructure of the community at [7556 N. Woodlake Avenue, West Hills](#) surrounding area.

Your attention and consideration are appreciated.

Thank you.

Don and Sandy Leslie

[7631 Quimby Avenue](#)

[West Hills, CA](#)

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: 2donearl@gmail.com

Mon, Oct 21, 2024 at 10:14 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura

**Laura Frazin Steele**

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

ADM-2024-5202-DB-PHP-VHCA 7556 N. Woodlake West Hills

2 messages

Don Cervantes <doncervantes@gmail.com>
To: "laura.frazinsteel@lacity.org" <laura.frazinsteel@lacity.org>

Tue, Nov 26, 2024 at 9:48 AM

Hi. I live just over a mile from this location and I have no objection to the concept of the project. I get flyers at my door and see FaceBook posts by the NIMBYs who are appalled. Since they are contacting you in opposition I thought I would send a note of support.

I do not know the details of the project and may not agree with all the details, but I believe that's an appropriate use for the property.

Don Cervantes
[8227 March Ave, West Hills, CA 91304](#)

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Don Cervantes <doncervantes@gmail.com>

Tue, Nov 26, 2024 at 1:08 PM

Hello,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Laura



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Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

7556 Woodlake

2 messages

Eileen <eileenbarkley0214@gmail.com>

Sat, Oct 19, 2024 at 11:13 AM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

STOP WOODLAKE AVE. LOW INCOME HIGHRISE APARTMENT PROJECT!!!!

Did you know? A developer is planning to build a **5 to 7 story, 332-unit 100% low-income housing** project with **INADEQUATE PARKING**, at 7556 Woodlake Ave, West Hills, S/E Saticoy corner. Concerns: **negative impact on our neighborhood, safety, pocket book, and our daily lives.** This was originally the Historical Circle S Ranch property.

PLEASE EMAIL YOUR CONCERNS TODAY to Laura Frazin-Steele, City Planner, Laura.frazinsteede@lacity.org, (818-374-9919). Subject Line: Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills. Deadline approaching fast!!!

CONCERNS: SAFETY HAZARDS, MONETARY LOSSES

- **Negative impact on our home property values.**
- **Increased traffic gridlock + accidents. Within 300 ft* of Chaminade**
- **Only 150 parking spaces for the 600+ residents expected.**
- **NO visitor parking – WHERE will visitors, residents park? Flooded streets!**
- **Fire Dept. & LAPD not currently outfitted to absorb 600+ people**

CONCERN: AVOID ECONOMIC DAMAGES:

We are now paying property taxes. Single family zoning replaced with low income housing on SFR zoning may **decrease our homes values, YET we must still pay the same or higher property taxes.** Lower home values mean tougher refinance and lower sale prices. **NOT FAIR!**

West Hills Neighborhood Council has been unsuccessful in stopping this development from moving forward, will not file any legal claims nor hire an attorney to stop this developer. **It is up to us, individual homeowners, to stop this developer,** who has already moved forward with obtaining permits. As of October 8, 2024, final architectural plans have not been made public.

Chaminade HS planning to build sports complex where Fields Market is currently located on Woodlake Ave. - traffic will be even heavier with student egress/ingress.

Over 1,000 signatures collected on Petition. Let's prevent our neighborhood, safety, assets, and children's safety from being forever changed. **Time is running out.**

www.StopWoodlakeDeveloper.org StopWoodlakeDeveloper@gmail.com

*approximate

Dear Laura, I am a new homeowner in West Hills. I paid \$1.6m for my home last April. I am mortified that anyone is considering building a low income apartment building in our wonderful neighborhood. A low income apartment building will kill our property values and bring added crime to the community. West Hills is one of the few remaining communities that is not overcome with apartment building. I paid \$1.6m for my home so I could escape all the apartment buildings, crime, and congestion. Please do not let our community turn into a slum like the rest of the San Fernando Valley.

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Eileen <eileenbarkley0214@gmail.com>

Mon, Oct 21, 2024 at 12:10 PM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Case#ADM-2024-5202-DB-PHP-VHCA,7556 N.

2 messages

elai dd <elaiz@hotmail.com>

Sun, Oct 20, 2024 at 5:35 PM

To: "laura.frazinstelee@lacity.org" <laura.frazinstelee@lacity.org>

Hi Laura,

My name is Elham Daftari and I am a homeowner at West Hills. I am writing this email to convey my concerns regarding the Low Income Housing project at [7556 Woodlake Ave, West Hills](#). My husband and I chose this neighbourhood because it is a very safe and quiet neighbourhood. However this project will bring some safety hazards that will affect our everyday life. Please consider stopping this project that will impact many lives negatively.

Sincerely
Elham

Get [Outlook for iOS](#)

Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Mon, Oct 21, 2024 at 10:10 AM

To: elai dd <elaiz@hotmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you again.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Subject Line: Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Ellen Engler <ellenengler@sbcglobal.net>
To: Laura.frazinsteel@lacity.org

Tue, Oct 22, 2024 at 11:36 AM

I lived in West Hills on Saticoy and Woodlake on Melba Avenue for over 20 years. Three out of 4 members of my family have suffered from cancer. Building this kind of structure can harm so many others. I am submitting my name and the members of my family who truly object to this. The traffic that it will cause in addition to the high school will truly disrupt this quiet neighborhood.

Sincerely, Ellen Engler and Macy Dale. 24147 Lance Place West Hills, Ca.
Formally 7519 Melba Avenue, west Hills.

Sent from my iPad

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Ellen Engler <ellenengler@sbcglobal.net>

Wed, Oct 23, 2024 at 10:38 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your names to our interested parties list.
Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave., West Hills

2 messages

Emilia Neudorff <eneudorff09@gmail.com>

Sun, Oct 20, 2024 at 7:36 PM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Dear Ms. Frazin-Steele:

I am writing to you about an immense concern that we, as homeowners and shareholders of our community, have over the 5-7 story/332 unit affordable housing project in the plans to be built.

Our major concerns are for safety hazards and for monetary losses:

- It will have a negative impact on our home property values
- It will increase traffic gridlock and accidents on an already-busy intersection. (Chaminade traffic is so heavy during the day already!)
- Only 150 parking spaces are allotted for the 600+ residents
- NO visitor parking....WHERE will visitors and residents park? Our streets can't hold all these cars!
- The Fire Dept & LAPD are not currently outfitted to absorb 600+ more people in our neighborhood. How will they go through if there is a gridlock on that corner?

We are also very concerned about the economic damages that we will incur:

- We are paying high property taxes for single-family homes
- When a high rise is built into our neighborhood, it will decrease our home values, but we will STILL have to pay the same or higher property taxes
- Lower home values mean tougher refinance and lower sale prices!

Please STOP the Woodlake Ave. high rise apartment project!!!

Sincerely,
Emilia Neudorff
Resident of West Hills

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 9:40 AM

To: Emilia Neudorff <eneudorff09@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you again.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave., West Hills

2 messages

Eric Anderson <ericanderson4@live.com>

Mon, Oct 21, 2024 at 3:42 PM

To: "laura.frazinsteel@lacity.org" <laura.frazinsteel@lacity.org>

I am very much opposed to the apartment project that is being proposed next to single family homes. I live next to the property and it will tower over my house only 20' from my property line. The property is already 8' above mine. Residents on Saticoy won't see the afternoon sun in the winter. My property value will be severely affected. Who would want to buy a house next to a five story apartment building?

I read that the state requirements for this project are low traffic area and public transit. This is far from a low traffic area. New homes to the west and many new apartment buildings in adjacent Canoga Park and Warner Center have dramatically increased traffic. In addition, there is a very busy private school a half mile away. The two bus stops near the project are not main routes. A 5 mile trip to Warner Center takes one hour according to the MTA site I checked for a visiting relative.

Please reject this out of place project.

Sincerely,
Eric Anderson
23119 Covello St

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 21, 2024 at 4:12 PM

To: Eric Anderson <ericanderson4@live.com>

Hello Eric,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura

**Laura Frazin Steele**

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

Eric Levin <eclevin@gmail.com>

Tue, Oct 22, 2024 at 5:18 PM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Dear Ms.Frazin-Steele:

I'm writing to voice my objections and concerns about the above-captioned project, and for many reasons--its negative impact on the nature of our community, the increased traffic gridlock and accident potential, its inadequate parking resources, its serious effect on our home property values, and the safety of our children and families.

It makes little sense to me, as a resident of Woodlake Avenue, to fundamentally alter the nature of the street and its surrounding area with increased traffic and higher population density. It's also adjacent to the Chaminade School, which is planning its own additions that have already caused great community concern.

So please consider all of these factors in your deliberations. This proposed project is incongruous with the already-established character of the community, and it can only lead to problems even beyond those enumerated here.

Thank you.

Eric C. Levin
7843 Woodlake Avenue

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Wed, Oct 23, 2024 at 8:26 AM

To: Eric Levin <eclevin@gmail.com>

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org





Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

socal1500@aol.com <socal1500@aol.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Mon, Oct 28, 2024 at 5:51 PM

Dear Ms. Frazin-Steele:

I am a homeowner in West Hills located near the proposed project at **7566 Woodlake Ave.**

It is absolutely insane to think that a 5-7 story 332 unit building should be built in this small acreage. The traffic and parking alone would create gridlock and safety issues with the school being there and being a residential neighborhood with LOTS of people walking dogs and bike riding in this area daily. I can guarantee this will be a traffic nightmare with injuries and deaths occurring due to the hundreds of additional cars in that area daily.

Where would all these tenants park? There are set to be minimal parking spots...not even enough for the tenants. Parking would be spread on side streets (in front of other residence homes taking up their needed spaces) plus create crime as break-ins are definitely going to happen on these cars.

The enjoyment of this neighborhood would be destroyed! It is relatively quiet, traffic is minimal but this builder wants to make a fast buck and doesnt care about building a monstrous project not even remotely close to what exists in this area now . Why is this even being considered as an option? Is the city getting something in return for allowing this? Why would the city issue permits for this? Something is not sounding right here.

Would you want this in your neighborhood? Honestly , the answer is NO. It makes absolutely no sense at all to have this type of property built in this neighborhood. There is nothing even remotely close to this proposed building in all of West Hills. Its all about the money for someone(s).

Your help in stopping this is extremely important!
I understand that something will be built on that land but keep it similar to what the neighborhood has now. Some low income housing is expected but dont participate in creating a nightmare project.

In addition, I believe that the builder did not disclose the proximity to the school or that the project could release hazardous materials from the nuclear fallout at Santa Suzanna into the air and the ground water. Will this be similar the Gas Co. incident in Porter Ranch?

Projects like this are why trust and confidence in government is basically zero....government doesnt care about its citizens!!!

What can you do to deny this project and protect the neighborhood?

Please reply with what you will do for this neighborhood.

Thank you
Eric Freidson

Laura Frazin-Steele <laura.frazinstele@lacity.org>
To: "socal1500@aol.com" <socal1500@aol.com>

Tue, Oct 29, 2024 at 7:35 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

Fernando Di Zitti <fdzt@aol.com>

Tue, Oct 22, 2024 at 2:50 PM

To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>

Ms. Frazin-Steele:

I am writing in opposition to the above project in West Hills.

I am not objecting to adding affordable housing to the suburbs, to create the type of insertion that all communities need.

I am opposing to the scale of this building: a 5-story 320+ units with limited parking on an already elevated property pad, surrounded by mostly one or two story homes will be a huge Planning faux pas.

There are no commercial services around the area this people can reach walking, there are no restaurants, no shops, nothing. Bus service is minimum [although probably being promised to be increased by Metro] Just a private school [that most affordable housing tenants will not be able to afford.] and a Hospital.

I am pleading for the Planning Department to reconsider this development, which clearly belongs to areas with more services concentration, such as Topanga Canyon Blvd., to the east, or even near the Fallbrook Center, around Vanowen St., Fallbrook Ave. and Victory Blvd.

Again, a less concentrated, less conspicuous building, with a density more compatible to a low density suburban community will be a much more attractive option.

Thank you for your time.

Fernando Di Zitti

fdzt@aol.com

[@fdzt1](#)

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Wed, Oct 23, 2024 at 9:53 AM

To: Fernando Di Zitti <fdzt@aol.com>

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



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Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Property @ Saticoy/Woodlake issue. West Hills.

2 messages

Linda Damarjian <redhead77@sbcglobal.net>
To: Laura.frazinsteel@lacity.org

Tue, Oct 29, 2024 at 12:49 PM

Dear Laura, we are very concerned about the property at the intersection at Saticoy & Woodlake, South/East corner that has proposed to build a 5-7 story, limited parking, oversized housing complex. We have lived nearby for over 40 years, original owners and actually petitioned & knocked on doors to have the city name changed from Canoga Park to West Hills. It has always been a beautiful single family home area and a definite highly sought after area for families to reside. Because of this plan to build this extremely out of place, over sized for the community residential building in the middle of our individual residential homes, we would like you to PLEASE consider not allowing this project to built. Not only is it out of place, but there are many other concerns as to traffic at an already semi congested small intersection, extra parking issues, slowing down emergency vehicles to reach the hospital nearby and some say there could be soil contamination issues per the age of the original home on that property.

All this can cause a hardship on the long time, and newer residents as to our property values. No one wants that! especially after working so hard to keep our homes and area the way it has been before and since it became West Hills, a nice quiet end of the valley, respected and appreciated community.

Again, please hear our pleas and don't allow this project to go through as planned.

Sincerely,

George and Linda Damarjian.

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Linda Damarjian <redhead77@sbcglobal.net>

Tue, Oct 29, 2024 at 4:08 PM

Hello George and Linda,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

7556 N. Woodlake Avenue, West Hills

4 messages

Gordon Morris <gordonmorris20@gmail.com>

Thu, Nov 21, 2024 at 5:04 PM

To: dan.rosales@lacity.org, vince.Bertoni@lacity.org, City Council LA <councilmember.lee@lacity.org>, LA City Planning <laura.frazinsteel@lacity.org>

Dear Councilman Lee, Mr. Rosales, Mr. Bertoni, Ms. Frazin-Steele,

I am grateful for Councilman Lee's opposition to the affordable senior housing project proposed at [7556 N. Woodlake Avenue, West Hills](#), in connection with the above captioned City Planning case. As the WHNC has thoughtfully outlined, the project is fraught with safety issues, drainage and sewage problems, serious traffic and emergency vehicle hinderance as well as a myriad of further valid concerns outlined in submitted commentaries from WHNC.

We respectfully request that you formalize your opposition in writing to City Planning, especially since City Planning is making its decision [this December 6, 2024](#).

Thank you for your leadership, your service to our communities and for taking the time to read the WHNC concerns and opposing the affordable senior housing project proposed at [7556 N. Woodlake Avenue, West Hills](#) .

Best Regards,
Gordon Morris
[7149 Rivol Rd.](#)
[West Hills, CA](#)
818-384-2455

Flora Melendez <flora.melendez@lacity.org>

Thu, Nov 21, 2024 at 5:16 PM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>
Cc: Blake Lamb <blake.lamb@lacity.org>, Lisa Webber <lisa.webber@lacity.org>

Hello.

I'm forwarding an email received by Vince.

Thank you.

~ Angie



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CITY PLANNING

Flora (Angie) Melendez

Pronouns: She, Hers, Her

Executive Administrative Assistant III

Los Angeles City Planning

[200 N. Spring St., Room 525](#)

[Los Angeles, CA 90012](#)

T: (213) 978-1271 | F: (213) 978-1275

[planning.lacity.gov](#)



[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Nov 21, 2024 at 5:24 PM

To: Flora Melendez <flora.melendez@lacity.org>

Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Lisa Webber <lisa.webber@lacity.org>

Thank you, I will respond.



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Nov 21, 2024 at 5:25 PM

To: Gordon Morris <gordonmorris20@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Letter of Compliance / Exhibit-A: Case File ADM-2024-5202-DB-PHP-VHCA

Leitha Young <leitha.young@lacity.org>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thu, Dec 5, 2024 at 9:54 AM

Forwarding ...



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Best,

Leitha Young

Pronouns: She, Her, Hers

Administrative Clerk

Los Angeles City Planning

6262 N. Van Nuys Blvd, Room 430

Van Nuys, CA 90401

T: (818) 374.9918 | Planning4LA.org



NOTE: RDO IS ALTERNATE MONDAYS'

**Note: Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#)*

----- Forwarded message -----

From: **Holly Cornell** <holly_cornell@yahoo.com>

Date: Thu, Dec 5, 2024 at 9:50 AM

Subject: Re: Letter of Compliance / Exhibit-A: Case File ADM-2024-5202-DB-PHP-VHCA

To: Leitha Young <leitha.young@lacity.org>

So I guess adorable housing can abuse our neighborhoods? More traffic, more homelessness, more crime... this is a crime in itself! We have to pushback and create the process of a Development Moratorium... it is a sin!

Sent from Yahoo Mail for iPhone

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Hutch Gogoshian <hutchg@me.com>
To: Laura.frazinsteel@lacity.org

Tue, Oct 22, 2024 at 8:27 AM

Dear Ms. Laura Frazin-Steele,

This email is in regards to the property on [7556 N. Woodlake Avenue, West Hills](#). I live down the street from there and have been living in West Hills for the last 20 years. We understand that an apartment complex with 332 apartments is being proposed for that location. The area has very narrow roads and I feel cannot handle potentially hundreds of additional people with their cars and their friends and family who will visit them. We also were not given notice of this proposed plan and given a chance to voice our opinions. The area is also known to have contaminated soils so I don't know if there was a study done to see if the land is clear. I hope that you will consider the opinions and reservations of the homeowners by this complex and give us a voice in this matter.

Respectfully Yours

Hratch Gogoshian
23742 Fitzgerald Street
West Hills, CA 91304

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Hutch Gogoshian <hutchg@me.com>

Wed, Oct 23, 2024 at 10:48 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA Circle S Ranch Project

2 messages

jack garrett <gronimof@aol.com>

Wed, Oct 23, 2024 at 5:26 PM

Reply-To: jack garrett <gronimof@aol.com>

To: laura.frazinstelee@lacity.org, trevor.martin@lacity.org, councilmember.Lee@lacity.org

Dear Mayor and Councilman,

As community members we are very opposed to the above project that is inappropriately planned next to our single family homes for the following reasons:

The ER at UCLA/west Hills is already overwhelmed with as much as a 14 hr wait!!!

Negative impact on our homes property values

increase traffic gridlock ,accidents, within 300 ft of Chaminade School

only 150 parking spaces for the 600+ residents expected

no visitor parking-where will visitors, residents park?Flooded streets

Fire Dept. & LAPD not currently outfitted to absorb 600+ people

Traffic on Woodlake & Saticoy how will they get through?

Chaminade HS planning to build a sports complex where fields market is currently

located on Woodlake Ave.-Traffic will be even heavier with student egress/ingress

over 1,000 signatures collected on petition .

There are no retail services/supermarkets in the area that are walkable once Fields Market will be demolished.

There is no transit in the area for the residents.

The scale of this project does not fit into the community as it exists.

This project is way too large, so high/tall/massive , with too many stories for a private home area.

****The pollution , dust and noise will be horrible for the nearby residents if there is major construction going on diagonally across from each other at the same corner!!!

This is just another example of your constituents rights being taken away from them as there is no approval process.

It will just make money for the owner of the property and the developer on the project.

Please reconsider the scale of this project and it's overall negative impact on the neighborhood, its residents and the High School.

Thank You for your Consideration to adjust and scale down the proposed project.

Yours Truly,

Jack and Jane Garrett residents of Kens way

Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Thu, Oct 24, 2024 at 7:15 AM

To: jack garrett <gronimof@aol.com>

Bcc: Trevor Martin <trevor.martin@lacity.org>

Good Morning,

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments regarding the proposed project at 7556 Woodlake Avenue to me.

I have added your comments to the official case file regarding Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Your comments are a part of the public record. Your comments regarding 7556

Woodlake Avenue will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list for Case No. ADM-2024-5202-DB-PHP-VHCA.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

CASE ADM-2024-5202-DB-PHP-VHCA

2 messages

evmorrison dslextreme.com <evmorrison@dslextreme.com>
To: laura.frazinstelee@lacity.org

Sun, Oct 13, 2024 at 7:39 PM

Good morning- As a resident of the West Hills area, I hope you will scale back the project planned for [7556 Woodlake Avenue](#). With 5 stories and over 300 units, it overpowers the surrounding neighborhood and destroys the character of the community. Certainly a more reasonable project would fulfill much of the housing need and blend in with and accommodate the housing that exists around it. The people who chose to live here have a strong inclination to maintain the current atmosphere. Just the lack of provided parking will create its own nightmare. Five stories is too big, will cause too much congestion, and is too close to a school. Please consider reducing the size of this project.

Best regards,
James Morrison
[8430 Jason Avenue West Hills 91304](#)

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: "evmorrison dslextreme.com" <evmorrison@dslextreme.com>

Tue, Oct 15, 2024 at 8:08 AM

Good Morning James,
Thank you for your comments regarding Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.
I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Thank you again.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

ADM-PHO-VHCA 7556 N Woodlake Ave. West Hills

2 messages

Janet FLEMING <socalfleming@aol.com>
To: Laura.frazinsteede@lacity.org

Tue, Oct 22, 2024 at 3:18 PM

Dear Ms. Frazin Steele:

I am writing this email because I am extremely concerned about the impact of this proposed large apartment for affordable housing.

I have lived in this neighborhood for nearly 27 years & have seen several accidents on the corner of Woodlake & Saticoy. There is already an influx of garages & back properties turned into rentals here, which has caused an abundance of more congestion. It is my understanding that this apartment building won't have sufficient parking for the units proposed, which also adds more parked cars along our already crowded streets.

I'm concerned too about the toxic ground contaminates that could be spread into the air. We watch our grandchildren here while their parents work. Daycare has gotten extremely unaffordable for most parents & we help as much as we can. I don't want to expose these babies (2 yrs & 4 mos old) to these potential deadly contaminants.

I sincerely hope my concerns are taken seriously.

Thank you for your consideration.

Janet Fleming

7652 Melba Ave

West Hills 91304

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Janet FLEMING <socalfleming@aol.com>

Wed, Oct 23, 2024 at 9:51 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker, including and not limited to you concerns about possible soil contaminants.

I have also added your name to our interested parties list.

Thank you,
Laura



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CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org





Laura Frazin-Steele <laura.frazinsteede@lacity.org>

#ADM-2024-5202-DB-PHP-VHCA

2 messages

westrails@aol.com <westrails@aol.com>

Tue, Oct 22, 2024 at 11:55 AM

Reply-To: westrails@aol.com

To: Laura.frazinsteede@lacity.org

To; Laura Frazin-Steele, City Planner

Please do not allow this apartment project to be built at [7556 Woodlake Ave, West Hills](#). I'm worried about the increase in traffic and the safety of my neighborhood. I've lived here for over 30 years and have seen this once quiet and safe area starting to worsen and worsen. If you allow this to be built you will be signing the death warrant for our neighborhood. We don't want this and we don't need it. There is already not enough parking here with all the ADUs that are being built. The increased calls for fire and police services will be an added burden to these already over taxed departments. Please do the right thing and deny the project.

Sincerely, Jeff Ames

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Wed, Oct 23, 2024 at 10:36 AM

To: westrails@aol.com

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

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I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Planner Handling Saticoy/Woodlake Apt. Project?

8 messages

Jeff Bornstein <powcp@aol.com>

Wed, Jun 12, 2024 at 3:34 PM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>, JEFF BORNSTEIN <powcp@aol.com>

Hi Laura,

I am interested in participating in the processes for the proposed project at the corner of Woodlake Ave and Saticoy Street in West Hills.

Please pass along the name and email address of the City Planner handling this case.

And if a case number has been created, please pass that along too. If possible.

Thanks,
Jeff Bornstein

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Jun 13, 2024 at 7:26 AM

To: Jeff Bornstein <powcp@aol.com>

Bcc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Courtney Yellen <courtney.yellen@lacity.org>, Shane Strunk <shane.strunk@lacity.org>

Good Morning,

At this time, there have been no recent cases filed at the corner of Woodlake Avenue and Saticoy Street. I suggest that you use our website to obtain information about case filings. Here is the link to the website: <https://planning.lacity.org/resources/case-reports>. You may view the information on a spreadsheet, in a map format, or sign up to receive notifications to your email. You can also use ZIMAS (<http://zimas.ci.la.ca.us/>) and look under the "Case Numbers" tab to track and review cases filed on any site.

At this time, there only appears to be a preliminary case which does not constitute a filed case. Once a case is filed, you can reach out to the assigned staff which you can find by pressing on the case number under the "Case Number" tab on ZIMAS.

I hope you find this information helpful.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]

Jeff Bornstein <powcp@aol.com>

Thu, Jun 13, 2024 at 11:59 AM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>, "daniel.rosales@lacity.org" <daniel.rosales@lacity.org>, JEFF BORNSTEIN <powcp@aol.com>

Hi Laura,

Are you the City planner assigned to this project?

If not, please inform me who is.

Thank You,
Jeff Bornstein

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org> Thu, Jun 13, 2024 at 12:05 PM
 To: Jeff Bornstein <powcp@aol.com>
 Cc: "daniel.rosales@lacity.org" <daniel.rosales@lacity.org>
 Bcc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Courtney Yellen <courtney.yellen@lacity.org>, Shane Strunk <shane.strunk@lacity.org>

Hello Jeff,
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 I hope provides clarification.
 Again, I suggest that you use ZIMAS (<http://zimas.ci.la.ca.us/>) and look under the "Case Numbers" tab to track and review cases filed on this site. Once a case is filed, you can reach out to the assigned staff which you can find by pressing on the case number under the "Case Number" tab on ZIMAS.



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[Quoted text hidden]

Jeff Bornstein <powcp@aol.com> Thu, Jun 13, 2024 at 12:05 PM
 To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>, "Dan.rosales@lacity.org" <Dan.rosales@lacity.org>, JEFF BORNSTEIN <powcp@aol.com>

Sorry for extra got a mailer Daemon.

[Quoted text hidden]

Mail Delivery Subsystem <mailer-daemon@googlemail.com> Thu, Jun 13, 2024 at 12:06 PM
 To: laura.frazinsteede@lacity.org



Address not found

Your message wasn't delivered to **daniel.rosales@lacity.org** because the address couldn't be found, or is unable to receive mail.

[LEARN MORE](#)

The response was:

550 5.1.1 The email account that you tried to reach does not exist. Please try double-checking the recipient's email address for typos or unnecessary spaces. For more information, go to <https://support.google.com/mail/?p=NoSuchUser> 3f1490d57ef6-dff0463b76cсор1283118276.7 - gsmtп

Final-Recipient: rfc822; daniel.rosales@lacity.org

Action: failed

Status: 5.1.1

Diagnostic-Code: smtp; 550-5.1.1 The email account that you tried to reach does not exist. Please try

550-5.1.1 double-checking the recipient's email address for typos or

550-5.1.1 unnecessary spaces. For more information, go to

550 5.1.1 <https://support.google.com/mail/?p=NoSuchUser> 3f1490d57ef6-dff0463b76cсор1283118276.7 - gsmtп

Last-Attempt-Date: Thu, 13 Jun 2024 12:06:00 -0700 (PDT)

----- Forwarded message -----

From: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

To: Jeff Bornstein <powcp@aol.com>

Cc: "daniel.rosales@lacity.org" <daniel.rosales@lacity.org>

Bcc:

Date: Thu, 13 Jun 2024 12:05:21 -0700

Subject: Re: Planner Handling Saticoy/Woodlake Apt. Project?

----- Message truncated -----

Jeff Bornstein <powcp@aol.com>

Thu, Jun 13, 2024 at 12:22 PM

To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Cc: "daniel.rosales@lacity.org" <daniel.rosales@lacity.org>, JEFF BORNSTEIN <powcp@aol.com>

Hi Laura,

At times I send out/ pass out communications to neighbors and I want to be accurate with the information I disperse.

That coupled with the complexity of these projects make me want to reach out to professionally trained staff

to make sure of accuracy and not causing any undue fear for the neighbors and unfounded extra responses

from those neighbors.

That compounded with the unchecked nature of computer information make me feel like I am not doing my due diligence to

to be accurate when working with and informing neighbors who don't have the resources available to keep up with such projects.

The accuracy of professionally trained staff is much more reliable than the computer-generated information.

In the past with CD-3 I have distributed flyers to the community and after the fact was informed the project proposed was pulled by

landowner. I would like to avoid that in the future.

Last item is a question for a potential flyer. Should I include your name and contact information as a contact or should it be Dan Rosales. Or should I include both you and Dan's info. on any potential flyer(s). My guess is both. Which I will rely on without any other guidance. But maybe you help me with whose name and contact information that would best be included in such a potential flyer.

Thank you both for your public service and willingness to help the community with being as informed.

Sincerely,
Jeff Bornstein

[Quoted text hidden]

Jeff Bornstein <powcp@aol.com>

Thu, Jun 13, 2024 at 12:28 PM

To: "dan.rosales@lacity.org" <dan.rosales@lacity.org>, Laura Frazin-Steele <laura.frazinsteele@lacity.org>, JEFF BORNSTEIN <powcp@aol.com>

Sorry, another Mailer Daemon. It is Dan, not Daniel in the email address.

Again, Sorry for extra email(s).

Jeff

----- Forwarded Message -----

From: Jeff Bornstein <powcp@aol.com>

To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Cc: daniel.rosales@lacity.org <daniel.rosales@lacity.org>; JEFF BORNSTEIN <powcp@aol.com>

Sent: Thursday, June 13, 2024 at 12:22:58 PM PDT

Subject: Re: Planner Handling Saticoy/Woodlake Apt. Project?

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Please Disregard Previous Emails- Woodlake Ave /Saticoy St.

2 messages

Jeff Bornstein <powcp@aol.com>

Thu, Jun 13, 2024 at 3:25 PM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: "daniel.rosales@lacity.org" <daniel.rosales@lacity.org>, JEFF BORNSTEIN <powcp@aol.com>

Hi Laura and Daniel,

After conferring with counsel we at this time have decided not to get involved in this case.

Good Luck.

Sincerely,
Jeff Bornstein

-- -- --

On Thursday, June 13, 2024 at 12:22:58 PM PDT, Jeff Bornstein <powcp@aol.com> wrote:

Hi Laura,

At times I send out/ pass out communications to neighbors and I want to be accurate with the information I disperse.

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to make sure of accuracy and not causing any undue fear for the neighbors and unfounded extra responses

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you help me with whose name and contact information that would best be included in such a potential flyer.

Thank you both for your public service and willingness to help the community with being as informed.

Sincerely,
Jeff Bornstein

On Thursday, June 13, 2024 at 12:06:01 PM PDT, Laura Frazin-Steele <laura.frazinsteel@lacity.org> wrote:

Hello Jeff,

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I hope provides clarification.

Again, I suggest that you use ZIMAS (<http://zimas.ci.la.ca.us/>) and look under the "Case Numbers" tab to track and review cases filed on this site. Once a case is filed, you can reach out to the assigned staff which you can find by pressing on the case number under the "Case Number" tab on ZIMAS.



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On Thu, Jun 13, 2024 at 11:59 AM Jeff Bornstein <powcp@aol.com> wrote:

Hi Laura,

Are you the City planner assigned to this project?

If not, please inform me who is.

Thank You,
Jeff Bornstein

On Thursday, June 13, 2024 at 07:27:21 AM PDT, Laura Frazin-Steele <laura.frazinsteel@lacity.org> wrote:

Good Morning,

At this time, there have been no recent cases filed at the corner of Woodlake Avenue and Saticoy Street. I suggest that you use our website to obtain information about case filings. Here is the link to the website: <https://planning.lacity.org/resources/case-reports>. You may view the information on a spreadsheet, in a map format, or sign up to receive notifications to your email. You can also use ZIMAS

(<http://zimas.ci.la.ca.us/>) and look under the "Case Numbers" tab to track and review cases filed on any site.

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I hope you find this information helpful.



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Fw: Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Jeffrey Wong <jsmjwong@sbcglobal.net>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 9:12 AM

Regarding the proposed project at: [7556 N. Woodlake Avenue, West Hills](#)

Please find this note in complete OPPOSITION to the above proposed project. This project will add an unacceptable burden of traffic and congestion at a location which is already congested. The corner of Woodlake and Saticoy is already the site of frequent automobile accidents. By adding more traffic to this area, this will likely result in pedestrian vs. auto accidents as well, given this area and the immediate southward corner of Woodlake and Cohasset Streets are already very busy with pedestrian traffic given the nearby Chaminade High School and Pomelo Elementary School. The above are in addition to the problems of a lack of street parking in the area and negative affect of nearby home and property values.

As such, please REJECT the above proposed project. Thank you.

Jeffrey and Susan Wong

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Jeffrey Wong <jsmjwong@sbcglobal.net>

Mon, Oct 21, 2024 at 9:25 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Thank you again.
Laura



Laura Frazin Steele
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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave, West Hills, CA. 91304

2 messages

jennifer garcia vidana <jgarciavidana@gmail.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:43 PM

We have Zero interest is seeing this development happen. The Negative impact it will have on our Families/Community and daily lives is outrageous. On a personal level my concerns are for my children and the children of our community. Our local Park Taxco Trails Park will no longer be safe to play in. We are a walking community and the heigh levels of traffic the development will bring will put all children at higher risk.

The lack of yard at the apartment complex will only turn our lovely park / front lawns into a doggy lawn. Not to mention the smell and other risk to our children with diseases and their favorite place to play and meet with other neighborhood kids would be taken over by dogs. With apartment complexes rising in California, there are very few community's like our. With single family homes. As mentioned before. We go on walks use our local facilities. The traffic will disturb our every day lives. Walks will no longer be enjoyable as for concern for our safety and rise of population.

Please don't allow this development to occur. As it will distrust the peace in our community.

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: jennifer garcia vidana <jgarciavidana@gmail.com>

Mon, Oct 21, 2024 at 10:19 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



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CITY PLANNING

Laura Frazin Steele

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Jennifer Samuel <jennifersamuel718@yahoo.com>
To: Laura.frazinsteede@lacity.org

Sat, Oct 19, 2024 at 4:22 PM

Dear Ms. Frazinsteede,

I am writing to you because I have major concerns regarding the low income housing building that is to be built at the [7556 Woodlake Avenue](#) location in West Hills, CA.

A developer is planning to build a 5 to 7 story, 332 unit, 100% low income housing project on a small residential corner with inadequate parking.

There are major concerns regarding safety, privacy, traffic/gridlock and parking. This building would be just feet away from a high school and the streets are congested as is.

This part of West Hills is a quiet, suburban area with small, single family homes. This new building would tower over these existing homes and obstruct views. There is also the possibility of residents in this low income, multi-story building, to be able to look into windows of existing homes and backyards, resulting in major privacy issues.

The residents of West Hills are adamantly against this implementation of this project and would greatly appreciate you looking into the matter as time is of the essence now.

Thank you for your time and hopefully your support with this issue.

Sincerely,
Jennifer Samuel
West Hills Resident

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Jennifer Samuel <jennifersamuel718@yahoo.com>

Mon, Oct 21, 2024 at 10:45 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
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Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave, West Hills

2 messages

Jenny Ayoub <ayoub.jenny@yahoo.com>
To: laura.frazinstelee@lacity.org

Sun, Oct 20, 2024 at 2:56 PM

Hello Laura,

I am a resident in West Hills. I am strongly opposed to the proposed low income housing project on Woodlake Ave. This is a residential area that is in close proximity to several schools. I don't have to educate you about the potential safety risks this project would pose to our families. It would be highly irresponsible and unethical for our elected officials to allow this project to proceed. I urge you to do the right thing and stop this project from going any further.

Respectfully,
Jenny Ayoub

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Jenny Ayoub <ayoub.jenny@yahoo.com>

Mon, Oct 21, 2024 at 10:17 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



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CITY PLANNING

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Concerned Homeowner regarding the development at 7566 Woodlake

2 messages


Jesse <jesseburke@gmail.com>
To: laura.frazinsteel@lacity.org
Cc: jesse_burke@oxfordcorp.com

Fri, Oct 25, 2024 at 2:30 PM

Hello Laura,

I am writing to inform you of my strong opposition to the proposed development at [7566 Woodlake Ave, West Hills, CA](#). I have attached my concerns to this email.

Thank you,
--
Jesse Burke

 **Concerned Homeowner regarding the development at 7566 Woodlake.docx**
24K

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Jesse <jesseburke@gmail.com>
Cc: jesse_burke@oxfordcorp.com

Mon, Oct 28, 2024 at 8:23 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

If you, as a member of the public, have specific questions regarding the content of the case file, you are welcome to schedule a time to review the file.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



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Jesse Burke

West Hills, CA 91304

October 25, 2024

Laura Frazin-Steele
City Planner, Project Planning
LOS ANGELES CITY PLANNING
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
818-374-9919

**RE: Case #ADM-2024-5202-DB-PHP-VHCA
7566- 7572 Woodlake Ave, West Hills (the “Property”)**

Dear Ms. Frazin-Steele,

I am a homeowner in West Hills, living at: 7645 Melba Ave. 91304.

I am concerned about, and opposed to, the development at 7566 Woodlake, in Case #ADM-2024-5202-DB-PHP-VHCA.

Concerns and Objections

1. **Potentially Nuclear Contaminated Soil, risk of Cancer** - Risk of disturbing soil potentially contaminated with nuclear waste, as is common knowledge that this area and the land are contaminated with nuclear waste. Actually, a few lots are locked and not being built upon for decade for this precise reason. For example, Rocketdyne facility 3 miles from here, the lots on Vanowen and _____ (?) by the Westfield Mall, lots at Corporate Point which was the subject of litigation off Fallbrook and Roscoe. It’s been said nuclear accident spread these particles with a 100 year half-life into the soil of our community.
2. **Valley Fever Fungal Disease in Soil.** - Most of West Hills was horse property. This Woodlake Circle S property had horses on them from the 1920s. There are many feet of horse manure and many rodents lived on it. All the rat droppings and horse feces and urine contaminated the soil with a spore called **coccidiomycosis**, which is a mammalian fungal disease, called Valley Fever and makes people very sick.
3. **Auto Repair Shop located within 150** or so feet of the Circle S Property. **It was a gas station since the 1950s and was there for almost 50 years.** It is my understanding that there were incidents of leaks. The gas pumps were not removed until sometime in the

late 1990s to early 2000s. We as a community need to see that our safety is taken very seriously and that extensive soil testing be done.

4. **Inappropriate Location for Project.** The Project has 5 to 7 stories, 332 units, 150 parking spaces, and is inappropriately placed in the middle of, and next door to, one story single family residences in a quiet, quaint and idyllic, residential neighborhood where most property owners specifically purchased here because of the quiet, small town feel, peace and quiet of the neighborhood. The Project will destroy the style and feel of this neighborhood and deprive us of the quiet enjoyment of our homes. That taking is akin to a taking without just compensation and unacceptable.

5. **Failure to Disclose Within 500 feet of Chaminade High School.**

The Developer has actively falsified their Application by failing to disclose that the Property is located within 500 feet of Chaminade High School.

N/W Saticoy property line by repair shop is 230 ft.

center of Fields Market is 500 feet.

N/W Woodlake property line by repair shop is 230 ft.

N/W Chaminade property line is 470 ft.

center of the home N of that property line is at 500 ft.

6. **The Application failed to check the box (p. 2) for “uses that could release hazardous materials on soil and/or groundwater known to contain radioactive and carcinogenic materials and Valley Fever nearby**

On information and belief, the neighboring cities and areas have nuclear waste contamination and excavating and/or grading the soil to street level has been counter indicated. Moreover, existence of Valley Fever in the soil at the Property is apparently common knowledge by the long-time residents. Not only has disturbing the soil been counter indicated, but class action lawsuits and other lawsuits have been filed in the San Fernando Valley and nearby for soil contamination, including but not limited to radioactive and other carcinogenic toxins, resulting in cancers in individuals living thereon.

To my knowledge, the residents of West Hills, and other residents, have implored the City to put the safety, welfare and health of the people before any profits which the Developer can very well obtain at a different location better suited for the Project. I hereby echo that request.

On further information and belief, the Property was purchased originally by a Church school and because of the soil issue, grading and razing the land to the ground was a very contentious issue.

While the current “By Right” laws encourage affordable housing in California, said projects should not, and must not, come at the expense of the health, welfare and safety of the residents that live within the vicinity of West Hills.

I implore, and strongly encourage, the Los Angeles City Planner’s Office to consider developments that will not jeopardize the health and safety of the currently taxpayer residents and homeowners.

The Developer should be held to the strictest standard here, given the totality of the circumstances, including but not limited to the risk of cancer and Valley Fever from well documented environmental contamination in the soils in this or nearby lands, and not allowed to disturb the carcinogenic elements so as to not cause life threatening hazards to the residents of not only West Hills, but beyond in the San Fernando Valley in Los Angeles.

7. **The Application failed to disclose that there are related City Planning Cases** such as the Chaminade High School project just across the street, pending at this time.

8. **5 to 7 story, 332 units, 150 parking spaces, will cause several problems, including, but not limited to the following:**
 - a. The Project building will tower over existing one story single family residences, destroy the privacy, calm, and quiet enjoyment of neighboring occupants and beyond. It is not suitable for this location;

 - b. The density does not fit into the existing layout of the neighborhood;

 - c. **150 parking spaces are gravely insufficient** to meet the needs of individuals over 55 who still drive, their caregivers, visiting family, visiting nurses, physical therapists, and other vendors, staff, and services. Where will they all park? There is NO room on the streets. The parking will overflow onto the streets which are, as is, heavily burdened with traffic and parked cars, to the point where Fire Department trucks and Ambulances are well known to get stuck in traffic on Woodlake and Saticoy where there is no traffic light, but a 4-way stop sign.

Even if a traffic light were to be installed, the congestion at this intersection is notorious for being substantially heavy and problematic for emergency and first responders.

Having seniors and disabled individuals (per the Application) living in the Project will likely increase the need for first responders, ambulance and paramedic commute to this Project, thereby worsening the existing traffic congestion and lack of access during school drop off and pick up hours at Chaminade High School.

The current traffic situation is currently often described as a challenging, during student pick up and drop off times, is described as one that will turn into a “nightmare” when the Project is occupied and operational.

With the Project, this area may very well become so congested and undesirable that the drop in property values, environmental contamination, and damages ensuing therefrom, will be the least of the Developer’s concerns.

9. **ENVIRONMENTAL TESTING MUST BE PERFORMED –**

Soil testing and, environmental testing are urgently needed from reputable third party neutrals with a history of reliability and public disclosure of conflict of interest check, including but not limited to nuclear fallout and valley fever. The soil in this area may be affected by the nuclear accidents and projects undertaken nearby.

Since the Developer plans to move the dirt and raze the soil to lower the elevation to street level, or close to it, this is a serious issue that may pose serious life hazards to residents. The nuclear fallout has over 100 year half-life. Nearby cities have filed class action lawsuits for damages including cancer. That is not an acceptable result in our homes here.

10. **100% Senior occupied Permanently and In Perpetuity**

Which definition of “Senior” is being used?

We respectfully request the City Planner to impose Covenants, Conditions and Restrictions (“CC&R’s”), and/or demand, and make it a permanent covenant with the land and the Project, that the Property and Project **allow only senior (is it 55 or 62 years and over?) residents permanently and in perpetuity and that said condition not be removable, or negotiable, under any circumstances whatsoever.**

We respectfully request The City to **specify in detail the monetary and other penalties that will be imposed upon the Developer, investors, builder, owner and subsequent owners or transferees should any of said covenants be violated.** Without said penalties, the restrictions would be rather meaningless. Moreover, the cost to the residents to file claims for the violation of said covenants, conditions and restrictions for non-performance would be an undue burden.

Certain developments obtain approval under the guise of “100% senior” housing, only to go on and allow anyone to reside therein after the City has closed its file and moved on. That is not acceptable.

11. **Insufficient Public Right of Way** – (Application p.3). 1’ on Woodlake and 1’ on Saticoy is insufficient.

12. Actions Requested (Application p.3):

- a. To the extent that the Code Sections from which relief is requested benefit and protect the welfare, safety and health of the residents of West Hills, relief should be denied to this Developer.
- b. Side Yard reductions should be denied, and expanded side yard restrictions should be imposed.
- c. The City to require more than 30% Open Space Restriction.
- d. The City to require a minimum of one normal size, not compact size, parking space per unit, in addition to a substantial percentage per Code for similar sized visitor parking spaces for visitors, staff, nurses, vendors and emergency responders.

13. **Developer Failed to Attach to this Application, a copy of the recorded Covenants, affidavits or easements on the Property.** See page 4, section 5, box is checked “yes” for the existence of such Covenants, affidavit or easements. Nothing is attached.

Questions:

1. Has Developer submitted any impact studies on how the height of 5 to 7 story building with 332 units will impact the aesthetics of Woodlake Ave and this quaint and idyllic West Hills exclusively (except for a modest food market, liquor store and repair shop which are phased out as of January 2025) residential neighborhood?
 - a. If yes, please provide a copy by email to the undersigned.
2. Has Developer submitted any environmental reports? If yes, please provide a copy by email to the undersigned.

Thank you in advance for your kind attention to my concerns.

Sincerely,

J.B.



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave, West Hills

2 messages

John Lazor <jacklazor@sbcglobal.net>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Tue, Oct 22, 2024 at 3:57 PM

Laura,

Re: Property at [7556 Woodlake Ave, West Hills](#)

My wife and I are residents of West Hills for 60 years and have seen many changes to the area but nothing as overwhelming as to what we and our neighbors will experience with the project on the corner of Woodlake Ave and Saticoy St. We, including our adult children, are very disappointed with the scale of this project. I understand the razed single home located at [7556 Woodlake Ave](#) will become a 5 to 7 story structure and contain over 300 units of affordable housing for 600+ residents. The 150 parking spaces seem like an afterthought. A major shortcoming in planning. Individuals in low income housing also drive cars! Also, where will visitors park?

Years ago I was one of many attendees at the zoning discussion at Van Nuys City Hall when a Christian School planned to remove the hill at Woodlake Ave and Roscoe Blvd to construct their facilities. Approval was not given because disturbing a large amount of soil was an environmental risk. First, there is valley fever. Secondly, there is potential airborne soil contamination from the Rocketdyne test facility located in the Santa Susana hills from the decades of rocket testing and the 1959 nuclear meltdown of the Sodium Reactor, the first commercial power plant to experience a core meltdown. A retirement home currently occupies the hill.

John and Shirley Lazor
[8051 Woodlake Ave](#)
West Hills

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: John Lazor <jacklazor@sbcglobal.net>

Wed, Oct 23, 2024 at 8:30 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue

1 message

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Larrybass360@gmail.com

Thu, Oct 24, 2024 at 3:39 PM

Hello John,

Thank you for your phone call today.

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me. You may submit comments in writing if you wish. Any written comments that you submit are added to the official case file and are a part of the public record. Comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

Jordan Nevo <jordan.nevo@gmail.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 11:35 PM

Dear Ms. Frazin Steele,

As a neighbor near the upcoming development on 7556 N. Woodlake Avenue, I am deeply concerned about the prospect of a high rise apartment project at this location.

This will negatively impact our local neighborhood by increasing traffic gridlock and accidents, especially since there are only 150 spaces planned for the 600+ residents expected. Additionally, there is a new sports facility for Chaminade being built across the street. This will severely limit visitor parking and some of those cars will inevitably spill over to residential streets.

The Fire Dept and LAPD are not currently outfitted to absorb 600+ people in our neighborhood, so this presents a major safety issue.

I urge you as a local concerned West Hills citizen and member of the West Hills Neighborhood Council to whatever you can to please halt the development of the high rise apt. on [7556 N. Woodlake Avenue](#).

Thanks,
Jordan

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Jordan Nevo <jordan.nevo@gmail.com>

Wed, Oct 23, 2024 at 10:51 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



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CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Concerned about development in West Hills

2 messages

Judy Vander Hook <judyvhook@gmail.com>
To: Laura.frazinsteel@lacity.org

Mon, Oct 21, 2024 at 11:52 PM

I live on Melba Ave in the immediate vicinity of the proposed development site of the large apartment complex on Saticoy and Woodlake. Our family strongly opposes this project as it will cause way too much traffic by increasing the population of this single family area in West Hills. The entire area from Fallbrook (even as east as Vanowen) to Valley Circle and beyond to the west and from Lassen to Ventura Blvd are all single family houses. We want to keep this area for our single family homes. Please do not have this development of apartments happen. There are condos down on Woodlake and ShermanWay perhaps that might be a suggested area to build. Please put single family homes in the property designated for the apartments.

I appreciate your time and consideration of this matter.
Judy Vander Hook

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Judy Vander Hook <judyvhook@gmail.com>

Wed, Oct 23, 2024 at 10:50 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



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Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills.

2 messages

Julie Himot <jyhimot@gmail.com>
To: Laura.frazinstelee@lacity.org

Mon, Oct 21, 2024 at 9:04 PM

Hi Laura,

I'm writing about the proposed development at the corner of Saticoy and Woodlake. I've been unable to attend the meetings and would like to know a little more about the apartments that are proposed to go up at the property.

My initial feelings towards this are against as I think it will negatively affect our quiet community feel. My family and our neighbors were drawn to this area because it is quieter than other parts of the valley. Even in the late 90s when I was in HS at El Camino, I really liked this area because it was less busy than the area of Woodland Hills that I grew up in. If I was asked today, I would oppose the project. All that being said, I would like to educate myself more, because I understand we need more housing.

My family lives near the hospital and we often will bike or walk to the Four Oak Park or the shopping center that Chaminade purchased. I already have concerns for my children's safety as cars often speed down Woodlake. Additionally, the intersection at Woodlake and Saticoy is sometimes challenging for drivers with the four-way stop.

- What is being done to address the additional traffic?
- Will a light be put in?
- Where will people park? From what I've seen in Facebook groups from those that supposedly have more knowledge than me, there is not any/much visitor parking for the complex. Can you please confirm and expand on that?
- When looking at traffic that will be created, what does the proposed Chaminade facility add to it? How was that taken into account for traffic created?
- Will buses be running down there? I don't believe I see them on Woodlake and the end of the line is next to the hospital.

I also am curious about the low income part of this as there is lots of chatter on Facebook about this as well.

- Is it true that it is restricted to low income seniors? If not, who is this meant for?
- What income is considered low income in our area?

What kind of city resources and infrastructure will be added for the added families that are there? I'm wondering specifically about how it will impact our local schools, LAPD, and LAFD.

Will UCLA be prepared for more people to come in? Being down the street from the hospital, when it was West Hills Hospital, we would have people having mental breaks running down our street because there were no 51/50 holds and they weren't equipped to handle those patients.

Finally, I was wondering the next steps of this project? I was told there is a deadline of tomorrow to oppose it, but wasn't sure if that's accurate and am curious where everything is at.

Thank you for your time. Feel free to call me if easier at 818.825.0671.

Best,

Julie Himot

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Julie Himot <jyhimot@gmail.com>

Wed, Oct 23, 2024 at 10:55 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](https://amlegal.com/SEC.12.22.EXCEPTIONS)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

Currently the project is on hold. Los Angeles City Planning has requested additional information from the applicant.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Julie Martine-Hoover <jkmartine@me.com>
To: Laura.frazinsteede@lacity.org

Wed, Oct 23, 2024 at 1:07 PM

To Whom It May Concern;

The developer who is planning to build a 5-7 story building with 332 units on Saticoy and Woodlake is of utmost concern to those of us living in this area. There already is too much traffic, crime is at an all time high, police sirens every night and day and now you want to add more people to the mix. There is barely any parking as it is. As a property owner paying over \$11,000 a year in property tax, and getting an occasional ticket when I have company for parking on the incorrect side of the street I find this build to be absolutely absurd. There are homeless vans parked on Saticoy with all there trash not getting parking tickets any yet we are paying so much to live in this area.

I hope the county decides what is best for the current residents and home owners of this area.

Julie Hoover

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Julie Martine-Hoover <jkmartine@me.com>

Wed, Oct 23, 2024 at 3:01 PM

Hello,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Apartment building planned at Saticoy and Woodlake Avenues

2 messages

Julie McKibben <julielmck@gmail.com>
To: Laura.frazinsteede@lacity.org

Tue, Oct 22, 2024 at 2:32 PM

Hello Laura,

As a resident of the San Fernando Valley for more than 61 years, most of it in the Canoga Park/West Hills area, I'm concerned to hear of a plan to build a large apartment building which will destroy the bucolic peace of that whole area, but my primary concern is the health question, as that area is the runoff repository of decades-old atomic testing from the hills just to the east overlooking the planned site. Is there any meeting planned so concerned residents can have a say, and ask questions and get answers from knowledgeable persons?

Please let me know as soon as possible.

Sincerely,

Julie McKibben

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Julie McKibben <julielmck@gmail.com>

Wed, Oct 23, 2024 at 9:58 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

Please be aware that processes and procedures (i.e., meetings) regarding this case are also subject to State and Municipal density bonus regulations. As such, no meeting has been scheduled by Los Angeles City Planning at this time.

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



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Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Petition Opposing Development at 7556 Woodlake Avenue, West Hills

2 messages

Kamran Behroozi <kbehroozi@yahoo.com>
Reply-To: Kamran Behroozi <kbehroozi@yahoo.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Sun, Oct 20, 2024 at 5:09 PM

To: Laura Frazin-Steele, City Planner

RE: Petition Opposing Development at 7556 Woodlake Avenue, West Hills
Case No.: **ADM-2024-5202-DB-PHP-VHCA**

Dear Ms. Laura Frazin-Steele,

I am writing to formally oppose the proposed development at **7556 Woodlank Avenue, West Hills**, under case number **ADM-2024-5202-DB-PHP-VHCA**. As a resident of West Hills, I have significant concerns about the impact this project will have on our community, and I urge the City Planning Department to reconsider its approval.

My objections to this project are based on the following critical concerns:

- 1. Community Impact and Overdevelopment:** The proposed development threatens to overburden the character and infrastructure of our neighborhood. West Hills is a suburban area with a distinct identity, and increasing density to the level proposed in this project undermines the community's nature. The size and scope of this development are simply incompatible with the surrounding area, which primarily consists of single-family homes. Such overdevelopment will lead to a loss of the peaceful, residential atmosphere that residents value.
- 2. Traffic Congestion and Parking Issues:** The roads around 7556 Woodlake Avenue are already heavily trafficked, especially during peak hours. Introducing a development of this scale will inevitably exacerbate traffic congestion, creating unsafe conditions for pedestrians, cyclists, and drivers. Additionally, the area already suffers from limited parking availability, and this project will only worsen the situation, as it is unclear whether adequate parking provisions will be made for both new residents and visitors.
- 3. Environmental Concerns:** I am deeply concerned about the potential environmental impact this development could have on the neighborhood. The construction phase alone could increase pollution, noise, and disruption to local wildlife. More importantly, the long-term effects of increased population density could result in the loss of green space, higher levels of pollution, and diminished air quality. I strongly urge that a comprehensive environmental impact assessment be conducted before this project is considered any further.
- 4. Strain on Local Infrastructure and Services:** West Hills already faces challenges with its public services, including schools, healthcare facilities, and emergency response systems. This development will place additional strain on these already stretched resources. The influx of new residents without a corresponding improvement in local infrastructure will reduce the quality of life for all current residents.

5. Design Inconsistency and Neighborhood Aesthetics: The proposed design is out of character with the existing architecture and aesthetic of the neighborhood. West Hills is known for its suburban charm, and the modern, large-scale development being proposed at 7556 Woodlake Avenue does not fit with the traditional style of the area. The design and scale are too imposing, disrupting the visual harmony of the community.

Given these concerns, I strongly urge the City Planning Department to reject the development proposal as currently planned. Instead, I recommend that a more scaled-back and community-sensitive project be considered—one that better reflects the values and needs of our neighborhood.

I appreciate your attention to these serious issues and hope that you will listen to the voices of concerned residents who are deeply invested in the future of West Hills. Please ensure that the long-term well-being of the community is prioritized in your decision-making process.

Thank you for your time and consideration. I look forward to your response and any further opportunities to participate in discussions regarding this matter.

Sincerely,

Kamran Behroozi
23143 Valerio Street
818-648-1172

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Kamran Behroozi <kbehroozi@yahoo.com>

Mon, Oct 21, 2024 at 10:13 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Building

2 messages

karen abelson <karenabelson43@gmail.com>
To: Laura.frazinsteede@lacity.org

Mon, Oct 21, 2024 at 9:50 PM

It is absolutely non forgiving to begin a project like this without notifying the surrounding neighborhood. Just because there is an "empty " piece of land does not mean a large building should be built.

The neighborhood will lose value and the upkeep of the building will not(probably) be at a standard level.

It is unexceptional for this plan to go through.
I do not want to be contacted.
Thank you.
Karen

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: karen abelson <karenabelson43@gmail.com>

Wed, Oct 23, 2024 at 10:52 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura

LOS ANGELES
CITY PLANNING**Laura Frazin Steele**

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteelle@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

3 messages

Karenjo Goodwin <kgoodwin@exactstaff.com> Wed, Nov 20, 2024 at 7:44 PM
To: "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "dan.rosales@lacity.org" <dan.rosales@lacity.org>, Laura Frazin-Steele <laura.frazinsteelle@lacity.org>, "vince.Bertoni@lacity.org" <vince.Bertoni@lacity.org>
Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Aida Abkarians <aida.abkarians@westhillsnc.org>, Samira Kermani <samira@kermanilaw.com>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "Pat Conley (PCON33@Yahoo.com)" <PCON33@yahoo.com>, "Chris Baker (cbaker514@aol.com)" <cbaker514@aol.com>, "Patty Bolten (patty_bolten@yahoo.com)" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall CPA (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, "Danielle Cornwell (dlcornwell7737@gmail.com)" <dlcornwell7737@gmail.com>, "Gordon Morris (gordonmorris20@gmail.com)" <gordonmorris20@gmail.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>, "melissaFares007@gmail.com" <melissaFares007@gmail.com>

Dear Councilman Lee, Mr. Rosales, Mr. Bertoni, Ms. Frazin-Steele,

My husband and I are West Hills homeowners as well as local (and national) business owners who, on a daily basis, hire constituents in the community as well as work with large numbers of businesses and public institutions in and around District 12. I am highly active in many community business organizations including VICA and Young Presidents Association (Ben Nazarian & I are in a business forum together for the past 20 years and we consistently discuss the need for additional growth and funding for Cal State Northridge), Childcare Resource Center, Ken Kraft & Hope, the Mission and we are supporters of Chaminade High School (directly next to the proposed site) where our son attended high school. We are grateful for Councilman Lee's opposition to the affordable senior housing project proposed at [7556 N. Woodlake Avenue, West Hills](#), in connection with the above captioned City Planning case. As the WHNC has thoughtfully outlined, the project is fraught with safety issues, drainage and sewage problems, serious traffic and emergency vehicle hinderance as well as a myriad of further valid concerns outlined in submitted commentaries from WHNC. We are grateful for Councilman Lee's opposition to the affordable senior housing project proposed at [7556 N. Woodlake Avenue, West Hills](#), in connection with the above captioned City Planning case. We respectfully request that you formalize your opposition in writing to City Planning, especially since City Planning is making its decision this December 6, 2024. We would welcome the opportunity to speak with you in person about this and any other matters you would want to discuss. I have an office in Calabasas where we would gladly host you or can come to your office or meet virtually. Let us know your availability.

Thank you for your leadership, your service to our communities and for taking the time to read the WHNC concerns and opposing the affordable senior housing project proposed at [7556 N. Woodlake Avenue, West Hills](#).

Respectfully

Karenjo Goodwin

Founder/CEO

She/Her

Exact Staff, Inc.

23901 Calabasas Rd., Ste. 1085
Calabasas, CA 91302

Tel: (818) 348-1100

Cell: (818) 599-3936

kgoodwin@exactstaff.com | www.exactstaff.com



Linda Glasscock <lindaglasscock4321@gmail.com>

Thu, Nov 21, 2024 at 9:00 AM

To: Karenjo Goodwin <kgoodwin@exactstaff.com>

Cc: "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "dan.rosales@lacity.org" <dan.rosales@lacity.org>, Laura Frazin-Steele <laura.frazinstelee@lacity.org>, "vince.Bertoni@lacity.org" <vince.Bertoni@lacity.org>, Penny Newmark <pennyfirst@sbcglobal.net>, Aida Abkarians <aida.abkarians@westhillsnc.org>, Samira Kermani <samira@kermanilaw.com>, LINDA THORNE <thornebirds@hotmail.com>, "Pat Conley (PCON33@Yahoo.com)" <PCON33@yahoo.com>, "Chris Baker (cbaker514@aol.com)" <cbaker514@aol.com>, "Patty Bolten (patty_bolten@yahoo.com)" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall CPA (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, "Danielle Cornwell (dlcornwell7737@gmail.com)" <dlcornwell7737@gmail.com>, "Gordon Morris (gordonmorris20@gmail.com)" <gordonmorris20@gmail.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>, "melissaFares007@gmail.com" <melissaFares007@gmail.com>

Very well said.

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Thu, Nov 21, 2024 at 5:32 PM

To: Linda Glasscock <lindaglasscock4321@gmail.com>

Cc: Karenjo Goodwin <kgoodwin@exactstaff.com>, Penny Newmark <pennyfirst@sbcglobal.net>, Aida Abkarians <aida.abkarians@westhillsnc.org>, Samira Kermani <samira@kermanilaw.com>, LINDA THORNE <thornebirds@hotmail.com>, "Pat Conley (PCON33@Yahoo.com)" <PCON33@yahoo.com>, "Chris Baker (cbaker514@aol.com)" <cbaker514@aol.com>, "Patty Bolten (patty_bolten@yahoo.com)" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall CPA (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, "Danielle Cornwell (dlcornwell7737@gmail.com)" <dlcornwell7737@gmail.com>, "Gordon

Morris (gordonmorris20@gmail.com)" <gordonmorris20@gmail.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>, "melissaFares007@gmail.com" <melissaFares007@gmail.com>

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Kayla Monchatre <kaylamonchatre1@gmail.com>
To: "laura.frazinsteel@lacity.org" <laura.frazinsteel@lacity.org>

Tue, Oct 22, 2024 at 11:47 AM

Hello,

Being apart of this neighborhood for over 15 years, I highly disapprove of this apartment project. This will have the most negative impact on our community as a whole and I will not support the thought of this terrible building complex idea.

Let us know what we can do as a community to help stop this from happening.

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Kayla Monchatre <kaylamonchatre1@gmail.com>

Wed, Oct 23, 2024 at 10:37 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, N. Woodlake ave, West Hills

2 messages

Kim Guedin <kim.guedin@gmail.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Sat, Oct 26, 2024 at 12:20 PM

Dear City Planner Frazinsteede,

We are strongly against the proposed large housing project at N. Woodlake ave, West Hills.

This is an inappropriate location for such a building. The intersection it is planned at is already the most dangerous in the neighborhood.

This project is proposed for the middle of the Woodlake ave route between the fire department and the hospital. This many new residents in the middle of this emergency road, at a very bad intersection, will have a dangerous impact.

Our local grocery store across the street (and its entire mall complex) is already scheduled for demolition to be replaced by private Catholic school athletic fields. There will be no walkable groceries. I do not expect the residents of this building will be taking a bus to the grocery store. There is not enough parking planned for this building for all its residents to have parking, and there is no guest parking planned. That means the residents will be competing for street parking.

This is in the middle of an entirely residential area of our neighborhood. My husband and I have invested our entire life savings from decades of hard work into our home. Allowing this building to be built in this location will undoubtedly cause us significant financial harm and make it less likely that we can support ourselves in retirement.

Please do not approve this development plan,
Sincerely
Kim Guedin
[7835 Woodlake ave](#)

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Kim Guedin <kim.guedin@gmail.com>

Mon, Oct 28, 2024 at 8:16 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Highrise

2 messages

Kris Griego <kree1224@gmail.com>
To: laura.frazinstelee@lacity.org

Thu, Oct 24, 2024 at 12:21 PM

Sent from my iPhone. Hi, My family has lived in West Hills in the same home for 56 years. Putting a highrise in would be a disaster in so many ways. This cannot and should not even be a consideration.

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Kris Griego <kree1224@gmail.com>

Thu, Oct 24, 2024 at 3:59 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



LOS ANGELES
CITY PLANNING

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave., West Hills

2 messages

Lana Escobar <escobar.lana@gmail.com>
To: Laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:11 PM

PLEASE stop this wholly ill advised project! It is such a travesty to the local neighborhood. The proposed scale of the apartment building is so radically at odds with the area. While we don't propose additional housing, it needs to be reasonable for the community in which it is being constructed. This project will have such a detrimental impact to thousands of families - traffic, resource stress, safety. Being ignored by the City is a slap in the face. West Hills is a beautiful place to live and the integrity of the community should be preserved! Adding housing is fine, but development should be done in a respectful and responsible manner.

Sincerely,
Lana Escobar
7630 Sedan Ave
West Hills

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Lana Escobar <escobar.lana@gmail.com>

Mon, Oct 21, 2024 at 10:25 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Re: Case # ADM -2024-5202 -DB-PHP-VHCA, 7556 N. Woodlake Ave, West Hills CA

3 messages

Laurie Rose <laurierose824@gmail.com>
To: Laura.frazinsteele@lacity.org

Mon, Oct 21, 2024 at 2:02 PM

On Mon, Oct 21, 2024 at 1:56 PM Laurie Rose <laurierose824@gmail.com> wrote:

Please STOP the building of the 5 to 7 story, 332 unit 100% low-income housing project. I am sure you have received several messages, listed below are my concerns:

IMPACT ON MY HOUSE VALUE
INCREASE OF TRAFFIC
DRUGS

ACCESS FOR OUR POLICE AND FIRE DEPARTMENTS AS WELL AS AMBULANCES TO GET TO US IN THE EVENT OF EMERGENCY WE NEED TO GET TO WEST HILL (UCLA) HOSPITAL.

i have many more concerns but I am a working person, I have reached out to several individuals which have provided me with no answers how to stop horrible unkind unbelievable action that is taking place in my backyard!

No one should have to deal with this kind of insult we have paid our bills, got new jobs when we were let go. This bill I believe is AB2384 which Gavin Newsom passed without any of our knowledge. I say lets but one of these buildings in his backyard and see how he feels once it is directly impacting has been
It is with great respect I say NO to this craziness that is happening. Stop this from happening to our lovely city of West Hills.

Please stand up and fight for us we need HELP

CONCERNED CITIZEN OF THE UNITED STATE OF AMERICA AND WEST HILLS CA.

Laura Frazin-Steele <laura.frazinsteele@lacity.org>
To: Laurie Rose <laurierose824@gmail.com>

Mon, Oct 21, 2024 at 4:15 PM

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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[Quoted text hidden]

Laurie Rose <laurierose824@gmail.com>

Tue, Oct 22, 2024 at 5:18 PM

To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Thank you, please do everything you can to stop this complete craziness. I have never been a person to complain, my family traveled to the USA on the last ship after the Mayflower. They settled in New Jersey and after the revolution war, they then moved west to CA my Family is very USA I am very american just look up Yerxa and Oakley I know my great great grand parents and my grand parent's would not like me to sit down sit down and allow this to happen nether would my parents that are now deceased.

PLEASE PLEASE PLEASE

Make sure this situation does not happen, it is my understanding that the only city that was able to stop this was in Newport Beach.

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

#ADM-2024-5202-DB-PHP-VHCA, 7556 N Woodlake Avenue, West Hills

2 messages

lbothell@earthlink.net <lbothell@earthlink.net>
To: Laura.frazinsteede@lacity.org

Sun, Oct 20, 2024 at 5:54 PM

To: Laura Franzin-Steele
City Planner

I am writing to voice my objections to the potential approval of re-zoning and construction of Low Income Highrise Apartments at the property at:

[7556 N. Woodlake Avenue](#)

[West Hills, CA 91307](#)

This undertaking would impose conditions in our area that would cause major consequences.

1. Low income housing would vastly reduce the property values of the current homes in the area which will also reflect on property taxes in the area.
2. This property, located on the corner of Saticoy Street and Woodlake Avenue, is already heavily traveled. The additional cars that this Highrise would bring to the area would severely increase the flow of traffic and cause tremendous bottlenecks.
3. This property is directly across the street from a prominent private high school and just a few blocks from several public elementary schools.
 - a. The increase traffic and bottlenecks caused by the increase would make it difficult for parents to get their children to and from these

schools.

- b. The increased traffic is highly likely to cause numerous major accidents which will also put children walking to and from schools in the area at risk.
4. This Highrise will not be able to provide adequate parking for the residents of this building project.
 - a. There is not enough space on the streets to accommodate for any additional street parking for these residents.
 - b. There will definitely not be any parking space available for visitors of any residents.
 5. This area was and is not set up for the amount of residents that this Highrise is expected to bring.
 - a. Currently LAPD and LAFD is stretched to serve the residents of this area – the increase of possible 600 + residents (not including children) will stretch these facilities even further.
 - b. Additional, the local hospital is not set up to accommodate the additional patient increase.

Additionally, do you need to be reminded of what has happened to the HUD housing complex on Parthenia at Reseda? That has become a drug center of the Valley along with regular shootings. This is a safe single family housing area and the current residents want to keep it that way.

I strongly encourage and request that you refuse to allow this area to be rezoned for a Highrise complex or one accommodating such a high number of residents. I see several bare acreage along Burbank Blvd in Tarzana that is already zoned for apartment housing. There are also a school lot that closed down on Shoup Ave. in Woodland Hills that had been leveled and there are storage trailers parking on the empty lot. That

lot is larger and already graded and in an area that has apartments. Use those instead if you must.

Linda Bothell

818 3474220

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: lbothell@earthlink.net

Mon, Oct 21, 2024 at 10:04 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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STOP WOODLAKE HIGHRISE APARTMENT PROJECT!!!!!!

DEAR HOMEOWNERS:

Did you know that a developer is planning to build a 5 to 7 story, 324-unit housing project for low income and applicants who are 55+ with INADEQUATE PARKING, at 7665 Saticoy Street and Woodlake Avenue???

We believe this may negatively impact and increase neighborhood safety concerns as this corner is already very dangerous and currently has many accidents.

- A. It will cause increased traffic gridlock. 150 parking spaces, and 600+ residents expected. We cannot absorb 600+ people into our existing infrastructure.
- B. Safety issues: EMERGENCY, FIRE and POLICE vehicles MUST NOT be hampered in their duties to provide for the public. Our fire and police are already working at capacity and this increase will tax them heavily at every one of our expenses.
- C. It may negatively impact property values.

We DO NOT oppose future progressive developments in our single-family division if its size and purpose are not obtrusive to our community.

So far our neighborhood counsel has not been successful in stopping this development from moving forward with their plans. Now the developer has moved forward with obtaining permits.

As of October 8, final architectural plans have not been shared with the community.

What we do know is it will be 5 to 7 stories tall. There will only be 150 spaces to park vehicles and no visitor parking provided. Where will all these cars be parked??? There is off limit parking at present on both Saticoy and Woodlake.

Chaminade High School will be building a sport complex where fields market currently is and the traffic will be heavier from this as students will be getting dropped off or parking at the sport complex each morning.

Our community has already collected 1,000 signatures on our petition. We need to have everyone sign. Time is of the essence and we will be collecting signatures at fields market every evening from 4 to 6 pm. Please meet us at fields so we can become a larger group and fight this. If we don't our neighborhood will be forever changed and our childrens safety will be put at risk.

Sincerely,



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Circle S

2 messages

Linda Louden <louden79@yahoo.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Oct 31, 2024 at 4:43 PM

Hello,

I am a current homeowner on Saticoy Street between Royer and Woodlake and I am writing to you about my opposition to the apartment project that is currently being proposed by the owner of 7572 N. Woodlake Avenue. (Circle S Ranch)

I find it alarming that city officials would allow this project in a neighborhood that is zoned a residential area for single family dwellings. When purchasing my property I paid a premium to live a distance from the busy area of Topanga and Saticoy in order to raise my family in a quiet suburb. Now that is being stolen from me in the name of greed? And from what I understand the contractor is applying for subsidies which will be paid by my taxpayer funds. So not only is my home being degraded but I'm paying for this to happen. Totally unacceptable!!

In addition, I do have constitutional rights as a homeowner which are now being violated by those who "claim" to look out for me as a citizen.

ARTICLE I DECLARATION OF RIGHTS [SECTION 1 - SEC. 32]

(Article 1 adopted 1879.)

SECTION 1.

All people are by nature free and independent and have inalienable rights. Among these are enjoying and defending life and liberty, acquiring, possessing, and protecting property, and pursuing and obtaining safety, happiness, **and privacy.**

It's time to start doing your jobs and protecting the rights of the citizens of this city. I'm not sure what you would be gaining by allowing this project to proceed but the city of West Hills is coming together and will make our voices be heard. Please consider putting a stop to this monstrosity!!

Thank you ,
Linda Louden

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Linda Louden <louden79@yahoo.com>

Fri, Nov 1, 2024 at 7:42 AM

Good Morning,

Thank you for your comments regarding Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. I am the project planner who is processing this case, and you may address any additional comments to me.

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Woodlake Apartments West Hills

2 messages

LINDA THORNE <thornebirds@hotmail.com>
To: "Laura.frazinsteel@lacity.org" <Laura.frazinsteel@lacity.org>

Sat, Oct 19, 2024 at 12:29 PM

Dear Ms. Frazinsteel,
I am a concerned resident of West Hills.
I have been trying to find anyone in public office to reconsider the magnitude of the proposed apartment complex.
I do not object to the civil propose. We need affordable housing to have social equity but the sudden influx of population without considering the social impact spells future disasters.
Please take a cold hard look at it. No one will benefit from it. A smaller structure with adequate parking and security is the 'sensible' solution.
Yours truly, Linda Thorne
8080 Bobbyboyar Ave.
West Hills 91304
Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: LINDA THORNE <thornebirds@hotmail.com>

Mon, Oct 21, 2024 at 11:53 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Highrise Apartments Woodlake & Saticoy

4 messages

Lourdes Barros <lb1design@aol.com>
To: laura.frazinsteede@lacity.org

Mon, Oct 28, 2024 at 3:17 PM

Hello Mrs Frazin Steele,

I am very upset with the news i discovered last week while shopping at my local Fields market. I learned about the proposed giant apartment structure at the corner of Woodlake and Saticoy.

What is the reason behind this giant structure in this quiet neighborhood that is approx 95% single family homes? This project will create a tremendous amount of traffic and potential liability for all residents and children in this neighborhood and the surrounding areas.

I strongly oppose to this outrageous development, there are many other areas in S Cal to build giant structures for ... example Riverside county.

Thank you
Lourdes Barros
Lb1design@aol.com
310 351 8323
West hills CA 91304

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Lourdes Barros <lb1design@aol.com>

Tue, Oct 29, 2024 at 7:37 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Van Nuys, CA 91401

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[Quoted text hidden]

Lourdes Barros <lb1design@aol.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Tue, Oct 29, 2024 at 2:33 PM

I appreciate your reply as this is a highly important matter. Thank you for your time and the excellent work you produce for the City of Los Angeles.

Lourdes Barros
West hills, CA



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case#: ADM-2024-5202-DB-PHP-VHCA, 7566 N. Woodlake Avenue, West Hills, Ca

2 messages

Ludy Cather <ludycather@gmail.com>
 To: Laura.frazinsteel@lacity.org
 Cc: Ludy Cather <ludycather@gmail.com>

Sat, Oct 19, 2024 at 4:42 PM

I am a homeowner living about ½ mile north of this proposed low-income high-rise apartment project. This project is 322 units, about 600+ expected residents, and only 150 parking spaces.

I have safety hazards and monetary losses concerns. There are only 150 parking spaces for the expected 600+ residents with NO visitor parking. Where will residents and visitors park? Our Fire department and LAPD are not currently ready to handle 600+ people. There will be traffic gridlock and accidents. It is within 300 feet from Chaminade High School. All this will have a very negative impact on our home property values.

Please DO NOT approve this project.

Respectfully,

Lourdes Cather, Homeowner

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
 To: Ludy Cather <ludycather@gmail.com>
 Cc: Ludy Cather <ludycather@gmail.com>

Mon, Oct 21, 2024 at 10:40 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



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Laura Frazin Steele

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave, West Hills

2 messages

Madhava Vennela <mvennela@live.com>
To: "Laura.frazinstelee@lacity.org" <Laura.frazinstelee@lacity.org>

Thu, Oct 24, 2024 at 9:48 AM

Greetings!

My name is Madhava Vennela, a resident of West Hills. I am concerned about the low income, high rise apartment project that is planned on Woodlake Ave.

A developer is planning to build a 5 to 7 story, 332-unit 100% affordable housing project with INADEQUATE PARKING, at 7556 Woodlake Ave, West Hills, S/E Saticoy corner, that may negatively impact our neighborhood, safety, pocket book, and our daily lives, especially if the land is contaminated with toxins like nuclear waste or valley fever as with similar lands nearby. We need soil testing by a reputable lab.

Here are my concerns:

1. *Negative impact on our Home and property values.*
2. Increased traffic gridlock + accidents. Located within 250* ft of Chaminade
3. Only 150 parking spaces for the 600+ residents expected.
4. NO visitor parking – WHERE will visitors, residents park? Flooded streets!
5. Fire Dept. & LAPD not outfitted to service & absorb 600+ people in existing infrastructure (our local fire & police are already over stressed)
6. is the land contaminated as are nearby lots?

As a concerned neighbor, I request you to stop this project and continue to have historic site as is.

Thanks

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Madhava Vennela <mvennela@live.com>

Thu, Oct 24, 2024 at 4:03 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills. Deadline approaching fast!!!**

2 messages

Marietta LeSage Probst <mllesage@yahoo.com>

Mon, Oct 21, 2024 at 1:09 PM

To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>

Dear Ms Frazinsteede:

As a neighbor of the proposed development noted above, I currently pay property taxes for assessed value. Single family zoning replaced with dense high rise housing on SFR zoning may cause our home values to be lower, YET we must still pay the same or higher property taxes. Lower home values mean refinance is harder and sale prices are lower. NO COMPENSATION FOR OUR LOSSES! NOT FAIR!

CONCERNS: SAFETY HAZARDS, MONETARY LOSSES CONCERNS:

Negative impact on our Home and property values.

Increased traffic gridlock + accidents. Located within 250* ft of Chaminade

Only 150 parking spaces for the 600+ residents expected.

NO visitor parking – WHERE will visitors, residents park? Flooded streets!

Fire Dept. & LAPD not outfitted to service & absorb 600+ people in existing infrastructure (our local fire & police are already over stressed - most 911 calls are not responded to or someone is on hold for in excess of a half hour.

My children are still in schools in the area and I would like the neighborhood that I bought into for their sake to remain as is for them until at least graduation.

Thank you for your time,

Marietta Probst
23661 Arminta Street
West Hills, CA 91304
312 286 3580

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 1:12 PM

To: Marietta LeSage Probst <mllesage@yahoo.com>

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

#ADM-2024-5202-DB-PHP-VHCA

2 messages

Ames, Marion C [US] (MS) <marion.ames@ngc.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Tue, Oct 22, 2024 at 12:21 PM

To; Laura Frazin-Steele, City Planner

Please do not allow this apartment project to be built at [7556 Woodlake Ave, West Hills](#). I'm worried about the increase in traffic and the safety of my neighborhood. I've lived here for over 30 years and have seen this once quiet and safe area starting to worse and worse. If you allow this to be built you will be signing the death warrant for our neighborhood. We don't want this and we don't need it. There is already not enough parking here with all the ADUs that are being built. The increased calls for fire and police services will be an added burden to these already over taxed departments. Please do the right thing and deny the project.

Sincerely, Marion Ames

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: "Ames, Marion C [US] (MS)" <marion.ames@ngc.com>

Wed, Oct 23, 2024 at 10:26 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

Marjorie Levin <marjorie.levin@gmail.com>

Tue, Oct 22, 2024 at 8:20 PM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Dear Ms. Frazin Steele,

As a resident of Woodlake Avenue in West Hills, I am very concerned about plans to build a multi-level apartment building on the site of the historic Circle S Ranch, just a block from my home.

This community, to which my husband and I relocated from the East Coast for our retirement, has proven ideal for us: Today, it is a quiet, peaceful neighborhood of single homes and parks. A five- to 7-story building housing 600 residents would totally alter the character of this little corner of the world, bringing noise, traffic, and congestion. We understand that parking is planned for barely a third of the expected residents; where will the others, not to mention visitors, park?

Moreover, the location is a mere 300 feet, approximately, from Chaminade Prep, which is also planning major expansion. If these two projects come to fruition, we will find ourselves living in a construction zone that can only end in gridlock.

In addition, the proposed construction would severely strain community services such as fire, police, and emergency services, including ambulances to the UCLA West Valley Medical Center just a mile away. The traffic and congestion would present safety concerns for drivers, pedestrians, children, and pets..

Please take all this -- plus the effect on property values -- into consideration as you discuss this proposed development. It could have profound negative impact on our community.

Thank you.

Sincerely,

Marjorie R. Levin

7843 Woodlake Avenue

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Wed, Oct 23, 2024 at 8:19 AM

To: Marjorie Levin <marjorie.levin@gmail.com>

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura

LOS ANGELES
CITY PLANNING**Laura Frazin Steele**

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org

Mark S. Russell
23260 Spires Street
West Hills, CA 91304

Laura Frazin-Steele
City Planner, City of Los Angeles

November 4, 2024

Re: Case #ADM-2024-5202-DB-PHP-VHCA 7556 N. Woodlake Ave., West Hills, CA.

Dear Ms. Frazin-Steele,

I am writing in regards to the above proposed development. As a nearly 70 year resident and native to the San Fernando Valley, I am opposed to the development of this project. It is sad enough to see the beautiful, historical Circle S Ranch destroyed, indiscriminately. I have seen, first hand, the degradation of communities and neighborhoods by over-development in the San Fernando Valley. Further degradation, caused by low-income housing projects, has caused the rise of over-populated neighborhoods, rising crime, and increased traffic. Additionally, the impact on water, sewers, electricity and natural gas will add to the over-loaded grid in our area. Imagine a minimum of 332 residents, but up to two to three times of that, per unit in impact on the infrastructure of the community. Currently, the LADWP has almost daily power losses in West Hills, due to the over-loaded grid.

We currently are seeing an expansion of Chaminade High School into the shopping center at the opposite corner, northwest, which will commence shortly after the new year, 2025. This impact alone, will cause more traffic than the neighborhood can support, let alone, adding the proposed 332 unit low-income housing project. Traffic will be unbearable. Parking will be non-existent on the neighboring streets, because of the student impact and the guest and over-flow parking for the housing project.

The further impact will be to our property values. We pay some of the highest property taxes in the Valley, let alone the City. The degradation of property values will cause a decrease in property values. This is not fair to our community.

Please, help us save our neighborhood.

Thank you for your time.

Sincerely,



Mark S. Russell
Resident-West Hills, CA



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. WOODLAKE AVE., WEST HILLS, CA

2 messages

M Russ <russell4usa@aol.com>
To: laura.frazinsteel@lacity.org
Cc: Russell4USA <russell4usa@aol.com>

Mon, Nov 4, 2024 at 11:29 AM

 **Letter to City Planner.pdf**
103K

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: M Russ <russell4usa@aol.com>
Cc: Russell4USA <russell4usa@aol.com>

Mon, Nov 4, 2024 at 12:46 PM

Hello,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura

LOS ANGELES
CITY PLANNING**Laura Frazin Steele**

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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On Mon, Nov 4, 2024 at 11:31 AM M Russ <russell4usa@aol.com> wrote:



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Woodlake Ave Low Income High-rise Apartment Project

2 messages

Mark Stein <mstein348@gmail.com>

Sun, Oct 27, 2024 at 10:57 PM

To: "Laura.frazinstelee@lacity.org" <Laura.frazinstelee@lacity.org>

Hi Laura,

I and my family live in this area ([23137 Valerio Street West Hills, 91307](#)) for 31 years. During this period the area became more busy and unsafe as related to traffic, noise, street crime (the Chaminade HS built two new buildings, that increased the number of students and is planning to build a new sports complex; the Hospital built a new emergency room with on helicopter roof landing place and of top now a is another project: #ADM-2024-5202-DB-PHP-VHCA, [7556 N. Woodlake Avenue West Hills](#)).

Looks like this will create even bigger impact on our daily lives. All this will decrease our home values and make refinancing tougher. Yet we must still pay the same or higher property taxes. NOT FAIR!

In the end we are concerned with property values, congestion, traffic and crime that proposed construction will bring to our neighborhood.

Regards
Mark & Elena Stein

Art, Alex, Sametha Stein

PS
Please confirm the receipt.

Thank you

Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Mon, Oct 28, 2024 at 7:56 AM

To: Mark Stein <mstein348@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your names to our interested parties list.

Thank you,
Laura



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Maryam Zarkesh <mehmar1996@gmail.com>
To: Laura.frazinsteede@lacity.org

Sat, Oct 19, 2024 at 4:44 PM

Hello Ms Frazin-Steele,

My name is Maryam Zarkesh and I live in the city of West Hills in the San Fernando Valley. I'm writing this to you as a concern resident who is opposed to building a 5-7 story building on the corner of Woodlake and Saticoy.

Case #ADM-2024-5202-DB-PHP-VHCA

Between Chaminade High School and Justice Elementary School this intersection is simply a nightmare during rush hour traffic. And building a 300+ unit apartment with only 150 parking spaces is making this matter worse. Where are the rest of the residents supposed to park? Neither Woodlake Ave nor Saticoy street is capable of accommodating the parking spaces for the proposed apartment building.

Bringing 900+ residents to that little corner doesn't make sense to anyone. As it is we have so much crime going on in this city that the LAPD is unable to tend to and adding 900 + residents is going to make this matter even harder for the police thus making it less safe for us living here.

Not mentioning the fact that our property values are going to go down since it's close to this project yet my annual property tax will go up every year.

There is a petition with close to 1000 signatures against this project and according to Charlene Rothstein the president of the West Hills Neighborhood Council it has been handed to your department.

I would like for the city planning department to arrange a meeting so we the residents of West Hills can show our concerns and frustrations regarding this project.

Thank you in advance for your time and cooperation
Maryam Zarkesh

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Maryam Zarkesh <mehmar1996@gmail.com>

Mon, Oct 21, 2024 at 10:33 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.
For your information, I have not received a petition to date.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case#: ADM-3024-5202-08-PHP-VHCA, 7566 N. Woodlake Avenue, West Hills

2 messages

Max Cather <max_cather@yahoo.com> Sat, Oct 19, 2024 at 12:27 PM
To: "Laura.frazinsteel@Lacity.org" <Laura.frazinsteel@lacity.org>
Cc: Max Cather <max_cather@yahoo.com>

We are homeowners about 1/2 mile north of this proposed low-income high-rise apartment project. This project is 322 units, about 600+ expected residents, and only 150 parking spaces? Totally inadequate parking! It is immediately adjacent to a hospital and several other medical buildings, and in a neighborhood of single family owners. This complex would infringe upon the rights of renters, homeowners, and the medical community. This is insanity!

Please deny this project.

Terry Max Cather, Homeowner

Laura Frazin-Steele <laura.frazinsteel@lacity.org> Mon, Oct 21, 2024 at 11:54 AM
To: Max Cather <max_cather@yahoo.com>

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
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Van Nuys, CA 91401
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

7556 N woodlake

2 messages

Mehdi Monajemi <mehdi332@gmail.com>
To: laura.frazinstelee@lacity.org

Thu, Oct 24, 2024 at 9:56 PM

Mehdi Monajemi

7755 Ducor Ave
West Hills, CA 91304
mehdi332@gmail.com
10 24 24

Dear Councilwoman Frazin,

I hope this letter finds u well. My name is Mehdi Monajemi, and I am a resident of West Hills. I am writing to express my concerns regarding the proposed low-income housing project at [7556 Woodlake Ave](#).

While I understand the importance of affordable housing, I believe that this project poses significant challenges to our community. The potential increase in population density could negatively impact our daily lives and overall safety. As residents of single-family homes, we take pride in our community and the quality of life it offers.

Moreover, I am worried about the impact this project will have on property values in our area. With the construction of this low-income housing, there is a real concern that our home values may decrease while we continue to pay the same—or potentially higher—property taxes. This situation would place an unfair financial burden on homeowners like myself who are committed to our community.

I urge you to consider these factors as you evaluate the project. It is crucial to find a balance that supports affordable housing initiatives without compromising the well-being and financial stability of current residents.

Thank you for your attention to this matter. I hope to see a solution that benefits everyone in our community.

Sincerely,

Mehdi Monajemi

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Mehdi Monajemi <mehdi332@gmail.com>

Mon, Oct 28, 2024 at 8:44 AM

Good Morning,

I am not a member of the Los Angeles City Council. The councilperson for your address is John Lee, Council District 12. If you wish to contact Council District 12 directly, please see this link: [Home | CD12](#) I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. You may address any comments regarding this case to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case#ADM-2024-5202-DB-PHP-VHCA,7556N.

2 messages

Meryl Rimes <partyon101a@gmail.com>
To: Laura.frazinsteel@lacity.org

Mon, Oct 21, 2024 at 8:36 AM

I am a homeowner on Woodvale Ct. off of Woodlake Ave. we have lived here for over 12 years and enjoy the peace, quiet and most of all the safety of this neighborhood. Plans for low income housing just down the road will totally railroad the aforementioned perks of our neighborhood. We do not welcome more traffic, more residents and the potential for increased crime. We are also not happy with the proposed Chaminade sports complex to be built on the Fields Market property. This will add additional traffic and young inexperienced drivers frequenting our neighborhood. All of the above will ultimately cause our property values to decrease. Please leave our wonderful community as is.

Meryl Rimes

Sent from my iPad

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Meryl Rimes <partyon101a@gmail.com>, Trevor Martin <trevor.martin@lacity.org>, Heather Bleemers <Heather.Bleemers@lacity.org>

Mon, Oct 21, 2024 at 9:34 AM

Good Morning,
Thank you for your comments regarding Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list. Please be aware that the proposed changes to Chaminade involves a separate case that is not being processed by me. You may want to contact [+Trevor Martin](#) or [+Heather Bleemers](#) regarding that case. Thank you again.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Case# ADM-2024-5202-DB-PHP-VHCA

2 messages

Nanette Svolos <nsvolos@sbcglobal.net>
To: Laura.frazinstelee@lacity.org

Tue, Oct 22, 2024 at 12:17 PM

If you allow this, you continue to destroy our community, let alone possible soil contamination, and cancer. It's not always about money. It's about doing what's right for the neighborhood and surrounding communities. We chose to live here because we didn't wanna live next-door to apartments LA county is destroying our neighborhoods piece by piece There is INADEQUATE PARKING, at 7556 Woodlake Ave, West Hills, S/E Saticoy corner, that may negatively impact traffic, safety, the quiet neighborhood, property values. Soil may potentially be contaminated with nuclear waste, environmental toxins and/or Valley Fever as some nearby lands are and closed off. This was originally the Historical Circle S Ranch property. Will LFD, LAPD be able to absorb the calls and resulting services. With increased traffic, accidents may be inevitable with no traffic light at this intersection. Do the right thing and listen to the people.
Nanette Svolos

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Nanette Svolos <nsvolos@sbcglobal.net>

Wed, Oct 23, 2024 at 10:34 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA

2 messages

Niloufar Varahram <nilou76@yahoo.com>
To: laura.frazinstelee@lacity.org

Mon, Oct 21, 2024 at 5:06 PM

We have lived in the Woodlake/Saticoy corner for 30 years and my elderly and ailing parents are already having to deal with the traffic increases and the impending changes to Chaminade High School, so the addition of the ridiculous number of low income housing that is proposed is a cause for incredible distress for them and the family.

The increased traffic, gridlock, accidents, crime and inevitable drop in our property value should matter more to you. We have been exceptional citizens and care for our community. We have earned the right to live in a place that we feel safe and we are not having to deal with groups and companies that only care about themselves. We pay high property taxes and now you want to make our neighborhood overcrowded and unsafe. Shame on all of you. We deserve to be listened to and respected.

Do better. Keep our community safe and don't allow selfish people to take over. Keep our kids and families safer and don't overwhelm the community.

Do better.

Niloufar Varahram
West Hills Resident
Sent from my iPhone

Laura Frazin-Steele <laura.frazinstelee@lacity.org>
To: Niloufar Varahram <nilou76@yahoo.com>

Wed, Oct 23, 2024 at 11:20 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

West Hills - Circle S Ranch - 7556 Woodlake Ave.

5 messages

ottercal@yahoo.com <ottercal@yahoo.com>
To: "ottercal@yahoo.com" <ottercal@yahoo.com>

Mon, Oct 28, 2024 at 1:47 PM

Hi there,

I am a concerned residence in West Hills where a builder is trying to build a huge apartment complex basically in my backyard! This is ridiculous and should be stopped! The proposed project is at [7556 Woodlake Ave.](#) in West Hills, CA. There are no apartments anywhere close by and there should not be any considering this is a single family home neighborhood, mostly single story and some two story in the surrounding area. Building a huge 5 story building with inadequate parking only 154 parking spots will destroy the integrity of the neighborhood. There will be over 1000 people added to one busy small corner at Woodlake and Saticoy streets. A HUGE building with 5 stories of windows staring down at us in our homes - no privacy!! If I wanted to move to an area with high rise buildings, I would have moved there. High-Rises should be built in areas that support them. I wanted a quiet neighborhood with single family homes to live at and raise our family, this building will ruin our family dream of living in a quiet home in a quiet neighborhood. There will be major traffic and NO parking around our neighborhood. Many in the area currently park their cars on the surrounding streets, now it will be a fight for a spot and have to walk for blocks to our own homes? Not sure what will happen to the utility structure, I am sure there will be a major strain on everything from Electricity to Water to Gas to Sewer? I am certain that the Noise levels coming from an apartment with so many people will also be an issue. Of the course the probability of increased Crime will definitely become a problem as well - more people more crime.

I believe that building single family homes would fit perfectly into our nice quiet neighborhood on this property from all angles. Let's make this work for everyone.

Thank you for your time...

Trevor Martin <trevor.martin@lacity.org>
To: "ottercal@yahoo.com" <ottercal@yahoo.com>
Cc: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 28, 2024 at 2:01 PM

Hello,

Thank you for your email.

Laura Frazin-Steele is the Project Planner assigned to this case. I've cc'd her on this email.

Best,

Trevor



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 Woodlake ave, West Hills Development Concerns

2 messages

Pasha Ehtiyatkar <aashapa@me.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:03 PM

Please, Laura,

Please consider the impact this development will have on the people that live here. There is already no street parking, and this 600+ resident structure that is being planned will completely destroy the neighborhood and endanger my family as they walk to Chaminade. Traffic is already incredibly tough; the structure doesn't seem to have any plans to offer VISITOR PARKING, and they've only planned for 150 parking spots for the entire structure????!?? This is absolutely absurd. Please reconsider or rein in this project. My neighbors and I are begging.

Warm regards,
Pasha ehtiyatkar

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Pasha Ehtiyatkar <aashapa@me.com>

Mon, Oct 21, 2024 at 10:25 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Stop Woodlake Avenue | Opposition against this project!

2 messages

pcon33 <pcon33@yahoo.com>

Thu, Oct 31, 2024 at 12:23 AM

To: "Laura.frazinstelee@lacity.org" <Laura.frazinstelee@lacity.org>

Laura,

My family has lived in this area for 35+ years near the property where your proposed 330 + low-income housing project is located in West Hills, CA. There is a petition with over 1,000 signatures and counting of local homeowners strongly opposed to this terrible project due to the following:

1. We are a quiet single family residence neighborhood.
2. No apartment buildings in the area, especially High-Rises - no privacy with a 5 story building peering down on our homes.
3. Major traffic at the corner for Woodlake and Saticoy and surrounding streets.
4. Parking on streets will be an extremely big problem - no parking available on Woodlake or Saticoy next to 7556 Woodlake Ave.
5. Strain on our Utilities including: Water, Power, Sewer, etc. - more rolling blackouts and sewer backups.
6. Decrease in our Property Value.
7. Higher Crime rates with an influx of about 1000+ new low income people to the neighborhood.
8. High Noise Levels that will carry through the surrounding streets of our neighborhood.

Put yourself in our shoes. Would you like to have this project built where you live? Be aware that opposition against this development is gaining and we are strongly opposing this project in our neighborhood.

Pat Conlin

818-3474719

Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Thu, Oct 31, 2024 at 7:33 AM

To: pcon33 <pcon33@yahoo.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura

Good afternoon Mr. Bertoni.

I am writing to express my strong opposition to the proposed building development at The Circle S Ranch property located at [7556 Woodlake Avenue](#) in West Hills.

As a resident of West Hills for more than 20 years, I have serious concerns about the impact this development will have on our neighborhood's character, environment, and quality of life.

This development will disrupt the unique character of our neighborhood. Our community is known for its single-family homes on quiet residential streets, historic architecture, and green spaces. The introduction of a new, large-scale apartment and parking complex would significantly alter this atmosphere, leading to increased noise, traffic congestion, pollution and crime.

Moreover, the proposed development raises concerns about the strain it will place on local infrastructure. Our neighborhood already faces challenges with increased crime and homeless encampments. Adding a high-density development will exacerbate these issues, potentially lowering property values and impacting residents' daily lives.

As a concerned member of the West Hills community, I respectfully urge you to reconsider approving this development. I believe that more suitable alternatives could be explored that would better align with our community's needs and values.

I hope you take the concerns of the community members you were elected to represent seriously and prioritize the welfare of our existing residents over profit-driven development.

Thank you for considering my perspective on this matter. I am hopeful that, together, we can protect the character and integrity of West Hills for current and future generations.

Respectfully,

Patty Bolten
(805) 558-6684

"If you do not believe in yourself, no one will do it for you." - Kobe Bryant



Anna Orellana
Pronouns: She, Her, Hers
Executive Administrative Assistant

Los Angeles City Planning
200 N. Spring St., Room 525
Los Angeles, CA 90012

T: (213) 978-1271 | [Planning4LA.org](#)



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Wed, Oct 9, 2024 at 7:36 AM

To: Anna Orellana <anna.orellana@lacity.org>

Cc: Greg Guillermo <greg.guillermo@lacity.org>, Susan Wong <susan.s.wong@lacity.org>, Nicholas Ayars <nicholas.ayars@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Good Morning,

Please forward all emails for this address/Case No. ADM-2024-5202-DB-PHP-VHCA to me.

Thanks for your help.

Laura



Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Stop Woodlake Ave. Apartment Project. Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

Paul Solovay <shilimpit@aol.com>
To: Laura.frazinsteele@lacity.org

Sun, Oct 20, 2024 at 9:45 PM

Laura,

My family has been living peacefully at West Hills close to 3 decades now. We have several family members who reside in the area as well. The thought of having a 5 to 7 stories high, 332-unit 100% affordable housing project with inadequate parking at 7556 Woodlake Avenue, is beyond comprehension. We have serious concerns about safety hazards as well as negative impact on our home property values.

We chose West Hills as our residence because this area is safe for our families, it is mainly for single family homes, a quiet and private community, and not for low income housing project. We have to preserve and safeguard our nest. We are proud where we live. We are hard working, registered voters, tax paying, law abiding citizens who live here and plan to continue living here. We simply cannot allow and condone the aforesaid housing project much more, a high rise one. As we speak, there are issues with traffic on Woodlake and Saticoy and absorbing more people will definitely cause major problems for our community, the Fire Department and LAPD.

We do not want to be a statistic. Our ask is to leave us be, build elsewhere away from us. West Hills is a quiet and safe place we call home.

Sincerely,
Jennifer and Paul Solovay
Sent from my iPad

Laura Frazin-Steele <laura.frazinsteele@lacity.org>
To: Paul Solovay <shilimpit@aol.com>

Mon, Oct 21, 2024 at 9:37 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you again.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Letter of Compliance / Exhibit-A: Case File ADM-2024-5202-DB-PHP-VHCA

22 messages

Penny Newmark <pennyfirst@sbcglobal.net>

Tue, Dec 10, 2024 at 10:17 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: Charlene Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>

Laura,

The deadline of December 20 is fast approaching to file an appeal on this project. We have received a significant number of the West Hills community asking about information contained in the 12/05/24 Letter of Compliance.

1. We need the **addresses** of the properties that fall under the criteria to file an Appeal.
2. In response to your 12/09/24 email that Appeals must be filed in person, this appears to be **contrary to the instructions in the Letter of Compliance on pages 16 and 17**. "An appeal may be filed utilizing the following options: Online Applications System (OAS) and Drop off at DSC." Please explain.

We would appreciate a response from you as quickly as possible.

Thank you,

Penny Newmark
WHNC
Zoning & Planning Committee

West Hills Neighborhood Council
westhillsnc.org



Char Rothstein <charwhnc@gmail.com>

Tue, Dec 10, 2024 at 10:43 AM

To: Penny Newmark <pennyfirst@sbcglobal.net>

Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>, Bill Rose <billrose@parkregency.com>

Thank you Penny.

Good morning Laura:

Just a note to add that the WHNC Zoning & Planning meeting is this evening and we expect a lot of questions from many constituents.

If we have the answers for the meeting tonight, hopefully it will ease tension tonight.

Thanks for your help as always.

Best regards,
Char

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Tue, Dec 10, 2024 at 10:43 AM

To: Penny Newmark <pennyfirst@sbcglobal.net>, Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Cc: Charlene Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>

Hello Penny,

I am looping in our managers [+Blake Lamb](#) and [+Claudia Rodriguez](#).

Please refer to the Letter of Compliance issued by the City on 12/5/2024 (page 18) and attached herein for your reference, which states that only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Density Bonus Compliance Review Determination.

To clarify, an appeal must be filed in person at the Development Services Center. The addresses for the Development Service Center are provided for your reference on page 17 of the 12/5/24 letter.

The appeal form is available on our website at [Forms | Los Angeles City Planning](#). The appeal form is linked here for your reference: [CP13-7769 Appeal Application Form_8.8.24](#) The appeal form provides further requirements for appealing a density bonus case.



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | [Planning4LA.org](#)



LOS ANGELES
CITY PLANNING

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On Tue, Dec 10, 2024 at 10:18 AM Penny Newmark <pennyfirst@sbcglobal.net> wrote:

[Quoted text hidden]

Letter of Compliance 12.5.24.pdf
521K

Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Tue, Dec 10, 2024 at 10:45 AM

To: Char Rothstein <charwhnc@gmail.com>

Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Bill Rose <billrose@parkregency.com>, Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Thank you, Char.



Laura Frazin Steele

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[Quoted text hidden]

Char Rothstein <charwhnc@gmail.com>

Tue, Dec 10, 2024 at 11:07 AM

To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Bill Rose <billrose@parkregency.com>

Hi Laura:

Yesterday I received a call from CD12, you probably realize that their office receives numerous phone calls a day regarding the Woodlake Apts.

CD12 has tried to help the WHNC in handling the questions and many concerns of our constituents regarding this issue. In the call, we tried to find exactly what homes fall under the criteria to file an appeal so we can answer to the community. We used an overview map but it was impossible to decide what homes qualify.

We really need the addresses of the homes that fall under the criteria, especially for tonight's WHNC Zoning meeting. Were the homes sent a letter directly?

Thanks again.

Char

[Quoted text hidden]

Penny Newmark <pennyfirst@sbcglobal.net>

Tue, Dec 10, 2024 at 11:40 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Charlene Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>

Laura,

With due respect, please see reply to your email below:

1) City Planning has the exact addresses from maps provided on this project that fit the Appeal criteria. Again, we are asking for these "**specific**" addresses.

2) Attached are pages 16 and 17 with Appeal instructions highlighted in yellow.

Note: "**Online Application System (OAS)**: The OAS (<https://planning.lacity.gov/oasis>) allows entitlement appeals to be **submitted entirely electronically** by allowing an appellant to fill out and submit an appeal application online directly to City Planning DSC, and submit fee payment by credit card or e-check. Drop off at DSC. Appeals of this determination **can be submitted in-person** at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications..etc."

When we do not have the ability to answer questions from the Community on this project WHNC appears not to be transparent. City Planning should be aware that lack of transparency creates perceptions of partiality to the development.

Again, our Zoning & Planning Committee meeting is tonight, and we would like to share answers to our questions.

[Quoted text hidden]

On Dec 10, 2024, at 10:43 AM, Laura Frazin-Steele <laura.frazinsteel@lacity.org> wrote:

Hello Penny,

I am looping in our managers [+Blake Lamb](#) and [+Claudia Rodriguez](#).

Please refer to the Letter of Compliance issued by the City on 12/5/2024 (page 18) and attached herein for your reference, which states that only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Density Bonus Compliance Review Determination.

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Laura Frazin Steele

Pronouns: She, Her, Hers
City Planner, Project Planning

Los Angeles City Planning

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On Tue, Dec 10, 2024 at 10:18 AM Penny Newmark <pennyfirst@sbcglobal.net> wrote:

Laura,

The deadline of December 20 is fast approaching to file an appeal on this project. We have received a significant number of the West Hills community asking about information contained in the 12/05/24 Letter of Compliance.

1. We need the **addresses** of the properties that fall under the criteria to file an Appeal.
2. In response to your 12/09/24 email that Appeals must be filed in person, this appears to be **contrary to the instructions in the Letter of Compliance on pages 16 and 17**. "An appeal may be filed utilizing the following options: Online Applications System (OAS) and Drop off at DSC." Please explain.

We would appreciate a response from you as quickly as possible.

Thank you,

Penny Newmark
WHNC
Zoning & Planning Committee

West Hills Neighborhood Council
westhillsnc.org

3 attachments



apple-touch-icon.png
39K

 **Letter of Compliance pgs 16 & 17.pdf**
2425K

 **Letter of Compliance 12.5.24.pdf**
521K

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Tue, Dec 10, 2024 at 1:55 PM

To: Penny Newmark <pennyfirst@sbcglobal.net>

Cc: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Charlene Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>

Please see our ZIMAS website (linked below), which is publicly available and shows all properties in the City of Los Angeles.

[ZIMAS](#)



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[Quoted text hidden]

[Quoted text hidden]

On Dec 10, 2024, at 10:43 AM, Laura Frazin-Steele <laura.frazinsteede@lacity.org> wrote:

Hello Penny,

I am looping in our managers +Blake Lamb and +Claudia Rodriguez.

Please refer to the Letter of Compliance issued by the City on 12/5/2024 (page 18) and attached herein for your reference, which states that only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Density Bonus Compliance Review Determination.

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Proposed Woodlake Apts Project Mailing

2 messages

Penny Newmark <pennyfirst@sbcglobal.net>

Thu, Nov 7, 2024 at 2:43 PM

To: laura.frazinsteede@lacity.org

Cc: Charlene Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>

Laura,

Char Rothstein has forwarded your email so that I can send you the attached file: WHNC October 17, 2024 Letter sent to City Planning RE: Woodlake Apts project.

I believe you already received a complete package of documents including petitions against the project that Char postal mailed to you earlier. Per your request, an electronic file folder was sent to you on November 6 with 1,000+ names on petitions (along with additional names on an online [change.org](https://www.change.org) petition also against the project—there are over 700 signatures per today’s date). We also included in the folder June 6, 2024 Zoning & Planning Committee sign-in sheets, press & social media information and the above letter.

We apologize for any inconvenience you had not being able to open the letter. Please let us know if you have problems opening other documents in the folder.

Thank you, and it would be greatly appreciated if you are able to confirm receipt of this email and attachment.

Very Best Regards,

Penelope W. Newmark
WHNC Board of Directors
Zoning & Planning Committee

West Hills Neighborhood Council
westhillsnc.org

2 attachments



apple-touch-icon.png
39K

 **WHNC Ltr to CityPlan WoodlakeApts 10 17 24.pdf**
4768K

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Nov 7, 2024 at 4:38 PM

To: Penny Newmark <pennyfirst@sbcglobal.net>

Cc: Charlene Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>

Received, thank you.
I've also added you to the Interested Parties List.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Van Nuys, CA 91401

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[Quoted text hidden]



TAKEN ON SAME DAY FROM INSIDE MY CAR AS I'M WAITING TO GO THRU THE STOP SIGN AT WOODLAKE & SATICOY. CARS GOING WEST ON SATICOY WERE LINED UP FROM STOP SIGN AT WOODLAKE & SATICOY TO ABOUT 1/2 BLOCK FROM FALLBROOK & SATICOY



9/7/23 8:15 AM-CARS GOING WESTBOUND ON SATICOY AT WOODLAKE.



TAKEN ON SAME DAY FROM INSIDE MY CAR AS I'M WAITING TO GO THRU THE STOP SIGN AT WOODLAKE & SATICOY. CARS GOING WEST ON SATICOY WERE LINED UP FROM STOP SIGN AT WOODLAKE & SATICOY TO ABOUT 1/2 BLOCK FROM FALLBROOK & SATICOY



9/7/23 8:25 AM-CARS LINED UP ON SATICOY TRYING TO CROSS INTERSECTION AT WOODLAKE & SATICOY.



9/7/23 8:20 AM-CARS LINED UP AT WOODLAKE & SATICOY GOING SOUTHBOUND.



9/7/23 8:10 AM-CARS LINED UP GOING EAST ON SATICOY WAITING TO CROSS WOODLAKE



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

5 STORY HI-RISE IN SINGLE FAMILY NEIGHBORHOOD

2 messages

Phil Elins <philelins@gmail.com>

Sun, Nov 3, 2024 at 9:18 PM

To: laura.frazinsteede@lacity.org, vince.bertoni@lacity.org, councilmember.lee@lacity.org, dan.rosales@lacity.org, hannah.lee@lacity.org, trevor.martin@lacity.org, karen.bass@lacity.org, assemblymember.gabriel@assembly.ca.gov, senator.stern@senate.ca.gov, carrie.cornwell@asm.ca.gov

Dear Politician,

I live 2 doors down from the proposed 5 story development at Woodlake and Saticoy in your district and wanted to reach out to see what your office, or I, as an individual, could do to stop this project from happening. This type of development will drastically alter our neighborhood of single family homes. I'm all for affordable housing but to cram up to 930 tenants in our neighborhood; with the subsequent decrease of privacy, quiet, parking, quality of life and home values, along with the inevitable increases in traffic and crime, that would most assuredly accompany a development of that size, is unconscionable, and **would ruin our neighborhood.**

We already have multiple ADU'S and houses that have been made into 2 and 3 units on our block. That's not great but at least it adheres to proper zoning for this neighborhood...a 5 story multi-unit building does not!!!

My daughter relies on street parking when she comes home from work late at night and already there is a shortage of parking. I can't imagine what will happen when up to 900 tenants move in next door with only 100 parking spots! It's insanity...

I, like most others in the neighborhood, have worked hard, my entire life, to attain home ownership in this community and rely on my home value for security in retirement. This development does not belong in the middle of a residential neighborhood and will have a serious negative affect on many of your constituents. Thank you in advance for any help you and your office can provide in stopping this development and/or providing info on who to contact to express my extreme opposition to this project.

Thank you,

Phil Elins
23052 SaticoySt.
West Hills CA 91304

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Nov 4, 2024 at 7:50 AM

To: Phil Elins <philelins@gmail.com>

Cc: vince.bertoni@lacity.org

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner in Los Angeles City Planning who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Low income property on 7556 Woodlake Ave

2 messages

Renu Kapila <renukapila28@gmail.com>
To: Laura.frazinsteede@lacity.org

Sun, Oct 20, 2024 at 10:04 PM

It is negative impact on our properties. Besides traffic gridlock, it is not commercial area. It is also safely issue. This project needs to stop right away. Thanks Renu
Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Renu Kapila <renukapila28@gmail.com>

Mon, Oct 21, 2024 at 9:36 AM

Good Morning,
Thank you for your comments regarding Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.
I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Thank you again.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

case#ADM-2024-5202-DB-php-vhca 7556 Woodlake ave

2 messages

cbaker514@aol.com <cbaker514@aol.com>

Mon, Oct 21, 2024 at 10:57 AM

To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Laura could you give me a update on the status of proposed apartment building. It appears that work has started on the project. There is orange fencing in place marking for earth grading. This whole project is very suspicious. The public has the right to voice our opinion and be heard. We are not getting any help from our elected officials everyone passing the buck to the State officials blaming AB 2334 allowing this inappropriate zoning change. We have signed over 1000 petitions written letters to the planning department all to no avail. my gut feeling is this is a done deal will be approved. This project is inappropriate putting a 5 story apartment building in a single family neighborhood. There is not a apt building within 2 miles of this proposed project. Thank you please call me at 818-943-6584 Robert Baker

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 11:48 AM

To: "cbaker514@aol.com" <cbaker514@aol.com>

Hello Robert,

As this case is currently filed, it is a density bonus case and not a zone change case. Any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

If you feel that work has started on the project, you can contact the Los Angeles Department of Building and Safety (LADBS) at this link: <https://ladbs.org/reportviolations>. From your description (i.e., orange fencing on the site) I cannot tell if a Code Violation has taken place, but LADBS will be able to advise you. Currently, Planning has the case on hold pending the receipt of additional information from the applicant.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Highrise Apartments on Woodlake and Saticoy

2 messages

robin27095@aol.com <robin27095@aol.com>

Wed, Oct 23, 2024 at 12:15 PM

To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>

Dear Laura,

I am writing to you to express my concern over the planned build of highrise apartments on the corner of Woodlake and Saticoy. My family and I have lived in this area since 1979. We have enjoyed the quiet and slower pace of life.

My two major concerns are the lack of planned parking and the increase in traffic. As it is traffic, can already get bad on that corner during rush hours and when the schools (Chaminade and Justice Street) get out for the day. I also understand that the current plans provide for only 150 parking spaces for an expected 600+ residents. This is completely irresponsible and cannot believe such plans would even be considered much less approved.

Please consider reducing the number of units to be built so as not to negatively impact all the current residents.

Thank you,
Robin Rucker

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Wed, Oct 23, 2024 at 3:04 PM

To: "robin27095@aol.com" <robin27095@aol.com>

Hello Robin,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



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Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

Rod Louden <rodlouden@rodlouden.com>
To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>
Cc: Linda <llouden79@yahoo.com>

Tue, Oct 29, 2024 at 1:03 PM

Hello,

As a homeowner on Saticoy Street between Royer and Woodlake, I am appalled that the city is even considering putting up a high-rise apartment building at the corner of my street. This is a complete invasion of my privacy. (The California constitution gives me a right to privacy which this will infringe upon!

ARTICLE I DECLARATION OF RIGHTS [SECTION 1 - SEC. 32]*(Article 1 adopted 1879.)***SECTION 1.**

All people are by nature free and independent and have inalienable rights. Among these are enjoying and defending life and liberty, acquiring, possessing, and protecting property, and pursuing and obtaining safety, happiness, **and privacy.**)

To think that people will be able to look into my back yard is very upsetting. This is a single-family home residential area. We paid a premium to live in West Hills. We choose to not live in an area with a bunch of apartment buildings and now it may be forced upon us. Talk about ruining a neighborhood; we already have experienced multiday power outages and talk about the power drain for the neighborhood if this is built. Also, the traffic, which is already heavy, will become insane. And, there is not enough parking planned for the residents? Drive down Saticoy and it is already lined with cars due to the ADU's that have been built in the last 5 years. Also, talk about a strain on already strained public resources such as fire and police. Please, please, please do not approve this project.

Sincerely,

Rod Louden, LMFT

(818) 348-7081

Website: rodlouden.com

YouTube Channel: Positively Psyched with Rod Louden

[youtube.com/@Rodlouden](https://www.youtube.com/@Rodlouden)Writer: choosingtherapy.com



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

4 messages

Rod Louden <rodlouden@rodlouden.com>
To: "Laura.frazinsteel@lacity.org" <Laura.frazinsteel@lacity.org>
Cc: Linda <llouden79@yahoo.com>

Tue, Oct 29, 2024 at 1:03 PM

Hello,

As a homeowner on Saticoy Street between Royer and Woodlake, I am appalled that the city is even considering putting up a high-rise apartment building at the corner of my street. This is a complete invasion of my privacy. (The California constitution gives me a right to privacy which this will infringe upon!

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Sincerely,

Rod Louden, LMFT
(818) 348-7081
Website: rodlouden.com
YouTube Channel: Positively Psyched with Rod Louden
youtube.com/@Rodlouden
Writer: Choosingtherapy.com



Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Rod Louden <rodlouden@rodlouden.com>
Cc: Linda <louden79@yahoo.com>

Tue, Oct 29, 2024 at 4:03 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
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[Quoted text hidden]

Rod Louden <rodlouden@rodlouden.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Sat, Nov 2, 2024 at 2:31 PM

thank you for your response please can you please tell me what the current proposed plan is for the number of units at that property and the number of parking spots? Thank you.

Rod Louden, LMFT
(818) 348-7081
Rodlouden.com
YouTube.com/@rodlouden
@rloudentherapy

On Oct 29, 2024, at 4:04 PM, Laura Frazin-Steele <laura.frazinsteel@lacity.org> wrote:

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

<Outlook-owgsxttf.jpg>



Outlook-owgsxttf.jpg
141K

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Rod Loudon <rodlouden@rodlouden.com>

Mon, Nov 4, 2024 at 7:58 AM

Currently, the case is on hold pending information from the applicant. Planning is waiting for the applicant to clarify that information. I hope this helps.



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Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case # ADM-2024-5202-DB-PHP-VHCA "Circle S" Saticoy/Woodlake Ave

2 messages

Ron Zarkesh <ron.zarkesh@gmail.com>
To: laura.frazinsteel@lacity.org

Sat, Nov 2, 2024 at 1:47 PM

Dear Mrs. Frazin Steele,

As State of California, City of Los Angeles and all related government and local authorities are aware, West Hills area among few neighboring cities were exposed to "Santa Susana Field Laboratory" partial meltdown accidents on four of their 10 reactors between 1953 to 1998 and finally ceased operations in 2006. Perchlorate among other harmful chemicals have found their way to ground water and soil. The application on this project filed by Jaqueline Torres on August 15th, 2024, failed to check boxes of "Historic Sites", "hazardous materials" and being "500FT from School".

Chaminade high school application was filed way earlier that this project, yet developer and zoning ignore to catch this and Chaminade high school will be within 200FT of mentioned low housing project (currently at 324FT) .

More important, there was no test done on soil and we as a community demand an **independent hazardous waste entity** to take samples for proper and un-biased testing.

As city of Los Angeles is aware of, this property is located on a hill and in order to bring this hill to street level, a lot of dirt has to be moved. Having not a proper independent test done on this soil; it will expose neighborhoods to hazardous materials that this community has paid the price for by losing loved ones to cancer in the past 30 years.

Please due diligence in this matter and do not fast track this project and do not expose our neighborhoods to unnecessary risks. Not everything needs to end up in courts for litigation to waste taxpayers' money!

Thanks,

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Ron Zarkesh <ron.zarkesh@gmail.com>

Mon, Nov 4, 2024 at 8:03 AM

Good Morning,
Thank you for your comments.
Laura



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Re: Regarding housing element rezoning program (Reference #CPC-2023-7068-CA)

2 messages

Housing Element <housingelement@lacity.org>
To: Ruixue Guan <candice19941228@gmail.com>
Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thu, Oct 3, 2024 at 4:28 PM

Hi Ruixue,

Apologies for the delay in getting back to you. The project planner for the area where this proposed project is located is Laura Frazin-Steele. I've cc'd her here so that she can record your comments.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Mon, Aug 26, 2024 at 9:50 AM Ruixue Guan <candice19941228@gmail.com> wrote:
Hi Christine,

Thank you so much for your response. It is at the SE corner of Saticoy St/Woodlake Ave in West Hills.

Best,
Ruixue

On Mon, Aug 26, 2024 at 09:48 Housing Element <housingelement@lacity.org> wrote:
Hi Ruixue and Richard,

Thank you for your email. Case number CPC-2023-7068-CA refers to the Citywide Housing Incentive Program (CHIP) Ordinance, which is a proposed ordinance which will apply citywide once adopted and is part of the [Housing Element Rezoning Program](#). Could you let me know the address of the proposed project you're referring to and I can identify the case number and appropriate staff person to forward your comments to.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Wed, Aug 21, 2024 at 4:21 PM Ruixue Guan <candice19941228@gmail.com> wrote:
Office of Los Angeles City Planning,

I am a resident of Saticoy-Woodlake neighborhood in West Hills. A 5-story low-incoming housing project with more than 500 units and 900 residents has been proposed by a real estate developer in our neighborhood. The proposed project is situated among dozens of single-family homes with no other multi-story buildings in sight. We are a small, quiet, and remote single-family zoned residential community with limited capability to handle the kind of traffic and influx of low-income population this project will bring. The residents in my neighborhood are strongly against the development of a giant multi-family housing project that will surely disturb the peaceful nature of our small community.

We as Angelenos believe that affordable housing is necessary to tackle the homelessness crisis, but such project sites should be selected carefully and be placed in areas with the least opposition from local residents to avoid future conflicts. Commercial zoned areas and multi-family zoned areas are much more suited in a position to host such projects since they are designed in nature to handle a denser population and traffic. They normally have better access to public transportation and infrastructure as well.

Woodland Hills, Warner Center, Chatsworth, and Northridge in the San Fernando Valley, for example, are much more suited for this kind of project. They already have a plentitude of commercial and multi-family zoned areas, are surrounded by major traffic corridors, and have seen and welcomed such developments in recent years. They are also directly connected to the Metro Orange line which will eventually be connected to LA Metro. West Hills has no such privilege to provide low-income residents who might find it difficult to navigate the traffic and cruise the neighborhood.

My family and I as well as many others in our neighborhood have signed a petition in objection to this proposal. We urge you to please reconsider the site for this housing project. Thank you!

Reference #CPC-2023-7068-CA

Best Regards,
Ruixue Guan & Richard Xue

Laura Frazin-Steele <laura.frazinsteele@lacity.org>
Cc: Ruixue Guan <candice19941228@gmail.com>

Mon, Oct 7, 2024 at 9:20 AM

Good Morning Ruixue and Richard,

I believe that you are referencing Case No. ADM-2024-5202-DB-PHP-VHCA located at 7556 N. Woodlake Ave. I am the project planner assigned to this case. Your comments are a part of the public record, and I am adding your name to our interested parties list.

Please be aware that no decision has been made on this case. Currently, the case is on hold while we wait for the applicant to provide required materials. I am not the decision-maker on this case. The decision-maker is the Director of Planning. However, the decision-maker will review all public comments, including yours, prior to making a decision. Please forward any additional comments to me. I am responsible for collecting all comments for the review of the decision-maker.

Thank you,

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 Woodlake ave, West Hills Development Concerns

2 messages

safshar5@yahoo.com <safshar5@yahoo.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:23 PM

Hello

Please take into account the impact this development will have on the people living in this community. We already face a lack of street parking, and adding a 600+ resident structure will overwhelm the neighborhood and put my family at risk as they walk to Chaminade. Traffic is already a major issue, and it appears there is no provision for visitor parking, with only 150 spaces planned for the entire building. This is completely unreasonable. I urge you to reconsider or scale back this project. My neighbors and I are pleading for your help.

Thanks

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: safshar5@yahoo.com

Mon, Oct 21, 2024 at 10:20 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



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CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Re: CPC-2023-7068-CA

2 messages

Housing Element <housingelement@lacity.org>
To: Scott DeYoung <wscottdeyoung@gmail.com>
Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thu, Oct 3, 2024 at 4:22 PM

Hi Scott,

Apologies for the delay in getting back to you. The project planner for the area where this proposed project is located is Laura Frazin-Steele. I've cc'd her here so that she can record your comments.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Sat, Aug 24, 2024 at 6:45 AM Scott DeYoung <wscottdeyoung@gmail.com> wrote:
Good morning Christine.

Thanks for your response. The address is [7566 Woodlake Avenue, West Hills 91307](#).

Scott

On Thu, Aug 22, 2024 at 1:25 PM Housing Element <housingelement@lacity.org> wrote:
Hi Scott,

Thank you for your email. Case number CPC-2023-7068-CA refers to the Citywide Housing Incentive Program (CHIP) Ordinance, which is a proposed ordinance which will apply citywide once adopted and is part of the [Housing Element Rezoning Program](#). This inbox (housingelement@lacity.org) is currently being used for questions and comments related to the [Housing Element Rezoning Program draft ordinances](#). Could you provide the address of the project you're referring to and I can direct you to the appropriate staff person.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Wed, Aug 21, 2024 at 2:11 PM Scott DeYoung <wscottdeyoung@gmail.com> wrote:

It is my understanding that the proposed 324 unit apartment building at Saticoy Street and Woodlake Avenue will only have 180 parking spaces. Since there is no parking on either side of Saticoy west of Woodlake until west of Chaminade High School, no parking on the south side of Saticoy east of Woodlake to the end of the subject property, no parking on either side of Woodlake north of Saticoy up to Ingomar Street, and no parking on the west side of Woodlake to Medical Center Drive and on the east side to the end of the subject property, where are the tenants going to park their cars. In the surrounding neighborhood? A project such as this, which is totally inappropriate for the location, should at least be required to provide two off-street parking spaces for each unit.

Scott DeYoung

Laura Frazin-Steele <laura.frazinsteelle@lacity.org>
Cc: Scott DeYoung <wscottdeyoung@gmail.com>

Mon, Oct 7, 2024 at 9:37 AM

Good Morning Scott,

I believe that you are referencing Case No. ADM-2024-5202-DB-PHP-VHCA located at 7556 N. Woodlake Ave. I am the project planner assigned to this case. Your comments are a part of the public record, and I am adding your name to our interested parties list.

Please be aware that no decision has been made on this case. Currently, the case is on hold while we wait for the applicant to provide required materials. I am not the decision-maker on this case. The decision-maker is the Director of Planning. However, the decision-maker will review all public comments, including yours, prior to making a decision. Please forward any additional comments to me. I am responsible for collecting all comments for the review of the decision-maker.

Thank you,
Laura



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Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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Van Nuys, CA 91401

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[Quoted text hidden]

I am a concerned resident of West Hills along with 1000's of neighbors who are against a large Apartment complex proposal for our quiet local single family home neighborhood. The property is Circle S Ranch at [7556 Woodlake Ave. West Hills, CA 91304](#). I have lived in this neighborhood for over 26 years and I know many others that have lived here for much much longer. We moved here years ago to get away from the hustle and bustle of more congested areas. The proposal to put a 5-story 332 unit Apartment with only 154 parking spots [7556 Woodlake Avenue](#) is very unacceptable and does not fit in our single family home neighborhood. Our community consists mainly of 1 story with a handful of 2 story single family homes.

We have had a couple meetings with the West Hills neighborhood Counsel where 100's of neighbors attended to discuss their concerns, and everyone is against this proposal. We have circulated two petitions against this project one with 1056 signatures and another with 650 signatures. This will apartment building will disrupt our nice quiet neighborhood. This apartment proposal will be a extreme eye sore, lower property values, create traffic, parking problems, loud noise, utility issues and lead to more crime because of the large number of people added to our community with a building of this size. There are NO benefits to our small community! There are places for large apartment complexes; they are being built all over California, but not in the middle a quiet neighborhood of single family homes.

The large lot had a beautiful home with a guest home that was built in 1927, was a potential historical landmark, but denied and has recently been torn down. This lot should be used for single family residences (up to 2 stories) which will fit right into our nice quiet neighborhood. There is no need to disrupt our wonderful quiet community. the project is currently in the LA City Planning Department and needs to be stopped.

We are looking for your help to stop this proposal from going forward.

Please email or call me to discuss in further detail.

Thank you for your time,

Scott Randall
818-227-6835

Laura Frazin-Steele <laura.frazinsteel@lacity.org> Thu, Nov 7, 2024 at 4:40 PM
To: Flora Melendez <flora.melendez@lacity.org>
Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Lisa Webber <lisa.webber@lacity.org>

I will respond now. Thank you.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Flora (Angie) Melendez
 Pronouns: She, Hers, Her
 Executive Administrative Assistant III
Los Angeles City Planning
 200 N. Spring St., Room 525
 Los Angeles, CA 90012
 T: (213) 978-1271 | F: (213) 978-1275
planning.lacity.gov



----- Forwarded message -----

From: **Scott Randall** <qmd14@yahoo.com>
 Date: Fri, Oct 4, 2024 at 9:47 AM
 Subject: Circle S Ranch
 To: vince.bertoni@lacity.org <vince.bertoni@lacity.org>

Dear Mr. Bertoni,

I am a concerned resident of West Hills along with 1000's of neighbors who are against a large Apartment complex proposal for our quiet local single family home neighborhood. The property is Circle S Ranch at [7556 Woodlake Ave. West Hills, CA 91304](#). I have lived in this neighborhood for over 26 years and I know many others that have lived here for much much longer. We moved here years ago to get away from the hustle and bustle of more congested areas. The proposal to put a 5-story 332 unit affordable housing complex at [7556 Woodlake Avenue](#) does not fit in our neighborhood. We have had a couple meetings with the West Hills Counsel where 100's of neighbors attended to discuss their concerns, and everyone is against this proposal. We all understand the need for affordable housing in California, but there is a place for buildings like this, but not here in the middle of our community. This will be a extreme eye sore, create traffic, noise, parking problems and probably more crime because of the large number of people added to our community with a building of this size. This now vacant lot, they tore down the nice old historical landmark house that was there, should be used for single family residences (up to 2 stories) which will fit right into our nice quiet neighborhood. Please email or call me to discuss in further detail.

Thank you for your time,

Scott Randall
 818-227-6835



Greg Guillermo (he/him)
 Planning Assistant
Los Angeles City Planning
 201 N. Figueroa Street, Room 1030
 Los Angeles, CA 90012
 T: (213) 978-1324 | Planning4LA.org



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

7556 Woodlake Ave. West Hills, CA

2 messages

Scott Randall <qmd14@yahoo.com>

Mon, Oct 28, 2024 at 11:36 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Dear Laura,

I am writing to express my concern and opposition to the proposed high-rise apartment complex planned for construction in our single-family residential neighborhood at [7559 Woodlake Ave.](#) This project poses significant challenges to the character, safety, and sustainability of our community, and I urge you to reconsider its approval. This would have a major negative impact on our community.

Our neighborhood has long been known for its quiet, family-friendly environment, which has fostered a close-knit community of residents who value our shared space. The introduction of a high-rise apartment complex would drastically alter this character. The height and density of this project would be incompatible with the surrounding single-family homes, diminishing the sense of community that we have worked so hard to build. We have lived here for many years and value our privacy.

The addition of a large residential building will inevitably increase traffic in an area not designed for high-density housing. Many streets in our neighborhood are narrow and lack sidewalks, creating potential hazards for pedestrians, especially children and seniors. Additionally, our existing infrastructure—including roads, water, sewage, and waste management—is not equipped to handle the significant increase in population that a high-rise complex would bring. We are requesting that single family residences should be built on this property which would fit into our neighborhood and not impact our current infrastructure.

The introduction of high-density housing may negatively affect property values in our neighborhood. For many residents, their homes represent their most significant investment, and the prospect of decreased property values due to an out-of-scale development is deeply concerning. In speaking to multiple realtors, they all agree that our property values have already started to drop because the possibility of this high-rise project. If approved, property values will drop drastically in the surrounding areas.

While we recognize the need for affordable housing and development, we strongly believe that such growth should be done responsibly and in harmony with existing communities. We urge you to consider alternative locations or modifications to the project to ensure it aligns with the character and needs of our neighborhood meaning Single Family Homes.

In conclusion, we respectfully request that you reconsider the approval of the high-rise apartment complex in our neighborhood. We are eager to work with you to find a solution that benefits both the community and development goals while preserving the unique character of our quiet West Hills neighborhood.

Thank you for considering our concerns and look forward to your response.

Sincerely,

Scott Randall

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 28, 2024 at 12:05 PM

To: Scott Randall <qmd14@yahoo.com>



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue

1 message

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Scott Randall <qmd14@yahoo.com>

Thu, Nov 7, 2024 at 4:44 PM

Hello Mr. Randall,
Your email to Vince Bertoni regarding the above referenced project was forwarded to me.
Thank you for your comments, which I have added to the case file.
Your name has been added to the Interested Parties List.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Circle S Ranch - 7556 Woodlake Ave. West Hills

2 messages

Scott Randall <qmd14@yahoo.com>

Thu, Nov 7, 2024 at 12:24 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Dear Mrs. Frazin-Steele,

I am a concerned resident of West Hills along with 1000's of neighbors who are against a large Apartment complex proposal for our quiet local single family home neighborhood. The property is Circle S Ranch at [7556 Woodlake Ave. West Hills](#), CA 91304. I have lived in this neighborhood for over 26 years and I know many others that have lived here for much much longer. We moved here years ago to get away from the hustle and bustle of more congested areas. The proposal to put a 5-story 332 unit Apartment with only 154 parking spots [7556 Woodlake Avenue](#) is very unacceptable and does not fit in our single family home neighborhood. Our community consists mainly of 1 story with a handful of 2 story single family homes.

We have had a couple meetings with the West Hills neighborhood Counsel where 100's of neighbors attended to discuss their concerns, and everyone is against this proposal. We have circulated two petitions against this project one with 1056 signatures and another with 650 signatures. This will apartment building will disrupt our nice quiet neighborhood. This apartment proposal will be a extreme eye sore, lower property values, create traffic, parking problems, loud noise, utility issues and lead to more crime because of the large number of people added to our community with a building of this size. There are NO benefits to our small community! There are places for large apartment complexes; they are being built all over California, but not in the middle a quiet neighborhood of single family homes.

The large lot had a beautiful home with a guest home that was built in 1927, was a potential historical landmark, but denied and has recently been torn down. This lot should be used for single family residences (up to 2 stories) which will fit right into our nice quiet neighborhood. There is no need to disrupt our wonderful quiet community. the project is currently in the LA City Planning Department and needs to be stopped.

We are looking for your help to stop this proposal from going forward.

Please email or call me to discuss in further detail.

Thank you for your time,

Scott Randall
818-227-6835

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Nov 7, 2024 at 12:35 PM

To: Scott Randall <qmd14@yahoo.com>

Hello,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



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CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

18 messages

Samira Kermani <samira@kermanilaw.com>

Thu, Oct 24, 2024 at 11:11 PM

To: Laura Frazin-Steele <laura.frazinstelee@lacity.org>, "trevor.martin@lacity.org" <trevor.martin@lacity.org>

Cc: LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "QMD14@yahoo.com" <QMD14@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>

Dear Ms. Frazin-Steele,

I am a resident of West Hills and an interested party in the above-captioned case re Woodlake Ave development.

Please email me a copy of the Mitigated Negative Declaration ("MND") as soon as available.

I would appreciate a return email confirming this request has been received and the MND will be forwarded.

Thank you.

Regards,

Samira Kermani, Esq.

Attorney | Real Estate Broker

KERMANI LAW FIRM

REAL ESTATE LITIGATION & TRANSACTIONS

Main: 310-475-3400

Fax: 310-861-5251

<https://www.kermanilaw.com/testimonials><https://www.yelp.com/biz/kermani-law-firm-los-angeles>Our Affiliate Real Estate Brokerage: www.KarltonStone.com/testimonials<http://realestateblog.kermanilaw.com/>

Notice Regarding Electronic Service

Pursuant to Code of Civil Procedure section 1010.6(e) [formerly California Rules of Court, Appendix 1, Emergency Rule 12], we are serving all pleadings, discovery, and motions concerning this case electronically. Please let us know immediately if you have any objection to electronic service and the basis for your objection(s).

Confidentiality Notice and Disclaimer: This e-mail and its attachment(s) are a private and confidential attorney communication protected by the attorney-client privilege and/or attorney work product privilege. They are intended only for the use of the addressee(s) named above. If you are not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is prohibited. If you have received this e-mail in error, please notify the sender immediately at 310-475-3400 and by replying to this email, then destroy this email. Kermani Law Firm ("KLF") will not take any action to represent any person or entity without a fully executed written fee agreement prepared by KLF for that specific client's matter. There are strict deadlines, statutes of limitations, for filing claims or lawsuits, otherwise claims could be barred in whole or in part. It is important that you obtain the services of an attorney to advise you about such issues.

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 28, 2024 at 8:37 AM

To: Samira Kermani <samira@kermanilaw.com>

Cc: "trevor.martin@lacity.org" <trevor.martin@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "QMD14@yahoo.com" <QMD14@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>

Good Morning,
Your request is received.

**Laura Frazin Steele**Pronouns: She, Her, Hers
City Planner, Project Planning**Los Angeles City Planning**LOS ANGELES
CITY PLANNING6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401

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[Quoted text hidden]

Samira Kermani <samira@kermanilaw.com>

Mon, Oct 28, 2024 at 10:20 AM

To: Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Cc: "trevor.martin@lacity.org" <trevor.martin@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "QMD14@yahoo.com" <QMD14@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, "SandyLu93@hotmail.com" <SandyLu93@hotmail.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>

Good morning Ms. Frazin-Steele,

Please advise ETA on forwarding a copy of the Mitigated Negative Declaration ("MND").

Thank you.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

<https://www.kermanilaw.com/testimonials>

<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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From: Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Sent: Monday, October 28, 2024 8:38 AM

To: Samira Kermani <samira@kermanilaw.com>

Cc: trevor.martin@lacity.org; LINDA THORNE <thornebirds@hotmail.com>; Linda Glasscock <lindaglasscock4321@gmail.com>; PCon33@yahoo.com; cbaker514@aol.com; QMD14@yahoo.com; chilesBarican@gmail.com; Chris Soriano <cmmsoriano88@gmail.com>
Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

Good Morning,

Your request is received.

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org

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[Quoted text hidden]

Samira Kermani <samira@kermanilaw.com>

Fri, Nov 8, 2024 at 1:29 PM

To: Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Cc: "trevor.martin@lacity.org" <trevor.martin@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlicornwell7737@gmail.com>

Dear Ms. Frazin-Steele,

As a West Hills property owner, I'm following up on my email below and I have additional questions.

When we spoke on the phone on October 18, 2024, you indicated that as a neutral party you are not allowed to disclose the file deadlines but that a review of the physical file would reveal deadlines. Our group of property owners has reviewed the file and found no mention of deadlines.

The matter of deadlines, and this file, being public information, I am not aware of any basis for declining to disclose the deadlines in the file and would greatly appreciate your assistance.

We found no new application despite the fact that the original Application submitted on 8/15/24 was stamped "Superseded."

We found no correspondence, including any emails, whatsoever between the City and the builder/architect or owner.

I had inquired as to "why" is the File not available online like all others. No response received.

We hereby respectfully request the following by November 15, 2024:

1. City Planner place an electronic copy of the files in this matter online for public access, including the correspondence between the City and Architect/builder;
2. Advise any deadlines in this file;
3. Provide an electronic copy of the updated Application and City's response thereto;
4. Provide a copy of the Mitigated Negative Declaration ("MND"), if none exists please provide the due date for same.
5. Advise why this file will not be online, if the City Planner will not put it online.
6. Advise the grounds why the deadlines are not public information that can be provided to area homeowners.

Please kindly advise your availability for an in person meeting with myself and a small number of homeowners copied here the week of November 11, 2024.

Thank you and have a great weekend.

Samira Kermani, Esq.

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<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Wed, Nov 13, 2024 at 2:50 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>

Bcc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>

Good Afternoon,

Your email dated 11/8/2024 is received.

I am confirming correspondence between the City of Los Angeles Planning Department to the project owner/applicant/representative, and am also confirming that correspondence is located in Case File No. ADM-2024-5202-DB-PHP-VHCA as follows: (1) a "Status of Project Review: Development Inconsistent / Application Incomplete and Case Processing on Hold" letter emailed to the project owner/applicant/representative on 9/4/2024 ('9/4/2024 letter"); and (2) a "Second Status of Project Review: Development Inconsistent / Application Incomplete and Case Processing on Hold" letter emailed to the project owner/applicant/representative on 10/21/2024 ("10/21/2024 letter"). The 9/4/2024 and 10/21/2024 letters were made publicly available and accessible to you on 10/28/2024. Further, the entirety of Case File No. ADM-2024-5202-DB-PHP-VHCA was made publicly available and accessible to you on 10/28/2024. I am attaching a copy of the 9/4/2024 and 10/21/2024 letters to this email.

Thank you.



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CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers
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[Quoted text hidden]

2 attachments

Status of Project Review 9.4.24.pdf
895K

Second Status of Project Review 10.21.24.pdf
319K

Samira Kermani <samira@kermanilaw.com>

Wed, Nov 13, 2024 at 3:20 PM

To: Laura Frazin-Steele <laura.frazinstelee@lacity.org>, "vince.Bertoni@lacity.org" <vince.Bertoni@lacity.org>, "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "dan.rosales@lacity.org" <dan.rosales@lacity.org>, Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <charwhnc@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>

Cc: LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Nasrin940@gmail.com" <Nasrin940@gmail.com>, "Racerwedge@gmail.com" <Racerwedge@gmail.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>

Dear Ms. Frazin-Steele,

Thank you for your email. I have copied WHNC here.

I am following up on my email below dated 11/8/24, regarding outstanding items that were not addressed in your email.

Items from 11/8/24 email that we are following up on:

When we spoke on the phone on October 18, 2024, you indicated that as a neutral party you are not allowed to disclose the file deadlines but that a review of the physical file would reveal deadlines. Our group of property owners has reviewed the file and found no mention of deadlines. The issue of deadlines is public information, we are not aware of any basis for declining to disclose the deadlines in the file and would greatly appreciate your assistance. **Please advise on any and all dates, including deadlines and upcoming dates for meetings and/or due dates on this file.**

We found no new application despite the fact that the original Application submitted on 8/15/24 was stamped "Superseded." **Please provide a copy of the newly submitted Application and any new documents submitted by the owner/builder/architect to the City to date.**

In email dated October 18, 2024 (copy attached), I had inquired as to **why** is the File not available online at this case is not available online at <https://planning.lacity.gov/> . To date, we have received no response.

Please let us know why this file is not available online at <https://planning.lacity.gov/> , and **when will the file be available online?**

We continue to hereby respectfully request the following by November 15, 2024:

1. City Planner place an electronic copy of the files in this matter online for public access, including the correspondence between the City and Architect/builder;
2. Advise any deadlines in this file;
3. Provide an electronic copy of the updated Application and City's response thereto;
4. Provide a copy of the Mitigated Negative Declaration ("MND"), if none exists please provide the due date for same.
5. Advise why this file will not be online, if the City Planner will not put it online.
6. Advise the grounds why the deadlines are not public information that can be provided to area homeowners.

Please kindly advise your availability for an in person meeting with myself and a small number of homeowners copied here the week of November 11, 2024.

Thank you.

Samira Kermani, Esq.

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310-475-3400

<https://www.kermanilaw.com/testimonials>

<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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Notice Regarding Electronic Service - Pursuant to Code of Civil Procedure section 1010.6(e) [formerly California Rules of Court, Appendix 1, Emergency Rule 12], we are serving all pleadings, discovery, and motions concerning this case electronically. Please advise immediately if you have any objection to electronic service and the basis for your objection(s).

From: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Sent: Wednesday, November 13, 2024 2:51 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: LINDA THORNE <thornebirds@hotmail.com>; Linda Glasscock <lindaglasscock4321@gmail.com>; PCon33@yaho.com; cbaker514@aol.com; chilesBarican@gmail.com; Chris Soriano <cmmsoriano88@gmail.com>; patty_bolten@yahoo.com; Maryam Zarkesh <mehmar1996@gmail.com>; Ron Zarkesh <ron.zarkesh@gmail.com>; Scott Randall (QMD14@yahoo.com) <QMD14@yahoo.com>; Sandy Randall (SandyLu93@hotmail.com) <SandyLu93@hotmail.com>; Danielle Cornwell <dlcornwell7737@gmail.com>

Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

Good Afternoon,

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

1. Provide a copy of the Mitigated Negative Declaration ("MND"), if none exists please provide the due date for same. (see email dated Monday, October 28, 2024 10:20 AM)

[Quoted text hidden]

[Quoted text hidden]

----- Forwarded message -----

From: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

To: Samira Kermani <samira@kermanilaw.com>

Cc:

Bcc:

Date: Fri, 8 Nov 2024 21:29:50 +0000

Subject: Out of the Office RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

Thank you for contacting Los Angeles City Planning. I am out of the office and will respond to emails when I return on November 12, 2024. If you have questions about the [Reseda Central Business CDO](#), [Canoga Park Commercial Corridor CDO](#), or the [Downtown Canoga Park Commercial Corridor CDO](#), please provide your site address in your email.

For additional Planning contacts, please see the [staff directory on our website](#).

Thank you.

--



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | [Planning4LA.org](#)



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----- Forwarded message -----

From: Samira Kermani <samira@kermanilaw.com>

To: "planning.recordsmgmt@lacity.org" <planning.recordsmgmt@lacity.org>

Cc:

Bcc:

Date: Fri, 18 Oct 2024 22:48:41 +0000

Subject: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

Hello,

I would like to make an appointment to for an in-depth review of all filings related to Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.

Also, this case is NOT available online at <https://planning.lacity.gov/pdiscaseinfo/search/case/ADM-2024-5202-DB-PHP-VHCA>

Please email back or call 310-488-7870 to schedule the appointment.

Thank you in advance.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

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<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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----- Forwarded message -----

From: Samira Kermani <samira@kermanilaw.com>

To: "planning.recordsmgmt@lacity.org" <planning.recordsmgmt@lacity.org>

Cc:

Bcc:

Date: Fri, 18 Oct 2024 22:48:41 +0000

Subject: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

Hello,

Date: Fri, 18 Oct 2024 22:48:49 +0000

Subject: Re: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

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T: (213) 847-3753; F: (213) 269-4127

Office hours:

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Friday: 8:30 am - 3:00 pm

Planning4LA.org



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From: Samira Kermani <samira@kermanilaw.com>

To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Cc:

Bcc:

Date: Fri, 18 Oct 2024 22:49:31 +0000

Subject: RE: Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

this case is not available online at <https://planning.lacity.gov/> do you know why?

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

<https://www.kermanilaw.com/testimonials>

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Thank you for your email.

Have a great restful weekend.

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I hope this information helps.

Enjoy your weekend.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

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CITY PLANNING

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401



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On Fri, Oct 18, 2024 at 2:30 PM Samira Kermani <samira@kermanilaw.com> wrote:

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Thank you for your kind attention to this mater.

Regards,

Samira Kermani, Esq.

Attorney | Real Estate Broker

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Fax: 310-861-5251

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5 attachments

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35K

 **REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.eml**
11K

I would like to make an appointment to for an in-depth review of all filings related to Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.

Also, this case is NOT available online at <https://planning.lacity.gov/pdiscaseinfo/search/case/ADM-2024-5202-DB-PHP-VHCA>

Please email back or call 310-488-7870 to schedule the appointment.

Thank you in advance.

Samira Kermani, Esq.

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310-475-3400

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To: Samira Kermani <samira@kermanilaw.com>

Cc:

Bcc:

Date: Fri, 18 Oct 2024 22:48:49 +0000

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Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

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Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

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34K

 **RE: Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.eml**
62K

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Wed, Nov 13, 2024 at 3:56 PM

To: Flora Melendez <flora.melendez@lacity.org>

Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Lisa Webber <lisa.webber@lacity.org>

Thank you.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

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[Quoted text hidden]

aidakippy <aidakippy@aol.com>

Wed, Nov 13, 2024 at 5:05 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>, vince.Bertoni@lacity.org, councilmember.lee@lacity.org, dan.rosales@lacity.org, Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <CharWHNC@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, PCon33@yahoo.com, cbaker514@aol.com, chilesBarican@gmail.com, Chris Soriano <cmmsoriano88@gmail.com>, patty_bolten@yahoo.com, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, tina@btmlne1040.com, MCrump@mcbainsystems.com, Nasrin940@gmail.com, Racerwedge@gmail.com, Max_Cather@yahoo.com, smith4RE@sbcglobal.net

Dear Ms. Samira,

Thank you very much for all you do and thank you for taking the time and keeping us updated and informed.

Truly appreciated.

Aida

Sent from my iPhone

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

<image002.jpg>

Laura Frazin Steele

Pronouns: She, Her, Hers

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<image012.jpg>

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On Thu, Oct 24, 2024 at 11:11 PM Samira Kermani <samira@kermanilaw.com> wrote:

Dear Ms. Frazin-Steele,

I am a resident of West Hills and an interested party in the above-captioned case re Woodlake Ave development.

Please email me a copy of the Mitigated Negative Declaration (“MND”) as soon as available.

I would appreciate a return email confirming this request has been received and the MND will be forwarded.

Thank you.

Regards,

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Attorney | Real Estate Broker

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Fri, Nov 15, 2024 at 10:01 AM

Samira Kermani <samira@kermanilaw.com>

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <charwhnc@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Nasrin940@gmail.com" <Nasrin940@gmail.com>, "Racerwedge@gmail.com" <Racerwedge@gmail.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>

Dear Ms. Frazin-Steele,

We are following up on our emails below dated Wed, Nov 13, 2024 at 3:20 PM which follows up on older emails, and also our email dated Thu, Oct 24, 2024 at 11:11 PM.

Please kindly provide the information previously requested.

Thank you in advance for your anticipated courtesy in this matter.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

<https://www.kermanilaw.com/testimonials>

<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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Notice Regarding Electronic Service - Pursuant to Code of Civil Procedure section 1010.6(e) [formerly California Rules of Court, Appendix 1, Emergency Rule 12], we are serving all pleadings, discovery, and motions concerning this case electronically. Please advise immediately if you have any objection to electronic service and the basis for your

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Van Nuys, CA 91401

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[Quoted text hidden]

[Quoted text hidden]

Ron Zarkesh <ron.zarkesh@gmail.com>

Sun, Nov 17, 2024 at 10:11 PM

To: laura.frazinsteede@lacity.org

Cc: samira@kermanilaw.com, thornebirds@hotmail.com, lindaglasscock4321@gmail.com, pcon33@yahoo.com, cbaker514@aol.com, patty_bolten@yahoo.com, Maryam Zarkesh <mehmar1996@gmail.com>, qmd14@yahoo.com, sandylu93@hotmail.com, dlcornwell7737@gmail.com, gordonmorris20@gmail.com, tina@btmline1040.com, mcrump@mcbainsystems.com, nasrin940@gmail.com, racerwedge@gmail.com, smith4re@sbcglobal.net

Hi Mrs. Steele,

Below is a request from one of my neighbors from your office to provide the requested information multiple times. Transparency and neutrality of your office is of paramount importance to provide the requested information in timely manner.

Thanks,

Ron Zarkesh (Homeowner)

[Quoted text hidden]

Danielle Cornwell <dlcornwell7737@gmail.com>

Mon, Nov 18, 2024 at 6:54 AM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Cc: Samira@kermanilaw.com, thornebirds@hotmail.com, lindaglasscock4321@gmail.com, pcon33@yahoo.com, cbaker514@aol.com, patty_bolten@yahoo.com, Maryam Zarkesh <mehmar1996@gmail.com>, qmd14@yahoo.com, sandylu93@hotmail.com, gordonmorris20@gmail.com, tina@btmline1040.com,

MCrump@mcbainsystems.com, Nasrin940@gmail.com, Racerwedge@gmail.com, smith4RE@sbcglobal.net, ron.zarkesh@gmail.com

Good morning Ms. Steele, following up on our request for information below. Please advise and copy us all as we are eager to review these documents.

We appreciate your immediate attention to this matter.

Danielle Cornwell

On Nov 17, 2024, at 10:11 PM, Ron Zarkesh <ron.zarkesh@gmail.com> wrote:

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteelle@lacity.org>
To: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Mon, Nov 18, 2024 at 7:37 AM

fyi



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CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

----- Forwarded message -----

From: **Danielle Cornwell** <dlcornwell7737@gmail.com>

Date: Mon, Nov 18, 2024 at 6:54 AM

Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

[Quoted text hidden]

[Quoted text hidden]

Scott Randall <qmd14@yahoo.com>

Mon, Nov 18, 2024 at 8:55 AM

To: "laura.frazinsteel@lacity.org" <laura.frazinsteel@lacity.org>

Cc: "samira@kermanilaw.com" <samira@kermanilaw.com>, "thornebirds@hotmail.com" <thornebirds@hotmail.com>, "lindaglasscock4321@gmail.com" <lindaglasscock4321@gmail.com>, "pcon33@yahoo.com" <pcon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, "sandylu93@hotmail.com" <sandylu93@hotmail.com>, "dlcornwell7737@gmail.com" <dlcornwell7737@gmail.com>, "gordonmorris20@gmail.com" <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "mcrump@mcbainsystems.com" <mcrump@mcbainsystems.com>, "nasrin940@gmail.com" <nasrin940@gmail.com>, "racerwedge@gmail.com" <racerwedge@gmail.com>, "smith4re@sbcglobal.net" <smith4re@sbcglobal.net>

Dear Laura,

I am following up on a previous email, see below, in regards to questions about - ADM-2024-5202-DB-PHP-VHCA. Please reply to this email to update us on this proposal.

Thank you for your time,

Scott Randall
Concerned Home Owner

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Nov 18, 2024 at 8:57 AM

To: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

fyi -



Laura Frazin Steele

Pronouns: She, Her, Hers
City Planner, Project Planning

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11/18/24, 8:57 AM

City of Los Angeles Mail - RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

----- Forwarded message -----

From: **Scott Randall** <qmd14@yahoo.com>

Date: Mon, Nov 18, 2024 at 8:55 AM

Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

[Quoted text hidden]

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Urgent RE: Case ADM-2024-5202-DB-PHP-VHCA

3 messages

Scott Randall <qmd14@yahoo.com>

Sun, Dec 15, 2024 at 6:23 PM

To: Vince Bertoni <vince.bertoni@lacity.org>, Laura Frazin-Steele <laura.frazinstelee@lacity.org>, Trevor Martin <trevor.martin@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Dear LA City,

We have done some research and found information below here on the said property. Did your office research and review this information? Book: 51703 Page 343-349

This subdivision is governed by Covenants and Restrictions that from what I can tell requires a 66 and 2/3% vote of change by the residents that are in this subdivision. Pulling the title report for this land, I went through all the back-up documents for the development of this subdivision. The lot in question is part of the subdivision. The title report incorporates and refers to the Declaration of Establishment of General Plan of Covenants and Restrictions Book 51703 Page 343 Paragraph 1 (a) states the following:

1. (a) All of said lots shall be known and described as residential lots. None of said lots shall be used for any purpose other than for private dwellings, and no structure shall be placed, erected, altered, maintained or permitted to remain on any thereof other than one detached single family dwelling house, not to exceed one story in height, a private garage for not more than two cars (either attached there to or detached and separate therefrom) and other customary, necessary and appurtenant out buildings.

Paragraph (c) goes on to state:

(c) It is expressly declared that the use for a public boarding house, lodging house, sanatorium, hospital, asylum or anything which is or may become a nuisance to the neighborhood is excluded from "residential" as used in Paragraph 1, but nothing herein shall be deemed to exclude from said definition any appurtenant private garage, servants' quarters or other customary appurtenant out-building or structure.

Paragraph 13 on Page 345 references that if the majority of lots within the tract have been recorded with the County Recorder in said County that any changes to the covenants require a 66 and 2/3% majority vote of owners in said tract.

I would like to know how the current property owner can change the development of this property without a 66 and 2/3% majority vote from the owners in the said established tract. I do not see it recorded that this has been approved by a 66 and 2/3% majority.

How is the current owner by-stepping the General Plan of Covenants and Restrictions for this property?

I need a response to this to clarify,

Scott Randall
818.227.6835

Flora Melendez <flora.melendez@lacity.org>

Mon, Dec 16, 2024 at 7:30 AM

To: Blake Lamb <blake.lamb@lacity.org>

Cc: Laura Frazin-Steele <laura.frazinstele@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Lisa Webber <lisa.webber@lacity.org>

Hello.

I'm forwarding an email received by Vince and staff.

Thank you.



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N, Woodlake Ave, West Hills

2 messages

Senthil Arun <senthil.arunachalam@gmail.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Sat, Oct 26, 2024 at 12:44 PM

Respected Madam,

I am writing to express my concern about the proposed housing development in our community. The proposed project includes 300+ low-income houses with 5-7 stories, without proper parking and schools and hospitals nearby. As a member of this community, I am deeply concerned about the safety and economic impact this development could have. Firstly, the lack of proper parking facilities with such a large number of houses will undoubtedly cause chaos and traffic congestion on our streets. This would pose a significant safety risk, especially during emergency situations. Furthermore, the inadequate number of schools and hospitals nearby could lead to overcrowding of existing facilities, affecting the quality of education and healthcare services. Secondly, the potential negative impact on home property values in our area is another significant concern. A large development with low-income housing could potentially attract individuals who are less affluent and have lower financial capabilities. This could have a negative impact on the overall perception of our community and the value of our homes. Furthermore, it could lead to a rise in crime rates in the area. Therefore, I urge the city officials to take these concerns seriously and evaluate the proposed development carefully. We must ensure that any residential development that is built in our city aligns with the city's growth plans and meets the needs of our community in terms of safety and economic development. Thank you for your attention to this matter. I would appreciate a response from the city officials on the next steps.

Thanks
Senthil A

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Senthil Arun <senthil.arunachalam@gmail.com>

Mon, Oct 28, 2024 at 8:12 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

Currently, the case file is on hold. Planning is waiting for the applicant to submit required materials.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Development at 7556 N. Woodlake Avenue, West Hills

2 messages

Sherry Lopata <sherry_lopata@hotmail.com>

Wed, Nov 20, 2024 at 8:36 PM

To: "Laura.frazinsteel@lacity.org" <Laura.frazinsteel@lacity.org>, "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "councilmember.blumenfield@lacity.org" <councilmember.blumenfield@lacity.org>
Cc: "karen.bass@lacity.org" <karen.bass@lacity.org>, "senator.stern@senate.ca.gov" <senator.stern@senate.ca.gov>

RE: Case #ADM-2024-5202-DB-PHP-VHCAProperty located at [7556 N. Woodlake Avenue, West Hills](#)

To Ms. Laura Frazin-Steele, City Planner
and others whom it may concern,

As a long-time West Hills resident, I am concerned with the overcrowding of my single-family home community. Over the years, I have been involved in many issues concerning my neighborhood. I was part of the renaming of a portion of Canoga Park to become West Hills. I later went to zoning meetings in Van Nuys regarding the property behind the Canoga Park Mission (now Malibu Wines) when someone tried to build low-income apartments on Woodlake, which it was not zoned for. I was happy the developers compromised and instead, built single-family homes south of Sherman Way on Woodlake.

Now it is happening again. The property at Saticoy and Woodlake, known as Circle S Ranch, is being exploited for top dollar attainable for owners who do not care about our community. Do these owners even live in this state? Someone is trying to shove a large development into a quiet, family neighborhood where it does not fit. It will create a traffic nightmare. That intersection is already a traffic hazard because the Woodlake easement was never expanded to allow for a traffic signal.

I am unhappy with the changes that have gone on locally in recent years. When my son was younger, I used to tell him he would be able walk to Chaminade High School from our home. When he got to High School a few years ago, it was no longer safe to walk there. When I explained to him that things had changed. There were now homeless people on his route, some mentally unstable. I couldn't guarantee he would be safe. He asked, "*Why do we live here then?*"

I answered that it wasn't always like this. I was hopeful it would go back to being a safe community. Resources are still in short supply and the problems have continued. Police are spread thin. I have called 911 when I have seen a fire or trespassers at my local elementary school and gotten no answer.

Speaking of schools, I am a public school teacher. I care about children and their safety. Apartment buildings are not to be built next to schools. Chaminade owns the property across the street from Circle S Ranch. Chaminade has had plans to expand their school many years before the Circle S property was up for development. Chaminade has been a part of the community for decades and is sensitive to the community's needs. Circle S is not.

This type of dense housing doesn't belong here. Many other types of development would fit. The environment and community will be impacted by traffic, utilities and sewers, safety and insufficient police

and fire resources.

Please reconsider these current dense housing plans. Invite neighbors and the community to participate in the planning. Do not push an unwelcome presence into this neighborhood.

Thank you,

Sherry Lopata
22950 Gault St.
West Hills, CA 91307
818-438-2503

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Sherry Lopata <sherry_lopata@hotmail.com>

Thu, Nov 21, 2024 at 5:38 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see here.

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 Woodlake ave, West Hills Development Concerns

2 messages

SHIRIN AFSHAR <afsharshirin@aol.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:20 PM

Hi,
Please take into account the impact this development will have on the people living in this community. We already face a lack of street parking, and adding a 600+ resident structure will overwhelm the neighborhood and put my family at risk as they walk to Chaminade. Traffic is already a major issue, and it appears there is no provision for visitor parking, with only 150 spaces planned for the entire building. This is completely unreasonable. I urge you to reconsider or scale back this project. My neighbors and I are pleading for your help.

Thank you

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: SHIRIN AFSHAR <afsharshirin@aol.com>

Mon, Oct 21, 2024 at 10:21 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Re: Case #ADM-2024-5202-DA-PHP-VHCA

2 messages

Shirley Parker <shirley.parker@pacbell.net>
 Reply-To: Shirley Parker <shirley.parker@pacbell.net>
 To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Sat, Oct 19, 2024 at 1:02 PM

Re: Case #ADM-2024-5202-DA-PHP-VHCA
 Property located at [7556 N. Woodlake Avenue, West Hills](#)

The following points need to be considered because this project will be detrimental to the community:

1. This huge development project is inappropriately planned next to single family homes (SFRs).
2. The location is not on a transit corridor.
3. There are no stores or a post office within walking distance, let alone for senior citizens.
4. The existing West Hills hospital, recently taken over by UCLA, is small (260 beds) and already overcrowded.
5. Traffic from the existing Chaminade High School (1,272 students plus faculty and staff) is already a major headache for residents to deal with, along with the unwelcome noise.
6. In addition, Chaminade is already on schedule to build a football field at the NW corner of Saticoy and Woodlake. This is diagonal to the proposed development at the demolished Circle S Ranch at the SE corner.
7. Fairwinds, an existing retirement community at Woodlake and Roscoe will be impacted. LAFD paramedics make frequent trips between Fairwinds and the hospital via Woodlake. It is currently the safest and fastest route for them. This is not to disregard the need for Fire responses to Fairwinds if the current equipment is out on a previous call.
8. The US post office is small and already has limited parking. It cannot handle additional customers, particularly those who disregard the Do Not Enter sign at the Exit and refuse to use the proper Entrance. It is already a head-on collision waiting to happen right now.
9. People aged 55+ do not automatically stop driving! They need off-street parking to match the number of planned apartments which means the project has to be seriously scaled down, even to fewer than the proposed 154 parking spaces. Otherwise the overflow of cars looking to park on neighboring streets will be a nightmare.
10. This proposed development is foolish and poorly considered. It will impact the quality of life, not just for immediate neighbors but for everyone within a one-mile radius and beyond. A large percentage of residents in West Hills use the Saticoy-Woodlake intersection on a daily basis.

Submitted by Shirley Ann Parker, a West Hills resident.

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
 To: Shirley Parker <shirley.parker@pacbell.net>

Mon, Oct 21, 2024 at 11:52 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org





Laura Frazin-Steele <laura.frazinsteede@lacity.org>

CASE: #ADM-2024-5202-DB-PHP-VHCA,7556 N. Woodlake Ave, West Hills

4 messages

Stacy GMAIL <stacytilliss@gmail.com>

Sat, Nov 2, 2024 at 8:26 AM

To: laura.frazinsteede@lacity.org, dan.rosales@lacity.org, councilmember.lee@lacity.org

Cc: HUBBY David Tilliss <davidtilliss@gmail.com>

Stacy and David Tilliss
23250 Ingomar Street
West Hills, Ca 91304

11/02/2024

Laura Frazen-Steel
City Planner

Dear Ms. Frazen Steel,

We are writing to express our deep concerns regarding the proposed low-income, high-rise apartment project planned for Woodlake Avenue, specifically at the intersection of Ingomar Street and Woodlake Avenue, within our community of West Hills.

While we recognize the need for affordable housing solutions, we believe that this project is not appropriate for our neighborhood and would result in significant safety hazards and economic losses for residents.

Having lived in West Hills for over 30 years, we take great pride in our community and have a vested interest in ensuring its continued well-being. We continue to live in the West Hills Community.

Recently, our adult daughter and son-in-law purchased a home in this neighborhood. We want to ensure that the next generation can enjoy the same sense of community, security, and stability that we have cherished over the years. My sister and brother-in-law also have lived in the West Hills community for over 35 years.

The introduction of this high-density project in a small, already congested area will create numerous challenges, including:

1. **Traffic Gridlock and Accidents:** The increased traffic from a high-rise complex will exacerbate congestion on our narrow streets. Woodlake Avenue and the surrounding areas are not designed to accommodate the volume of cars and activity such a project will bring, increasing the risk of traffic accidents and gridlock.
2. **Street Size and Parking Issues:** Ingomar Street and Woodlake Avenue are already struggling with limited parking. A development of this size will overwhelm our streets, making it difficult for residents to park and navigate safely, particularly during peak hours.
3. **Economic and Property Value Impact:** A project of this nature may negatively affect property values in the area, leading to financial hardship for homeowners. Preserving the character and economic stability of our community is a priority for us, and we fear this development could jeopardize both.

We urge you to reconsider the location of this high-rise project. There may be alternative areas in the city that are better equipped to handle such a development, without compromising the quality of life in a long-established, tight-knit neighborhood like ours.

We are committed to the growth and betterment of West Hills, but not at the expense of safety, community values, or economic stability. We hope that you will take our concerns seriously and work with us to find a more suitable solution for affordable housing that does not disrupt our neighborhood.

Thank you for your time and attention to this matter. We look forward to hearing from you and are happy to discuss these concerns further at your convenience.

Sincerely,
Stacy and David Tilliss
23250 Ingomar Street
West Hills, Ca 91304
818-915-8504

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Nov 4, 2024 at 8:44 AM

To: stacytilliss@gmail.com

Cc: HUBBY David Tilliss <davidtilliss@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
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[Quoted text hidden]

Stacy Gmail <stacytilliss@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteelle@lacity.org>
Cc: HUBBY David Tilliss <davidtilliss@gmail.com>

Tue, Nov 5,

I would like to know if this project is similar to the one in the below post. This is very worrisome.



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

update on Petition location, Deadlines at City Planner

2 messages

Samira Kermani <samira@kermanilaw.com>

Tue, Oct 22, 2024 at 12:15 PM

To: Char Rothstein <charwhnc@gmail.com>, billrose <billrose@parkregency.com>, Penny Newmark <pennyfirst@sbcglobal.net>, "aida.abkarians@westhillsnc.org" <aida.abkarians@westhillsnc.org>
Cc: Susan Bradshaw <susanbradshaw585@gmail.com>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "mehmar1996@gmail.com" <mehmar1996@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "howeeman365@gmail.com" <howeeman365@gmail.com>, Laura Frazin-Steele <laura.frazinsteede@lacity.org>, Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, KLF Assistant <assistant@kermanilaw.com>

Dear Char and everyone at WHNC,

Hope this finds you well.

Thank you for all of your work on behalf of West Hills.

My understanding is the soil at the Woodlake & Saticoy project may be contaminated with nuclear waste and/or valley fever as are nearby lots. I've spoken with a class action attorney handling similar lawsuit nearby, the cancer and damages are not good.

I believe that dangerous soil contamination must be ruled out, by not just the builder's lab, but a lab that home owners would retain as well as their own dedicated expert.

Testing must be done as part of the permit process, prior to breaking ground or the developer and owner may see any profits potentially wiped out by legal expenses, especially if cancer ensues in babies, children that's faster than in adults.

I spoke with Laura Frazin-Steele, City Planner. She stated that her office has not received any petitions, and the 1,000 signatures that were collected, regarding Circle S Woodlake property development.

Dear Char, can you please advise:

1. **Contact information** of the person to whom you delivered the approximately 1,000 signatures that were collected, that you mentioned in your letter dated 10/17/24 (attached)?
2. Did you deliver it by hand or by email? perhaps you can share the email.

3. What are **all City deadlines in this matter that WHNC is aware of**, please? City said they must remain neutral and to ask the WHNC. Please kindly share with us.

Thank you.

Regards,

Samira Kermani, Esq.

Attorney | Real Estate Broker

KERMANI LAW FIRM

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Fax: 310-861-5251

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 **24-10.17 WHNC LTR TO CITY PLANNING ..pdf**
1056K

Char Rothstein <charwhnc@gmail.com>

Tue, Oct 22, 2024 at 3:19 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: billrose <billrose@parkregency.com>, Penny Newmark <pennyfirst@sbcglobal.net>, ":aida.abkarians@westhillsnc.org" <aida.abkarians@westhillsnc.org>, Susan Bradshaw <susanbradshaw585@gmail.com>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "mehmar1996@gmail.com" <mehmar1996@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "howeeman365@gmail.com" <howeeman365@gmail.com>, Laura Frazin-Steele <laura.frazinsteele@lacity.org>, Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, KLF Assistant <assistant@kermanilaw.com>

Hi Samira,

Thank you for your email.

City Planning and Laura Frazin-Steele are aware that we are in the process of copying the petition/document and will be mailing it directly to Laura.

The city requested a hard copy due to the large size of the file.

I believe the copying is due to be completed today and will be mailed shortly thereafter.

There will be additional copies that we will present to officials in the matter of the SW 2024-2025 Community Plan, CHIP and other Ordinances that could affect our single family neighborhoods and our community as a whole.

Currently, there is no timeline for the Woodlake Apts/Circle S decision because the city is waiting for requested additional documents from the developer.

As soon as we have an update, we will notify the community.

In the meantime, it is very important for as many in the community as possible to email comments to Laura.

Your comments on soil contamination are important to send to her. If you spoke to Laura regarding this issue, it is important to get it written into the file for the Director of Planning as he is the decision maker on this case.

laura.frazinsteel@lacity.org

We will continue to send information to the city that will support the community of West Hills.

Best regards,
Char

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Councilman Lee is opposed to Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

4 messages

Samira Kermani <samira@kermanilaw.com>

Tue, Nov 19, 2024 at 8:28 AM

To: "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "dan.rosales@lacity.org" <dan.rosales@lacity.org>, Laura Frazin-Steele <laura.frazinstelee@lacity.org>, "vince.Bertoni@lacity.org" <vince.Bertoni@lacity.org>
Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Aida Abkarians <aida.abkarians@westhillsnc.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "Pat Conley (PCON33@Yahoo.com)" <PCON33@yahoo.com>, "Chris Baker (cbaker514@aol.com)" <cbaker514@aol.com>, "Patty Bolten (patty_bolten@yahoo.com)" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall CPA (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, "Danielle Cornwell (dlcornwell7737@gmail.com)" <dlcornwell7737@gmail.com>, "Gordon Morris (gordonmorris20@gmail.com)" <gordonmorris20@gmail.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>, "Karen Goodwin - Woodlake (KGoodwin@ExactStaff.com)" <KGoodwin@exactstaff.com>, "melissaFares007@gmail.com" <melissaFares007@gmail.com>

Dear Councilman Lee, Mr. Rosales, Mr. Bertoni, Ms. Frazin-Steele,

As West Hills community of homeowners and stakeholders, we wholeheartedly thank Councilman Lee for announcing on November 14, 2024, to our WHNC that you are opposed to the affordable senior housing project proposed at [7556 N. Woodlake Avenue, West Hills](#), in connection with the above captioned City Planning case.

We learned of Councilman Lee's opposition in WHNC's report of their meeting with Councilman Lee, in WHNC's email below.

Councilman Lee, again, we thank you for your opposition after your in depth review of the case and evidence presented.

As your constituents, we respectfully request that you formally reiterate your opposition in writing to City Planning, especially since City Planning is making its decision **this December 6, 2024**. Time is of the essence for your public written announcement. We would appreciate a copy of your letter.

Dear Mr. Bertoni and Ms. Frazin-Steele,

In making your decision on this project, we respectfully request that you take into consideration the safety and structural deficiencies summarized in WHNC's email below, relevant portions of which are copied and pasted herein. Some of said issues would cause irreparable harm and injury to life and limb as well as to real property, which would then in turn expose the builder, and others, to liability as proximate cause of harm. We thank you in advance for your anticipated courtesy in watching out for our safety and are happy to provide a personal tour of the affected premises to you before you make your decision.

Copied:

*We discussed at length and left behind a large packet with copies of the petitions against the proposed project (petition signatures include [change.org](https://www.change.org)—close to 2,000 signatures in total with online signatures counted) and information circulating on social media as well as press coverage. **Bottom line, the apartment project is not an appropriate development for our single-family home neighborhoods. John Lee's position is that he is opposed to the project.***

*Further discussions covered **safety issues such as the inability to evacuate all the residents (close to 800) in emergency situations; inadequate entrance/exits to apartment complex with cars and pedestrians because of street traffic; fire engines will not be able to manage the narrow streets especially during morning and afternoons with Chaminade school traffic; no sidewalks; 4-way stop will back up traffic in all four directions; both Saticoy and Woodlake are not sufficiently wide enough for sidewalks and traffic.** Safety issues are especially important because this project is for seniors. There are **no grocery stores or shopping businesses conveniently located close to the apartment complex.***

*The project **plans do not include appropriate set backs to allow for widening the roads.** Because the property sits on a hill and is so close to the streets, large, thick retaining walls will need to be in place. We left **photos of the alleyways (entrances from Royer and Quimby) on the plans and both alleyways are far too narrow to be used as roadways for access to and leaving the property with complete disruption of backyards and garages from bordering homes.** The property has **drainage problems, during the rainy season water rushes down the alleyway entered from Quimby.** If the apartment is hooked up to the **existing sewer (again Quimby entrance) this will cause potential problems with neighbors' homes that are steps away from the sewer line.** There are wide gates at the former Circle S Ranch property lines that can clearly be seen in the photos.*

In addition, attached is WHNC's previously submitted letter dated October 17, 2024 stating grounds in opposition to the project.

Ms. Steele, we'd greatly appreciate a response to questions we emailed you these past few weeks, receipt of which emails you have acknowledged.

Thank you all again for taking the time to read WHNC's concerns which we all share.

We look forward to Mr. Lee's written statement of opposition.

Regards,

Samira Kermani, Esq.

KERMANI LAW FIRM

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From: Penny Newmark <pennyfirst@sbcglobal.net>

Sent: Monday, November 18, 2024 7:40 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: Charlene Rothstein <charwhnc@gmail.com>; Aida Abkarians <aida.abkarians@westhillsnc.org>; LINDA THORNE

<thornebirds@hotmail.com>; Linda Glasscock <lindaglasscock4321@gmail.com>; Pat Conley (PCON33@Yahoo.com) <PCON33@Yahoo.com>; Chris Baker (cbaker514@aol.com) <cbaker514@aol.com>; Patty Bolten (patty_bolten@yahoo.com) <patty_bolten@yahoo.com>; Maryam Zarkesh <mehmar1996@gmail.com>; Ron Zarkesh <ron.zarkesh@gmail.com>; Scott Randall (QMD14@yahoo.com) <QMD14@yahoo.com>; Sandy Randall CPA (SandyLu93@hotmail.com) <SandyLu93@hotmail.com>; Danielle Cornwell (dlcornwell7737@gmail.com) <dlcornwell7737@gmail.com>; Gordon Morris (gordonmorris20@gmail.com) <gordonmorris20@gmail.com>; MCrump@Mcbainsystems.com; Max_Cather@yahoo.com; smith4RE@sbcglobal.net

Subject: Re: how did meeting with Councilman Lee go - 7556 N. Woodlake , West Hills

Importance: High

Samira,

Char has asked me to bring you up-to-date about our last Thursday's meeting at Councilmember John Lee's office. We met with Dan Rosales, Planning Director and Josh Yeager, Legislative Director for quite sometime and foremost in our discussions was the proposed Woodlake Apartments project. Meeting discussions are not posted online because of the extensive information covered.

We discussed at length and left behind a large packet with copies of the petitions against the proposed project (petition signatures include [change.org](https://www.change.org)—close to 2,000 signatures in total with online signatures counted) and information circulating on social media as well as press coverage. Bottom line, the apartment project is not an appropriate development for our single-family home neighborhoods. John Lee's position is that he is opposed to the project.

Further discussions covered safety issues such as the inability to evacuate all the residents (close to 800) in emergency situations; inadequate entrance/exits to apartment complex with cars and pedestrians because of street traffic; fire engines will not be able to manage the narrow streets especially during morning and afternoons with Chaminade school traffic; no sidewalks; 4-way stop will back up traffic in all four directions; both Saticoy and Woodlake are not sufficiently wide enough for sidewalks and traffic. Safety issues are especially important because this project is for seniors. There are no grocery stores or shopping businesses conveniently located close to the apartment complex.

The project plans do not include appropriate set backs to allow for widening the roads. Because the property sits on a hill and is so close to the streets, large, thick retaining walls will need to be in place. We left photos of the alleyways (entrances from Royer and Quimby) on the plans and both alleyways are far too narrow to be used as roadways for access to and leaving the property with complete disruption of backyards and garages from bordering homes. The property has drainage problems, during the rainy season water rushes down the alleyway entered from Quimby. If the apartment is hooked up to the existing sewer (again Quimby entrance) this will cause potential problems with neighbors' homes that are steps away from the sewer line. There are wide gates at the former Circle S Ranch property lines that can clearly be seen in the photos.

The ADM at the beginning of the case filing stands for Administrative Application that can move faster than discretionary applications. Therefore, it does not require a formal public hearing or environmental analysis. This is a new kind of development process in response to the housing mandates from the State legislature and not how developments have been handled in the past. Because of this assigned application status, the project is CEQUA exempt, no traffic study required, etc. As you know a final decision will be made by City Planning issuing a Letter of Compliance, and per Laura's email, their review will be completed no later than 12/06/24. The developer/architect (one and the same) could miss a deadline because of an incomplete application. In searching online, I found that this has happened to him in the past. The unprecedented push for affordable housing dictated by Sacramento and cowed to by the City of LA can make the entire system more than frustrating.

Please see the attached October 17, 2024 WHNC letter opposing the proposed Woodlake Apts project. This letter as well as information on the Woodlake Apts project and other issues relevant to the community are posted on the Zoning & Planning Committee page.

Again, we appreciate and thank the community for uniting together to stop this multi-story apartment complex from being built in our West Hills single-family neighborhoods. WHNC is in full support of your efforts. Please continue to urge those who have not done so, to send their comments to Laura Frazin-Steele at City Planning.

Best regards,

Penny Newmark

url6715881c57a50

PDF Document · 4.9 MB

On Nov 18, 2024, at 3:17 PM, Samira Kermani <samira@kermanilaw.com> wrote:

Dear Char,

Nice seeing you at the WHNC last week. at the meeting, you mentioned that WHNC would be meeting with Councilman Lee on 11/14/24 to discuss the proposed apartment project on Woodlake in West Hills. I had asked if you might be able to post a summary of the meeting online at WHNC's website. I did not notice a memo.

Is there a link to your memo, and/or can you please update us and tell us what did Mr. Lee say?

Please kindly update us.

Thank you in advance for your time.

Samira Kermani



24-10.17 WHNC LTR TO LA CITY PLANNING OPPOSING WOODLAKE..pdf
4767K



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

Samira Kermani <samira@kermanilaw.com>

Tue, Dec 3, 2024 at 12:00 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Cc: "vince.Bertoni@lacity.org" <vince.Bertoni@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "Pat Conley (PCON33@Yahoo.com)" <PCON33@yahoo.com>, "Chris Baker (cbaker514@aol.com)" <cbaker514@aol.com>, "Patty Bolten (patty_bolten@yahoo.com)" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, Scott Randall <QMD14@yahoo.com>, Sandy Randall <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, "Gordon Morris (gordonmorris20@gmail.com)" <gordonmorris20@gmail.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>, "Karen Goodwin - Woodlake (KGoodwin@ExactStaff.com)" <KGoodwin@exactstaff.com>

Ms. Frazin-Steele,

Please respond to our questions and requests for information.

You have ignored every single request for several months.

Items from 11/8/24 email that we are following up on today:

When we spoke on the phone on October 18, 2024, you indicated that as a neutral party, you are not allowed to disclose the file deadlines but that a review of the physical file would reveal deadlines. Our group of property owners reviewed the file on 10/28/24 and found no mention of deadlines. Deadlines are public information. We are not aware of any basis for declining to disclose the deadlines in this file and would greatly appreciate your assistance. **Please advise on any and all dates, including deadlines and upcoming dates for meetings and/or due dates on this file.**

We found no new application despite the fact that the original Application submitted on 8/15/24 was stamped "Superseded." **Please provide a copy of the newly submitted Application and any new documents submitted by the owner/builder/architect to the City to date.**

In email dated October 18, 2024 (below), I had inquired as to **why** is the File not available online at this case is not available online at <https://planning.lacity.gov/> . To date, we have received no response. Please let us know why this file is not available online at <https://planning.lacity.gov/> , and **when will the Case file be made available online?**

We continue to hereby respectfully request the following by December 6, 2024:

1. City Planner place an electronic copy of the files in this matter online for public access, including the correspondence between the City and Architect/builder;
2. Advise any deadlines in this file;
3. Provide an electronic copy of the updated Application and City's response thereto;
4. Provide a copy of the Mitigated Negative Declaration ("MND"), if none exists please provide the due date for same.
5. Advise why this file will not be online, if the City Planner will not put it online.
6. Advise the grounds why the deadlines are not public information that can be provided to area homeowners.

Please kindly advise your availability for an in person meeting with our homeowners group copied here for the week of December 9, 2024.

Samira Kermani, Esq.

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<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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From: Laura Frazin-Steele <laura.frazinsteelle@lacity.org>

Sent: Tuesday, December 3, 2024 10:32 AM

To: Samira Kermani <samira@kermanilaw.com>

Cc: vince.Bertoni@lacity.org; LINDA THORNE <thornebirds@hotmail.com>; Linda Glasscock <lindaglasscock4321@gmail.com>; Pat Conley (PCON33@Yahoo.com) <PCON33@yahoo.com>; Chris Baker (cbaker514@aol.com) <cbaker514@aol.com>; Patty Bolten (patty_bolten@yahoo.com) <patty_bolten@yahoo.com>; Maryam Zarkesh <mehmar1996@gmail.com>; Ron Zarkesh <ron.zarkesh@gmail.com>; Scott Randall <QMD14@yahoo.com>; Sandy Randall <SandyLu93@hotmail.com>; Danielle Cornwell <dlcornwell7737@gmail.com>; Gordon Morris (gordonmorris20@gmail.com) <gordonmorris20@gmail.com>; MCrump@MCbainsystems.com; Max_Cather@yahoo.com; smith4RE@sbcglobal.net; Karen Goodwin - Woodlake (KGoodwin@ExactStaff.com) <KGoodwin@exactstaff.com>

Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - [7556 N. Woodlake Avenue, West Hills](#)

Thank you for your email to Vince Bertoni, which was forwarded to me.

Your comments are received.



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

20 messages

Samira Kermani <samira@kermanilaw.com>

Thu, Oct 24, 2024 at 11:11 PM

To: Laura Frazin-Steele <laura.frazinstelee@lacity.org>, "trevor.martin@lacity.org" <trevor.martin@lacity.org>

Cc: LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>,

"PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "QMD14@yahoo.com"

<QMD14@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano

<cmmsoriano88@gmail.com>

Dear Ms. Frazin-Steele,

I am a resident of West Hills and an interested party in the above-captioned case re Woodlake Ave development.

Please email me a copy of the Mitigated Negative Declaration ("MND") as soon as available.

I would appreciate a return email confirming this request has been received and the MND will be forwarded.

Thank you.

Regards,

Samira Kermani, Esq.

Attorney | Real Estate Broker

KERMANI LAW FIRM

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Fax: 310-861-5251

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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 28, 2024 at 8:37 AM

To: Samira Kermani <samira@kermanilaw.com>

Cc: "trevor.martin@lacity.org" <trevor.martin@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "QMD14@yahoo.com" <QMD14@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>

Good Morning,
Your request is received.



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]

Samira Kermani <samira@kermanilaw.com>

Mon, Oct 28, 2024 at 10:20 AM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Cc: "trevor.martin@lacity.org" <trevor.martin@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "QMD14@yahoo.com" <QMD14@yahoo.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, "SandyLu93@hotmail.com" <SandyLu93@hotmail.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>

Good morning Ms. Frazin-Steele,

Please advise ETA on forwarding a copy of the Mitigated Negative Declaration ("MND").

Thank you.

Samira Kermani, Esq.

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: "trevor.martin@lacity.org" <trevor.martin@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>

Dear Ms. Frazin-Steele,

As a West Hills property owner, I'm following up on my email below and I have additional questions.

When we spoke on the phone on October 18, 2024, you indicated that as a neutral party you are not allowed to disclose the file deadlines but that a review of the physical file would reveal deadlines. Our group of property owners has reviewed the file and found no mention of deadlines.

The matter of deadlines, and this file, being public information, I am not aware of any basis for declining to disclose the deadlines in the file and would greatly appreciate your assistance.

We found no new application despite the fact that the original Application submitted on 8/15/24 was stamped "Superseded."

We found no correspondence, including any emails, whatsoever between the City and the builder/architect or owner.

I had inquired as to "why" is the File not available online like all others. No response received.

We hereby respectfully request the following by November 15, 2024:

1. City Planner place an electronic copy of the files in this matter online for public access, including the correspondence between the City and Architect/builder;
2. Advise any deadlines in this file;
3. Provide an electronic copy of the updated Application and City's response thereto;
4. Provide a copy of the Mitigated Negative Declaration ("MND"), if none exists please provide the due date for same.
5. Advise why this file will not be online, if the City Planner will not put it online.
6. Advise the grounds why the deadlines are not public information that can be provided to area homeowners.

Please kindly advise your availability for an in person meeting with myself and a small number of homeowners copied here the week of November 11, 2024.

Thank you and have a great weekend.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

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<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Wed, Nov 13, 2024 at 2:50 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>

Bcc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>

Good Afternoon,

Your email dated 11/8/2024 is received.

I am confirming correspondence between the City of Los Angeles Planning Department to the project owner/applicant/representative, and am also confirming that correspondence is located in Case File No. ADM-2024-5202-DB-PHP-VHCA as follows: (1) a "Status of Project Review: Development Inconsistent / Application Incomplete and Case Processing on Hold" letter emailed to the project owner/applicant/representative on 9/4/2024 ("9/4/2024 letter"); and (2) a "Second Status of Project Review: Development Inconsistent / Application Incomplete and Case Processing on Hold" letter emailed to the project owner/applicant/representative on 10/21/2024 ("10/21/2024 letter"). The 9/4/2024 and 10/21/2024 letters were made publicly available and accessible to you on 10/28/2024. Further, the entirety of Case File No. ADM-2024-5202-DB-PHP-VHCA was made publicly available and accessible to you on 10/28/2024. I am attaching a copy of the 9/4/2024 and 10/21/2024 letters to this email.

Thank you.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]

2 attachments

Status of Project Review 9.4.24.pdf
895K

Second Status of Project Review 10.21.24.pdf
319K

Samira Kermani <samira@kermanilaw.com>

Wed, Nov 13, 2024 at 3:20 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>, "vince.Bertoni@lacity.org" <vince.Bertoni@lacity.org>, "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "dan.rosales@lacity.org" <dan.rosales@lacity.org>, Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <charwhnc@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>

Cc: LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Nasrin940@gmail.com" <Nasrin940@gmail.com>, "Racerwedge@gmail.com" <Racerwedge@gmail.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>

Dear Ms. Frazin-Steele,

Thank you for your email. I have copied WHNC here.

I am following up on my email below dated 11/8/24, regarding outstanding items that were not addressed in your email.

Items from 11/8/24 email that we are following up on:

When we spoke on the phone on October 18, 2024, you indicated that as a neutral party you are not allowed to disclose the file deadlines but that a review of the physical file would reveal deadlines. Our group of property owners has reviewed the file and found no mention of deadlines. The issue of deadlines is public information, we are not aware of any basis for declining to disclose the deadlines in the file and would greatly appreciate your assistance. **Please advise on**

any and all dates, including deadlines and upcoming dates for meetings and/or due dates on this file.

We found no new application despite the fact that the original Application submitted on 8/15/24 was stamped "Superseded." **Please provide a copy of the newly submitted Application and any new documents submitted by the owner/builder/architect to the City to date.**

In email dated October 18, 2024 (copy attached), I had inquired as to **why** is the File not available online at this case is not available online at <https://planning.lacity.gov/> . To date, we have received no response.

Please let us know why this file is not available online at <https://planning.lacity.gov/> , and **when will the file be available online?**

We continue to hereby respectfully request the following by November 15, 2024:

1. City Planner place an electronic copy of the files in this matter online for public access, including the correspondence between the City and Architect/builder;
2. Advise any deadlines in this file;
3. Provide an electronic copy of the updated Application and City's response thereto;
4. Provide a copy of the Mitigated Negative Declaration ("MND"), if none exists please provide the due date for same.
5. Advise why this file will not be online, if the City Planner will not put it online.
6. Advise the grounds why the deadlines are not public information that can be provided to area homeowners.

Please kindly advise your availability for an in person meeting with myself and a small number of homeowners copied here the week of November 11, 2024.

Thank you.

Samira Kermani, Esq.

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310-475-3400

<https://www.kermanilaw.com/testimonials>

<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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----- Forwarded message -----

From: Samira Kermani <samira@kermanilaw.com>

To: "planning.recordsmgmt@lacity.org" <planning.recordsmgmt@lacity.org>

Cc:

Bcc:

Date: Fri, 18 Oct 2024 22:48:41 +0000

Subject: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

Hello,

I would like to make an appointment to for an in-depth review of all filings related to Case #ADM-2024-5202-DB-PHP-VHCA - [7556 N. Woodlake Avenue, West Hills](#).

Also, this case is NOT available online at <https://planning.lacity.gov/pdiscaseinfo/search/case/ADM-2024-5202-DB-PHP-VHCA>

Please email back or call 310-488-7870 to schedule the appointment.

Thank you in advance.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

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From: Samira Kermani <samira@kermanilaw.com>

To: "planning.recordsmgmt@lacity.org" <planning.recordsmgmt@lacity.org>

Cc:

Bcc:

Date: Fri, 18 Oct 2024 22:48:41 +0000

From: Samira Kermani
Sent: Friday, October 18, 2024 3:39 PM
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>
Subject: RE: Case #ADM-2024-5202-DB-PHP-VHCA - [7556 N. Woodlake Avenue, West Hills](#)

Dear Ms. Frazin-Steele,

Are you able to inquire with your associates to see who, if anyone, has received this Petition, or any such petitions?

Thank you for your email.

Have a great restful weekend.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

<https://www.kermanilaw.com/testimonials>

<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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From: Laura Frazin-Steele <laura.frazinsteede@lacity.org>
Sent: Friday, October 18, 2024 3:31 PM
To: Samira Kermani <samira@kermanilaw.com>
Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

Thank you for your phone call and your email.

Your name and email address has been added to the interested parties list for Case No. ADM-2024-5202-DB-PHP-VHCA.

To view the case file, please contact our Records Management linked here: [Planning Services | Los Angeles City Planning \(lacity.gov\)](#) Scroll down on the page and click the + next to "Records Management."

I hope this information helps.

Enjoy your weekend.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

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On Fri, Oct 18, 2024 at 2:30 PM Samira Kermani <samira@kermanilaw.com> wrote:

Dear Ms. Frazin Steele,

Pleasure speaking on the telephone with you just now regarding Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.

Per our call, would you please kindly add me to the list of Interested Persons to receive notifications regarding this matter at Samira@KermaniLaw.com

Per our call, I'd like to take an in depth look at the entire file for this matter, please advise on how this may be arranged.

As discussed, I have heard that about a month ago, a West Hills homeowner collected approximately 1,000 signatures on a Petition against this development and that it was submitted to WHNC to be submitted to the City. Thank you for letting me know that you have not received this Petition.

Are you able to inquire with your associates to see who, if anyone, has received this Petition, or any such petitions?

I'll forward my written concerns and comments to you regarding this Case, for review by the decision maker Vince Bertoni, under separate cover.

Thank you for your kind attention to this mater.

Regards,

Samira Kermani, Esq.

Attorney | Real Estate Broker

KERMANI LAW FIRM

REAL ESTATE LITIGATION & TRANSACTIONS

Main: 310-475-3400

Fax: 310-861-5251

<https://www.kermanilaw.com/testimonials>

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<http://realestateblog.kermanilaw.com/>

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5 attachments

-  **Out of the Office RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills.eml**
35K
-  **REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.eml**
11K
-  **REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.eml**
15K
-  **Re: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills.eml**
34K

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I hope this information helps.

Enjoy your weekend.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

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Regards,

Samira Kermani, Esq.

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5 attachments

 **Out of the Office RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills.eml**
35K

From: Laura Frazin-Steele <laura.frazinsteel@lacity.org>
Sent: Friday, October 18, 2024 3:31 PM
To: Samira Kermani <samira@kermanilaw.com>
Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

Thank you for your phone call and your email.

Your name and email address has been added to the interested parties list for Case No. ADM-2024-5202-DB-PHP-VHCA.

To view the case file, please contact our Records Management linked here: [Planning Services | Los Angeles City Planning \(lacity.gov\)](#) Scroll down on the page and click the + next to "Records Management."

I hope this information helps.

Enjoy your weekend.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

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Per our call, would you please kindly add me to the list of [Interested Persons](#) to receive notifications regarding this matter at Samira@KermaniLaw.com

550 5.1.1 <https://support.google.com/mail/?p=NoSuchUser> 00721157ae682-6ee4442ca08sor21051737b3.14 - gsmt
Last-Attempt-Date: Thu, 14 Nov 2024 16:36:29 -0800 (PST)

----- Forwarded message -----

From: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

To: Samira Kermani <samira@kermanilaw.com>

Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <charwhnc@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Nasrin940@gmail.com" <Nasrin940@gmail.com>, "Racerwedge@gmail.com" <Racerwedge@gmail.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>

Bcc:

Date: Thu, 14 Nov 2024 16:35:52 -0800

Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

----- Message truncated -----

Samira Kermani <samira@kermanilaw.com>

Fri, Nov 15, 2024 at 10:01 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <charwhnc@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, "Scott Randall (QMD14@yahoo.com)" <QMD14@yahoo.com>, "Sandy Randall (SandyLu93@hotmail.com)" <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Nasrin940@gmail.com" <Nasrin940@gmail.com>, "Racerwedge@gmail.com" <Racerwedge@gmail.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>

Dear Ms. Frazin-Steele,

We are following up on our emails below dated Wed, Nov 13, 2024 at 3:20 PM which follows up on older emails, and also our email dated Thu, Oct 24, 2024 at 11:11 PM.

Please kindly provide the information previously requested.

Thank you in advance for your anticipated courtesy in this matter.

Samira Kermani, Esq.

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310-475-3400

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From: Laura Frazin-Steele <laura.frazinsteel@lacity.org>
Sent: Thursday, November 14, 2024 4:36 PM
To: Samira Kermani <samira@kermanilaw.com>
Cc: Penny Newmark <pennyfirst@sbcglobal.net>; Charlene Rothstein <charwhnc@gmail.com>; Aida Abkarians <aida.abkarians@westhillsnc.org>; LINDA THORNE <thornebirds@hotmail.com>; Linda Glasscock <lindaglasscock4321@gmail.com>; PCon33@yahoo.com; cbaker514@aol.com; chilesBarican@gmail.com; Chris Soriano <cmmsoriano88@gmail.com>; patty_bolten@yahoo.com; Maryam Zarkesh <mehmar1996@gmail.com>; Ron Zarkesh <ron.zarkesh@gmail.com>; Scott Randall (QMD14@yahoo.com) <QMD14@yahoo.com>; Sandy Randall (SandyLu93@hotmail.com) <SandyLu93@hotmail.com>; Danielle Cornwell <dlcornwell7737@gmail.com>; Gordon Morris <gordonmorris20@gmail.com>; tina@btmline1040.com; MCrump@MCbainsystems.com; Nasrin940@gmail.com; Racerwedge@gmail.com; Max_Cather@yahoo.com; smith4RE@sbcglobal.net
Subject: Re: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

Received, thank you.

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org

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On Wed, Nov 13, 2024 at 3:20 PM Samira Kermani <samira@kermanilaw.com> wrote:

[Quoted text hidden]

[Quoted text hidden]

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org

[Quoted text hidden]

[Quoted text hidden]

Ron Zarkesh <ron.zarkesh@gmail.com>

Sun, Nov 17, 2024 at 10:11 PM

To: laura.frazinsteede@lacity.org

Cc: samira@kermanilaw.com, thornebirds@hotmail.com, lindaglasscock4321@gmail.com, pcon33@yahoo.com, cbaker514@aol.com, patty_bolten@yahoo.com, Maryam Zarkesh <mehmar1996@gmail.com>, qmd14@yahoo.com, sandylu93@hotmail.com, dlcornwell7737@gmail.com, gordonmorris20@gmail.com, tina@btmline1040.com, mcrump@mcbainsystems.com, nasrin940@gmail.com, racerwedge@gmail.com, smith4re@sbcglobal.net

Hi Mrs. Steele,

Below is a request from one of my neighbors from your office to provide the requested information multiple times. Transparency and neutrality of your office is of paramount importance to provide the requested information in timely manner.

Thanks,

Ron Zarkesh (Homeowner)

[Quoted text hidden]

Danielle Cornwell <dlcornwell7737@gmail.com>

Mon, Nov 18, 2024 at 6:54 AM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Cc: Samira@kermanilaw.com, thornebirds@hotmail.com, lindaglasscock4321@gmail.com, pcon33@yahoo.com, cbaker514@aol.com, patty_bolten@yahoo.com, Maryam Zarkesh <mehmar1996@gmail.com>, qmd14@yahoo.com, sandylu93@hotmail.com, gordonmorris20@gmail.com, tina@btmline1040.com, MCrump@mcbainsystems.com, Nasrin940@gmail.com, Racerwedge@gmail.com, smith4RE@sbcglobal.net, ron.zarkesh@gmail.com

Good morning Ms. Steele, following up on our request for information below. Please advise and copy us all as we are eager to review these documents.

We appreciate your immediate attention to this matter.

Danielle Cornwell



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA - MND Report - 7556 N. Woodlake Avenue, West Hills

3 messages

Max Cather <max_cather@yahoo.com>

Sun, Nov 17, 2024 at 7:38 PM

To: "laura.frazinstelee@lacity.org" <laura.frazinstelee@lacity.org>

Cc: Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <charwhnc@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, Scott Randall <QMD14@yahoo.com>, Sandy Randall <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Nasrin940@gmail.com" <Nasrin940@gmail.com>, "Racerwedge@gmail.com" <Racerwedge@gmail.com>, "Max_Cather@yahoo.com" <Max_Cather@yahoo.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>

Please provide the previously requested information. Thank you.

Terry Max Cather, Homeowner

Items from 11/8/24 email that we are following up on:

When we spoke on the phone on October 18, 2024, you indicated that as a neutral party you are not allowed to disclose the file deadlines but that a review of the physical file would reveal deadlines. Our group of property owners has reviewed the file and found no mention of deadlines. The issue of deadlines is public information, we are not aware of any basis for declining to disclose the deadlines in the file and would greatly appreciate your assistance. **Please advise on any and all dates, including deadlines and upcoming dates for meetings and/or due dates on this file.**

We found no new application despite the fact that the original Application submitted on 8/15/24 was stamped "Superseded." **Please provide a copy of the newly submitted Application and any new documents submitted by the owner/builder/architect to the City to date.**

In email dated October 18, 2024 (copy attached), I had inquired as to **why** is the File not available online at this case is not available online at <https://planning.lacity.gov/> . To date, we have received no response. Please let us know why this file is not available online at <https://planning.lacity.gov/> , and **when will the file be available online?**

We continue to hereby respectfully request the following by November 15, 2024:

1. City Planner place an electronic copy of the files in this matter online for public access, including the correspondence between the City and Architect/builder;
2. Advise any deadlines in this file;
3. Provide an electronic copy of the updated Application and City's response thereto;
4. Provide a copy of the Mitigated Negative Declaration ("MND"), if none exists please provide the due date for same.
5. Advise why this file will not be online, if the City Planner will not put it online.

6. Advise the grounds why the deadlines are not public information that can be provided to area homeowners.

Please kindly advise your availability for an in person meeting with myself and a small number of homeowners copied here the week of November 11, 2024.

Thank you.

Samira Kermani, Esq.
KERMANI LAW FIRM
310-475-3400

Nasrin Sharifee <nasrin940@gmail.com> Mon, Nov 18, 2024 at 6:25 AM
To: Max Cather <max_cather@yahoo.com>
Cc: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>, Penny Newmark <pennyfirst@sbcglobal.net>, Charlene Rothstein <charwhnc@gmail.com>, Aida Abkarians <aida.abkarians@westhillsnc.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>, "PCon33@yahoo.com" <PCon33@yahoo.com>, "cbaker514@aol.com" <cbaker514@aol.com>, "chilesBarican@gmail.com" <chilesBarican@gmail.com>, Chris Soriano <cmmsoriano88@gmail.com>, "patty_bolten@yahoo.com" <patty_bolten@yahoo.com>, Maryam Zarkesh <mehmar1996@gmail.com>, Ron Zarkesh <ron.zarkesh@gmail.com>, Scott Randall <QMD14@yahoo.com>, Sandy Randall <SandyLu93@hotmail.com>, Danielle Cornwell <dlcornwell7737@gmail.com>, Gordon Morris <gordonmorris20@gmail.com>, "tina@btmline1040.com" <tina@btmline1040.com>, "MCrump@MCbainsystems.com" <MCrump@mcbainsystems.com>, "Racerwedge@gmail.com" <Racerwedge@gmail.com>, "smith4RE@sbcglobal.net" <smith4RE@sbcglobal.net>

Hi MsSteele,
We are following up, please advise. Thank you

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org> Mon, Nov 18, 2024 at 7:38 AM
To: Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

fyi



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinstelee@lacity.org>

FW: Linda Glasscock shared "STOP WOODLAKE HIGHRISE APARTMENT PROJECT" with you

2 messages

Samira Kermani <samira@kermanilaw.com>

Thu, Oct 24, 2024 at 12:55 PM

To: Laura Frazin-Steele <laura.frazinstelee@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>

Cc: LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>

Dear Ms. Frazin-Steele,

Ms. Linda Glasscock, copied here, requested that I re-forward to you her email sent below on October 22, 2024 where she forwarded the attached letter.

She said she did not receive an email from you confirming receipt.

Would you please kindly confirm receipt of her email and letter.

Thank you.

Samira Kermani, Esq.

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310-475-3400

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From: Linda Glasscock <outlook_0EB7D61024119A82@outlook.com> **On Behalf Of** Linda Glasscock**Sent:** Wednesday, October 16, 2024 11:23 AM**To:** Samira Kermani <samira@kermanilaw.com>**Subject:** Linda Glasscock shared "STOP WOODLAKE HIGHRISE APARTMENT PROJECT" with you

Linda Glasscock shared a file with you Linda Glasscock shared "STOP WOODLAKE HIGHRISE APARTMENT PROJECT" with you



Linda Glasscock shared a file with you

Linda Glasscock shared "STOP WOODLAKE HIGHRISE APARTMENT PROJECT" with you



STOP WOODLAKE HIGHRISE APARTMENT PROJECT.docx

Open



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 **24-10.22 GLASSCOCK LTR TO CITY, LAURA STEELE ..docx**
17K

Laura Frazin-Steele <laura.frazinstele@lacity.org>

Thu, Oct 24, 2024 at 2:09 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, LINDA THORNE <thornebirds@hotmail.com>, Linda Glasscock <lindaglasscock4321@gmail.com>

Hello,

Thank you for forwarding Linda Glasscock's letter to me. I just spoke to her via telephone. I have added this letter to the official case file, and the comments therein are a part of the public record. All comments will be reviewed by our management and the decision-maker.

I have also added Linda Glasscock's name to our interested parties list.

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]

Hi Laura, if the file is with the planner, we have the requester reach out to the planner so they can view it in that office.



Beatrice Pacheco, Chief Clerk
Department of City Planning

T: (213) 847-3732
221 N. Figueroa St., Room 1450
Los Angeles, CA 90012



[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Beatrice Pacheco <beatrice.pacheco@lacity.org>
Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Joey Cruz <joey.cruz@lacity.org>

Mon, Oct 21, 2024 at 10:15 AM

Got, thanks for clarifying. I wasn't aware.



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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Samira Kermani <samira@kermanilaw.com>
Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>
Bcc: Leitha Young <leitha.young@lacity.org>

Mon, Oct 21, 2024 at 12:23 PM

Ms. Kermani,
We can make arrangements for you to view the case file on Monday 10/28/24 at 6262 Van Nuys Boulevard, 2nd Floor, Planning Development Services Center. The case file will be available for you to view for one hour between 1:00 - 2:00 p.m. or between 2:00 - 3:00 p.m. Do either of those times work for you?
If you would like copies, arrangements can be made after your appointment to copy specific pages. There is a fee for copies, and copies may not be available on the same day.
Thank you.



LOS ANGELES
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Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see here.

[Quoted text hidden]

Samira Kermani <samira@kermanilaw.com>

Mon, Oct 21, 2024 at 1:01 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Maryam Zarkesh <mehmar1996@gmail.com>, KLF Assistant <assistant@kermanilaw.com>

Dear Ms. Frazin-Steele,

What is the address and room number, please?

Yes, Monday October 28, 2024, 1-2 pm works for us. However, depending on the size of the file, we may need more than one hour to read the file.

See you soon.

Thank you.

Samira Kermani, Esq.

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310-475-3400

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<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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From: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Sent: Monday, October 21, 2024 12:24 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>; Claudia Rodriguez <claudia.rodriguez@lacity.org>; Blake Lamb <blake.lamb@lacity.org>

Subject: Re: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

Ms. Kermani,

We can make arrangements for you to view the case file on Monday 10/28/24 at [6262 Van Nuys Boulevard, 2nd Floor](#), Planning Development Services Center. The case file will be available for you to view for one hour between 1:00 - 2:00 p.m. or between 2:00 - 3:00 p.m. Do either of those times work for you?

If you would like copies, arrangements can be made after your appointment to copy specific pages. There is a fee for copies, and copies may not be available on the same day.

Thank you.

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | [Planning4LA.org](#)

[Quoted text hidden]

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 1:06 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Maryam Zarkesh <mehmar1996@gmail.com>, KLF Assistant <assistant@kermanilaw.com>

I will send you a calendar invitation.

The address is 6262 Van Nuys Boulevard, 2nd Floor, Planning Development Services Center.

If more than one hour is needed, we will need to make arrangements for you to return on another day.



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | [Planning4LA.org](#)



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]

Samira Kermani <samira@kermanilaw.com>

Mon, Oct 21, 2024 at 1:10 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Maryam Zarkesh <mehmar1996@gmail.com>

Can we please have the appointment be from 1 pm to 3 pm (if needed), to avoid having to return a second day?

How voluminous is the file?

Samira Kermani, Esq.

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From: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Sent: Monday, October 21, 2024 1:07 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>; Claudia Rodriguez <claudia.rodriguez@lacity.org>; Blake Lamb <blake.lamb@lacity.org>; Maryam Zarkesh <mehmar1996@gmail.com>; KLF Assistant <assistant@kermanilaw.com>

Subject: Re: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

I will send you a calendar invitation.

The address is 6262 Van Nuys Boulevard, 2nd Floor, Planning Development Services Center.

If more than one hour is needed, we will need to make arrangements for you to return on another day.

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

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T: (818) 374-9919 | Planning4LA.org

[Quoted text hidden]

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org> Mon, Oct 21, 2024 at 1:36 PM
 To: Samira Kermani <samira@kermanilaw.com>
 Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Maryam Zarkesh <mehmar1996@gmail.com>

I've extended the time to 1:00 - 3:30 p.m. I hope that helps.



Laura Frazin Steele
 Pronouns: She, Her, Hers
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[Quoted text hidden]

Samira Kermani <samira@kermanilaw.com> Mon, Oct 21, 2024 at 3:17 PM
 To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>
 Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Maryam Zarkesh <mehmar1996@gmail.com>

Dear Ms. Frazin-Steele,

We greatly appreciate your courtesy.

Thank you.

Samira Kermani, Esq.

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<https://www.yelp.com/biz/kermani-law-firm-los-angeles>

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From: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Sent: Monday, October 21, 2024 1:37 PM

To: Samira Kermani <samira@kermanilaw.com>

Cc: Giovanni Martirosian <giovanni.martirossian@lacity.org>; Claudia Rodriguez <claudia.rodriguez@lacity.org>; Blake Lamb <blake.lamb@lacity.org>; Maryam Zarkesh <mehmar1996@gmail.com>

Subject: Re: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

I've extended the time to 1:00 - 3:30 p.m. I hope that helps.

Laura Frazin Steele

Pronouns: She, Her, Hers

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Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org

[Quoted text hidden]

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

NOT ACCESSIBLE ONLINE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

1 message

Samira Kermani <samira@kermanilaw.com>

Mon, Oct 21, 2024 at 1:08 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Maryam Zarkesh <mehmar1996@gmail.com>, Samira Kermani <samira@kermanilaw.com>

Dear Ms. Frazin-Steele,

Do you know why Case #ADM-2024-5202-DB-PHP-VHCA (7556 N. Woodlake Avenue, West Hills), is **NOT accessible online**?

Thank you in advance.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

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From: Laura Frazin-Steele <laura.frazinsteede@lacity.org>**Sent:** Monday, October 21, 2024 12:24 PM**To:** Samira Kermani <samira@kermanilaw.com>**Cc:** Giovanni Martirossian <giovanni.martirossian@lacity.org>; Claudia Rodriguez <claudia.rodriguez@lacity.org>; Blake Lamb <blake.lamb@lacity.org>**Subject:** Re: REQUEST TO REVIEW FILE - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

Please email back or call 310-488-7870 to schedule the appointment.

Thank you in advance.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

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Records Management Unit

Los Angeles City Planning

221 N. Figueroa St., Room 1450

Los Angeles, CA 90012

T: (213) 847-3753; F: (213) 269-4127

Office hours:

Monday - Thursday: 8:30 am - 4:00 pm

Friday: 8:30 am - 3:00 pm

Planning4LA.org



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

URGENT, TIME SENSITIVE DEADLINE - FW: Letter of Objection - Case #ADM-2024-5202-DB-PHP-VHCA - 7556 N. Woodlake Avenue, West Hills

2 messages

Samira Kermani <samira@kermanilaw.com>

Mon, Oct 21, 2024 at 5:33 PM

To: "dan.rosales@lacity.org" <dan.rosales@lacity.org>, "Senator.Stern@senate.ca.gov" <Senator.Stern@senate.ca.gov>, "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "Councilmember.Blumenfield@lacity.org" <Councilmember.Blumenfield@lacity.org>

Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Maryam Zarkesh <mehmar1996@gmail.com>, KLF Assistant <assistant@kermanilaw.com>, Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Dear Mr. Rosales,

please kindly forward this email thread and its attachment to the appropriate channels and Mr. Vince Bertoni, given that there may be a deadline on October 22, 2024 pending in this case, and Ms. Laura Frazin-Steele is out of the office until October 23, 2024, per an automated email just received from her email address. Thank you.

Dear Messrs. Stern, Blumenfield, and Lee,

I am copying you on the attached letter correspondence submitted to Laura Frazin-Steele.

Thank you.

Samira Kermani, Esq.

KERMANI LAW FIRM

310-475-3400

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From: Samira Kermani <samira@kermanilaw.com>
Sent: Monday, October 21, 2024 5:22 PM
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>
Cc: Giovanni Martirossian <giovanni.martirossian@lacity.org>; Claudia Rodriguez <claudia.rodriguez@lacity.org>; Blake Lamb <blake.lamb@lacity.org>; Maryam Zarkesh <mehmar1996@gmail.com>; KLF Assistant <assistant@kermanilaw.com>
Subject: Letter of Objection - Case #ADM-2024-5202-DB-PHP-VHCA - [7556 N. Woodlake Avenue, West Hills](#)

Dear Ms. Frazin-Steele,

Please kindly confirm receipt of my attached letter correspondence dated October 21, 2024 regarding the above-captioned matter Case #ADM-2024-5202-DB-PHP-VHCA – 7566-7572 N. Woodlake Avenue, West Hills.

Thank you.

Regards,

Samira Kermani, Esq.

Attorney | Real Estate Broker

KERMANI LAW FIRM

REAL ESTATE LITIGATION & TRANSACTIONS

Main: 310-475-3400

Fax: 310-861-5251

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 **24-10.21 [EXTERNAL] LTR 2 CITY_LAURA FRAZIN-STEELE & XIB- SENT++ .pdf**
474K

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Samira Kermani <samira@kermanilaw.com>
Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>

Wed, Oct 23, 2024 at 11:03 AM

Good Morning,
Thank you for your letter/comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Help Stop Woodlake Saticoy high rise project

1 message

Samira Kermani <samira@kermanilaw.com>
To: "LSKirsch@yahoo.com" <LSKirsch@yahoo.com>
Cc: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Fri, Oct 25, 2024 at 11:05 AM

Hi Lisa,

I've attached a flyer and a list of concerns about the Woodlake Saticoy land.

Please share flyer with neighbors, on windshields, in purse, pass out to West Hills and nearby who may be affected.

Please email Laura Frazin-Steele, City Planner, at laura.frazinsteede@lacity.org (info inside flyer and letter), copy yourself, and feel free to copy me.

This is a serious issue and we need help, soil engineers, lab, land use attorneys to interview. Do you know any land use attorneys who live in West Hills?

Feel free to pass out my email address to anyone who wants to help pass out flyers, attend meetings, etc...

See you soon and Thank you!

Regards,

Samira Kermani, Esq.

Attorney | Real Estate Broker

KERMANI LAW FIRM

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2 attachments



FLYER - [EXTERNAL] STOP WOODLAKE HIGHRISE APARTMENT PROJECT v.12 ++ .pdf
82K



HOMEOWNERS EMAILS TO LAURA FRAZIN-STEELE, CITY PLANNER ..doc.docx
26K

Via email to laura.frazinsteede@lacity.org - 818-374-9919 – COPY YOURSELF, follow up to confirm receipt of your email.

Laura Frazin-Steele - laura.frazinsteede@lacity.org
City Planner, Project Planning
LOS ANGELES CITY PLANNING
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401

**RE: Case #ADM-2024-5202-DB-PHP-VHCA
7566- 7572 Woodlake Ave, West Hills (the “Property”)**

Dear Ms. Frazin-Steele,

I am a homeowner in West Hills, living at _____ .

I am concerned about, and opposed to, the development at 7566 Woodlake, in Case #ADM-2024-5202-DB-PHP-VHCA.

Concerns and Objections

1. **Potentially Nuclear Contaminated Soil, risk of Cancer -** Risk of disturbing soil potentially contaminated with nuclear waste, as is common knowledge that this area and the land are contaminated with nuclear waste. Actually, a few lots are locked and not being built upon for decade for this precise reason. For example, Rocketdyne facility 3 miles from here, the lots on Vanowen and _____ (?) by the Westfield Mall, lots at Corporate Point which was the subject of litigation off Fallbrook and Roscoe. It’s been said nuclear accident spread these particles with a 100 year half-life into the soil of our community.
2. **Valley Fever Fungal Disease in Soil.** - Most of West Hills was horse property. This Woodlake Circle S property had horses on them from the 1920s. There are many feet of horse manure and many rodents lived on it. All the rat droppings and horse feces and urine contaminated the soil with a spore called **coccidiomycosis**, which is a mammalian fungal disease, called Valley Fever and makes people very sick.
3. **Auto Repair Shop located within 150** or so feet of the Circle S Property. **It was a gas station since the 1950s and was there for almost 50 years.** It is my understanding that there were incidents of leaks. The gas pumps were not removed until sometime in the late 1990s to early 2000s. We as a community need to see that our safety is taken very seriously and that extensive soil testing be done.
4. **Inappropriate Location for Project.** The Project has 5 to 7 stories, 332 units, 150 parking spaces, and is inappropriately placed in the middle of, and next door to, one story single family residences in a quiet, quaint and idyllic, residential neighborhood where

most property owners specifically purchased here because of the quiet, small town feel, peace and quiet of the neighborhood. The Project will destroy the style and feel of this neighborhood and deprive us of the quiet enjoyment of our homes. That taking is akin to a taking without just compensation and unacceptable.

5. **Failure to Disclose Within 500 feet of Chaminade High School.**

The Developer has actively falsified their Application by failing to disclose that the Property is located within 500 feet of Chaminade High School.

N/W Saticoy property line by repair shop is 230 ft.

center of Fields Market is 500 feet.

N/W Woodlake property line by repair shop is 230 ft.

N/W Chaminade property line is 470 ft.

center of the home N of that property line is at 500 ft.

6. **The Application failed to check the box (p. 2) for “uses that could release hazardous materials on soil and/or groundwater known to contain radioactive and carcinogenic materials and Valley Fever nearby**

On information and belief, the neighboring cities and areas have nuclear waste contamination and excavating and/or grading the soil to street level has been counter indicated. Moreover, existence of Valley Fever in the soil at the Property is apparently common knowledge by the long-time residents. Not only has disturbing the soil been counter indicated, but class action lawsuits and other lawsuits have been filed in the San Fernando Valley and nearby for soil contamination, including but not limited to radioactive and other carcinogenic toxins, resulting in cancers in individuals living thereon.

To my knowledge, the residents of West Hills, and other residents, have implored the City to put the safety, welfare and health of the people before any profits which the Developer can very well obtain at a different location better suited for the Project. I hereby echo that request.

On further information and belief, the Property was purchased originally by a Church school and because of the soil issue, grading and razing the land to the ground was a very contentious issue.

While the current “By Right” laws encourage affordable housing in California, said projects should not, and must not, come at the expense of the health, welfare and safety of the residents that live within the vicinity of West Hills.

I implore, and strongly encourage, the Los Angeles City Planner’s Office to consider developments that will not jeopardize the health and safety of the currently taxpayer residents and homeowners.

The Developer should be held to the strictest standard here, given the totality of the circumstances, including but not limited to the risk of cancer and Valley Fever from well documented environmental contamination in the soils in this or nearby lands, and not allowed to disturb the carcinogenic elements so as to not cause life threatening hazards to the residents of not only West Hills, but beyond in the San Fernando Valley in Los Angeles.

7. **The Application failed to disclose that there are related City Planning Cases** such as the Chaminade High School project just across the street, pending at this time.

8. **5 to 7 story, 332 units, 150 parking spaces, will cause several problems, including, but not limited to the following:**
 - a. The Project building will tower over existing one story single family residences, destroy the privacy, calm, and quiet enjoyment of neighboring occupants and beyond. It is not suitable for this location;

 - b. The density does not fit into the existing layout of the neighborhood;

 - c. **150 parking spaces are gravely insufficient** to meet the needs of individuals over 55 who still drive, their caregivers, visiting family, visiting nurses, physical therapists, and other vendors, staff, and services. Where will they all park? There is NO room on the streets. The parking will overflow onto the streets which are, as is, heavily burdened with traffic and parked cars, to the point where Fire Department trucks and Ambulances are well known to get stuck in traffic on Woodlake and Saticoy where there is no traffic light, but a 4-way stop sign.

Even if a traffic light were to be installed, the congestion at this intersection is notorious for being substantially heavy and problematic for emergency and first responders.

Having seniors and disabled individuals (per the Application) living in the Project will likely increase the need for first responders, ambulance and paramedic commute to this Project, thereby worsening the existing traffic congestion and lack of access during school drop off and pick up hours at Chaminade High School.

The current traffic situation is currently often described as a challenging, during student pick up and drop off times, is described as one that will turn into a “nightmare” when the Project is occupied and operational.

With the Project, this area may very well become so congested and undesirable that the drop in property values, environmental contamination, and damages ensuing therefrom, will be the least of the Developer’s concerns.

9. **ENVIRONMENTAL TESTING MUST BE PERFORMED –**

Soil testing and, environmental testing are urgently needed from reputable third party neutrals with a history of reliability and public disclosure of conflict of interest check, including but not limited to nuclear fallout and valley fever. The soil in this area may be affected by the nuclear accidents and projects undertaken nearby.

Since the Developer plans to move the dirt and raze the soil to lower the elevation to street level, or close to it, this is a serious issue that may pose serious life hazards to residents. The nuclear fallout has over 100 year half-life. Nearby cities have filed class action lawsuits for damages including cancer. That is not an acceptable result in our homes here.

10. 100% Senior occupied Permanently and In Perpetuity

Which definition of “Senior” is being used?

We respectfully request the City Planner to impose Covenants, Conditions and Restrictions (“CC&R’s”), and/or demand, and make it a permanent covenant with the land and the Project, that the Property and Project **allow only senior (is it 55 or 62 years and over?) residents permanently and in perpetuity and that said condition not be removable, or negotiable, under any circumstances whatsoever.**

We respectfully request The City to **specify in detail the monetary and other penalties that will be imposed upon the Developer, investors, builder, owner and subsequent owners or transferees should any of said covenants be violated.** Without said penalties, the restrictions would be rather meaningless. Moreover, the cost to the residents to file claims for the violation of said covenants, conditions and restrictions for non-performance would be an undue burden.

Certain developments obtain approval under the guise of “100% senior” housing, only to go on and allow anyone to reside therein after the City has closed its file and moved on. That is not acceptable.

11. Insufficient Public Right of Way – (Application p.3). 1’ on Woodlake and 1’ on Saticoy is insufficient.

12. Actions Requested (Application p.3):

- a. To the extent that the Code Sections from which relief is requested benefit and protect the welfare, safety and health of the residents of West Hills, relief should be denied to this Developer.
- b. Side Yard reductions should be denied, and expanded side yard restrictions should be imposed.

- c. The City to require more than 30% Open Space Restriction.
- d. The City to require a minimum of one normal size, not compact size, parking space per unit, in addition to a substantial percentage per Code for similar sized visitor parking spaces for visitors, staff, nurses, vendors and emergency responders.

13. **Developer Failed to Attach to this Application, a copy of the recorded Covenants, affidavits or easements on the Property.** See page 4, section 5, box is checked “yes” for the existence of such Covenants, affidavit or easements. Nothing is attached.

Questions:

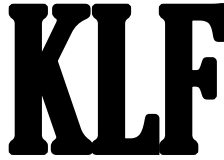
1. Has Developer submitted any impact studies on how the height of 5 to 7 story building with 332 units will impact the aesthetics of Woodlake Ave and this quaint and idyllic West Hills exclusively (except for a modest food market, liquor store and repair shop which are phased out as of January 2025) residential neighborhood?
 - a. If yes, please provide a copy by email to the undersigned.
2. Has Developer submitted any environmental reports? If yes, please provide a copy by email to the undersigned.

Thank you in advance for your kind attention to my concerns.

Sincerely,

J.S.

TELEPHONE: 310-475-3400
FACSMILE: 310-861-5251
www.KERMANILAW.COM



9663 SANTA MONICA BOULEVARD
SUITE 709
BEVERLY HILLS, CA 90210

KERMANI LAW FIRM
ATTORNEYS AT LAW

Author's Email: Samira@KermaniLaw.com

October 21, 2024

Via First Class U.S. Mail and email to laura.frazinsteel@lacity.org

Laura Frazin-Steele
City Planner, Project Planning
LOS ANGELES CITY PLANNING
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401 - 818-374-9919

**RE: Case #ADM-2024-5202-DB-PHP-VHCA
7566- 7572 Woodlake Ave, West Hills (the "Property")**

Dear Ms. Frazin-Steele,

Pursuant to our telephonic conference on October 18, 2024, please allow this letter to serve as my comments, concerns and questions to Mr. Vince Bertoni whom you indicated is the Los Angeles Director of Planning and ultimate decision maker in charge of the above-captioned matter.

I write, in my personal capacity at this time, as the owner of residential property in West Hills, California within a short distance of 7556 N, Woodlake Ave, West Hills (the "Property"), that will be directly impacted by the above-captioned proposed high-rise apartment complex (the "Project").

I have not yet reviewed the case file and reserve the right to supplement this letter.

During our aforementioned conference, you kindly advised that the City Planner's office cannot disclose to me whether there are any deadlines to write this letter and when that deadline may be. As such, please consider this letter timely and kindly allow supplementation after my review of said case file.

Concerns and Objections

1. **Inaccurate Application.** The owner of the Property/builder/developer ("Developer")'s application filed on or about August 15, 2024 (the "Application") has not checked boxes for "ED1 eligible" nor "AB 2097 eligible."

**Laura Frazin-Steele
Los Angeles City Planner**

RE: Case #ADM-2024-5202-DB-PHP-VHCA

Property located at: 7566- 7572 Woodlake Ave, West Hills

October 21, 2024

Page 2 of 6

2. **Inappropriate Location for Project.** The Project has 5 to 7 stories, 332 units, 150 parking spaces, and is inappropriately placed in the middle of, and next door to, one story single family residences in a quiet, quaint and idyllic, residential neighborhood where most property owners specifically purchased here because of the quiet, small town feel, peace and quiet of the neighborhood. The Project will destroy the style and feel of this neighborhood and deprive us of the quiet enjoyment of our homes. That taking is akin to a taking without just compensation and unacceptable.

3. **Failure to Disclose Within 500 feet of Chaminade High School.**

The Developer has actively falsified their Application by failing to disclose that the Property is located within 500 feet of Chaminade High School. Attached as **Exhibit A** is a true and correct copy of a Google Earth map with lines drawn showing distances in feet from the site (**Exhibit A**):

Line 1 the N/W Saticoy property line by repair shop is 230 ft.

Line 2 the center of Fields Market is 500 feet.

Line 3 the N/W Woodlake property line by repair shop is 230 ft.

Line 4 the N/W Chaminade property line is 470 ft.

The center of the home N of that property line is at 500 ft.

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**Laura Frazin-Steele
Los Angeles City Planner**

RE: Case #ADM-2024-5202-DB-PHP-VHCA

Property located at: 7566- 7572 Woodlake Ave, West Hills

October 21, 2024

Page 3 of 6

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Los Angeles City Planner**

RE: Case #ADM-2024-5202-DB-PHP-VHCA

Property located at: 7566- 7572 Woodlake Ave, West Hills

October 21, 2024

Page 4 of 6

park? There is NO room on the streets. The parking will overflow onto the streets which are, as is, heavily burdened with traffic and parked cars, to the point where Fire Department trucks and Ambulances are well known to get stuck in traffic on Woodlake and Saticoy where there is no traffic light, but a 4-way stop sign.

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**Laura Frazin-Steele
Los Angeles City Planner**

RE: Case #ADM-2024-5202-DB-PHP-VHCA

Property located at: 7566- 7572 Woodlake Ave, West Hills

October 21, 2024

Page 5 of 6

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We respectfully request The City to **specify in detail the monetary and other penalties that will be imposed upon the Developer, investors, builder, owner and subsequent owners or transferees should any of said covenants be violated.** Without said penalties, the restrictions would be rather meaningless. Moreover, the cost to the residents to file claims for the violation of said covenants, conditions and restrictions for non-performance would be an undue burden.

Certain developments obtain approval under the guise of “100% senior” housing, only to go on and allow anyone to reside therein after the City has closed its file and moved on. That is not acceptable.

9. **Insufficient Public Right of Way** – (Application p.3). 1’ on Woodlake and 1’ on Saticoy is insufficient.

10. Actions Requested (Application p.3):

- a. To the extent that the Code Sections from which relief is requested benefit and protect the welfare, safety and health of the residents of West Hills, relief should be denied to this Developer.
- b. Side Yard reductions should be denied, and expanded side yard restrictions should be imposed.
- c. The City to require more than 30% Open Space Restriction.
- d. The City to require a minimum of one normal size, not compact size, parking space per unit, in addition to a substantial percentage per Code for similar sized visitor parking spaces for visitors, staff, nurses, vendors and emergency responders.

////

Laura Frazin-Steele
Los Angeles City Planner

RE: Case #ADM-2024-5202-DB-PHP-VHCA

Property located at: 7566- 7572 Woodlake Ave, West Hills

October 21, 2024

Page 6 of 6

11. **Developer Failed to Attach to this Application, a copy of the recorded Covenants, affidavits or easements on the Property.** See page 4, section 5, box is checked "yes" for the existence of such Covenants, affidavit or easements. Nothing is attached.

Questions:

1. Has Developer submitted any impact studies on how the height of 5 to 7 story building with 332 units will impact the aesthetics of Woodlake Ave and this quaint and idyllic West Hills exclusively (except for a modest food market, liquor store and repair shop which are phased out as of January 2025) residential neighborhood?
 - a. If yes, please provide a copy by email to the undersigned.
2. Has Developer submitted any environmental reports? If yes, please provide a copy by email to the undersigned.

Thank you in advance for your kind attention to my personal concerns herein.

This letter is not intended as a complete and final exposition of the facts underlying the instant matter, and should not be taken as such. Nothing contained herein, or omitted herefrom, shall be deemed an admission, limitation, waiver, abridgement, modification, or otherwise effect any of the rights, claims, remedies, or defenses available to me, as property owner, at law or in equity, and each, every and all of the same is hereby expressly reserved. Nothing herein shall constitute a waiver of any of any rights and remedies. To the contrary, such rights and remedies are hereby expressly reserved.

Very truly yours,



Samira Kermani

Enclosure (as stated)

EXHIBIT “A”

STOP WOODLAKE AVE. HIGHRISE APARTMENT PROJECT!!!!

Did you know? A developer is planning to build a **5 to 7 story, 332-unit 100% affordable housing** project with INADEQUATE PARKING, at 7556 Woodlake Ave, West Hills, S/E Saticoy corner. Concerns: **negative impact on our neighborhood, safety, pocket book, and our daily lives.** This was originally the Historical Circle S Ranch property.

PLEASE EMAIL YOUR CONCERNS TODAY to **Laura Frazin-Steele, City Planner, Laura.frazinsteele@lacity.org**. (818-374-9919). Subject Line: **Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills. Deadline approaching fast!!!****

CONCERNS: SAFETY HAZARDS, MONETARY LOSSES

- *Negative impact on our home property values.*
- **Increased traffic gridlock + accidents. Within 300 ft* of Chaminade**
- **Only 150 parking spaces for the 600+ residents expected.**
- **NO visitor parking – WHERE will visitors, residents park? Flooded streets!**
- **Fire Dept. & LAPD not currently outfitted to absorb 600+ people, stuck in traffic on Woodlake & Saticoy how will they get through??**

CONCERN: AVOID ECONOMIC DAMAGES:

We are now paying property taxes. Single family zoning replaced with dense high rise housing on SFR zoning may **decrease our homes values, YET we must still pay the same or higher property taxes.** Lower home values mean tougher refinance and lower sale prices. NOT FAIR!

It is up to us, individual homeowners, to stop this developer, who has already moved forward with obtaining permits.

Chaminade HS planning to build sports complex where Fields Market is currently located on Woodlake Ave. - traffic will be even heavier with student egress/ingress.

Over 1,000 signatures collected on Petition. Let's prevent our neighborhood, safety, assets, and children's safety from being forever changed. **Time is running out.**

www.StopWoodlakeDeveloper.org StopWoodlakeDeveloper@gmail.com



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 Woodlake ave, West Hills Development Concerns

2 messages

safshar5@yahoo.com <safshar5@yahoo.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:23 PM

Hello

Please take into account the impact this development will have on the people living in this community. We already face a lack of street parking, and adding a 600+ resident structure will overwhelm the neighborhood and put my family at risk as they walk to Chaminade. Traffic is already a major issue, and it appears there is no provision for visitor parking, with only 150 spaces planned for the entire building. This is completely unreasonable. I urge you to reconsider or scale back this project. My neighbors and I are pleading for your help.

Thanks

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: safshar5@yahoo.com

Mon, Oct 21, 2024 at 10:20 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Re: CPC-2023-7068-CA

2 messages

Housing Element <housingelement@lacity.org>
To: Scott DeYoung <wscottdeyoung@gmail.com>
Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thu, Oct 3, 2024 at 4:22 PM

Hi Scott,

Apologies for the delay in getting back to you. The project planner for the area where this proposed project is located is Laura Frazin-Steele. I've cc'd her here so that she can record your comments.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Sat, Aug 24, 2024 at 6:45 AM Scott DeYoung <wscottdeyoung@gmail.com> wrote:
Good morning Christine.

Thanks for your response. The address is [7566 Woodlake Avenue, West Hills 91307](#).

Scott

On Thu, Aug 22, 2024 at 1:25 PM Housing Element <housingelement@lacity.org> wrote:
Hi Scott,

Thank you for your email. Case number CPC-2023-7068-CA refers to the Citywide Housing Incentive Program (CHIP) Ordinance, which is a proposed ordinance which will apply citywide once adopted and is part of the [Housing Element Rezoning Program](#). This inbox (housingelement@lacity.org) is currently being used for questions and comments related to the [Housing Element Rezoning Program draft ordinances](#). Could you provide the address of the project you're referring to and I can direct you to the appropriate staff person.

Best,
Christine



Housing Element Staff
Los Angeles City Planning
200 N. Spring St., Room 750
Los Angeles, CA. 90012
Planning4LA.org
T: (213) 978-1302



On Wed, Aug 21, 2024 at 2:11 PM Scott DeYoung <wscottdeyoung@gmail.com> wrote:

It is my understanding that the proposed 324 unit apartment building at Saticoy Street and Woodlake Avenue will only have 180 parking spaces. Since there is no parking on either side of Saticoy west of Woodlake until west of Chaminade High School, no parking on the south side of Saticoy east of Woodlake to the end of the subject property, no parking on either side of Woodlake north of Saticoy up to Ingomar Street, and no parking on the west side of Woodlake to Medical Center Drive and on the east side to the end of the subject property, where are the tenants going to park their cars. In the surrounding neighborhood? A project such as this, which is totally inappropriate for the location, should at least be required to provide two off-street parking spaces for each unit.

Scott DeYoung

Laura Frazin-Steele <laura.frazinsteelle@lacity.org>
Cc: Scott DeYoung <wscottdeyoung@gmail.com>

Mon, Oct 7, 2024 at 9:37 AM

Good Morning Scott,

I believe that you are referencing Case No. ADM-2024-5202-DB-PHP-VHCA located at 7556 N. Woodlake Ave. I am the project planner assigned to this case. Your comments are a part of the public record, and I am adding your name to our interested parties list.

Please be aware that no decision has been made on this case. Currently, the case is on hold while we wait for the applicant to provide required materials. I am not the decision-maker on this case. The decision-maker is the Director of Planning. However, the decision-maker will review all public comments, including yours, prior to making a decision. Please forward any additional comments to me. I am responsible for collecting all comments for the review of the decision-maker.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]

I am a concerned resident of West Hills along with 1000's of neighbors who are against a large Apartment complex proposal for our quiet local single family home neighborhood. The property is Circle S Ranch at [7556 Woodlake Ave. West Hills, CA 91304](#). I have lived in this neighborhood for over 26 years and I know many others that have lived here for much much longer. We moved here years ago to get away from the hustle and bustle of more congested areas. The proposal to put a 5-story 332 unit Apartment with only 154 parking spots [7556 Woodlake Avenue](#) is very unacceptable and does not fit in our single family home neighborhood. Our community consists mainly of 1 story with a handful of 2 story single family homes.

We have had a couple meetings with the West Hills neighborhood Counsel where 100's of neighbors attended to discuss their concerns, and everyone is against this proposal. We have circulated two petitions against this project one with 1056 signatures and another with 650 signatures. This will apartment building will disrupt our nice quiet neighborhood. This apartment proposal will be a extreme eye sore, lower property values, create traffic, parking problems, loud noise, utility issues and lead to more crime because of the large number of people added to our community with a building of this size. There are NO benefits to our small community! There are places for large apartment complexes; they are being built all over California, but not in the middle a quiet neighborhood of single family homes.

The large lot had a beautiful home with a guest home that was built in 1927, was a potential historical landmark, but denied and has recently been torn down. This lot should be used for single family residences (up to 2 stories) which will fit right into our nice quiet neighborhood. There is no need to disrupt our wonderful quiet community. the project is currently in the LA City Planning Department and needs to be stopped.

We are looking for your help to stop this proposal from going forward.

Please email or call me to discuss in further detail.

Thank you for your time,

Scott Randall
818-227-6835

Laura Frazin-Steele <laura.frazinsteel@lacity.org> Thu, Nov 7, 2024 at 4:40 PM
To: Flora Melendez <flora.melendez@lacity.org>
Cc: Claudia Rodriguez <claudia.rodriguez@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Lisa Webber <lisa.webber@lacity.org>

I will respond now. Thank you.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

7556 Woodlake

5 messages

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: qmd14@yahoo.com

Mon, Oct 7, 2024 at 8:01 AM

Good Morning Mr. Randall,

Your email to Vince Bertoni was forwarded to me. I am the project planner processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake. Please address any additional comments to me.

Thank you for your comments.

I have added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

LOS ANGELES
CITY PLANNING

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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Scott Randall <qmd14@yahoo.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 7, 2024 at 8:23 AM

Laura,

What do we need to do as citizens of our small community of West Hills to stop this horrible project from proceeding.

What are you and other representatives for our community doing to fight this project at [7556 Woodlake Ave?](#)

We as citizens need to have a major voice in what happens in our community.

Thank you,

Scott Randall
818.227.68358

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Scott Randall <qmd14@yahoo.com>

Mon, Oct 7, 2024 at 8:42 AM

Hello Scott,

Your comments are noted and are a part of the public record. At this point, the project is on hold, because we are waiting to get additional required information from the applicant.

As the staff person who processes the project, I am not the decision-maker. The decision-maker is the Director of Planning.

All comments in the public record, including your comments, will be reviewed by the decision-maker.

Thank you.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers
City Planner, Project Planning

Los Angeles City Planning

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Van Nuys, CA 91401

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[Quoted text hidden]

Scott Randall <qmd14@yahoo.com>

Mon, Oct 7, 2024 at 9:08 AM

To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Thank you Laura,

Can you email me the name and contact information for the decision-maker.

I appreciate your help,

Scott Randall
818.227.6835

[Quoted text hidden]

Scott Randall <qmd14@yahoo.com>

Mon, Oct 7, 2024 at 3:25 PM

To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Thank you Laura,

Can you email me the name and contact information for the decision-maker.

I appreciate your help,

Scott Randall
818.227.6835

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

7556 Woodlake Ave. West Hills, CA

2 messages

Scott Randall <qmd14@yahoo.com>

Mon, Oct 28, 2024 at 11:36 AM

To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Dear Laura,

I am writing to express my concern and opposition to the proposed high-rise apartment complex planned for construction in our single-family residential neighborhood at [7559 Woodlake Ave.](#) This project poses significant challenges to the character, safety, and sustainability of our community, and I urge you to reconsider its approval. This would have a major negative impact on our community.

Our neighborhood has long been known for its quiet, family-friendly environment, which has fostered a close-knit community of residents who value our shared space. The introduction of a high-rise apartment complex would drastically alter this character. The height and density of this project would be incompatible with the surrounding single-family homes, diminishing the sense of community that we have worked so hard to build. We have lived here for many years and value our privacy.

The addition of a large residential building will inevitably increase traffic in an area not designed for high-density housing. Many streets in our neighborhood are narrow and lack sidewalks, creating potential hazards for pedestrians, especially children and seniors. Additionally, our existing infrastructure—including roads, water, sewage, and waste management—is not equipped to handle the significant increase in population that a high-rise complex would bring. We are requesting that single family residences should be built on this property which would fit into our neighborhood and not impact our current infrastructure.

The introduction of high-density housing may negatively affect property values in our neighborhood. For many residents, their homes represent their most significant investment, and the prospect of decreased property values due to an out-of-scale development is deeply concerning. In speaking to multiple realtors, they all agree that our property values have already started to drop because the possibility of this high-rise project. If approved, property values will drop drastically in the surrounding areas.

While we recognize the need for affordable housing and development, we strongly believe that such growth should be done responsibly and in harmony with existing communities. We urge you to consider alternative locations or modifications to the project to ensure it aligns with the character and needs of our neighborhood meaning Single Family Homes.

In conclusion, we respectfully request that you reconsider the approval of the high-rise apartment complex in our neighborhood. We are eager to work with you to find a solution that benefits both the community and development goals while preserving the unique character of our quiet West Hills neighborhood.

Thank you for considering our concerns and look forward to your response.

Sincerely,

Scott Randall

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 28, 2024 at 12:05 PM

To: Scott Randall <qmd14@yahoo.com>

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Circle S Ranch - 7556 Woodlake Ave. West Hills

2 messages

Scott Randall <qmd14@yahoo.com>

Thu, Nov 7, 2024 at 12:24 PM

To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Dear Mrs. Frazin-Steele,

I am a concerned resident of West Hills along with 1000's of neighbors who are against a large Apartment complex proposal for our quiet local single family home neighborhood. The property is Circle S Ranch at [7556 Woodlake Ave. West Hills](#), CA 91304. I have lived in this neighborhood for over 26 years and I know many others that have lived here for much much longer. We moved here years ago to get away from the hustle and bustle of more congested areas. The proposal to put a 5-story 332 unit Apartment with only 154 parking spots [7556 Woodlake Avenue](#) is very unacceptable and does not fit in our single family home neighborhood. Our community consists mainly of 1 story with a handful of 2 story single family homes.

We have had a couple meetings with the West Hills neighborhood Counsel where 100's of neighbors attended to discuss their concerns, and everyone is against this proposal. We have circulated two petitions against this project one with 1056 signatures and another with 650 signatures. This will apartment building will disrupt our nice quiet neighborhood. This apartment proposal will be a extreme eye sore, lower property values, create traffic, parking problems, loud noise, utility issues and lead to more crime because of the large number of people added to our community with a building of this size. There are NO benefits to our small community! There are places for large apartment complexes; they are being built all over California, but not in the middle a quiet neighborhood of single family homes.

The large lot had a beautiful home with a guest home that was built in 1927, was a potential historical landmark, but denied and has recently been torn down. This lot should be used for single family residences (up to 2 stories) which will fit right into our nice quiet neighborhood. There is no need to disrupt our wonderful quiet community. the project is currently in the LA City Planning Department and needs to be stopped.

We are looking for your help to stop this proposal from going forward.

Please email or call me to discuss in further detail.

Thank you for your time,

Scott Randall
818-227-6835

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Nov 7, 2024 at 12:35 PM

To: Scott Randall <qmd14@yahoo.com>

Hello,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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[Quoted text hidden]

Dear LA City,

We have done some research and found information below here on the said property. Did your office research and review this information? Book: 51703 Page 343-349

This subdivision is governed by Covenants and Restrictions that from what I can tell requires a 66 and 2/3% vote of change by the residents that are in this subdivision. Pulling the title report for this land, I went through all the back-up documents for the development of this subdivision. The lot in question is part of the subdivision. The title report incorporates and refers to the Declaration of Establishment of General Plan of Covenants and Restrictions Book 51703 Page 343 Paragraph 1 (a) states the following:

1. (a) All of said lots shall be known and described as residential lots. None of said lots shall be used for any purpose other than for private dwellings, and no structure shall be placed, erected, altered, maintained or permitted to remain on any thereof other than one detached single family dwelling house, not to exceed one story in height, a private garage for not more than two cars (either attached there to or detached and separate therefrom) and other customary, necessary and appurtenant out buildings.

Paragraph (c) goes on to state:

(c) It is expressly declared that the use for a public boarding house, lodging house, sanatorium, hospital, asylum or anything which is or may become a nuisance to the neighborhood is excluded from "residential" as used in Paragraph 1, but nothing herein shall be deemed to exclude from said definition any appurtenant private garage, servants' quarters or other customary appurtenant out-building or structure.

Paragraph 13 on Page 345 references that if the majority of lots within the tract have been recorded with the County Recorder in said County that any changes to the covenants require a 66 and 2/3% majority vote of owners in said tract.

I would like to know how the current property owner can change the development of this property without a 66 and 2/3% majority vote from the owners in the said established tract. I do not see it recorded that this has been approved by a 66 and 2/3% majority.

How is the current owner by-stepping the General Plan of Covenants and Restrictions for this property?

I need a response to this to clarify,

Scott Randall
818.227.6835

Flora Melendez <flora.melendez@lacity.org>

Mon, Dec 16, 2024 at 7:30 AM

To: Blake Lamb <blake.lamb@lacity.org>

Cc: Laura Frazin-Steele <laura.frazinstele@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>, Lisa Webber <lisa.webber@lacity.org>

Hello.

I'm forwarding an email received by Vince and staff.

Thank you.



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N, Woodlake Ave, West Hills

2 messages

Senthil Arun <senthil.arunachalam@gmail.com>
To: "laura.frazinsteede@lacity.org" <laura.frazinsteede@lacity.org>

Sat, Oct 26, 2024 at 12:44 PM

Respected Madam,

I am writing to express my concern about the proposed housing development in our community. The proposed project includes 300+ low-income houses with 5-7 stories, without proper parking and schools and hospitals nearby. As a member of this community, I am deeply concerned about the safety and economic impact this development could have. Firstly, the lack of proper parking facilities with such a large number of houses will undoubtedly cause chaos and traffic congestion on our streets. This would pose a significant safety risk, especially during emergency situations. Furthermore, the inadequate number of schools and hospitals nearby could lead to overcrowding of existing facilities, affecting the quality of education and healthcare services. Secondly, the potential negative impact on home property values in our area is another significant concern. A large development with low-income housing could potentially attract individuals who are less affluent and have lower financial capabilities. This could have a negative impact on the overall perception of our community and the value of our homes. Furthermore, it could lead to a rise in crime rates in the area. Therefore, I urge the city officials to take these concerns seriously and evaluate the proposed development carefully. We must ensure that any residential development that is built in our city aligns with the city's growth plans and meets the needs of our community in terms of safety and economic development. Thank you for your attention to this matter. I would appreciate a response from the city officials on the next steps.

Thanks
Senthil A

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Senthil Arun <senthil.arunachalam@gmail.com>

Mon, Oct 28, 2024 at 8:12 AM

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

Currently, the case file is on hold. Planning is waiting for the applicant to submit required materials.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Development at 7556 N. Woodlake Avenue, West Hills

2 messages

Sherry Lopata <sherry_lopata@hotmail.com>

Wed, Nov 20, 2024 at 8:36 PM

To: "Laura.frazinsteel@lacity.org" <Laura.frazinsteel@lacity.org>, "Councilmember.Lee@lacity.org" <Councilmember.Lee@lacity.org>, "councilmember.blumenfield@lacity.org" <councilmember.blumenfield@lacity.org>
Cc: "karen.bass@lacity.org" <karen.bass@lacity.org>, "senator.stern@senate.ca.gov" <senator.stern@senate.ca.gov>

RE: Case #ADM-2024-5202-DB-PHP-VHCAProperty located at [7556 N. Woodlake Avenue, West Hills](#)

To Ms. Laura Frazin-Steele, City Planner
and others whom it may concern,

As a long-time West Hills resident, I am concerned with the overcrowding of my single-family home community. Over the years, I have been involved in many issues concerning my neighborhood. I was part of the renaming of a portion of Canoga Park to become West Hills. I later went to zoning meetings in Van Nuys regarding the property behind the Canoga Park Mission (now Malibu Wines) when someone tried to build low-income apartments on Woodlake, which it was not zoned for. I was happy the developers compromised and instead, built single-family homes south of Sherman Way on Woodlake.

Now it is happening again. The property at Saticoy and Woodlake, known as Circle S Ranch, is being exploited for top dollar attainable for owners who do not care about our community. Do these owners even live in this state? Someone is trying to shove a large development into a quiet, family neighborhood where it does not fit. It will create a traffic nightmare. That intersection is already a traffic hazard because the Woodlake easement was never expanded to allow for a traffic signal.

I am unhappy with the changes that have gone on locally in recent years. When my son was younger, I used to tell him he would be able walk to Chaminade High School from our home. When he got to High School a few years ago, it was no longer safe to walk there. When I explained to him that things had changed. There were now homeless people on his route, some mentally unstable. I couldn't guarantee he would be safe. He asked, "*Why do we live here then?*"

I answered that it wasn't always like this. I was hopeful it would go back to being a safe community. Resources are still in short supply and the problems have continued. Police are spread thin. I have called 911 when I have seen a fire or trespassers at my local elementary school and gotten no answer.

Speaking of schools, I am a public school teacher. I care about children and their safety. Apartment buildings are not to be built next to schools. Chaminade owns the property across the street from Circle S Ranch. Chaminade has had plans to expand their school many years before the Circle S property was up for development. Chaminade has been a part of the community for decades and is sensitive to the community's needs. Circle S is not.

This type of dense housing doesn't belong here. Many other types of development would fit. The environment and community will be impacted by traffic, utilities and sewers, safety and insufficient police

and fire resources.

Please reconsider these current dense housing plans. Invite neighbors and the community to participate in the planning. Do not push an unwelcome presence into this neighborhood.

Thank you,

Sherry Lopata
22950 Gault St.
West Hills, CA 91307
818-438-2503

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Sherry Lopata <sherry_lopata@hotmail.com>

Thu, Nov 21, 2024 at 5:38 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see here.

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 Woodlake ave, West Hills Development Concerns

2 messages

SHIRIN AFSHAR <afsharshirin@aol.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:20 PM

Hi,
Please take into account the impact this development will have on the people living in this community. We already face a lack of street parking, and adding a 600+ resident structure will overwhelm the neighborhood and put my family at risk as they walk to Chaminade. Traffic is already a major issue, and it appears there is no provision for visitor parking, with only 150 spaces planned for the entire building. This is completely unreasonable. I urge you to reconsider or scale back this project. My neighbors and I are pleading for your help.

Thank you

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: SHIRIN AFSHAR <afsharshirin@aol.com>

Mon, Oct 21, 2024 at 10:21 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
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T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Re: Case #ADM-2024-5202-DA-PHP-VHCA

2 messages

Shirley Parker <shirley.parker@pacbell.net>
 Reply-To: Shirley Parker <shirley.parker@pacbell.net>
 To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Sat, Oct 19, 2024 at 1:02 PM

Re: Case #ADM-2024-5202-DA-PHP-VHCA
 Property located at [7556 N. Woodlake Avenue, West Hills](#)

The following points need to be considered because this project will be detrimental to the community:

1. This huge development project is inappropriately planned next to single family homes (SFRs).
2. The location is not on a transit corridor.
3. There are no stores or a post office within walking distance, let alone for senior citizens.
4. The existing West Hills hospital, recently taken over by UCLA, is small (260 beds) and already overcrowded.
5. Traffic from the existing Chaminade High School (1,272 students plus faculty and staff) is already a major headache for residents to deal with, along with the unwelcome noise.
6. In addition, Chaminade is already on schedule to build a football field at the NW corner of Saticoy and Woodlake. This is diagonal to the proposed development at the demolished Circle S Ranch at the SE corner.
7. Fairwinds, an existing retirement community at Woodlake and Roscoe will be impacted. LAFD paramedics make frequent trips between Fairwinds and the hospital via Woodlake. It is currently the safest and fastest route for them. This is not to disregard the need for Fire responses to Fairwinds if the current equipment is out on a previous call.
8. The US post office is small and already has limited parking. It cannot handle additional customers, particularly those who disregard the Do Not Enter sign at the Exit and refuse to use the proper Entrance. It is already a head-on collision waiting to happen right now.
9. People aged 55+ do not automatically stop driving! They need off-street parking to match the number of planned apartments which means the project has to be seriously scaled down, even to fewer than the proposed 154 parking spaces. Otherwise the overflow of cars looking to park on neighboring streets will be a nightmare.
10. This proposed development is foolish and poorly considered. It will impact the quality of life, not just for immediate neighbors but for everyone within a one-mile radius and beyond. A large percentage of residents in West Hills use the Saticoy-Woodlake intersection on a daily basis.

Submitted by Shirley Ann Parker, a West Hills resident.

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
 To: Shirley Parker <shirley.parker@pacbell.net>

Mon, Oct 21, 2024 at 11:52 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org





Laura Frazin-Steele <laura.frazinstelee@lacity.org>

CASE: #ADM-2024-5202-DB-PHP-VHCA,7556 N. Woodlake Ave, West Hills

4 messages

Stacy GMAIL <stacytilliss@gmail.com>

Sat, Nov 2, 2024 at 8:26 AM

To: laura.frazinstelee@lacity.org, dan.rosales@lacity.org, councilmember.lee@lacity.org

Cc: HUBBY David Tilliss <davidtilliss@gmail.com>

Stacy and David Tilliss
23250 Ingomar Street
West Hills, Ca 91304

11/02/2024

Laura Frazen-Steel
City Planner

Dear Ms. Frazen Steel,

We are writing to express our deep concerns regarding the proposed low-income, high-rise apartment project planned for Woodlake Avenue, specifically at the intersection of Ingomar Street and Woodlake Avenue, within our community of West Hills.

While we recognize the need for affordable housing solutions, we believe that this project is not appropriate for our neighborhood and would result in significant safety hazards and economic losses for residents.

Having lived in West Hills for over 30 years, we take great pride in our community and have a vested interest in ensuring its continued well-being. We continue to live in the West Hills Community.

Recently, our adult daughter and son-in-law purchased a home in this neighborhood. We want to ensure that the next generation can enjoy the same sense of community, security, and stability that we have cherished over the years. My sister and brother-in-law also have lived in the West Hills community for over 35 years.

The introduction of this high-density project in a small, already congested area will create numerous challenges, including:

1. **Traffic Gridlock and Accidents:** The increased traffic from a high-rise complex will exacerbate congestion on our narrow streets. Woodlake Avenue and the surrounding areas are not designed to accommodate the volume of cars and activity such a project will bring, increasing the risk of traffic accidents and gridlock.
2. **Street Size and Parking Issues:** Ingomar Street and Woodlake Avenue are already struggling with limited parking. A development of this size will overwhelm our streets, making it difficult for residents to park and navigate safely, particularly during peak hours.
3. **Economic and Property Value Impact:** A project of this nature may negatively affect property values in the area, leading to financial hardship for homeowners. Preserving the character and economic stability of our community is a priority for us, and we fear this development could jeopardize both.

We urge you to reconsider the location of this high-rise project. There may be alternative areas in the city that are better equipped to handle such a development, without compromising the quality of life in a long-established, tight-knit neighborhood like ours.

We are committed to the growth and betterment of West Hills, but not at the expense of safety, community values, or economic stability. We hope that you will take our concerns seriously and work with us to find a more suitable solution for affordable housing that does not disrupt our neighborhood.

Thank you for your time and attention to this matter. We look forward to hearing from you and are happy to discuss these concerns further at your convenience.

Sincerely,
Stacy and David Tilliss
23250 Ingomar Street
West Hills, Ca 91304
818-915-8504

Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Mon, Nov 4, 2024 at 8:44 AM

To: stacytilliss@gmail.com

Cc: HUBBY David Tilliss <davidtilliss@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
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[Quoted text hidden]

Stacy Gmail <stacytilliss@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteelle@lacity.org>
Cc: HUBBY David Tilliss <davidtilliss@gmail.com>

Tue, Nov 5,

I would like to know if this project is similar to the one in the below post. This is very worrisome.



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

West Hills housing on Woodlake and Saticoy

2 messages

ellen franklin <ebfranklin10@gmail.com>
To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>
Cc: ellen franklin <ebfranklin10@gmail.com>

Wed, Oct 23, 2024 at 12:03 AM

To all whom this concerns,

It is understood that no matter how many residents nearby that site, we have no say in the matter and I am asking for ground samples proving no toxicity of any kind exists and for that matter to have independent companies come in to verify the city findings.

As a homeowner, we are concerned about more than that. I have personally been trying to acquire a stop light there for 30 years and to no avail.

The danger to the students and residents is unbearable to think of with the addition of vehicles, traffic, and insufficient parking.

We do not wish a high rise building whereupon anyone in that building can look into our homes, park in front of our homes leaving us no parking, the devaluation of our homes, The noise of construction, the filth it will dredge up and it is as if we are being forced out of our homes and the area residents of homes are the ones who will need to sell now.

If you want to purchase my home right away, we will be more than happy to leave knowing what is coming soon which, according to what we are reading should not be happening in a residential and school area.

I am surprised that Chaminade High School has not managed on their own to usurp this disaster. Yes, it will be a disaster.

You are not reading anything you have not see perhaps another thousand emails about and yet we are compelled to send yet another.

Please stop this for the health and safety of all of us who own homes near this property.

We are fearful for our lives now in so many areas that I just touched briefly upon.

The other neighbors believe you are the last bastion of hope to stop this and may you hear our pleas.

Sincerely,
Ellen and Steve Franklin

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: ellen franklin <ebfranklin10@gmail.com>
Cc: ellen franklin <ebfranklin10@gmail.com>

Wed, Oct 23, 2024 at 8:15 AM

Good Morning,

First, I am sorry to hear that you believe I am not reading your comments. All comments are read and all people who comment directly to me receive a response.

Please be aware that this is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. I cannot circumvent State or Municipal regulations (linked above). I cannot buy your home on behalf of the City or install a traffic light. Please see the [City of Los Angeles](#) webpage and start by clicking on 3-1-1 to inquire if you can sell your home to the City. You may want to contact the [Los Angeles Department of Transportation](#) regarding a traffic light.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org

LOS ANGELES
CITY PLANNING



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA; the Proposed Woodlake Apartments

3 messages

Susan Bradshaw <susanbradshaw585@gmail.com>
To: Laura.frazinsteel@lacity.org

Fri, Oct 25, 2024 at 9:07 AM

Hello Laura Frazin-Steele,

My husband and I were able to study the architect's plans (dated 7/8/24) for the proposed apartment building at Woodlake & Saticoy. We are strongly against this being built. We are very familiar with the neighborhood having lived here 35 years.

Here are the reasons we are against it:

1. Shoehorning a 332 unit apartment in the midst of single family homes is putting too many people in too small of a space. There is little infrastructure (such as grocery stores, shops) to support them.
2. It appears this development is planning on augmenting their access driveway by using the currently unpaved, unused public alley right of way (it was used by the Circle S property owners as if it belonged to them) on the south side of the property. We feel this is an inappropriate use of public land.
3. Presently there are paved alleys (used for garage access) to the east and south. The plans seem to show that the apartment driveway will be connected to these 2 very narrow garage alleys that run directly behind homes. If so, this would be dangerous and invasive. These garage alleys often have parked cars & trash cans partially blocking the thoroughfare.
4. 154 parking spaces are inadequate. Apartment residents with cars and no parking spaces will have to park in the neighborhoods and walk in through the alleys day & night. There is no street parking available at the intersection of Woodlake & Saticoy.
5. There is currently no sidewalk on the north and east sides of the property. The south and east sides of the property are basically landlocked. Entering and exiting the property on foot will not be easy for those senior residents whose cars are parked in the neighborhood.
6. Shouldn't there be visitor parking for a 55+ apartment building?
7. The plans say there will be "4 accessible parking spaces". If this means "Handicapped" parking spaces, it doesn't seem like enough for the senior residents.
8. We don't know if it is possible to build an apartment building with only 1 street entrance? This could make it very difficult for the Fire Department, ambulance and EMTs to access this building if that path is blocked. For example a stalled or disabled vehicle attempting to enter/exit one of the extremely narrow parking spots on the building's south side- could block all vehicular access to the complex. (Remember this is supposed to be designated for low income residents that are 55 years and older.)
9. The one street entrance is next to the single family home at 7542 Woodlake. It seems unfair that this homeowner will suddenly be experiencing day & night traffic noise.
10. It also seems unfair that the homes to the south & east side of the property will have 5 stories of apartments with direct views into their windows and backyards.

I urge you to visit:

- The property site
- The surrounding neighborhood with Chaminade Preparatory High School so close
- The 2 garage alleys to the south & east of the property.

The Google earth view and default maps view do not clearly display a full understanding of the situation.

We feel a more appropriate solution would be to subdivide the property and build single family homes or condominiums (1 to 2 stories high) with trees and landscaping to harmonize with the surrounding neighborhood.

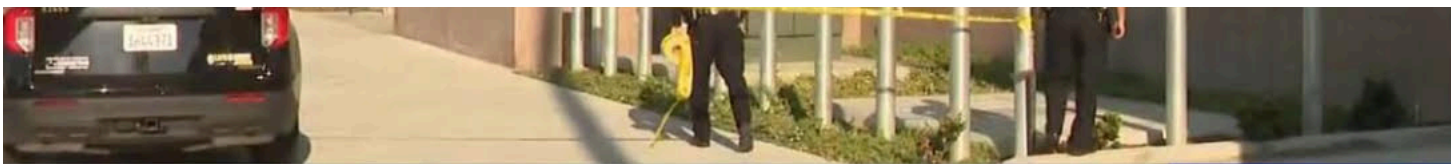


Crimebusters of West Hills and Woodland Hills

Jon Del · 16h ·

The Palm Vista Apartments near the corner of Winnetka and Sherman way opened a litt over a year ago. Since then there has been close to 100 LAPD responses including the death of two twin boys only 3 years old who were exposed to fentanyl by their mother in July. Other calls include stabbings, man wit a gun and many more see the screenshot I\' attached. This is an affordable housing building run by the city of Los Angeles that includes some units for the homeless.





10M ARRESTED IN APPARENT OVERDOSE DEATH OF TODDLER

JUST IN

CURRENTS Santa Clarita 103° ktl.com Pasadena 81° ktl.com San Clemente

LOCATION	RD	CDATE	C.TIME	DISP DATE	TIME	CALL	CALL TYPE	UNIT	CR	ADVO	DISPO	DISPO TYPE
20120 SHERMAN WY	2148	01172024	16:26			3011	303 CHLD	21A73	2	INF	INFORMATION	
20120 SHERMAN WY	2148	10302024	23:06			418MMW	415 MAN ASBL TO WRM	21A73	3	2238	OCCL	OFOR COMPLETED CALL
20120 SHERMAN WY	2148	11122023	04:39			3212	321 TRESPASS SUSP	21A73	0	CCB	CANCELLED BY CALL BACK	
20120 SHERMAN WY	2148	12092023	17:20			303AMB	303 AMB WRM	21A73	0	CTR	CALL TRANSFERRED	
20120 SHERMAN WY	2148	05202022	08:58	05202022	08:58	459	459 INVEST	21A73	0	1157	RPTSN	REPORT SUPV NO
20120 SHERMAN WY	2148	05212022	09:32	05212022	09:32	459	459 INVEST	21A73	0	1157	RPTSN	REPORT SUPV NO
20120 SHERMAN WY	2148	06132022	21:25	06132022	21:25	2455	2455 SUSP	21A29	2	2149	CAN	CANCEL
20120 SHERMAN WY	2148	10192023	13:54	10192023	13:54	242PS	242 POSS SUSP	21A29	2	1430	GOAIN	GONE ON ARRIVAL SUPV NO
20120 SHERMAN WY	2148	10282023	07:19	10282023	07:35	2450	245 DOM VIOL	21A73	2	0811	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	11022023	02:27	11022023	02:31	496A	459 IP	11A99	3	0241	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	11032023	23:08	11032023	23:10	495F	459 IP	21A73	3	2315	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	10282023	07:19	10282023	07:35	2450	245 DOM VIOL	21A73	2	0811	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	11092023	23:13	11092023	23:19	4159M	415 WOMAN	21A29	0	2347	GOAIN	GONE ON ARRIVAL SUPV NO
20120 SHERMAN WY	2148	11172023	17:52	11172023	17:56	24239V	242 SUSP NOW	21A1	2	1810	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	11232023	17:59	11232023	18:34	242D	242 DOM VIOL	21A29	2	1831	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	11292023	09:18	11292023	09:20	4203M	420 DOM VIOL	21A29	2	0920	RPTSN	REPORT SUPV NO
20120 SHERMAN WY	2148	12072023	02:51	12072023	02:52	3011	303 CHLD	21A29	2	0313	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	12132023	19:57	12132023	19:58	4190M	415 MAN WOLUN	21A29	3	2002	GOAIN	GONE ON ARRIVAL SUPV YES
20120 SHERMAN WY	2148	12242023	09:47	12242023	09:50	4203M	420 DOM VIOL R/O	21A73	3	0935	GOAIN	GONE ON ARRIVAL SUPV NO
20120 SHERMAN WY	2148	12272023	09:08	12272023	09:08	242D	242 DOM VIOL	21A73	2	0033	OCCLN	OFOR COMPLETED CALL SUPV YES
20120 SHERMAN WY	2148	12302023	22:58	12302023	23:00	4849M	484 SUSP NOW	21A29	2	2313	OCCLN	OFOR COMPLETED CALL SUPV YES
20120 SHERMAN WY	2148	01302024	09:39	01302024	09:40	4203M	420 MAN/WRM	21A29	2	1037	RPTSN	REPORT SUPV NO
20120 SHERMAN WY	2148	01092024	18:53	01092024	17:10	4595	459 SUSP	21A29	0	1737	RPTSN	REPORT SUPV NO
20120 SHERMAN WY	2148	01102024	14:48	01102024	14:51	242E	242 SUSP	21A29	2	021	CPR	CANCELLED BY PR
20120 SHERMAN WY	2148	02132024	00:30	02132024	00:30	399F	399 FQ HELP	21A73	3	0033	OCCL	OFOR COMPLETED CALL
20120 SHERMAN WY	2148	02272024	10:18	02272024	10:23	459V	459 INVEST	21A29	2	1039	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	02282024	09:29	02282024	09:29	3012M	301 TRESPASS SUSP NOW	21A29	2	0160	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	02292024	20:46	02292024	21:51	4203M	420 MAN/WRM	21A29	0	2234	GOAIN	GONE ON ARRIVAL SUPV NO
20120 SHERMAN WY	2148	03042024	12:01	03042024	12:11	242D	242 DOM VIOL R/O VIOLATION	21A73	3	1215	GOAIN	GONE ON ARRIVAL SUPV NO
20120 SHERMAN WY	2148	03092024	23:21	03092024	23:30	307A2	307 AMB O/D	21A29	2	2136	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	03102024	18:12	03102024	18:39	459V	459 INVEST	21A29	0	2017	FALSN	FALSE ALARM CODE 12 SUPV NO
20120 SHERMAN WY	2148	03112024	09:12	03112024	09:10	3045	304 F & R MRD	20A98	0	0937	CONRS	CORP SUPERVISOR NO
20120 SHERMAN WY	2148	03112024	19:07	03112024	19:30	459V	459 INVEST	21A29	0	1139	COBNN	CANCELLED BY CALL BACK SUPV NO
20120 SHERMAN WY	2148	03122024	09:27	03122024	09:40	459V	459 INVEST	21A73	0	0036	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	03132024	09:36	03132024	09:45	484T3N	484 ATT SUSP NOW	21A29	2	0814	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	03132024	19:39	03132024	19:42	304A	304 AMB	30144	3	1935	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	03132024	18:11	03132024	18:41	4159M	415 WOMAN	21A42	0	1818	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	03222024	21:37	03222024	21:38	242PS	242 POSS SUSP	21A29	2	2150	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	03292024	22:55	03292024	22:56	307A3	307 AMB ATT SUICIDE	21A29	3	2354	OCCLN	OFOR COMPLETED CALL SUPV YES
20120 SHERMAN WY	2148	04022024	12:53	04022024	12:56	3012M	301 TRESPASS SUSP NOW	21A62	2	1304	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	04032024	09:17	04032024	09:18	4956V	459 SUPV PL	21A67	2	0932	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	04042024	15:40	04042024	15:41	4203M	420 WELFARE CHECK	21A48	2	1834	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	04052024	11:45	04052024	11:47	4203M	420 DOM VIOL R/O	21A29	3	1153	GOAIN	GONE ON ARRIVAL SUPV NO
20120 SHERMAN WY	2148	04072024	09:08	04072024	09:21	242F	242 IP	21A5	2	0814	OCCLN	OFOR COMPLETED CALL SUPV NO
20120 SHERMAN WY	2148	04082024	18:16	04082024	18:37	3012M	301 TRESPASS SUSP NOW	21A68	2	2126	GOAIN	GONE ON ARRIVAL SUPV NO
20120 SHERMAN WY	2148	04182024	16:15	04182024	16:18	307A2	307 AMB O/D	21A57	2	1653	ADVSN	AI
20120 SHERMAN WY	2148	04232024	12:12	04232024	12:13	307A2	307 AMB O/D	21A29	2	1215	OCCLN	OC
20120 SHERMAN WY	2148	05172024	18:36	05172024	19:43	206A	206 ABUSE INVEST	21A57	2	2030	RPTD	OC
20120 SHERMAN WY	2148	05182024	03:03	05182024	03:16	4159M	415 WOMAN	21A29	2	0444	GOA	OC
20120 SHERMAN WY	2148	05202024	16:18	05202024	16:30	484B	484 SUSP	21A73	0	1929	GOA	OC
20120 SHERMAN WY	2148	05232024	13:21	05232024	14:37	484I	484 INVEST	21A68	0	1548	OCCL	OC
20120 SHERMAN WY	2148	05252024	13:57	05252024	14:07	420L	420 LANS/OCDTENTANT	21A57	0	1412	OCCL	OC
20120 SHERMAN WY	2148	06062024	15:03	06062024	15:19	420L	420 ROOMMATE	21A29	0	1526	OCCL	OC
20120 SHERMAN WY	2148	06062024	12:06	06062024	12:13	242PS	245 POSS SUSP	21A66	2	1219	OCCL	OC
20120 SHERMAN WY	2148	06092024	16:54	06092024	17:29	420D	420 DOM VIOL	21A68	2	1851	OCCL	OC
20120 SHERMAN WY	2148	06172024	08:40	06172024	08:42	4203M	420 DOM VIOL R/O	21A5	3	0849	OCCL	OC
20120 SHERMAN WY	2148	06272024	02:48	06272024	02:49	300W	303 WRM	21A29	3	0254	OCCL	OC
20120 SHERMAN WY	2148	06282024	09:24	06282024	09:25	3683I	368 ELDERDEPENDENT	21A29	2	1000	RPT	OC
20120 SHERMAN WY	2148	06282024	22:37	06282024	22:39	300W	303 WRM	21A2	3	2245	OCCL	OC
20120 SHERMAN WY	2148	07022024	08:58	07022024	09:00	242D5	242 DOM VIOL SUSP	21A29	2	0911	GOA	OC
20120 SHERMAN WY	2148	07072024	23:30	07072024	23:31	300W	303 WRM	21A29	3	2339	GOA	OC
20120 SHERMAN WY	2148	07112024	11:18	07112024	11:21	307AD	307 AMB O/D	21A29	2	1133	OCCL	OC
20120 SHERMAN WY	2148	07152024	22:16	07152024	22:17	4159M	415 MAN WANNES	21A5	2	2222	OCCL	OC
20120 SHERMAN WY	2148	07172024	02:44	07172024	02:58	459V	459 INVEST	21A29	0	0258	CMP	OC
20120 SHERMAN WY	2148	07202024	16:07	07202024	16:09	420D	420 DISPUTE OTHER	21A29	0	1623	OCCL	OC
20120 SHERMAN WY	2148	07302024	17:58	07302024	18:04	187P	187 POSS	21A29	3	1809	OCCL	OC
20120 SHERMAN WY	2148	07272024	02:15	07272024	02:17	245AK	245 AMB CUTTING	21A57	0	0223	OCCL	OC
20120 SHERMAN WY	2148	08072024	09:04	08072024	09:08	459V	459 SUSP	21A67	0	0912	OCCL	OC
20120 SHERMAN WY	2148	08162024	06:52	08162024	06:57	261AJ	261 AMB J/O	21A73	0	0721	RPTD	OC
20120 SHERMAN WY	2148	08262024	11:50	08262024	12:07	4596N	459 SUSP NOW	21A73	0	1227	OCCL	OC
20120 SHERMAN WY	2148	08122024	23:27	08122024	23:37	3012	301 TRESPASS SUSP	21A29	0	2023	OCCL	OC
20120 SHERMAN WY	2148	08282024	15:07	08282024	15:07	420D	420 DOM VIOL	21A29	2	1516	OCCL	OC
20120 SHERMAN WY	2148	09302024	14:53	09302024	14:57	300	300 UNKNOWN TROUBLE	21A42	3	1458	OCCL	OC
20120 SHERMAN WY	2148	10012024	02:35	10012024	02:36	242PSN	242 POSS SUSP NOW	21A29	2	0330	GOA	OC
20120 SHERMAN WY	2148	10072024	10:11	10072024	10:12	242PS	242 POSS SUSP	21A29	2	1127	OCCL	OC
20120 SHERMAN WY	2148	10062024	09:32	10062024	09:32	1101	110 MAN/OCDTENTANT ACTIVITY	21A29	0	1054	OCCL	OC
20120 SHERMAN WY	2148	10102024	11:21	10102024	12:22	420M	420 MAN/WRM	21A29	2	1235	OCCL	OC
20120 SHERMAN WY	2148	10102024	19:48	10102024	19:48	420M	420 MAN/WRM	21A29	2	1957	OCCL	OC
20120 SHERMAN WY	2148	10142024	10:36	10142024	10:53	420L	420 LANS/OCDTENTANT					

Sincerely,
Susan & Steve Bradshaw
CD 12 residents

Bill Rose <billrose@parkregency.com>
To: Susan Bradshaw <susanbradshaw585@gmail.com>
Cc: Laura.frazinsteel@lacity.org

Fri, Oct 25, 2024 at 9:13 AM

Very well said.
[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Bill Rose <billrose@parkregency.com>
Cc: Susan Bradshaw <susanbradshaw585@gmail.com>

Mon, Oct 28, 2024 at 8:35 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your names to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

#ADM- 2024-5202-DB-PHP-VHCA 7556 Woodlake , west Hills

2 messages

delldrer <delldrer@aol.com>
To: laura.frazinsteede@lacity.org

Tue, Oct 29, 2024 at 12:19 PM

To Ms. Frazin Steele,
I am a resident a few houses down from the circle S Ranch where you have proposed affordable housing. Please, please, do not put in this huge apartment complex in our single-family neighborhood. I have been so distressed about this happening and had just gotten used to the idea of Fields market and the center closing down, I can't imagine construction and traffic and dirt and dust on both corners. We love our neighborhood and I don't want to move because houses are so expensive , where would we move That we could afford???
With the construction at that intersection ambulances will have a hard time getting to UCLA/West Hills emergency room.

Please, please build this tremendous apartment complex where it is more appropriate in the middle of the valley there are so many empty lots near commercial areas or in the middle of other apartment buildings or in warner center.

This location for 324 apts and only half the parking will be a disaster for everyone and these people without cars will not be able to get to stores , supermarkets ,drugstores Etc.

Please, please consider everyone's legitimate concerns.
Thanking you in advance for that your attention to this email.
Very truly yours.

Susan Alper
West hills resident half a block from the old, beautiful Circle S Ranch.

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: delldrer <delldrer@aol.com>

Tue, Oct 29, 2024 at 4:10 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

RE: Case #ADM-2024-5202-DB-PHP-VHCA; the Proposed Woodlake Apartments

5 messages

Susan Bradshaw <susanbradshaw585@gmail.com>
To: Laura.frazinsteel@lacity.org

Fri, Oct 25, 2024 at 9:07 AM

Hello Laura Frazin-Steele,

My husband and I were able to study the architect's plans (dated 7/8/24) for the proposed apartment building at Woodlake & Saticoy. We are strongly against this being built. We are very familiar with the neighborhood having lived here 35 years.

Here are the reasons we are against it:

1. Shoehorning a 332 unit apartment in the midst of single family homes is putting too many people in too small of a space. There is little infrastructure (such as grocery stores, shops) to support them.
2. It appears this development is planning on augmenting their access driveway by using the currently unpaved, unused public alley right of way (it was used by the Circle S property owners as if it belonged to them) on the south side of the property. We feel this is an inappropriate use of public land.
3. Presently there are paved alleys (used for garage access) to the east and south. The plans seem to show that the apartment driveway will be connected to these 2 very narrow garage alleys that run directly behind homes. If so, this would be dangerous and invasive. These garage alleys often have parked cars & trash cans partially blocking the thoroughfare.
4. 154 parking spaces are inadequate. Apartment residents with cars and no parking spaces will have to park in the neighborhoods and walk in through the alleys day & night. There is no street parking available at the intersection of Woodlake & Saticoy.
5. There is currently no sidewalk on the north and east sides of the property. The south and east sides of the property are basically landlocked. Entering and exiting the property on foot will not be easy for those senior residents whose cars are parked in the neighborhood.
6. Shouldn't there be visitor parking for a 55+ apartment building?
7. The plans say there will be "4 accessible parking spaces". If this means "Handicapped" parking spaces, it doesn't seem like enough for the senior residents.
8. We don't know if it is possible to build an apartment building with only 1 street entrance? This could make it very difficult for the Fire Department, ambulance and EMTs to access this building if that path is blocked. For example a stalled or disabled vehicle attempting to enter/exit one of the extremely narrow parking spots on the building's south side- could block all vehicular access to the complex. (Remember this is supposed to be designated for low income residents that are 55 years and older.)
9. The one street entrance is next to the single family home at 7542 Woodlake. It seems unfair that this homeowner will suddenly be experiencing day & night traffic noise.
10. It also seems unfair that the homes to the south & east side of the property will have 5 stories of apartments with direct views into their windows and backyards.

I urge you to visit:

- The property site
- The surrounding neighborhood with Chaminade Preparatory High School so close
- The 2 garage alleys to the south & east of the property.

The Google earth view and default maps view do not clearly display a full understanding of the situation.

We feel a more appropriate solution would be to subdivide the property and build single family homes or condominiums (1 to 2 stories high) with trees and landscaping to harmonize with the surrounding neighborhood.

Sincerely,
Susan & Steve Bradshaw
CD 12 residents

Bill Rose <billrose@parkregency.com>
To: Susan Bradshaw <susanbradshaw585@gmail.com>
Cc: Laura.frazinsteel@lacity.org

Fri, Oct 25, 2024 at 9:13 AM

Very well said.
[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Bill Rose <billrose@parkregency.com>
Cc: Susan Bradshaw <susanbradshaw585@gmail.com>

Mon, Oct 28, 2024 at 8:35 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your names to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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[Quoted text hidden]

Susan Bradshaw <susanbradshaw585@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>
Cc: Bill Rose <billrose@parkregency.com>

Tue, Oct 29, 2024 at 1:46 PM

Hi Laura,

Thanks for your help on this matter. Can you tell me who is the decision maker and the management group that will be working on this case?

Thank you again,
Susan Bradshaw
[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Susan Bradshaw <susanbradshaw585@gmail.com>
Cc: Bill Rose <billrose@parkregency.com>

Tue, Oct 29, 2024 at 4:02 PM

Please see the following link for more information about processing density bonus cases: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

All comments are reviewed by the decision maker. Any comments forwarded to other Planning staff or management are directed to me.

I hope this information helps.



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

I would like to make an appointment to review Case # ADM-2024-5202-DB-PHP-VHCA

5 messages

Susan Bradshaw <susanbradshaw585@gmail.com>
To: Laura Frazin-Steele <Laura.frazinsteel@lacity.org>

Sun, Nov 17, 2024 at 1:37 PM

Hi Laura,

My husband and I would like to review Case # ADM-2024-5202-DB-PHP-VHCA. Would it be possible to get a morning appointment this week (any day except Thursday)? I assume this would be at the Van Nuys DSC office?

Thank you,
Susan & Steve Bradshaw
818 421-1426

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Susan Bradshaw <susanbradshaw585@gmail.com>

Tue, Nov 19, 2024 at 7:45 AM

Hello Susan and Steve,
This Thursday is the only day that I can have the case file available this week; however, I can have the case file available the morning of Monday, 11/25/24 at the Van Nuys DSC office.
Does that work for you?
Please let me know at your earliest convenience.
Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers
City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]

Susan Bradshaw <susanbradshaw585@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Tue, Nov 19, 2024 at 8:19 AM

Hi Laura,

We can meet with you on Thursday anytime after 1:00 pm. What time works for you?

Thank you very much,
Susan Bradshaw
818 421-1426

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Tue, Nov 19, 2024 at 8:29 AM

To: Susan Bradshaw <susanbradshaw585@gmail.com>

Hello,

I am sending you a calendar invitation for Thursday, 11/21/24 from 1:00 to 3:00 p.m. You will be meeting with Giovanni Martirossian on the 2nd floor, Development Services Center, 6262 Van Nuys Blvd., Van Nuys.



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers
City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]

Susan Bradshaw <susanbradshaw585@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteele@lacity.org>

Tue, Nov 19, 2024 at 8:37 AM

Yes, we will be there. I will respond to google's invitation.

Thank you,
Susan & Steve Bradshaw

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case ADM-2024-5202-DB-PHP-VHCA, Proposed Woodlake Apartment Project

2 messages

Susan Bradshaw <susanbradshaw585@gmail.com>

Sun, Dec 1, 2024 at 9:38 PM

To: Laura Frazin-Steele <Laura.frazinsteede@lacity.org>

Cc: dan.rosales@lacity.org, Char Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>, Penny Newmark <pennyfirst@sbcglobal.net>

Hello Laura,

Thank you again for arranging for my husband & I to review the materials on November 21 for Case ADM-2024-5202-DB-PHP-VHCA. It was very helpful. We have a few questions and comments.

1) In reviewing the document "FINDINGS/SPECIAL REQUIREMENTS/ DENSITY BONUS, CONDITIONAL USE, PUBLIC BENEFIT PROJECT/ Housing Incentives", on page 5 we see "2. All buildings must be oriented to the street by providing entrances...on the front and along any street-facing elevations. Indicate the sheet number on the plans which shows compliance with this requirement."

While there is one entrance on Woodlake Ave, we do not see an entrance on Saticoy St marked on the plans. And it does not appear to be mentioned as a requirement in your letter (dated October 21) to the developer. Maybe this is discussed in a different letter?

2) Also I have attached 2 photos of a completed Compliance Review Form called "FINDINGS/SPECIAL REQUIREMENTS/ CITYWIDE DESIGN GUIDELINES/ Compliance Review Form".

- In the Pedestrian-First design section/**Guideline 1**, the developer has written "A00-Residential entrances are sidewalk-adjacent." There may be a tiny bit of sidewalk that flows into the pedestrian entrance but there is NO property-surrounding sidewalk on Woodlake or Saticoy. **This is not "a safe, comfortable, and accessible pedestrian experience for all" as Guideline 1 on the form requires.** There is only one pedestrian entrance for the whole project, located on Woodlake with no sidewalk or path available to walk to the Saticoy intersection (a large berm with new trees uses up the space for a path). Pedestrians exiting the building through this one and only entrance/exit would not be able to cross Woodlake because there is no crosswalk there on this very busy street. The only way to legally and safely walk to the Woodlake bus stop or to walk East on Saticoy- would be to walk South on Woodlake to Cohasset, cross at the crosswalk, then walk North on Woodlake to the bus stop or to the Saticoy intersection. At the Saticoy intersection there is no accomodation for a crosswalk on the South side so this hapless pedestrian hoping to walk East on Saticoy would then have to cross Saticoy, then finally cross Woodlake again. It is very likely, in our opinion, that most pedestrians will instead walk in the narrow traffic lanes on Saticoy and Woodlake or dodge traffic to cross Woodlake directly to make this journey. We have seen a few people try this extremely unsafe maneuver over the years but with the very limited parking spots provided by the developer, there could be large numbers attempting it daily. We are extremely fearful of the public safety hazard created by this aspect of the project.
- In the Pedestrian-First design section/**Guideline 2** the developer has written "A101-Vehicular exit at rear of the building away from all pedestrian activity". This could mean connecting the east side of the property to the garage alley in between Saticoy & Covello (entered off Royer). I just don't see how this potentially major flow of traffic through a small very narrow alley (intended for homeowners private garages) could be approved! In our opinion this would be another public safety hazard.

3) In the new "Planning Review" document, pages A000 & A001/ New Site Plan and Overall 1st Floor Plan clearly show the footprint of the landscape extends past the true property lines on both Woodlake & Saticoy. It seems the developer is fulfilling the requirement for a minimum number of trees by putting them on public land that may be used for street widening and/or sidewalk in the future. We did not see any explanation of

how public land can be simply appropriated by the developer. Is this allowed? If the city does widen Woodlake or Saticoy to add the "missing lanes" or missing sidewalks these trees would have to be removed thus negating the entire purpose of planting them in the first place.

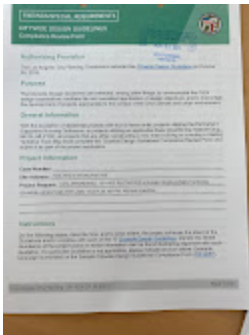
4) Also in the new "Planning Review" document, the main (and only) vehicle entrance/exit located on Woodlake is entirely a public property alleyway. This also appears to us as a taking of public land for private use. We see no discussion of this in the project plans or City Planning reviews or checklists.

5) Also in the new "Planning Review" document, the proposed property driveway will be connected to the existing paved alleys that provide access to the garages of homes on Woodlake, Quimby, Saticoy and Covello. It is not clear if they will be gated or blocked to prevent through travel to Cohasset or Royer. Presently both alleys terminate directly into the proposed Woodlake apartment property. I don't see where this is explained or made clear in the "Planning Review" document. A homeowner on Woodlake says the alley is so narrow that it can be blocked by trash trucks. Do you know if apartment traffic will have access to these alleys?

The deadline to approve this is drawing close. Please investigate our questions as this application may not meet all the requirements put in place by LA City Planning.

Thank you for all your hard work. Sincerely,
Susan & Steve Bradshaw
818 421-1426

2 attachments



Citywide Design Guidelines front page.jpg
818K



Citywide Design Guidelines Pedestrian-First Design.jpg
757K

Laura Frazin-Steele <laura.frazinsteede@lacity.org> Mon, Dec 2, 2024 at 4:08 PM
To: Susan Bradshaw <susanbradshaw585@gmail.com>
Cc: dan.rosales@lacity.org, Char Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>, Penny Newmark <pennyfirst@sbcglobal.net>

Received, thank you.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Woodlake Apartments: Case ADM-2024-5202-DB-PHP-VHCA

9 messages

Susan Bradshaw <susanbradshaw585@gmail.com>

Fri, Dec 6, 2024 at 11:16 PM

To: vince.bertoni@lacity.org

Cc: Blake Lamb <blake.lamb@lacity.org>, claudia.rodriguez@lacity.org, Laura Frazin-Steele <Laura.frazinsteede@lacity.org>, "John S. Lee" <councilmember.lee@lacity.org>, Dan Rosales <dan.rosales@lacity.org>, Char Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>, Penny Newmark <pennyfirst@sbcglobal.net>, leitha.young@lacity.org, Cbaker514@aol.com

Hello Mr. Bertoni,

I have been working on this case since September. The whole time, this case number **could not be found** in the LA City Planning Case search. You can see this here even now:

<https://planning.lacity.gov/pdiscaseinfo/search/case/ADM-2024-5202-DB-PHP-VHCA>

The only way to research this case was to make an appointment to see the physical (paper) materials at an LA City Planning Center (even though case materials could be printed by electronic request from LA City Planning staff). This may have prevented many West Hills residents from making an effort to understand what was happening.

"The Letter of Compliance ..." from you dated December 5, says at the bottom of page 16 that "The OAS (<https://planning.lacity.gov/oas>) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to the City Planning's DSC, and submit fee payment..." HOWEVER, the case number cannot not be found in this online form either. The deadline for submitting an appeal is December 20th! This offers any stakeholders VERY LITTLE TIME to submit an appeal.

This process has been made so difficult for ordinary citizens to work on this case. Was this project setup to be covert on purpose to keep us from effectively fighting this matter? Why does the Developer get priority over those who will be directly affected by this project?

Please extend the appeal date. It would only be fair, as your letter directs people to an application portal that doesn't work for this case.

Sincerely,
Susan & Steve Bradshaw, CD 12 residents
818 421-1426

Bill Rose <billrose@parkregency.com>

Sat, Dec 7, 2024 at 6:28 AM

To: Susan Bradshaw <susanbradshaw585@gmail.com>

Cc: vince.bertoni@lacity.org, Blake Lamb <blake.lamb@lacity.org>, claudia.rodriguez@lacity.org, Laura Frazin-Steele <Laura.frazinsteede@lacity.org>, "John S. Lee" <councilmember.lee@lacity.org>, Dan Rosales <dan.rosales@lacity.org>, Char Rothstein <charwhnc@gmail.com>, Penny Newmark <pennyfirst@sbcglobal.net>, leitha.young@lacity.org, Cbaker514@aol.com

Very well said.

[Quoted text hidden]

Blake Lamb <blake.lamb@lacity.org>

Sat, Dec 7, 2024 at 9:50 AM

To: Maya Zaitzevsky <maya.zaitzevsky@lacity.org>, "Rodriguez, Nelson" <nelson.rodriguez@lacity.org>, Lisa Webber <lisa.webber@lacity.org>, "Rodriguez, Claudia" <claudia.rodriguez@lacity.org>, Laura Frazin-Steele <laura.frazinsteede@lacity.org>, Anna Vidal <anna.vidal@lacity.org>

Hi all, I don't understand what is happening with the online appeal portal for this case. This person says he cannot file an appeal online? Do any of you know what's going on? Do we need to talk to systems?

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Woodlake Apartments: Case ADM-2024-5202-DB-PHP-VHCA (Part 2)

2 messages

Susan Bradshaw <susanbradshaw585@gmail.com>

Sun, Dec 8, 2024 at 10:54 PM

To: vince.bertoni@lacity.org

Cc: Blake Lamb <blake.lamb@lacity.org>, claudia.rodriguez@lacity.org, Dan Rosales <dan.rosales@lacity.org>, Laura Frazin-Steele <laura.frazinsteel@lacity.org>, Bill Rose <billrose@parkregency.com>, Char Rothstein <charwhnc@gmail.com>, "John S. Lee" <councilmember.lee@lacity.org>, Penny Newmark <pennyfirst@sbcglobal.net>, leitha.young@lacity.org, cbaker514@aol.com

Hello Mr. Bertoni,

On further reflection of your Letter of Compliance dated December 5, I take issue with the statement:

"There is no evidence in the record that the approved incentives and waiver would have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct, and unavoidable impact, based on objective, **identified written public** health or **safety standards**, policies, or conditions as they existed on the date the application was deemed complete" per LAMC Section 12.22 A.25(b)." (on pages 14-15 of your letter).

Please read the following email I sent to Laura Frazin-Steele on December 1 to consider unsafe conditions for potential (senior) residents of these apartments.

Near as I can tell, the document titled "FINDINGS/SPECIAL REQUIREMENTS/ CITYWIDE DESIGN GUIDELINES/ Compliance Review Form" **shows "identified written public... safety standards"**.

If this form has no authority or meaning, why make the developer fill it out?

I have added illustrative photos to help you understand the unsafe conditions on the streetsides of the property. The city cannot afford to be exposing itself to liability from this very unsafe development.

Please reconsider your approval of this proposal.

Sincerely,
Steve & Susan Bradshaw
818 421-1426

----- Forwarded message -----

From: **Susan Bradshaw** <susanbradshaw585@gmail.com>

Date: Sun, Dec 1, 2024 at 9:38 PM

Subject: Case ADM-2024-5202-DB-PHP-VHCA, Proposed Woodlake Apartment Project

To: Laura Frazin-Steele <Laura.frazinsteel@lacity.org>

Cc: <dan.rosales@lacity.org>, Char Rothstein <charwhnc@gmail.com>, Bill Rose <billrose@parkregency.com>, Penny Newmark <pennyfirst@sbcglobal.net>

Hello Laura,

Thank you again for arranging for my husband & I to review the materials on November 21 for Case ADM-2024-5202-DB-PHP-VHCA. It was very helpful. We have a few questions and comments.

1) In reviewing the document "FINDINGS/SPECIAL REQUIREMENTS/ DENSITY BONUS, CONDITIONAL USE, PUBLIC BENEFIT PROJECT/ Housing Incentives", on page 5 we see "2. All buildings must be oriented to the street by providing entrances...on the front and along any street-facing elevations. Indicate the sheet number on the plans which shows compliance with this requirement."

While there is one entrance on Woodlake Ave, we do not see an entrance on Saticoy St marked on the plans. And it does not appear to be mentioned as a requirement in your letter (dated October 21) to the developer. Maybe this is discussed in a different letter?

2) Also I have attached 2 photos of a completed Compliance Review Form called "FINDINGS/SPECIAL REQUIREMENTS/ CITYWIDE DESIGN GUIDELINES/ Compliance Review Form".

- In the Pedestrian-First design section/**Guideline 1**, the developer has written "A00-Residential entrances are sidewalk-adjacent." There may be a tiny bit of sidewalk that flows into the pedestrian entrance but there is NO property-surrounding sidewalk on Woodlake or Saticoy. **This is not "a safe, comfortable, and accessible pedestrian experience for all" as Guideline 1 on the form requires.** There is only one pedestrian entrance for the whole project, located on Woodlake with no sidewalk or path available to walk to the Saticoy intersection (a large berm with new trees uses up the space for a path). Pedestrians exiting the building through this one and only entrance/exit would not be able to cross Woodlake because there is no crosswalk there on this very busy street. The only way to legally and safely walk to the Woodlake bus stop or to walk East on Saticoy- would be to walk South on Woodlake to Cohasset, cross at the crosswalk, then walk North on Woodlake to the bus stop or to the Saticoy intersection. At the Saticoy intersection there is no accomodation for a crosswalk on the South side so this hapless pedestrian hoping to walk East on Saticoy would then have to cross Saticoy, then finally cross Woodlake again. It is very likely, in our opinion, that most pedestrians will instead walk in the narrow traffic lanes on Saticoy and Woodlake or dodge traffic to cross Woodlake directly to make this journey. We have seen a few people try this extremely unsafe maneuver over the years but with the very limited parking spots provided by the developer, there could be large numbers attempting it daily. We are extremely fearful of the public safety hazard created by this aspect of the project.
- In the Pedestrian-First design section/**Guideline 2** the developer has written "A101-Vehicular exit at rear of the building away from all pedestrian activity". This could mean connecting the east side of the property to the garage alley in between Saticoy & Covello (entered off Royer). I just don't see how this potentially major flow of traffic through a small very narrow alley (intended for homeowners private garages) could be approved! In our opinion this would be another public safety hazard.

3) In the new "Planning Review" document, pages A000 & A001/ New Site Plan and Overall 1st Floor Plan clearly show the footprint of the landscape extends past the true property lines on both Woodlake & Saticoy. It seems the developer is fulfilling the requirement for a minimum number of trees by putting them on public land that may be used for street widening and/or sidewalk in the future. We did not see any explanation of how public land can be simply appropriated by the developer. Is this allowed? If the city does widen Woodlake or Saticoy to add the "missing lanes" or missing sidewalks these trees would have to be removed thus negating the entire purpose of planting them in the first place.

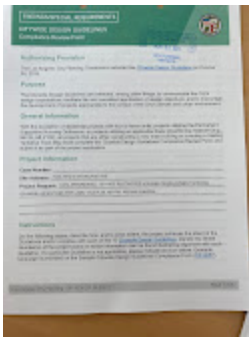
4) Also in the new "Planning Review" document, the main (and only) vehicle entrance/exit located on Woodlake is entirely a public property alleyway. This also appears to us as a taking of public land for private use. We see no discussion of this in the project plans or City Planning reviews or checklists.

5) Also in the new "Planning Review" document, the proposed property driveway will be connected to the existing paved alleys that provide access to the garages of homes on Woodlake, Quimby, Saticoy and Covello. It is not clear if they will be gated or blocked to prevent through travel to Cohasset or Royer. Presently both alleys terminate directly into the proposed Woodlake apartment property. I don't see where this is explained or made clear in the "Planning Review" document. A homeowner on Woodlake says the alley is so narrow that it can be blocked by trash trucks. Do you know if apartment traffic will have access to these alleys?

The deadline to approve this is drawing close. Please investigate our questions as this application may not meet all the requirements put in place by LA City Planning.

Thank you for all your hard work. Sincerely,
Susan & Steve Bradshaw
818 421-1426

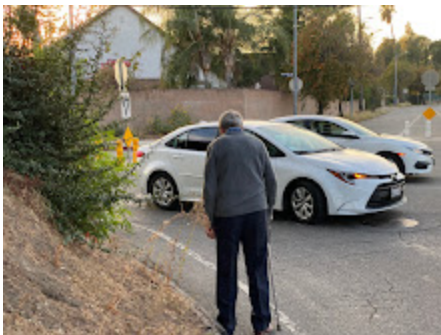
7 attachments



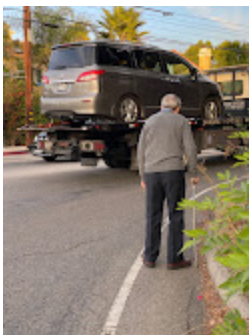
Citywide Design Guidelines front page (1).jpg
818K



Citywide Design Guidelines Pedestrian-First Design (1).jpg
757K



Corner of Woodlake & Saticoy showing no safe sidewalk or crosswalk.jpg
1465K



Corner of Woodlake & Saticoy showing single lane of traffic next to street path.jpg
1335K



Northwest side of property showing no safe sidewalk.jpg
1376K



single lane with traffic close to pedestrians on Woodlake .jpg
1026K



traffic bumps to keep cars from running into property wall at on Woodlake.jpg
1148K

Bill Rose <billrose@parkregency.com>

Mon, Dec 9, 2024 at 7:42 AM

To: Susan Bradshaw <susanbradshaw585@gmail.com>

Cc: vince.bertoni@lacity.org, Blake Lamb <blake.lamb@lacity.org>, claudia.rodriguez@lacity.org, Dan Rosales <dan.rosales@lacity.org>, Laura Frazin-Steele <laura.frazinsteele@lacity.org>, Char Rothstein <charwhnc@gmail.com>, "John S. Lee" <councilmember.lee@lacity.org>, Penny Newmark <pennyfirst@sbcglobal.net>, leitha.young@lacity.org, cbaker514@aol.com

I agree with you.

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

STOP WOODLAKE AVE. HIGHRISE APT. PROJECT.

2 messages

Herbert Swartz <hjs36@att.net>
To: Laura.frazinsteede@lacity.org

Mon, Oct 21, 2024 at 3:36 PM

RIGHT NOW IT IS DIFFICULT AT THE 4 WAY STOP AT WOODLAKE. IT TAKES ME ABOUT 10-15 MINUTES TO GET THROUGH WHEN CHAMINADE SCHOOL STUDENTS ARE DROPPED OFF & DRIVE TO SCHOOL. IT NEEDS A LIGHT THERE ALSO. I TRIED TO PARTITION FOR A LIGHT AND I WAS NOT SUCCESSFUL.

THERE WILL NOT BE ENOUGH PARKING, SO THEY WILL PARK ON ALL THE STREETS CLOSE BY, POSSIBLY ON MY STREET.

PLEASE STOP THE HIGHRISE APARTMENT PROJECT FROM HAPPENING.

THIS IS A SINGLE FAMILY AREA AND WE WANT IT TO REMAIN THAT WAY.

THANK YOU.

ANITA SWARTZ
BLYTHE STREET

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Herbert Swartz <hjs36@att.net>

Mon, Oct 21, 2024 at 4:14 PM

Hello,
I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.
I have also added your name to our interested parties list.
Thank you,

Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
Van Nuys, CA 91401
T: (818) 374-9919 | Planning4LA.org

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Petition Opposing Development at 7556 Woodlake

2 messages

Taraneh Behroozi <tarabehroozi@yahoo.com>
To: laura.frazinsteel@lacity.org

Mon, Oct 21, 2024 at 8:39 PM

To: Laura Frazin-Steele, City Planner

RE: **Petition Opposing Development at 7556 Woodlake Avenue, West Hills**
Case No.: **ADM-2024-5202-DB-PHP-VHCA**

Dear Ms. Laura Frazin-Steele,

I am writing to formally oppose the proposed development at **7556 Woodlank Avenue, West Hills**, under case number **ADM-2024-5202-DB-PHP-VHCA**. As a resident of West Hills, I have significant concerns about the impact this project will have on our community, and I urge the City Planning Department to reconsider its approval.

My objections to this project are based on the following critical concerns:

- 1. Community Impact and Overdevelopment:** The proposed development threatens to overburden the character and infrastructure of our neighborhood. West Hills is a suburban area with a distinct identity, and increasing density to the level proposed in this project undermines the community's nature. The size and scope of this development are simply incompatible with the surrounding area, which primarily consists of single-family homes. Such overdevelopment will lead to a loss of the peaceful, residential atmosphere that residents value.
- 2. Traffic Congestion and Parking Issues:** The roads around 7556 Woodlake Avenue are already heavily trafficked, especially during peak hours. Introducing a development of this scale will inevitably exacerbate traffic congestion, creating unsafe conditions for pedestrians, cyclists, and drivers. Additionally, the area already suffers from limited parking availability, and this project will only worsen the situation, as it is unclear whether adequate parking provisions will be made for both new residents and visitors.
- 3. Environmental Concerns:** I am deeply concerned about the potential environmental impact this development could have on the neighborhood. The construction phase alone could increase pollution, noise, and disruption to local wildlife. More importantly, the long-term effects of increased population density could result in the loss of green space, higher levels of pollution, and diminished air quality. I strongly urge that a comprehensive environmental impact assessment be conducted before this project is considered any further.
- 4. Strain on Local Infrastructure and Services:** West Hills already faces challenges with its public services, including schools, healthcare facilities, and emergency response systems. This development will place additional strain on these already stretched resources. The influx of new residents without a corresponding improvement in local infrastructure will reduce the quality of life for all current residents.
- 5. Design Inconsistency and Neighborhood Aesthetics:** The proposed design is out of character with the existing architecture and aesthetic of the neighborhood. West Hills is known for its suburban charm, and the modern, large-scale development being proposed at **7556 Woodlake Avenue** does not fit with the traditional style of the area. The design and scale are too imposing, disrupting the visual harmony of the community.

Given these concerns, I strongly urge the City Planning Department to reject the development proposal as currently planned. Instead, I recommend that a more scaled-back and community-sensitive project be considered—one that better reflects the values and needs of our neighborhood.

I appreciate your attention to these serious issues and hope that you will listen to the voices of concerned residents who are deeply invested in the future of West Hills. Please ensure that the long-term well-being of the community is prioritized in your decision-making process.

Thank you for your time and consideration. I look forward to your response and any further opportunities to participate in discussions regarding this matter.

Sincerely,

Tara Behroozi
23143 Valerio Street
818.634.6321

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Taraneh Behroozi <tarabehroozi@yahoo.com>

Wed, Oct 23, 2024 at 10:57 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills

2 messages

Tyandruszkewicz <tyandruszkewicz@gmail.com>
To: Laura.frazinsteel@lacity.org

Thu, Nov 14, 2024 at 1:44 PM

I'm a homeowner living near to this proposed development. I am very concerned if this is approved, that the traffic, crime, and street parking will be heavily impacted in the surrounding area. I am opposed to this 100%

Sincerely,
Tamara Andruszkewicz

Sent from my iPhone

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Tyandruszkewicz <tyandruszkewicz@gmail.com>

Thu, Nov 14, 2024 at 4:17 PM

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



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Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Stop West Hills Woodlake Housing Project

3 messages

Tamara Reza <rezapez@icloud.com>
To: Laura.frazinsteede@lacity.org

Tue, Oct 29, 2024 at 4:43 PM

Dear Ms. Frazin-Steele,

Dear Ms. Frazin-Steele,

I am writing to express my deep concern regarding the planned low-income apartment complex in the West Hills community.

I have lived in West Hills for the past 21 years. My daughters were born at West Hills Hospital, and we regularly visit the local post office, travel to Malibu Wines, shop at the Fields Market, and enjoy long walks along Woodlake from Roscoe to Sherman Way. Our neighborhood is filled with beautiful family homes, and we value our community. We oppose the construction of this complex.

Why are we allowing a high-rise building with 350 or more units to be placed on top of a hill, which will become an eyesore and create significant traffic issues? Currently, no proper assessments have been shared, and it is assumed that they have not taken place:

- Traffic assessment for the congested four-way stop sign
- Thorough review of increased activity when Chaminade develops on the Field Supermarket land
- Assessment of how emergency vehicles will access the hospital
- Evaluation of increased foot traffic in the absence of appropriate sidewalks
- Assessment of additional parking needs on side streets
- Consideration of increased lighting and wider streets

Our concerns need to be addressed, and I would welcome the opportunity for someone to speak at a West Hills Neighborhood Council meeting.

Sincerely,
Tamara Reza

Tamara Reza <rezapez@icloud.com>
To: Laura.frazinsteede@lacity.org

Tue, Oct 29, 2024 at 4:48 PM

RE: Case #ADM-2024-5202-DB-PHP-VHCA Property located at **7556 N. Woodlake Avenue, West Hills**

Have a great day! 🐾

On Oct 29, 2024, at 4:43 PM, Tamara Reza <rezapez@icloud.com> wrote:

Dear Ms. Frazin-Steele,

Dear Ms. Frazin-Steele,

I am writing to express my deep concern regarding the planned low-income apartment complex in the West Hills community.

I have lived in West Hills for the past 21 years. My daughters were born at West Hills Hospital, and we regularly visit the local post office, travel to Malibu Wines, shop at the Fields Market, and enjoy long walks

along Woodlake from Roscoe to Sherman Way. Our neighborhood is filled with beautiful family homes, and we value our community. We oppose the construction of this complex.

Why are we allowing a high-rise building with 350 or more units to be placed on top of a hill, which will become an eyesore and create significant traffic issues? Currently, no proper assessments have been shared, and it is assumed that they have not taken place:

- Traffic assessment for the congested four-way stop sign
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- Assessment of additional parking needs on side streets
- Consideration of increased lighting and wider streets

Our concerns need to be addressed, and I would welcome the opportunity for someone to speak at a West Hills Neighborhood Council meeting.

Sincerely,
Tamara Reza

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Tamara Reza <rezapez@icloud.com>, Trevor Martin <trevor.martin@lacity.org>

Wed, Oct 30, 2024 at 12:55 PM

Hello,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#).

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me. For questions or concerns regarding Chaminade High School, please contact [+Trevor Martin](#)

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



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Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

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On Tue, Oct 29, 2024 at 4:48 PM Tamara Reza <rezapez@icloud.com> wrote:

RE: Case #ADM-2024-5202-DB-PHP-VHCA
Property located at 7556 N. Woodlake Avenue, West Hills

Have a great day! 🐾

On Oct 29, 2024, at 4:43 PM, Tamara Reza <rezapez@icloud.com> wrote:

Dear Ms. Frazin-Steele,

Dear Ms. Frazin-Steele,

I am writing to express my deep concern regarding the planned low-income apartment complex in the West Hills community.

I have lived in West Hills for the past 21 years. My daughters were born at West Hills Hospital, and we regularly visit the local post office, travel to Malibu Wines, shop at the Fields Market, and enjoy long walks along Woodlake from Roscoe to Sherman Way. Our neighborhood is filled with beautiful family homes, and we value our community. We oppose the construction of this complex.

Why are we allowing a high-rise building with 350 or more units to be placed on top of a hill, which will become an eyesore and create significant traffic issues? Currently, no proper assessments have been shared, and it is assumed that they have not taken place:

- Traffic assessment for the congested four-way stop sign
- Thorough review of increased activity when Chaminade develops on the Field Supermarket land
- Assessment of how emergency vehicles will access the hospital
- Evaluation of increased foot traffic in the absence of appropriate sidewalks
- Assessment of additional parking needs on side streets
- Consideration of increased lighting and wider streets

Our concerns need to be addressed, and I would welcome the opportunity for someone to speak at a West Hills Neighborhood Council meeting.

Sincerely,
Tamara Reza



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case#ADM-2024-5202-DB-PHP-VHCA,7556 N. Woodlake Avenue, West Hills.

2 messages

THOMAS <tblatz@msn.com>
To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>

Sun, Nov 3, 2024 at 11:12 AM

Concerns: Safety Hazards, Monetary Losses

This property that a developer want's to build a 5 to 7 story low income building will have a negative impact. Traffic is already heavy in the mornings and in the afternoons. With school traffic and people going to work there is already too many cars and trucks on the streets. We do not need an increase in traffic and or people in a single family neighborhood. This building residents will be parking on our streets because they will not have enough parking spaces on the buildings property. The high school already has football games at home that take up parking on Friday Nights. With a housing building on the block there will not even be guest parking for the neighbors who live on the 7500 block. I have lived at [7500 Woodlake Ave](#) for 29 years and I say that we as a neighborhood do not want or need more traffic or people in a single family neighborhood. That property should be for a single family home development only. There will be increased traffic accidents and gridlock in the neighborhood. These are my thoughts and this subject. Please consider this that the Fire Department and Police Department will have a much harder time repounding to calls in our neighborhood because of increased traffic.

Thank You
Thomas Blatz

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: THOMAS <tblatz@msn.com>

Mon, Nov 4, 2024 at 7:56 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430
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Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Supporting Woodlake Apartment

2 messages

Thomas Booth <tbooth032@gmail.com>
To: Laura.frazinsteede@lacity.org

Mon, Oct 28, 2024 at 7:19 PM

Hello,

I live two blocks from the location of the proposed apartment building on Woodlake and Saticoy in West Hills. I support this construction, especially if it's for seniors and/or low-income folks.

Thank you,
Thomas Booth
818-437-8453

Sent from my phone

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Thomas Booth <tbooth032@gmail.com>

Tue, Oct 29, 2024 at 7:18 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Fwd: Stop Woodlake Development

4 messages

Thomas Marroquin <tmarroquin02@gmail.com>
To: laura.frazinsteel@lacity.org

Wed, Oct 23, 2024 at 10:20 AM

Subject: Stop Woodlake Development

Hello Laura

I hope this email finds you well. I'm reaching out in regards to a major concern to the new development on Woodlake is West Hills.

My family bought our house back in 2019 and we moved to West Hills because of its environment. I didn't want to live anywhere near apartment communities and I'll explain why. I know from firsthand experience. I'm going on 19 years of work experience at large multiple family companies like AvalonBay, Equity residential, Essex property trust, etc. I still work in this industry at an executive level and we even have our own developments in The West Valley.

I'm not sure how aware you might be of this but West Hills, specifically from Fallbrook to Valley Circle is one of the last little pockets where it's still safe and quiet. I'll be happy to provide you with numbers from Sheriffs and LAPD how our small pocket of West Hills doesn't have much crime at all.

Luxury apartment communities (talking from experience) bring the most crime to neighborhoods. I see it every day as my company manages large luxury apartment communities of 500 plus units. We even have some low income as well. We see how often police do raids in apartment communities like this. The Q apartments, Terrena apartments, Avalon Woodland hills, all of these big company developments have major crimes happen. Large apartments are targets for crime and there is so much proof that could be provided. Criminals hide in these types of developments.

I understand the strategy by allowing to build 332 units and only 150 parking. The city's point is to push residents to take public transportation. Also developers receive big density bonuses, etc. I know how it all works because I do it for a living. Since I live in West Hills, I know what will happen to our little pocket. Justice and Pomelo elementary status of being a great school will go down. Losing its value of a great school will drop housing values.

Most importantly, West Hills will no longer be a safe place but a targeted city for crime once you bring a 332 unit development. The only expectation to this that could work, is senior housing. That fits in West Hills because most seniors do not drive. They walk around a lot and West Hills is perfect for that because it's still currently a safe area.

I could provide so much accurate data that will show that a large development like this will destroy West Hills. West Hills will become just another crime little city like 90% of the Valley. Woodlands hills which is considered higher end has more crime then West Hills (our little pocket).

Recommendations what can work.

Seniors housing: Yes. Fits well and won't destroy west Hills and will stay SAFE,

Please feel free to reach out with any questions.

I'm saying anonymous for now as I mentioned that I am in the same industry. If you feel like reaching out, I'll be glad to set up a call..

Sincerely,

West hills residents since 2019.

Thank you

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Thomas Marroquin <tmarroquin02@gmail.com>

Wed, Oct 23, 2024 at 10:23 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,

Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



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[Quoted text hidden]

Thomas Marroquin <tmarroquin02@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Wed, Oct 23, 2024 at 11:51 AM

Hello Laura,

Thank you for your response. I have a question. I missed this the first time. I pulled the vesting preliminary application and it shows it as 100% affordable senior age restricted housing development.

If that's the case, I'm ok with this and withdrawals my complaint.



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case#ADM-2024-5202-DB-PHP-VHCA, 7556 N, Woodlake Ave, West Hills

2 messages

ㄉㄨㄛ <tianleeart@gmail.com>

Sat, Oct 19, 2024 at 7:32 PM

To: "laura.frazinsteel@lacity.org" <laura.frazinsteel@lacity.org>, "stopwoodlakedeveloper@gmail.com" <stopwoodlakedeveloper@gmail.com>

Dear Laura,

Concern Regarding Project [Case#ADM-2024-5202-DB-PHP-VHCA, 7556 N, Woodlake Ave, West Hills](#)

I am writing to express my concerns about the proposed development project #CPC-2023-7068-CA. This project plans to replace the existing single-residence property at [7556 Woodlake Avenue, West Hills](#), with a multi-story, 324-unit apartment complex, which is expected to introduce approximately 1,296 new residents to the area.

The site is situated in close proximity to Chaminade College Preparatory High School, which has 1,272 students, as well as several multi-story medical buildings and UCLA's hospital with 260 patient beds. Additionally, the area is frequented by visitors to the multi-medical plaza and the Fairwind Senior Center, which has 130 resident rooms. Given the high traffic generated by these institutions—particularly during school hours, medical emergencies, and seasonal football games—the influx of new residents could exacerbate existing traffic congestion and pose safety risks. The attached map illustrates the current traffic situation and highlights the potential impact of the proposed development.


While recognizing the importance of increasing housing availability in Los Angeles, the substantial increase in population density in this compact area may lead to uncontrollable traffic and safety concerns, particularly concerning the nearby medical facilities.

I respectfully request a reconsideration of the project proposal to maintain the current single-family residential designation for this area.

Thank you for your attention to this matter.

Sincerely,

Ti-An Lee

 [#CPC-2023-7068-CA.pdf](#)
4343K

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 21, 2024 at 10:35 AM

To: ㄉㄨㄛ <tianleeart@gmail.com>

Cc: "stopwoodlakedeveloper@gmail.com" <stopwoodlakedeveloper@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Van Nuys, CA 91401

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case#ADM-2024-5202-DB-PHP-VHCA, 7556 N, Woodlake Ave, West Hills

2 messages

ㄉㄨㄛ <tianleeart@gmail.com>

Sat, Oct 19, 2024 at 7:32 PM

To: "laura.frazinsteel@lacity.org" <laura.frazinsteel@lacity.org>, "stopwoodlakedeveloper@gmail.com" <stopwoodlakedeveloper@gmail.com>

Dear Laura,

Concern Regarding Project [Case#ADM-2024-5202-DB-PHP-VHCA, 7556 N, Woodlake Ave, West Hills](#)

I am writing to express my concerns about the proposed development project #CPC-2023-7068-CA. This project plans to replace the existing single-residence property at [7556 Woodlake Avenue, West Hills](#), with a multi-story, 324-unit apartment complex, which is expected to introduce approximately 1,296 new residents to the area.

The site is situated in close proximity to Chaminade College Preparatory High School, which has 1,272 students, as well as several multi-story medical buildings and UCLA's hospital with 260 patient beds. Additionally, the area is frequented by visitors to the multi-medical plaza and the Fairwind Senior Center, which has 130 resident rooms. Given the high traffic generated by these institutions—particularly during school hours, medical emergencies, and seasonal football games—the influx of new residents could exacerbate existing traffic congestion and pose safety risks. The attached map illustrates the current traffic situation and highlights the potential impact of the proposed development.


While recognizing the importance of increasing housing availability in Los Angeles, the substantial increase in population density in this compact area may lead to uncontrollable traffic and safety concerns, particularly concerning the nearby medical facilities.

I respectfully request a reconsideration of the project proposal to maintain the current single-family residential designation for this area.

Thank you for your attention to this matter.

Sincerely,

Ti-An Lee

 [#CPC-2023-7068-CA.pdf](#)
4343K

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Mon, Oct 21, 2024 at 10:35 AM

To: ㄉㄨㄛ <tianleeart@gmail.com>

Cc: "stopwoodlakedeveloper@gmail.com" <stopwoodlakedeveloper@gmail.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Laura



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CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

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West hills, Saticoy / Woodlake Ave, housing project

CASE #CPC-2023-7068-CA

7556 Woodlake Avenue, West Hills,



ROSCOE BLVD

1.5 Mile

SHERMAN W



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case # ADM-2024-5202-DB-PHP-VHCA

2 messages

Zinat Tabatabai <ztinat@yahoo.com>

Sun, Oct 20, 2024 at 7:52 PM

Reply-To: Zinat Tabatabai <ztinat@yahoo.com>

To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>

Neighbors concerns in regards to Woodlake Ave. Highrise Apartment Project

-This single family home area is not suitable and does not have the potential for a high rise building

-Woodlake Ave is not a major street and Saticoy narrows in this section and ends in this corner and it's traffic pours into Sherman Way and Ingomar St which passes through a single family homes area and ends at Valley Circle.

-Therefore this plot of land is not located by a main street and a major thoroughfare road.
Also on Saticoy Street in this area many cars need to park on the street although there's no apartment buildings nearby.

-In this area of the Valley there are many larger pieces of land that are located by main streets which would be better suited for high rise buildings like this and would provide tenants with better access to utilizing public transportation and stores.

The current location does not provide those opportunities.

-Chaminade school expansion that has already been approved, will create a lot more traffic and negative impact in this area of single family homes.

- Considering the concerns and issues that this development project creates for the neighborhood, a revamp of this project is required.

Thank you for your prompt attention to this matter.

Tina Tabatabai

23677 Arminta St
West Hills ,CA 91304

[Yahoo Mail: Search, Organize, Conquer](#)

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Mon, Oct 21, 2024 at 9:39 AM

To: Zinat Tabatabai <ztinat@yahoo.com>

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you again.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Laura Frazin-Steele <laura.frazinsteel@lacity.org>

**Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Avenue, West Hills.
Deadline may be 10/22/24**

2 messages

Tom Crosthwaite <tomcrosthwaite1@gmail.com>
To: Laura.frazinsteel@lacity.org

Sat, Oct 26, 2024 at 2:55 PM

I'm writing to protest the proposed apartment building at [7556 Woodlake Ave, West Hills, CA 91307](#).

Such a project will create a massive amount of traffic, threaten the safety of our quiet neighborhood and adversely affect property values .

Please do not approve this project.

Thank you,

Tom Crosthwaite
www.linkedin.com/in/tomcrosthwaite/

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Tom Crosthwaite <tomcrosthwaite1@gmail.com>

Mon, Oct 28, 2024 at 8:10 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

West Hills Zoning? Proposed apartment complex?

10 messages

Tom Cusimano <tom.cusimano@gmail.com>

Thu, Jun 6, 2024 at 8:44 AM

To: lucerito.martinez@lacity.org, bebetty.barberena@lacity.org, katherine.stiegemeyer@lacity.org, courtney.yellen@lacity.org, laura.frazinsteel@lacity.org

Hi Courtney, Laura, Lucerito, Betty & Katherine,

Apologies for emailing you all together, I wasn't sure which department or person to reach out to...please see below and advise.

My name is Tom Cusimano, I own a home at [23058 Lull St](#) in West Hills, CA 91304

My wife, sons and I have lived here for almost three years. We moved here from West Hollywood (where we lived for 11 years) to have a more suburban and less densely populated area.

We were recently made aware of a potential large apartment building to be built very close to our home at [7556 Woodlake ave](#) at the corner of Saticoy in West Hills, CA 91304.

I am wondering who/how does this final decision get made? What is that address currently zoned for (I believe by what I looked up, it is residential and agricultural) and how can I (as a very close neighbor to that property) have my voice heard and taken under consideration by the "powers that be" in the decision making process to potentially rezone it and make an apartment complex.

I fear that the proposed apartment building, or apartments in general would create issues with traffic, safety, noise (including the extremely loud construction that it would take for a few years) and more.

I know this from experience from my neighborhood in West Hollywood (which we moved out of due to these very reasons - constant construction, noise, traffic, etc), but that was West Hollywood, an urban area where you expect that sort of thing, not so much in a single family home community area such as West Hills. Plus, with the upcoming work with the Chaminade expansion and demolition of the nearby shopping center (also at the corner of Saticoy & Woodlake) - it is all far too much for this small area.

Please advise who I can speak to about this matter that is involved in the decision making process.

Thank you!

Sincerely,
Tom Cusimano
310-995-7432

Courtney Yellen <courtney.yellen@lacity.org>

Thu, Jun 6, 2024 at 9:19 AM

To: Tom Cusimano <tom.cusimano@gmail.com>

Cc: lucerito.martinez@lacity.org, bebetty.barberena@lacity.org, katherine.stiegemeyer@lacity.org, laura.frazinsteel@lacity.org

Hello Tom,

Thank you for reaching out. At this time, there have been no cases filed for the development described in your previous email. As for being notified when projects are filed, our website provides the information here: <https://planning.lacity.org/resources/case-reports>. You may view the information on a spreadsheet, in a map format, or sign up to receive notifications to your email. You can also use ZimasLA (<http://zimas.ci.la.ca.us/>) under the "Case Numbers" to track and review cases filed on this subject site.

At this time, there only appears to be a preliminary case which does not constitute a filed case. Once a case is filed, you can reach out to the assigned staff which you can find by pressing on the case number under the tab described above.

I hope you find this information helpful.

Best,
Courtney Yellen



Courtney Yellen-Colbert
Pronouns: She, Her, Hers
Planning Assistant, Project Planning
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430,
Van Nuys, CA 91401
T: (818) 374-5059 | Planning4LA.org



**** RDO (Regular Day Off) is alternating Fridays**

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[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Thu, Jun 6, 2024 at 10:15 AM

To: Courtney Yellen <courtney.yellen@lacity.org>, Blake Lamb <blake.lamb@lacity.org>, Claudia Rodriguez <claudia.rodriguez@lacity.org>

Thanks for responding to the query, Courtney. Looping in [+Blake Lamb](#) and [+Claudia Rodriguez](#) so they are aware.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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[Quoted text hidden]

Tom Cusimano <tom.cusimano@gmail.com>

Thu, Jun 6, 2024 at 2:15 PM

To: Courtney Yellen <courtney.yellen@lacity.org>

Cc: lucerito.martinez@lacity.org, bebetty.barberena@lacity.org, katherine.stiegemeyer@lacity.org, laura.frazinsteel@lacity.org

Hi Courtney,
Thank you so much for all this information, I really appreciate it!

Can you verify this link? It doesn't seem to go to a real page, thanks!

ZimasLA
<http://zimas.ci.la.ca.us>
-Tom Cusimano

On Thu, Jun 6, 2024 at 9:19 AM Courtney Yellen <courtney.yellen@lacity.org> wrote:

[Quoted text hidden]

--
Sincerely,
Tom Cusimano
310-995-7432

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Tom Cusimano <tom.cusimano@gmail.com>
Cc: Courtney Yellen <courtney.yellen@lacity.org>

Thu, Jun 6, 2024 at 2:30 PM

Hi Tom - please try this link: [ZIMAS \(lacity.org\)](#)



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
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Van Nuys, CA 91401
T: (818) 374-9919 | [Planning4LA.org](#)



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[Quoted text hidden]

Tom Cusimano <tom.cusimano@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>
Cc: Courtney Yellen <courtney.yellen@lacity.org>

Thu, Jun 6, 2024 at 2:34 PM

That worked, thank you!

[Quoted text hidden]

Tom Cusimano <tom.cusimano@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteel@lacity.org>
Cc: Courtney Yellen <courtney.yellen@lacity.org>

Thu, Jun 6, 2024 at 2:43 PM

Sorry for all the questions, I am new to this. I really appreciate your help!!

This link shows that there has been something submitted/filed on this...
Could you please let me know what this means? And who I should speak to?

<https://www.ladbsservices2.lacity.org/OnlineServices/PermitReport/PcisPermitDetail?id1=24010&id2=10000&id3=02159>

Here are the details (this address is part of the same property)

7572 N WOODLAKE AVE 91304

Application / Permit
24010-10000-02159
Plan Check / Job No.
B24LA09646
Group
Building
Type
Bldg-New
Sub-Type
Apartment
Primary Use
()
Work Description

eplan **** HSAP TO CHECK FOR ZONING REQUIREMENTS ONLY - (SB330/ED7) **** NEW 5 STORY 316 UNITS (316 VLI) AFFORDABLE HOUSING APARTMENT TO INCLUDE 4 STORY TYPE VA APARTMENT OVER 1 STORY TYPE IA PARKING, USING 12.22.A.25 / AB2345 INCENTIVES PZA for NEW CONSTRUCTION, 5 STORY, 316-UNIT APARTMENT BUILDING, 100% AFFORDABLE, 55 AND OVER AGE RESTRICTED HOUSING DEVELOPMENT, SEEKING ON-MENU INCENTIVES PER LAMC 12.22.A.25, AB1763, AB2345 & AB2334.

Permit Issued

No

Current Status

PC in Progress on 6/6/2024

Permit Application Status History

Submitted 5/28/2024 APPLICANT
Assigned to Plan Check Engineer 5/30/2024 VU NGUYEN

Permit Application Clearance Information

Zoning Plan Check Not Cleared 5/21/2024 Department of Building and Safety

[Quoted text hidden]

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Tom Cusimano <tom.cusimano@gmail.com>
Cc: Courtney Yellen <courtney.yellen@lacity.org>

Thu, Jun 6, 2024 at 3:21 PM

The applicant submitted a building permit to the Los Angeles Department of Building and Safety (LADBS). For more information about this permit, please contact LADBS directly at ladbs.org.



Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
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[Quoted text hidden]

Tom Cusimano <tom.cusimano@gmail.com>
To: Laura Frazin-Steele <laura.frazinsteede@lacity.org>
Cc: Courtney Yellen <courtney.yellen@lacity.org>

Thu, Jun 6, 2024 at 5:10 PM

Ok - I understand they submitted a permit, they submitted a permit to build a large apartment complex on this address.

Is it zoned or capable of be zoned that way?

Which department makes that call/who do I speak to?

Thank you!
Tom Cusimano
310-995-7432

On Jun 6, 2024, at 3:22 PM, Laura Frazin-Steele <laura.frazinsteede@lacity.org> wrote:



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

West Hills 5-7 floor planned building

2 messages

Jeff McEvoy <mcevoy1@sbcglobal.net>
To: Laura.frazinsteede@lacity.org

Sat, Oct 26, 2024 at 6:10 PM

Hi Laura,
My name is Tracy McEvoy. My husband Jeff Mcevoy and I have lived in West Hills almost 27 years. We have watched the city change and grow over the years. The proposed apartment building at the corner of Woodlake and Ingomar frightens us. We live close to this intersection. We walk, we ride our bicycles and often drive through this intersection. Numerous near misses and actual accidents have happened here.

Adding a 5-7 floor building housing 332 units seems crazy. The intersection cannot safely absorb the increase in traffic both by car and pedestrian. We are not opposed to low income housing. There are 2 story homes, apartments, and condos here in West Hills. We oppose the number of units planned on the one land parcel. Whatever is built should " fit" into the community. A multi leveled apartment building simply does not fit.

Sincerely
Tracy and Jeff McEvoy
8048 Sadring Ave
West Hills 91304

Sent from my iPad

Laura Frazin-Steele <laura.frazinsteede@lacity.org>
To: Jeff McEvoy <mcevoy1@sbcglobal.net>

Mon, Oct 28, 2024 at 8:08 AM

Good Morning,
Thank you for your comments regarding Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Thank you,
Laura



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[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N Woodlake Avenue, West Hills, CA 91307

2 messages

VANEET KAPILA <vkapila10@sbcglobal.net>

Thu, Oct 24, 2024 at 2:08 PM

To: "Laura.frazinsteede@lacity.org" <Laura.frazinsteede@lacity.org>

My Name is Vaneet Kapila, and I currently live in West Hills near the proposed High Rise Apartment Project. I am 82 years old and have lived in West Hills since 1987. I am writing this letter to you to "STOP THIS PROPOSED PROJECT" with concerns of my well being, as well as the well being of my neighboring friends & family.

1. The proposed project plans to build about 330 units having 150 parking spaces which is inadequate parking space for the residents and visitors of the residents. This will cause an undue increase in the volume of traffic, creating an unsafe environment in a low density residential community. In addition, this will unreasonably increase the volume of parked cars along the streets. The neighborhood is simply not designed for high density uses.

2. This multi-family project does not conform to the neighborhood uses, and will unjustly and adversely affect the current homeowners, the community, and the market area entirely. The proposed project would be justly considered in an area where the use conforms to the surrounding uses, and does not affect marketability of surrounding homes. Our neighborhood will undoubtedly suffer significant consequences if this project is completed.

Lastly, in case of an EMERGENCY like Earthquake and Fire etc. e.g. The historic gold-mining town of Havilah was destroyed by the Borel Fire in July 2024.

The Camp Fire in November 2018 destroyed about 19,000 structures and more than 80 people in Paradise, California were killed because of inadequate escape roads. Other Emergencies like Northridge earth quake (in our own back yard), Maui fire of last year, where more than 100 people died, again because of inadequate

All these people will be still alive if proper planning for adequate roads was done. I, Sincerely

I would like you to strongly consider the negative impact this project will have on the immediate neighborhood and its residents. Please understand these sentiments are shared across a broad group of residents. I would also welcome any feedback which would demonstrate a net positive effect of completing this project.

Thank you for considering this letter.

With Regards,

Sincerely,

Vaneet Kapila

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Thu, Oct 24, 2024 at 3:51 PM

To: VANEET KAPILA <vkapila10@sbcglobal.net>

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

CASE #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave, West Hills

2 messages

Vasanth Vennela <vasanthavennela@gmail.com>
To: "Laura.frazinsteel@lacity.org" <Laura.frazinsteel@lacity.org>

Thu, Oct 24, 2024 at 5:03 PM

Greetings!

My name is Vasanth Vennela, a resident of West Hills. I am concerned about the low income, high rise apartment project that is planned on Woodlake Ave.

A developer is planning to build a 5 to 7 story, 332-unit 100% affordable housing project with INADEQUATE PARKING, at 7556 Woodlake Ave, West Hills, S/E Saticoy corner, that may negatively impact our neighborhood, safety, pocket book, and our daily lives, especially if the land is contaminated with toxins like nuclear waste or valley fever as with similar lands nearby. We need soil testing by a reputable lab.

Here are my concerns:

1. *Negative impact on our Home and property values.*
2. Increased traffic gridlock + accidents. Located within 250* ft of Chaminade
3. Only 150 parking spaces for the 600+ residents expected.
4. NO visitor parking – WHERE will visitors, residents park? Flooded streets!
5. Fire Dept. & LAPD not outfitted to service & absorb 600+ people in existing infrastructure (our local fire & police are already over stressed)
6. is the land contaminated as are nearby lots?

As a concerned neighbor, I request you to stop this project and continue to have historic site as is.

Thanks

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Vasanth Vennela <vasanthavennela@gmail.com>

Mon, Oct 28, 2024 at 9:13 AM

Good Morning,

Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

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Van Nuys, CA 91401

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Laura Frazin-Steele <laura.frazinstelee@lacity.org>

Circle S Ranch

2 messages

raysh8@charter.net <raysh8@charter.net>

Thu, Oct 31, 2024 at 7:10 PM

To: laura.frazinstelee@lacity.org, vince.bertoni@lacity.org, councilmember.lee@lacity.org, dan.rosales@lacity.org, hannah.lee@lacity.org, trevor.martin@lacity.org, karen.bass@lacity.org, assemblymember.gabriel@assembly.ca.gov, senator.stern@senate.ca.gov, carrie.cornwell@asm.ca.gov

Dear Sir or Madam:

This is regarding High Rise Apartment Proposal at [7556 Woodlake Ave. \(Circle S Ranch\)](#).

More than 1000 residents signed petition to stop this project.

5+ Story - 332 Units, 154 Parking Spots

1. We are a quiet Single Family Residence Neighborhood
2. No apartment buildings in the area, especially High-Rises - no privacy with a 5 story building peering down on our homes.
3. Major traffic at the corner for Woodlake and Saticoy and surrounding streets
4. Parking on streets will be an extremely big problem - no parking available on Woodlake or Saticoy next to [7556 Woodlake Ave.](#)
5. Strain on our Utilities including: Water, Power, Sewer, etc. - more rolling blackouts and sewer backups
6. Decrease in our Property Values - talk to your realtor friends
7. Higher Crime rates with an influx of about 1000+ new people to the neighborhood
8. High Noise Levels that will carry through the surrounding streets of our neighborhood

I hope you understand our concerns and help us to stop this terrible project

Thank you,

Viktor Raysh

[23364 Keswick St](#)

[West Hills, CA 91304](#)

Laura Frazin-Steele <laura.frazinsteede@lacity.org>

Fri, Nov 1, 2024 at 7:38 AM

To: raysh8@charter.net

Cc: vince.bertoni@lacity.org, trevor.martin@lacity.org, karen.bass@lacity.org

Good Morning,

This is a density bonus case, and any decision regarding this case is subject to State density bonus regulations pursuant to Government Code Section 65915 linked here: [California Code, GOV 65915](#)

City of Los Angeles density bonus cases are also subject to Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.25 linked here: [SEC. 12.22. EXCEPTIONS. \(amlegal.com\)](#)

I am the project planner who is processing Case No. ADM-2024-5202-DB-PHP-VHCA at 7556 Woodlake Avenue. Please address any additional comments to me.

I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker.

I have also added your name to our interested parties list.

Thank you,
Laura



Laura Frazin Steele

Pronouns: She, Her, Hers

City Planner, Project Planning

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-9919 | Planning4LA.org



Effective July 1, 2024, City Planning fees will increase by 3.5% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

[Quoted text hidden]



Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Case #ADM-2024-5202-DB-PHP-VHCA, 7556 N. Woodlake Ave, West Hills

2 messages

Yasmin Ayoub <iluvjordan1960@yahoo.com>
To: laura.frazinsteel@lacity.org

Sun, Oct 20, 2024 at 2:59 PM

Hello Laura,

I am a resident in West Hills. I am strongly opposed to the proposed low income housing project on Woodlake Ave. This is a residential area that is in close proximity to several schools. I don't have to educate you about the potential safety risks this project would pose to our families. It would be highly irresponsible and unethical for our elected officials to allow this project to proceed. I urge you to do the right thing and stop this project from going any further.

Thank you!
Yasmin Ayoub

Laura Frazin-Steele <laura.frazinsteel@lacity.org>
To: Yasmin Ayoub <iluvjordan1960@yahoo.com>

Mon, Oct 21, 2024 at 10:16 AM

Good Morning,
Thank you for your comments. I have added your comments to the official case file, and your comments are a part of the public record. Your comments will be reviewed by our management and the decision-maker. I have also added your name to our interested parties list.
Laura



LOS ANGELES
CITY PLANNING

Laura Frazin Steele
Pronouns: She, Her, Hers
City Planner, Project Planning
Los Angeles City Planning
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Van Nuys, CA 91401
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[Quoted text hidden]


INITIAL SUBMISSIONS

The following submissions by the public are in compliance with the Commission Rules and Operating Procedures (ROPs), Rule 4.3a. Please note that “compliance” means that the submission complies with deadline, delivery method (hard copy and/or electronic) AND the number of copies. The Commission’s ROPs can be accessed at <http://planning.lacity.org>, by selecting “Commissions & Hearings” and selecting the specific Commission.

The following submissions are not integrated or addressed in the Staff Report but have been distributed to the Commission.

Material which does not comply with the submission rules is not distributed to the Commission.

ENABLE BOOKMARKS ONLINE:

**If you are using Explorer, you will need to enable the Acrobat  toolbar to see the bookmarks on the left side of the screen.

If you are using Chrome, the bookmarks are on the upper right-side of the screen. If you do not want to use the bookmarks, simply scroll through the file.

If you have any questions, please contact the Commission Office at (213) 978-1300.

PATTERSON & O'NEILL, PC

811 West 7th Street, Suite 1200
Los Angeles, CA 90017
Telephone: (213) 877-3110
www.pattersononeill.com

February 17, 2025

VIA EMAIL

City of Los Angeles Planning Commission
Los Angeles City Hall
200 N. Spring Street, Suite 525
Los Angeles, CA 90012

Re: 7556-7572 N. Woodlake Avenue, Los Angeles, CA 91304
Case No. ADM-2024-5202-DB-PHP-VHCA

Dear Members of the Planning Commission:

The City of Los Angeles (“City”) issued a Letter of Compliance on December 5, 2024, for 7556-7572 N. Woodlake Avenue, Los Angeles, CA 91304 (Case No. ADM-2024-5202-DB-PHP-VHCA). The City determined that the redevelopment of the vacant site into 332 units of affordable senior housing (“Project”) (1) is not subject to the California Environmental Quality Act as a ministerial project; (2) satisfies the City’s objective planning standards; and (3) complies with the Density Bonus Law and the Housing Accountability Act.

This Project will provide 332 units of sorely needed affordable senior housing to the City, 265 of which will be deed-restricted as low-income units for 55 years, and 66 units of which will be deed-restricted for moderate-income units for 55 years.

This letter is submitted on behalf of Project Applicant Jeff Zbikowski (JZ Development LLC), and explains why the Planning Commission should deny the appeals and uphold the Letter of Compliance.

I. CEQA DOES NOT APPLY TO MINISTERIAL PROJECTS LIKE THIS ONE

The City’s Letter of Compliance properly determined that the Project is not subject to the California Environmental Quality Act (“CEQA”). Pursuant to Public Resources Code § 21080(b)(1), CEQA “does not apply to . . . Ministerial Projects proposed to be carried out or approved by public agencies.”

The Project is a ministerial project pursuant to Municipal Code § 12.22 A.25(g)(1)-(2). Municipal Code § 12.22 A.25(g)(1) states, “Housing Development Projects requesting a Density Bonus without any Incentives (which includes a Density Bonus with only parking requirements in accordance with Paragraphs (c) and (d) of this subdivision) shall be considered ministerial and

follow the Affordable Housing Incentives Guidelines and the Density Bonus Procedures.” The Project meets the requirements of Municipal Code § 12.22 A.25(g)(1)-(2) because it is a Density Bonus project that is not requesting additional incentives from the City. As the Project meets the requirements of Municipal Code § 12.22 A.25(g)(1)-(2), under the City’s rules it qualifies for ministerial review, and therefore is not subject to CEQA under Public Resources Code § 21080(b)(1).

II. THE PROJECT IS SUBJECT TO THE DENSITY BONUS LAW’S PROTECTIONS

The Project is utilizing the Density Bonus Law (Government Code § 65915 et seq.) and is entitled to an unlimited density bonus, reduction of its parking requirements, five incentives under the Density Bonus Law, and its requested three on-menu incentives from the City.¹

The Density Bonus Law regulates Density Bonus housing development projects. The purpose of the Density Bonus Law is to incentivize developers to construct affordable housing by allowing them to increase the number of units they can construct and by granting them incentives, concessions, and waivers of development standards.

A. The Project Is Entitled To An Unlimited Density Bonus And Complies With the City’s Objective Planning Standards

As a 100% affordable senior housing development, the Project is entitled to an unlimited Density Bonus. Government Code § 65915(f)(3)(D)(iii) states that if a “[100% affordable] housing development is located in a very low vehicle travel area within a designated county, the city, county, or city and county shall not impose any maximum controls on density.”² The Density Bonus Law defines a 100% affordable housing projects as:

One hundred percent of all units in the development, including total units and density bonus units, but exclusive of a manager’s unit or units, are for lower income households, as defined by Section 50079.5 of the Health and Safety Code, except that up to 20 percent of the units in the development, including total units and density bonus units, may be for moderate-income households, as defined in Section 50053 of the Health and Safety Code.³

The Project meets the Density Bonus Law’s definition of a 100% affordable housing project because it contains 266 low-income units, which make up 80% of the Project’s total units; 66 moderate-income units, which make up 20% of the Project’s total units; and one manager’s unit.

The Project is located within a Very Low Vehicle Travel Area, and therefore qualifies for an unlimited density bonus. A “Very Low Vehicle Travel Area” is defined by Government Code § 65915(o)(10) to mean an urbanized area, as designated by the United States Census Bureau,

¹ Letter of Compliance, p. 12.

² Los Angeles County is termed a “Designated County” by Gov. Code § 65915(o)(1).

³ Gov. Code § 65915(b)(1)(G).

where the existing residential development generates vehicle miles traveled per capita is below 85 percent of either regional vehicle miles traveled per capita, or city vehicle miles traveled per capita.⁴ Since the Project is considered a 100% affordable housing project and is located in a Very Low Vehicle Travel Area, it is entitled to an unlimited Density Bonus.

The Project satisfies the City's objective planning standards and complies with the site's zoning and General Plan designation by utilizing the increased density it is allowed under the Density Bonus Law. The Project site is zoned and designated for residential land use by the Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan. The Project is a residential project, which therefore complies with the zoning and General Plan designation for the site.

B. The Project Provides Adequate Parking, Despite There Being No Requirement For Parking

As a 100% affordable senior housing development, the Project is entitled to provide no parking under the Density Bonus Law. The Density Bonus Law prohibits local jurisdictions from imposing parking standards on 100% affordable housing projects if they meet certain requirements. Government Code § 65915(p)(3) states that for a 100% affordable housing development, if a developer requests it, "a city, county, or city and county shall not impose vehicular parking standards[.]"⁵

This is a for-rent senior housing project, located within one-half mile of Metro Line 169, which stops at the West Hills Medical Center. There is an unobstructed route from the Project site to the bus stop by sidewalk along Woodlake Avenue. A copy of the schedule for Metro Line 169 is attached, showing that the bus operates more than eight times a day.

Despite not having to provide any parking spaces, the Applicant is determined to be a good neighbor and is providing 154 parking spaces. This is estimated to be enough parking for service vehicles, staff, residents, and visitors of the Project. The Project will also provide 38 long-term bicycle parking spaces and 19 short-term bicycle parking spaces.

C. The Density Bonus Law Entitles the Project To Five Incentives

As a 100% affordable housing development, the Project is entitled to five incentives per Government Code § 65915(d)(2)(D). Government Code § 65915(d)(2)(D) states that a 100% affordable housing project is entitled to

Five incentives or concessions for a project meeting the criteria of subparagraph (G) of paragraph (1) of subdivision (b). If the project is located within one-half mile of a major transit stop or is located in a very low vehicle travel area in a designated county, the Applicant shall also receive a height increase of up to three additional stories, or 33 feet.

⁴ Government Code § 65915(o)(10).

Government Code § 65915(b)(1)(G), referenced in Government Code § 65915(d)(2)(D), defines 100% affordable housing projects and allows these projects to contain one market-rate manager's unit and have 20% of the units reserved for moderate-income households, as long as the remaining units are restricted to low-income households. As noted above, the Project meets these requirements by providing 266 low-income units, which makes up 80% of the Project's total units, and 66 moderate-income units, which make up 20% of the Project's total units. It is therefore entitled to five incentives. The Project is not utilizing all five incentives, instead using only three to confirm the increase in the density and height of the Project permitted by Government Code § 65915(f)(3)(D)(iii), and confirm the reduction in parking standards permitted by Government Code § 65915(p)(3).

D. The Municipal Code Entitles The Project To Three On-Menu Incentives

Municipal Code § 12.22 A.25(e) entitles projects to three additional on-menu incentives if they restrict (1) 15% or more of their units for very-low-income households; (2) 30% or more of their units for low income households; or (3) 30% or more of their units for moderate income households. Since 80% of the Project's unit are restricted to low income households, it qualifies for the three on-menu incentives through Municipal Code § 12.22 A.25(e)'s second option.

The Project uses Municipal Code § 12.22 A.25(f)(1), which grants incentives for

Up to 20% decrease in the required width or depth of any individual yard or setback except along any property line that abuts an R1 or more restrictively zoned property provided that the landscaping for the Housing Development Project is sufficient to qualify for the number of landscape points equivalent to 10% more than otherwise required by Section 12.40 of this Code and Landscape Ordinance Guidelines 'O.'

The Project is using this incentive to reduce the required north and south side-yard setbacks.

The Project is also using Municipal Code § 12.22 A.25(f)(6) as one of its on-menu incentives to reduce the amount of open space it must include in the Project from 38,100 square feet to 28,800 square feet. Municipal Code § 12.22 A.25(f)(6) permits "[u]p to 20% decrease from an open space requirement, provided that the landscaping for the Housing Development Project is sufficient to qualify for the number of landscape points equivalent to 10% more than otherwise required by Section 12.40 of this Code and Landscape Ordinance Guidelines 'O.'"

E. Granting the Density Bonus and Requested Incentives Results In Identifiable and Actual Cost Reductions

The requested Density Bonus and incentives result in identifiable and actual cost reductions that are critical for the Project. The Applicant submitted Density Bonus Findings to the City on August 15, 2024, concluding that the requested Density Bonus and incentives are necessary to make the Project economically viable. This analysis was based on California Health & Safety Code §§ 50052.5 and 50053, which define formulas for calculating affordable housing costs for very low-, low-, and moderate-income households.

Local governments bear the burden of proving that the requested incentives would not result in cost reductions if they are proposing to deny them. Gov. Code § 65915(d)(1)(A) states in part, “The city, county, or city and county shall grant the concession or incentive requested by the Applicant unless the city, county, or city and county makes a written finding, based upon substantial evidence,” that the incentives or concessions would not result in actual cost reductions or would have a specific, adverse impact.

Appellants contend that the requested incentives are *not* required in order to reduce the cost of constructing the affordable housing as part of the Project. This argument—made without any citation to law—is a gross distortion of the Density Bonus Law, which assumes that incentives *will* reduce costs associated with development and make affordable housing more affordable. (*Schreiber v. City of Los Angeles* (2021) 69 Cal. App. 5th 549.) Therefore, the Letter of Compliance properly concluded that the requested Density Bonus and incentives will result in identifiable and actual cost reductions necessary for the Project to be constructed.

F. Granting The Density Bonus and Requested Incentives Does Not Create a Specific, Adverse Health Impact

Granting the Density Bonus and incentives to the Project will *not* have a specific, adverse impact on public health, and therefore the City must grant the requested Density Bonus and incentives. The HAA permits local jurisdictions to not grant a requested Density Bonus or incentive only when doing so would “have a specific, adverse impact . . . upon health or safety, and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact.”⁶

The HAA defines a “specific, adverse impact” as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.”⁷ The HAA makes it clear that “specific, adverse impact[s]” arise infrequently.⁸ As the City’s December 5, 2024 Letter of Compliance states, “There is no evidence in the record that the approved incentives and waiver would have a specific adverse impact.”⁹ The Project meets all objective public health and safety standards, and the City must grant the requested Density Bonus and incentives.

III. THE PROJECT COMPLIES WITH ALL APPLICABLE STANDARDS

Opponents of the Project also make various baseless complaints about the Project, which cannot be the basis to grant an appeal.

⁶ Gov. Code § 65589.5(d)(1)(B).

⁷ Gov. Code § 65589.5(d)(2).

⁸ Gov. Code § 65589.5(a)(3).

⁹ Letter of Compliance, p. 14.

First, Appellants allege that there could be nuclear waste contamination or Valley Fever in the soil at the Project site. There is no evidence to support this claim, which therefore cannot be the basis to grant an appeal. As the Letter of Compliance notes, “Soils will be reviewed by LADBS for compliance with Code requirements prior to issuance of a building permit.” Additionally, the City’s Zoning Information and Map Access System (“ZIMAS”) indicates that the Project site contains no Biological Resource Potential.¹⁰ This hearing is related to the Project’s entitlements, and any consideration of its soil is an issue that is outside the scope of the Planning Commission’s authority to consider. The Department of Building and Safety will evaluate the soil on site and ensure that construction will not harm nearby residents.¹¹

Second, Appellants allege that the City failed to notify neighbors of required zoning variances or conditional use permits. However, the Project does not require zoning variances or conditional use permits. The City’s noticing requirements have all been met.

Third, Appellants argue that the Project Application failed to disclose that there are related City Planning Cases at Chaminade College Preparatory School. This is incorrect. The proposed expansion of Chaminade College Preparatory School is not a related Planning Case and was not proposed by the same Project Applicant. In any event, the City’s Letter of Compliance, in the Surrounding Properties section, did note that “Chaminade College Preparatory School submitted an entitlement application with Los Angeles City Planning for the expansion of an existing high school campus under Case Nos. CPC-2023- 1254-VZC-HD-ZAD-ZAA and VTT-84101 and associated environmental Case No. ENV-2023-1255-MND (related Case No. CPC-2009-1477-CU-ZV-ZAA-SPR-PA1).”

IV. CONCLUSION

This Project is a 100% affordable senior housing development, which complies with the City’s zoning, General Plan, objective design standards, and the State’s Density Bonus Law.

As a 100% affordable senior housing development, the Project is entitled to protection under the Housing Accountability Act, which prohibits local agencies from disapproving or conditioning the approval of a housing development project that complies with applicable, objective standards, in effect at the time that the application was deemed complete.¹² The only exception is for when a local agency makes writing findings, based upon a preponderance of the evidence in the record, that the Project would have “a specific, adverse impact upon the public health or safety, and there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low- and moderate-income households or rendering the development of the emergency shelter financially infeasible.”¹³ This is a high burden that cannot be met in this case. As explained by City Staff, the Project will not

¹⁰ Letter of Compliance, p. 11.

¹¹ Letter of Compliance, p. 14.

¹² Gov. Code § 65589.5((d), (j)).

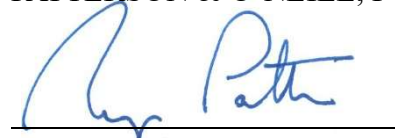
¹³ Gov. Code § 65589.5(j)(1).

have any specific, adverse impact on public health. Therefore, the Project Application cannot be denied or conditioned.

For the reasons stated above, the Planning Commission should deny the appeals and confirm the City's approval of the Project.

Respectfully submitted,

PATTERSON & O'NEILL, PC

A handwritten signature in blue ink, appearing to read "Ryan Patterson", is written over a horizontal line.

Ryan J. Patterson
Ephraim S. Margolin
Attorneys for Project Applicant