



## DEPARTMENT OF CITY PLANNING

### APPEAL RECOMMENDATION REPORT

#### City Planning Commission

**Date:** April 10, 2025  
**Time:** After 8:30 a.m.\*  
**Place:** Los Angeles City Hall  
Council Chambers, Room 340  
200 North Spring Street  
Los Angeles, CA 90012

This meeting may be available virtually, in hybrid format. Please check the meeting agenda (available at the link below) approximately 72 hours before the meeting for additional information or contact [cpc@lacity.org](mailto:cpc@lacity.org).

<https://planning.lacity.org/about/commissions-boards-hearings>

**Public Hearing:** Required  
**Appeal Status:** Not further appealable  
**Expiration Date:** April 10, 2025

**Multiple Approval:** Yes

**Case No.:** DIR-2023-2587-TOC-SPP-HCA-1A  
**CEQA No.:** ENV-2023-2588-CE  
**Incidental Cases:** None  
**Council No.:** 13 – Soto-Martinez  
**Plan Area:** Hollywood  
**Specific Plan:** Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan – Subarea B (Mixed Use Boulevards)  
**Certified NC:** East Hollywood  
**GPLU:** Highway Oriented Commercial  
**Zone:** C2-1D  
**Applicant:** Michael Eghabli and Farshad Zaghi

**Representative:** N/A

**Appellant:** Richard Fleming  
5271 W Sunset Blvd  
Tenants Union

**Appellant's Representative:** N/A

**PROJECT LOCATION:** 5271 West Sunset Boulevard (5271-5277 West Sunset Boulevard)

**PROPOSED PROJECT:** The proposed project includes the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan.

**REQUESTED ACTIONS:** An Appeal by the Appellant of the December 11, 2024, Director of Planning's determination which:

1. **Determined** that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (Class 32 - In-Fill Development Project), and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies;

2. **Approve with Conditions** a project consistent with the provisions of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program Tier 3 to permit a project consisting of 19 residential units by reserving two (2) dwelling units, equal to 10% of the total units, for Extremely Low Income Household Occupancy for a period of 55 years, with Base Incentives permitted pursuant to LAMC Section 12.21 A.31, in addition to the following Additional Incentives:
  - a. **Height.**
    - (i) An up to 4.25% increase in the height requirement, allowing up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B;
    - (ii) Transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A;
    - (iii) A one (1)-story increase in the height allowance of the portion of the building located within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Sunset Boulevard per SNAP Subarea B; and
    - (iv) An up to 11-foot increase in the height allowance of the portion of the building located within 15 feet of the property line, allowing up to 41 feet of maximum building height in lieu of the maximum 30 feet within 15 feet of the property line along Sunset Boulevard per SNAP Subarea B.
  - b. **Open Space Dimension.** An up to 25 percent reduction to permit a minimum common open space width of 15 feet in lieu of the minimum 20 feet otherwise required;
  - c. **Open Space Setback.** An up to 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required; and
3. **Approve with Conditions** a Project Permit Compliance Review for the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan.

**RECOMMENDED ACTIONS:**

1. **Determine**, based on the whole of the administrative record, that the project is exempt from CEQA pursuant to State CEQA Statute and Guidelines, Article 19, Section 15332 (Urban In-Fill Development), and there is no substantial evidence demonstrating that an exception to a Categorical Exemption pursuant to State CEQA Statute and Guidelines, Section 15300.2 applies;
2. **Deny** the appeal of DIR-2023-2587-TOC-SPP-HCA;
3. **Sustain** the action of the Director of Planning in approving DIR-2023-2587-TOC-SPP-HCA to conditionally approve a Transit Oriented Communities Affordable Housing Incentive Program and a Project Permit Compliance Review to permit the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units, with two (2) dwelling units reserved for Extremely Low Income Households, and 570 square feet of commercial floor area, and,
4. **Adopt** the Director of Planning's Conditions of Approval and Findings.

VINCENT P. BERTONI, AICP  
Director of Planning

*Jane Choi*  
\_\_\_\_\_  
Jane Choi, AICP, Principal City Planner

*Jane Choi* for  
\_\_\_\_\_  
Deborah Kahen, AICP, Senior City Planner

*Jane Choi* for  
\_\_\_\_\_  
Danalynn Dominguez, City Planner

*Jamillet Brizuela*  
\_\_\_\_\_  
Jamillet Brizuela, AICP, City Planning Associate  
[jamillet.brizuela@lacity.org](mailto:jamillet.brizuela@lacity.org)

**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1300) or emailed to [cpc@lacity.org](mailto:cpc@lacity.org). While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at 213-978-1299.

## TABLE OF CONTENTS

### **Project Analysis**

**A-1**

Project Summary  
Background  
Summary of Appeal & Appeal Analysis  
Staff Recommendation

### **Exhibits:**

- A- Appeal Application and Justification
- B- Maps
  - B.1- Vicinity Map
  - B.2- Radius Map
  - B.3- ZIMAS Map
- C- DIR-2023-2587-TOC-SPP-HCA Letter of Determination
- D- “Exhibit A” Project Plans DIR-2023-2587-TOC-SPP-HCA
- E- Categorical Exemption
  - E.1- Notice of Exemption (ENV-2023-2588-CE)
  - E.2- Class 32 Justifications (ENV-2023-2588-CE)
- F- Los Angeles Housing Department’s Replacement Unit Determination Letter dated September 19, 2022.
- G- Email exchange between Project Planning Staff and the Office of Historic Resources, dated January 30, 2024 – February 5, 2024.



## PROJECT ANALYSIS

### Project Summary

The project is the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. The proposed project will include 16,250 residential square feet and 570 commercial square feet, with a Floor Area Ratio (FAR) of 2.04:1. The project, as approved in Exhibit "A", will include a total of 22 bicycle parking spaces (20 residential bicycle spaces and two (2) commercial bicycle spaces) and 2,346.5 square of open space. Pursuant to Assembly Bill (AB) 2097, the applicant is proposing no automobile parking spaces. As the proposed project includes the construction of a mixed-use building and the site is located within half a mile of a major transit stop, the project qualifies for the parking reduction under the provisions of AB 2097.

Pursuant to the TOC Guidelines, the project is eligible for Base Incentives and up to three (3) Additional Incentives for setting aside 10 percent of the total 19 units and 11 percent of the base 11 units (maximum allowable density allowed by the Specific Plan, prior to any density increase) for Extremely Low-Income Households.



*Figure 1. Rendering of the proposed project.*

The Applicant was approved for the following TOC Program incentives:

#### Base Incentives:

1. An up to 70 percent increase in density, allowing up to 19 units in lieu of 11 units; and
2. An up to two (2) percent increase in residential floor area ratio, allowing up to 2.04:1 of residential floor area ration in lieu of 2:1 per SNAP Subarea B.

Additional Incentives:

1. Height.
  - a. An up to 4.25 percent increase in the height requirement, allowing up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B; and
  - b. Transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A;
  - c. An up to 11-foot increase in the height allowance of the portion of the building located within 15 feet of the property line, allowing up to 41 feet of maximum building height in lieu of the maximum 30 feet within 15 feet of the property line along Sunset Boulevard per SNAP Subarea B; and
2. Open Space Dimension. An up to 25 percent reduction to permit a minimum common open space width of 15 feet in lieu of the minimum 20 feet otherwise required; and
3. Open Space Setback. An up to 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required.

On December 11, 2024, the Director of Planning approved the Project, consistent with the provisions of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program Tier 3 and a Project Permit Compliance Review for the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan.

**Background**

The subject property consists of one (1) lot with approximately 55 feet of frontage along the northerly side of Sunset Boulevard between Hobart Boulevard and Harvard Boulevard. The subject lot has a total lot size of approximately 8,249.9 square feet based on a survey prepared by Fred Yazdan, Professional Land Surveyor #35704. The site is currently improved with a two (2)-story, four (4) apartment building and accessory structure. There is one (1) existing non-protected tree within the public right-of-way, and no existing protected trees or shrubs on site.

The project site is located within the Hollywood Community Plan and Subarea B of the Vermont/Western SNAP Specific Plan. The site is zoned C2-1D, designated for Highway Oriented Commercial land uses. An update of the Hollywood Community Plan was adopted by City Council on January 3, 2023, and became operative on February 11, 2025. The project was filed before the effective date and is vested to the local planning and zoning rules that were in place at the time the complete application was submitted. Therefore, the project is not subject to the new Hollywood Community Plan. The applicable zoning for the site is C2-1D.



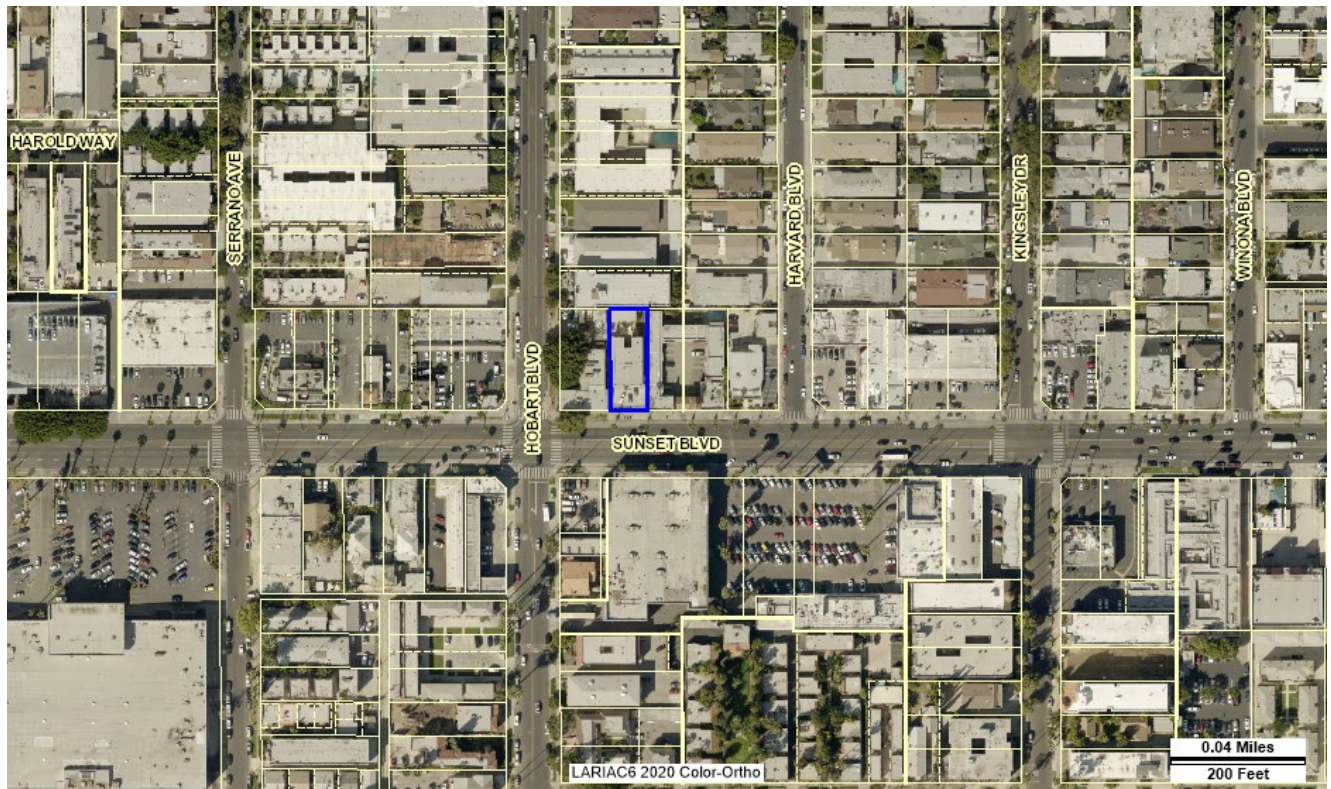


Figure 2. Aerial view of the subject property.

The surrounding area is characterized by level topography and improved streets. Properties to the west and east are zoned C2-1D, located within Subarea B (Mixed-Use Boulevards) of the Vermont/Western SNAP Specific Plan, and developed with commercial buildings. The property to the south, across Sunset Boulevard, is zoned C2-1D, located within Subarea B of the Vermont/Western SNAP Specific Plan, and developed with a commercial building and surface parking lot. Lastly, the property to the north is zoned R3-1XL, located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP Specific Plan and developed with a residential building.

### **Summary of Appeal**

On December 24, 2024, an Appellant filed an appeal of the entire Director's Determination issued on December 11, 2024. The following section provides a summary of the Appellant's points and Planning staff's responses to each point.

### **Appeal Analysis**

#### **HISTORIC**

**Appeal Point 1:** *Built in 1920, the existing building predates several historical landmarks, and the building's demolition would erase a significant historical structure and its unique architectural features.*

**Staff's Response:** The project site and existing structures were not found to be historically significant under the California Environmental Quality Act. The site and existing structures have not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los

Angeles. Furthermore, the Department of City Planning's Office of Historic Resources confirmed in an email dated February 5, 2024 (Exhibit G), that the project site and existing structures are not a historic resource for purposes of CEQA and require no further historical analysis. Therefore, this site has been determined not to be of any historical significance, and the Director's approval was appropriate.

## PROJECT PERMIT COMPLIANCE REVIEW

**Appeal Point 2:** *The proposed project does not comply with the applicable regulations, findings, standards, and provisions of the Vermont/Western SNAP, as it seeks reductions in required open space dimensions and setbacks.*

**Staff's Response:** As conditioned in the Director of Planning's Determination Letter (Exhibit C) and described in the project background above, the proposed project is eligible for Tier 3 Base and Additional Incentives of the Transit Oriented Communities (TOC) Program. These incentives provide the developer relief from developmental standards, including a reduced open space dimension, and setback. A Tier 3 project is eligible for three (3) Additional Incentives if it reserves a minimum of 10 percent of the total 19 units and 11 percent of the base 11 units for Extremely Low-Income Households. The project proposes a total of 19 units, with at least two (2) dwelling units for Extremely Low-Income households. Therefore, the applicant is eligible to utilize three Additional Incentives for relief from height and transitional height requirements, a common open space width reduction, and a reduction in the minimum distance of common open space from the roof perimeter.

The Project was found to be in compliance with the Vermont/Western SNAP for the amount and location of common open space as the Project meets the Tier 3 TOC Program requirements and is granted relief for these development standards through the TOC program.

## REPLACEMENT UNITS

**Appeal Point 3:** *Unlike what is required per Condition No. 3 of the Letter of Determination (LOD), the proposed project does not provide the minimum required number of replacement units mandated by the Rent Stabilization Ordinance (RSO) as only two units are reserved as affordable, which is only 10% of the 19-unit project.*

**Staff's Response:** The project proposes 19 dwelling units, with an 11 percent set-aside, or two (2) units, for Extremely Low-Income Households per the Tier 3, TOC Affordable Housing Incentive Program. The project has been conditioned to record a covenant with the Los Angeles Housing Department (LAHD) to make four (4) units available for Extremely Low-Income Households to ensure the applicant sets aside the required number of affordable housing to be eligible for a 70 percent increase from the total density permitted by the Vermont/Western SNAP Specific Plan.

The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act (SB 8) TOC Replacement Unit Determination (RUD), dated September 19, 2022 (Exhibit F), that four (4) units exists/existed on the property within the last five (5) years. Four (4) Rent Stabilization Ordinance (RSO) units are subject to replacement pursuant to the requirements of California Government Code Section 66300 with the four (4) units subject to replacement as affordable "protected units". Income verification documents

were provided for two (2) units at the Property. The unit at 5273 W. Sunset Blvd. was verified to be a Low-Income affordable unit within the last five (5) years, and the unit at 5275 W. Sunset Blvd. was verified to be an Extremely Low-Income affordable unit within the last five (5) years. Per the income verification documentation, two (2) units will be replaced with equivalent type, with one (1) unit restricted to Extremely Low-Income Households and one (1) unit restricted to Low Income Households. No income documents were provided for the remaining two (2) units. Pursuant to the Housing Crisis Act and the HUD Comprehensive Housing Affordability Strategy (CHAS) database, two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low-Income Households and one (1) unit restricted to Very Low-Income Households.

Planning Staff has conditioned the project to adhere to the requirements outlined in the RUD letter, ensuring that four (4) units are reserved for the specified affordability levels. In accordance with Condition No. 3 of the Letter of Determination (Exhibit C), the project is required to comply with the terms of the RUD letter, dated September 19, 2022, to the satisfaction of LAHD. Furthermore, under Condition No. 6 of the Letter of Determination, the project owner must secure LAHD's approval for the replacement of affordable units. Therefore, the Director of Planning's approval was appropriate.

## DISPLACEMENT

**Appeal Point 4:** *Tenants face significant financial and emotional hardship due to displacement, including increased rent, higher living costs, loss of work-from-home setups, and challenges relocating within the community that meets the ADA accessibility requirements, as required by one of the tenants.*

**Staff's Response:** The request before the Planning Department was a consideration of a Transit Oriented Communities Incentive Program determination. The project complies with the applicable regulations and conditions, such as Condition No. 3 and Condition No. 6 of the Letter of Determination, set forth by the Vermont/Western SNAP Regulations and the TOC Guidelines, including provisions for replacing affordable units and ensuring that the tenants impacted by this development are provided with appropriate relocation assistance and the right of return and right of first refusal under the Ellis Act, SB 330 and SB 8. With regard to relocation assistance, the City's Relocation Consultant will be engaged to provide transportation and support during the relocation process, as required by LAMC Section 47.07.

## PARKING

**Appeal Point 5:** *The proposed project does not include any on-site parking spaces, which will result in increased traffic congestion, exacerbate parking shortages, and create public safety risks for residents walking longer distances to access their vehicles.*

**Staff's Response:** AB 2097 prohibits local jurisdictions from requiring new or replacement parking for the proposed 19-unit mixed-used building. The subject site is located within half of a mile from a Major Transit Stop at the intersection of Hollywood Boulevard and Western Avenue, where the City, through AB 2097, cannot impose any minimum parking requirements.

Additionally, the subject site is located in an area covered by Senate Bill (SB) 743. SB 743 instituted changes to the California Environmental Quality Act when evaluating environmental impacts to projects located in areas served by transit. Specifically, Section 21099 (d)(1) of the Public Resources Code (PRC) states:

*Aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered a significant impact on the environment.*

The subject site is located in a Transit Priority Area; as such, parking impacts are not a valid criterion when assessing the environmental impacts from the proposed improvement.

Finally, the appellant contends that the longer walks as a result to parking congestion would lead to public safety risks. There is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (Chapter 1 of the Los Angeles Municipal Code Section 12.22.A.25(b)). The appellants have not identified an objective public health or safety standard upon which to base this argument. Consequently, there is no substantial evidence to make the finding to deny the proposed project. Therefore, the Director of Planning's approval was appropriate.

## HEIGHT

**Appeal Point 6:** *The proposed project's height will obstruct sunlight and airflow for neighboring residential buildings, adversely affecting their livability.*

**Staff's Response:** The project site is zoned C2-1D which allows for a maximum building height of 50 feet by-right per SNAP Subarea B. The applicant is requesting three (3) Additional Incentives. One of the additional incentives is to permit an up to a two (2)-feet, three (3)-inches increase in height allowing up to 52 feet, three (3) inches in maximum height instead of the maximum 50 feet otherwise permitted in the C2-1D Zone. The proposed project does not utilize the entire 22-foot increase that is allowed by the TOC Program. Instead, the proposed project is utilizing a two (2)-foot and three (3)-inch increase in height to permit 52 feet and three (3) inches of maximum building height.

The site is in a developed area and is not near a scenic vista or a protected viewshed. Furthermore, the Director determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32 (Exhibit D). On September 2013, the Governor signed Senate Bill (SB) 743 into law which establishes that projects located within Transit Priority Areas (TPA), are exempt from aesthetic character, shade and shadow, light and glare, or any other aesthetic impact and shall not be considered an impact for infill projects within TPAs. Specifically, Section 21099(d)(1) of the Public Resources Code (PRC) states that a project's aesthetic and parking impacts shall not be considered a significant impact on the environment if: (1) the project is a residential, mixed-use residential, or employment center project; and (2) the project is located on an infill site within

a transit priority area. Section 21099(a) of the PRC defines a TPA to mean an area within one-half mile of a major transit stop that is existing or planned. The project site is located within one-half mile (approximately 2,460 feet) of the Hollywood/Western Metro Red Line Station, which qualifies the project as a TPA. The proposed project is subject to SB 743 as it is a residential project proposed on an infill site within a Transit Priority Area. Therefore, none of the potential aesthetic impacts associated with the project can be considered a significant impact on the environment. Therefore, the Director's decision was appropriate.

## ENVIRONMENTAL REVIEW

**Appeal Point 7:** *The project does not qualify for a CEQA categorical exemption, as its cumulative impacts, combined with other nearby TOC projects, have not been adequately assessed and may pose risks to public health and safety. Additionally, the absence of noise, air quality, and solar impact assessments, despite the potential risks to public health and safety, highlighting the need for a comprehensive environmental review and should not have been exempted.*

**Staff's Response:** A local agency's determination that a project falls within a categorical exemption is presumed to be valid so long as substantial evidence supports the City's determination that all of the Class 32 requirements have been met. The City has met its burden by preparing a robust and detailed Notice of Exemption and Class 32 Justification, attached as Exhibit E. Once this initial threshold analysis has been met, the burden shifts to the challenging party to produce evidence showing that one of the exceptions applies to take the project out of the exempt category. (Berkeley Hillside Preservation v. City of Berkeley (2015) 60 Cal.4th 1086; San Francisco Beautiful v. City and County of San Francisco (2014) 226 Cal.App.4th 1012, 1022-23.) Here, the Appellant has not met their burden as no facts or evidence were submitted in the administrative record to conclude that the proposed project does not qualify for a Class 32 CEQA Exemption.

As detailed in the Class 32 Justification for Project Exemption Case No. ENV-2023-2588-CE (Exhibit E), the proposed project meets all criteria to qualify as an infill site under the Class 32 CEQA Exemption, California Environmental Quality Act & CEQA Guidelines Section 15332. The Appellant has not submitted substantial evidence as to why the proposed project does not qualify for a Class 32 CEQA Exemption.

### Cumulative Impacts

As for concerns regarding the combined impacts of other nearby TOC Projects, the appellant has not met their burden as there is no evidence in the record to conclude that there will be an adverse cumulative impact caused by the proposed Project and other projects in the vicinity of the Project site. Speculation that significant cumulative impacts will occur simply because other projects may be approved in the same area is insufficient to trigger this exception and is not evidence that the proposed project will have adverse impacts, significant effects, or that the impacts are cumulatively considerable (Hines v. California Coastal Commission (2010) 186 Cal. App. 4th 830, 857). The appellant has not submitted substantial evidence for the record to support their assertions that the cumulative impact exception applies. Speculation and a list of "past projects, current projects, and future projects" do not serve to support the appellant's claims.

The Appellant's comments regarding cumulative impacts are vague and it is unclear what impact would occur and/or why it would occur. Likewise, the Appellant has not submitted any evidence into the record indicating a negative cumulative impact.

#### Technical Studies

The appellant contends that there are potential risks to public health and safety, which had not been explored due to the absence of noise, air quality, and solar impact assessments. As set forth in the administrative record, the proposed project and other projects in the vicinity area are subject to Regulatory Compliance Measures (RCMs) related to air quality, noise, hazardous materials, geology, and transportation. Numerous RCMs in the City's Municipal Code and State law provide requirements for construction activities and ensure impacts from construction-related air quality, noise, traffic, and parking are less than significant. For example, the South Coast Air Quality Management District (SCAQMD) has District Rules related to dust control during construction, type, and emission of construction vehicles, architectural coating, and air pollution. All projects are subject to the City's Noise Ordinance No. 144,331, which regulates construction equipment and maximum noise levels during construction and operation. Furthermore, the Applicant submitted a noise, and air quality study prepared by CAJA Environmental Services, LLC, that demonstrated the proposed project will not have a significant impact upon the environment. A summary of the technical studies' results can be found in CEQA Class 32 Exemption Justification Report of Case No. ENV-2023-2588-CE.

In conclusion, the Appellant has failed to provide substantial evidence demonstrating that the Class 32 Categorical Exemption for the Project is deficient. The CEQA Determination includes substantial evidence that the Class 32 Categorical Exemption applies to the proposed project and that no exceptions to the categorical exemption apply.

#### Specific Adverse Impact

Lastly, there is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (Chapter 1 of the Los Angeles Municipal Code Section 12.22.A.25(b)). The appellants have not identified an objective public health or safety standard upon which to base this argument. Consequently, there is no substantial evidence to make the finding to deny the proposed project.

For the reasons explained above, the Director's decision was appropriate, and the Class 32 Categorical Exemption adequately addresses all impacts relative to the proposed project at 5271 West Sunset Boulevard.

For the reasons explained above, the Director's decision was appropriate.

#### **STAFF'S RECOMMENDATION:**

In consideration of the foregoing, it is submitted that the Director of Planning acted reasonably in conditionally approving a Transit Oriented Communities (TOC) Affordable Housing Incentive



Program, and a Project Permit Compliance Review for the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. Staff recommends that the Los Angeles City Planning Commission deny the appeal, determine that the project is categorically exempt from CEQA as a Class 32 In-fill Project, sustain the action of the Director of Planning in approving a Transit Oriented Communities (TOC) Affordable Housing Incentive Program and a Project Permit Compliance Review, and adopt the Conditions of Approval and Findings of the Director of Planning.

**A – APPEAL APPLICATION AND JUSTIFICATION**

## APPLICATIONS



### APPEAL APPLICATION Instructions and Checklist

## PURPOSE

This application is for the appeal of Los Angeles Department of City Planning determinations, as authorized by the LAMC. For California Environmental Quality Act Appeals use form [CP13-7840](#). For Building and Safety Appeals and Housing Department Appeals use form CP13-7854.

## RELATED CODE SECTION

Refer to the Letter of Determination (LOD) for the subject case to identify the applicable Los Angeles Municipal Code (LAMC) Section for the entitlement and the appeal procedures.

## APPELLATE BODY

**Check only one. If unsure of the Appellate Body, check with City Planning staff before submission.**

- ☐ Area Planning Commission (APC)    ☒ City Planning Commission (CPC)    ☐ City Council  
☐ Zoning Administrator (ZA)

## CASE INFORMATION

**Case Number:** DIR-2023-2587-TOC-SPP-HCA

**APN:** 5544017021

**Project Address:** 5271 W Sunset Blvd, Los Angeles, CA 90027

**Final Date to Appeal:** 26 December 2024

## APPELLANT

**Check all that apply.**

- ☒ Person, other than the Applicant, Owner or Operator claiming to be aggrieved  
☐ Representative    ☐ Property Owner    ☐ Applicant    ☐ Operator of the Use/Site

## APPELLANT INFORMATION

Appellant Name: Richard Fleming

Company/Organization: 5271 W Sunset Blvd Tenants Union

Mailing Address: 5273 W Sunset Blvd

City: Los Angeles State: CA Zip Code: 90027

Telephone: 915-203-6753 E-mail: richard.fleming87@gmail.com

Is the appeal being filed on your behalf or on behalf of another party, organization, or company?

☒ Self ☐ Other: \_\_\_\_\_

Is the appeal being filed to support the original applicant's position? ☐ YES ☒ NO

## REPRESENTATIVE / AGENT INFORMATION

Name: \_\_\_\_\_

Company/Organization: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

## JUSTIFICATION / REASON FOR APPEAL

Is the decision being appealed in its entirety or in part? ☒ Entire ☐ Part

Are specific Conditions of Approval being appealed? ☐ YES ☒ NO

If Yes, list the Condition Number(s) here: \_\_\_\_\_

On a separate sheet provide the following:

☐ Reason(s) for the appeal

☐ Specific points at issue

☐ How you are aggrieved by the decision

## APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true.

**Appellant Signature:** Richard Fleming Digitally signed by Richard Fleming  
Date: 2024.12.21 16:13:24 -08'00' **Date:** 12/21/2024

## GENERAL NOTES

*A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.*

*The appellate body must act on the appeal within a time period specified in the LAMC Section(s) pertaining to the type of appeal being filed. Los Angeles City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.*

### THIS SECTION FOR CITY PLANNING STAFF USE ONLY

**Base Fee:** \$172

**Reviewed & Accepted by (DSC Planner):** Ruben Vasquez

**Receipt No.:** 200187115067 **Date:** 12/24/2024

☒ Determination authority notified

☐ Original receipt and BTC receipt (if original applicant)

## GENERAL APPEAL FILING REQUIREMENTS

If dropping off an appeal at a Development Services Center (DSC), the following items are required. See also additional instructions for specific case types. To file online, visit our [Online Application System \(OAS\)](#).

## APPEAL DOCUMENTS

### 1. Hard Copy

Provide three sets (one original, two duplicates) of the listed documents for each appeal filed.

☐ Appeal Application

☐ Justification/Reason for Appeal

- ☐ Copy of Letter of Determination (LOD) for the decision being appealed

## 2. Electronic Copy

- ☐ Provide an electronic copy of the appeal documents on a USB flash drive. The following items must be saved as individual PDFs and labeled accordingly (e.g., “Appeal Form”, “Justification/Reason Statement”, or “Original Determination Letter”). No file should exceed 70 MB in size.

## 3. Appeal Fee

- ☐ *Original Applicant.* The fee charged shall be in accordance with LAMC Section 19.01 B.1(a), or a fee equal to 85% of the original base application fee. Provide a copy of the original application receipt(s) to calculate the fee.
- ☐ *Aggrieved Party.* The fee charged shall be in accordance with LAMC Section 19.01 B.1(b)

## 4. Noticing Requirements (Applicant Appeals Only)

- ☐ *Copy of Mailing Labels.* All appeals require noticing of the appeal hearing per the applicable LAMC Section(s). Original Applicants must provide noticing per the LAMC for all Applicant appeals.
- ☐ *BTC Receipt.* Proof of payment by way of a BTC Receipt must be submitted to verify that mailing fees for the appeal hearing notice have been paid by the Applicant to City Planning’s mailing contractor (BTC).

See the Mailing Procedures Instructions ([CP13-2074](#)) for applicable requirements.

## SPECIFIC CASE TYPES

### ADDITIONAL APPEAL FILING REQUIREMENTS AND / OR LIMITATIONS

## DENSITY BONUS (DB) / TRANSIT ORIENTED COMMUNITIES (TOC)

Appeal procedures for DB/TOC cases are pursuant to LAMC Section 13B.2.5. (Director Determination) of Chapter 1A or LAMC Section 13B.3.3. (Class 3 Conditional Use) of Chapter 1A as applicable.

- Off-Menu Incentives or Waiver of Development Standards are not appealable.
- Appeals of On-Menu Density Bonus or Additional Incentives for TOC cases can only be filed by adjacent owners or tenants and is appealable to the City Planning Commission.

- ☐ Provide documentation confirming adjacent owner or tenant status is required (e.g., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, driver's license, bill statement).

## WAIVER OF DEDICATION AND / OR IMPROVEMENT

Procedures for appeals of Waiver of Dedication and/or Improvements (WDIs) are pursuant to LAMC Section 12.37 I of Chapter 1.

- WDIs for by-right projects can only be appealed by the Property Owner.
- If the WDI is part of a larger discretionary project, the applicant may appeal pursuant to the procedures which govern the main entitlement.

## [VESTING] TENTATIVE TRACT MAP

Procedures for appeals of [Vesting] Tentative Tract Maps are pursuant LAMC Section 13B.7.3.G. of Chapter 1A.

- Appeals must be filed within 10 days of the date of the written determination of the decision-maker.

## NUISANCE ABATEMENT / REVOCATIONS

Appeal procedures for Nuisance Abatement/Revocations are pursuant to LAMC Section 13B.6.2.G. of Chapter 1A. Nuisance Abatement/Revocations cases are only appealable to the City Council.

### Appeal Fee

- ☐ *Applicant (Owner/Operator)*. The fee charged shall be in accordance with the LAMC Section 19.01 B.1(a) of Chapter 1.

For appeals filed by the property owner and/or business owner/operator, or any individuals/agents/representatives/associates affiliated with the property and business, who files the appeal on behalf of the property owner and/or business owner/operator, appeal application fees listed under LAMC Section 19.01 B.1(a) of Chapter 1 shall be paid, at the time the appeal application is submitted, or the appeal application will not be accepted.

- ☐ *Aggrieved Party*. The fee charged shall be in accordance with the LAMC Section 19.01 B.1(b) of Chapter 1.

December 23, 2024

The 5271 W. Sunset Tenants Union  
5271-5277 W. Sunset Boulevard  
Los Angeles, CA 90027

City of Los Angeles, Department of City Planning  
200 N. Spring St.  
Los Angeles, CA 90012

**Appeal of: Case No: DIR-2023-2587-TOC-SPP-HCA**  
**Project Address: 5271 West Sunset Boulevard**  
**(5271-5277 West Sunset Boulevard)**  
**Los Angeles, CA 90027**

This is a full appeal of the TOC, SNAP, and CEQA approvals under Case No. DIR-2023-2587-TOC-SPP-HCA for the project located at 5271 West Sunset Boulevard.

**I. PROJECT BACKGROUND**

The proposed “5271 W. Sunset Blvd” project involves the demolition of a 2-story, 4-unit apartment building totaling approximately 5,427 square feet, and an accessory structure. The existing building, which was constructed in 1920, predates several historical Los Angeles buildings including, the Egyptian Theatre, the Biltmore and Culver Hotels, Hotel Figueroa, Chateau Marmont, Greystone Mansion and the Hollyhock House, which was the first Frank Lloyd Wright California commission. The applicants, Michael Eghbali and Farshad Zaghi propose to construct a 4-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. The site’s underlying zoning is C2-1D.

The applicant proposes to reserve two (2) dwelling units, only equal to 10% of the total units, for Extremely-Low Income Household Occupancy for a period of 55 years, with Base Incentives permitted pursuant LAMC 12.21 A.31, in addition to the following Additional Incentives:



**a. Height.**

- (i) An up to 4.25% increase in the height requirement, allowing up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B;
- (ii) Transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A;
- (iii) A one (1)-story increase in the height allowance of the portion of the building located within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Sunset Boulevard per SNAP Subarea B.
- (iv) An up to 11-foot increase in the height allowance of the portion of the building located within 15 feet of the property line, allowing up to 41 feet of maximum building height in lieu of the maximum 30 feet within 15 feet of the property line along Sunset Boulevard per SNAP Subarea B.

**b. Open Space Dimension.** An up to 25 percent reduction to permit a minimum common open space width of 15 feet in lieu of the minimum 20 feet otherwise required;

**c. Open Space Setback.** An up to 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required.

The proposed project is not consistent with SNAP's goals, objectives, and policies as it is reducing the open space dimension and open space setback.

Under the Conditions of Approval for TOC Affordable Housing and Incentive Program Grant Clause and Conditions, "the applicant will need to either replace or all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number." Currently, there are only 2 units reserved as affordable which is only 10% of the 19-unit project.

## **II. SIGNIFICANT ADVERSE IMPACTS**

We the tenants have lived and paid affordable rent in this building for 16, 12, and 3.5 years, respectively, and have planned for a future that involves living in our current residency. None of us have any desire to leave and are being forced out of a building that was previously owned by a family since the 1940s. Any potential move will not only be a wrecking ball through our building but through all of our lives as we know them. We've built our lives and communities here and feel there are several significant adverse impacts of this project.

Taking an average of the current rental market in our area for comparable 2-bedroom units, if forced to move, our rent will increase by 278% a month. We'll soon be responsible for coming up with, on average, an extra \$3200 more a month just to cover rent. That amount doesn't even reflect utilities, pet fees, and the cost and labor of moving. It also doesn't factor in inflation or the potential of having to move into a building that isn't rent stabilized. We'll also be paying new and higher security deposits and will be forced to put our credit scores in jeopardy by applying for tenancy. For those of us who qualify to return and would choose to do so, there's also no guarantee of how long we'd be displaced or for how long we'd have to cover the higher costs; it will most likely be several years. The current relocation assistance does not adequately cover the significant increase of costs we would be burdened with while either waiting to return or having to move on. Furthermore, with the current average rental cost, there is nothing even close to comparable in this area at our current monthly rate and square footage/amenities. Without being made whole, we'll be forced to not only move from our chosen neighborhood but mostly likely out of Los Angeles or even the state altogether.

Many of us work in the surrounding area and would potentially be forced to move far away from our current jobs or have to take on longer commutes as this area is central to the film/TV studios where some of us work. That means more money out of our pockets each month for gas and car maintenance as well as more dedicated time and stress in LA traffic. It's untenable and potentially means we'd not only be searching for new housing but also new places of employment. We are essentially being forced to start our lives over after having done nothing wrong and not asked for any of this. There's no guarantee that any of us will find gainful employment in our current professional fields, let alone in our current vicinity.

Some of us have also invested our time and money into creating suitable work-from-home environments and our homes play important roles in our abilities to generate income. For some, the second bedroom is a dedicated office space, and the outdoor space is essential for building props for the business, per the ventilation requirements of the Occupational Safety and Health Administration (OSHA). The in-unit washer and dryer as well as the dedicated, gated parking right out front is also essential for business duties such as laundering a high volume of costumes and being able to move and load/unload heavy equipment easily and safely. Forcing us out potentially extinguishes our abilities to run our businesses we've worked so hard at establishing.

One of the tenants also has a disability (per ADA guidelines) and relies on the adequate square footage and storage areas within the unit to do mobility activities and store numerous medical supplies relating to the physician-diagnosed conditions.

We'll also be losing the sense of community we've garnered with one another and would be moving away from the communities of friends we've spent a decade building. Not only will the new cost of renting be astronomical, but we also see doctors and get weekly/regular medical care in this area. A good doctor who you trust and see results with is hard to find. Uprooting us puts our health into flux. Many of us also take advantage of the numerous amenities the neighborhood offers including hiking in Griffith Park, the Los Feliz Library, Barnsdall Park, and easy access to the 101 and 5 freeways as well as the Red Line of the Metro. We're regular patrons of several cafes or eateries where we're able to shop small and invest back into the neighborhood we love. Not to mention the safety our building provides as well as a large communal outdoor space, gated parking for each tenant, and in-unit laundry. These things are hard to come by for any renter in Los Angeles at any price and are also in jeopardy.

We're being forced to uproot our whole lives so that a 19-unit, mixed-use building, with no allocated residential or commercial parking spaces, can be erected. Of these 19 units, only 2 will be reserved for Extremely-Low Income Households per SB 8, which does not meet the required 20% or one-

for-one ratio. In the existing structure there are 4 residential RSO units. This means the new building will be taking 2 residential RSO units out of the neighborhood and will keep driving up rental prices in an already astronomically expensive market.

It will also most likely be adding a large number of automobiles to the area and creating even more congestion than currently exists. The nearest streets to park (Hobart and Harvard) are already jam-packed with cars, many even spilling over illegally into the median or shoulders. This could also significantly impact public safety by adding to the numbers of people having to walk to and from their cars alone, especially at night or with heavy loads, such as groceries.

Furthermore, based on the Entitlements, the new structure is going to be 4-stories tall (52 ft and 3 inches) and will successfully block the sunlight and direct air flow from the current residential buildings directly behind and in the surrounding areas. There are no air or solar studies included in the Letter of Determination to assess the significant impacts of building a new structure that is essentially twice the height of the existing one and has less front, side, and rear yard setbacks. No noise studies have been done either to assess the potential significant impacts to the surrounding areas, but the project is somehow exempt from CEQA? The construction could also significantly affect business for America's Best Value Inn, the motel directly next to the property on the East. Years of demolition and construction out your window doesn't exactly attract guests or tourists to the area.

The project does not qualify for a CEQA categorical exemption. The project's cumulative impacts have not been properly studied, and when combined with the enormous number of other proposed TOC projects in the vicinity will have a significant, adverse impact upon public health and safety.

Having been built in 1920, the Mediterranean-influenced building also has a significant amount of architectural charm. Each unit has a number of built-in shelving units, beautiful hardwood flooring and trim, coved ceilings and decorative arches or archways. The Marinoff family bought the building in the 1940s and owned it up until the applicants purchased the project in 2022 after the passing of the owner. He received the building from his grandmother, who painstakingly scraped the paint off the original woodwork and trim and restained it, returning it to its former glory. The interior doorplates are still the original brass fixtures with skeleton keyhole locks. Sash windows provide ample sunlight and are operated by a cord and pulley system. It is possibly the last residential building on Sunset Boulevard in this area that was built during a major construction boom in Hollywood. The current building even pre-dates the famous Hollywood sign and adds historical value to the neighborhood. Demolishing it erases a piece of history from Hollywood. The new building is going to be a large, faceless tower that will cram as many dwelling units in as possible with no real regard to how people actually want and need to live in such a bustling metropolis. \*Please see attached pictures at the end of the document for examples.

Consider the stress of not only moving house but also the search just to find a place that is affordable, safe, and dare we say, a place we actually want to live. Some have invested over sixteen years of our time, money, and energy into building lives within this community and it's about to be erased by the flick of a pen. The stress of this entire process has been immeasurable. We've been unsure of the status of our living situation for years now as the new project has made its way through the pipeline. We've spent many sleepless nights stressing about where we'll all go if displaced and have invested money in therapy or mental health services. It has put a pin in some major life plans as well and has made us all feel like we are living our lives in limbo. Some of us are at a point where we want to start having children and growing our families and currently have the physical space to do so. With the average rent now, some of us wouldn't even be able to afford a studio apartment in this area. Many of us also have family in the vicinity that a displacement would potentially further remove us from. We love our home

and the community we've created within it. Being forced to move is not a simple, easy, or affordable process.

It's confusing how the proposed project is exempt from SNAP, TOC, and CEQA guidelines, especially when it is taking affordable rentals off the market. It feels like this project has just been given a rubber stamp approval from the city that doesn't look into the finer details and significant, adverse impacts to the tenants and community as a whole. We're asking you to please look at those finer details and to consider all the lives this proposed project will unnecessarily disrupt, which are not limited to the tenants.

We also have the full support of the East Hollywood Neighborhood Council as they voted unanimously in opposing this project. By approving this project, the city is creating significant adverse impacts for the tenants due to our displacement, and we hereby appeal the decision. We also reserve the right to enter additional objections into the record prior to the public hearing and/or at any time during this ongoing matter.

Signed,

The 5271 W. Sunset Tenants Union

\*Photos showing some of the character and charm of this 1920s building below



(Photo of living room showcasing woodwork/trim)





(Photo showcases original woodwork and coved ceilings)



(Photo showcases beautiful wooden built-in and decorative arch)



(Photo showcases hardwood floors and architectural features)





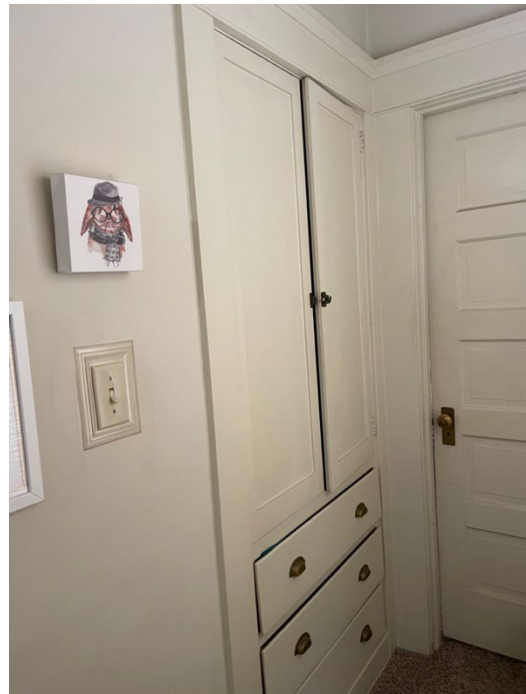
(Photo showcases hallway/stairway with wooden details)

(Photo showcases hallway/stairway with



(Photos above show front and inside of bread cabinet that was used to keep newly baked bread fresh.)

(Photos below show more built in cabinetry and features in bathroom and hallway)



(Photos below show brass skeleton keyhole doorplates and sash cord/pulley windows)







(Photo is the façade design of the proposed project)

**B – MAPS**

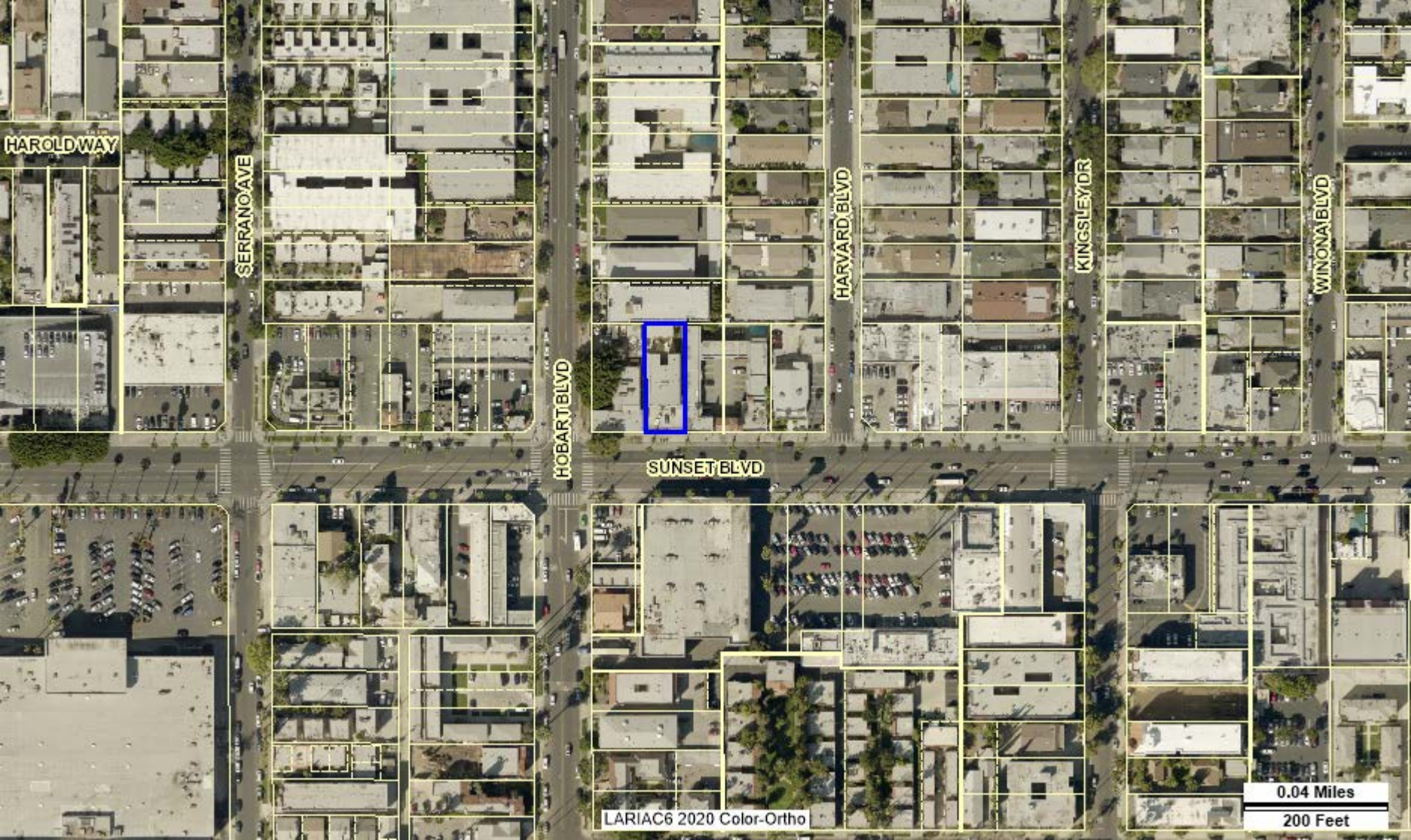
**B.1 - VICINITY MAP**

**B.2 - RADIUS MAP**

**B.3 - ZIMAS MAP**

**B – MAPS**

**B.1 - VICINITY MAP**



HAROLD WAY

SERRANO AVE

HOBART BLVD

HARVARD BLVD

KINGSLEY DR

WINONA BLVD

SUNSET BLVD

LARIAC6 2020 Color-Ortho

0.04 Miles

200 Feet



**B – MAPS**

**B.2 - RADIUS MAP**



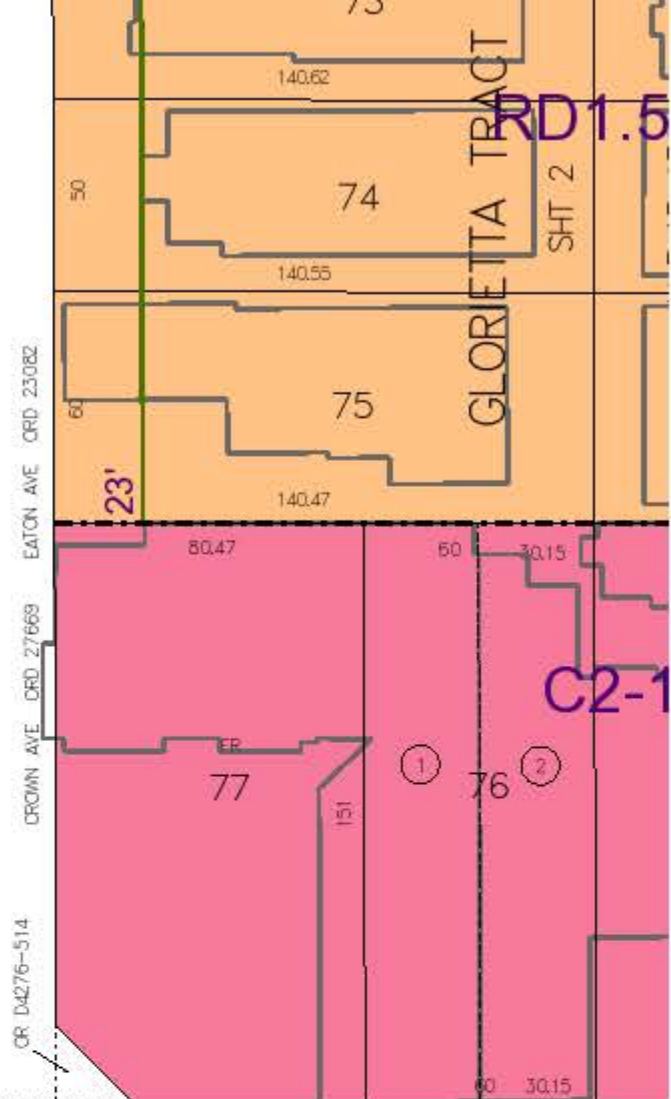
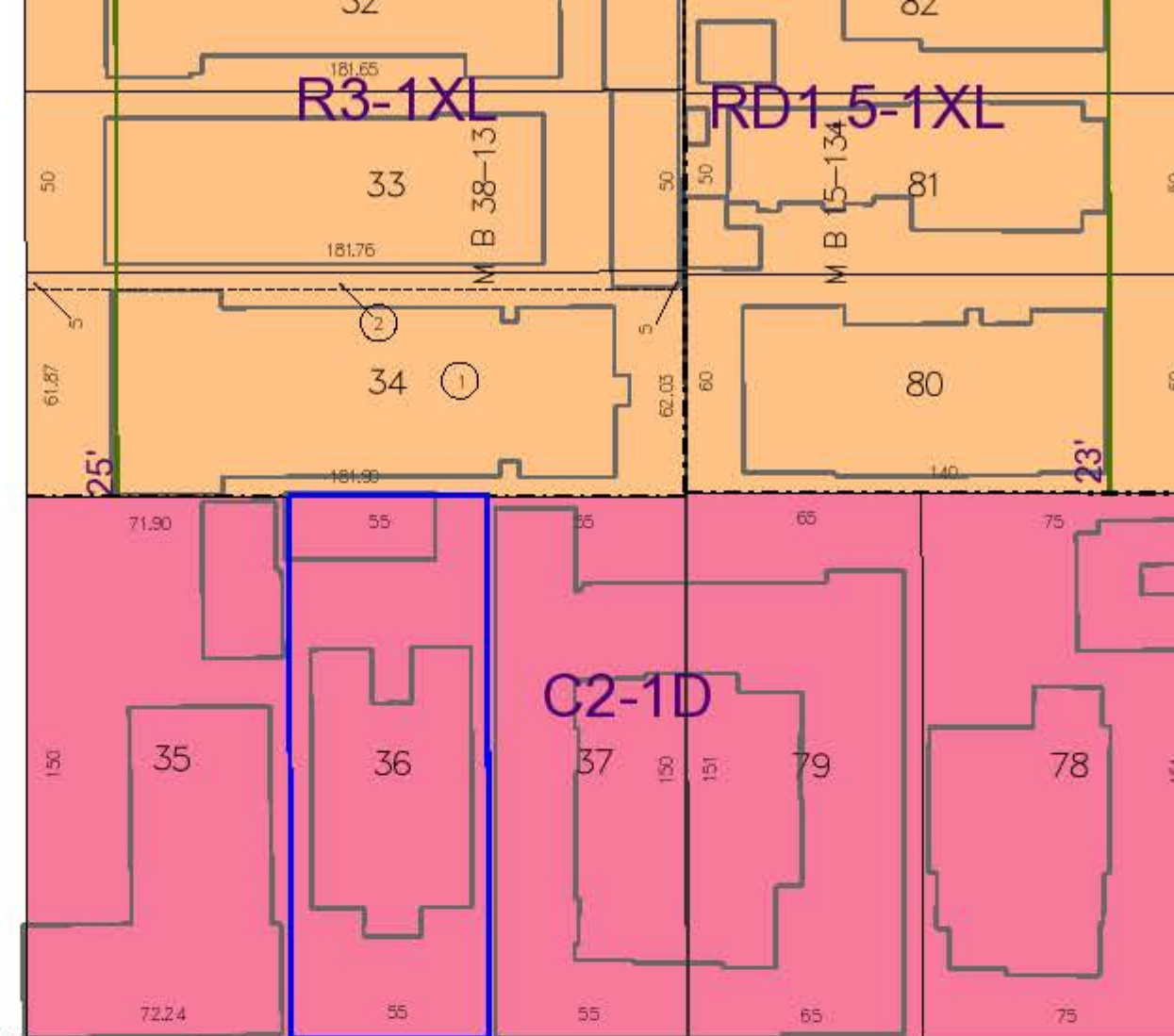
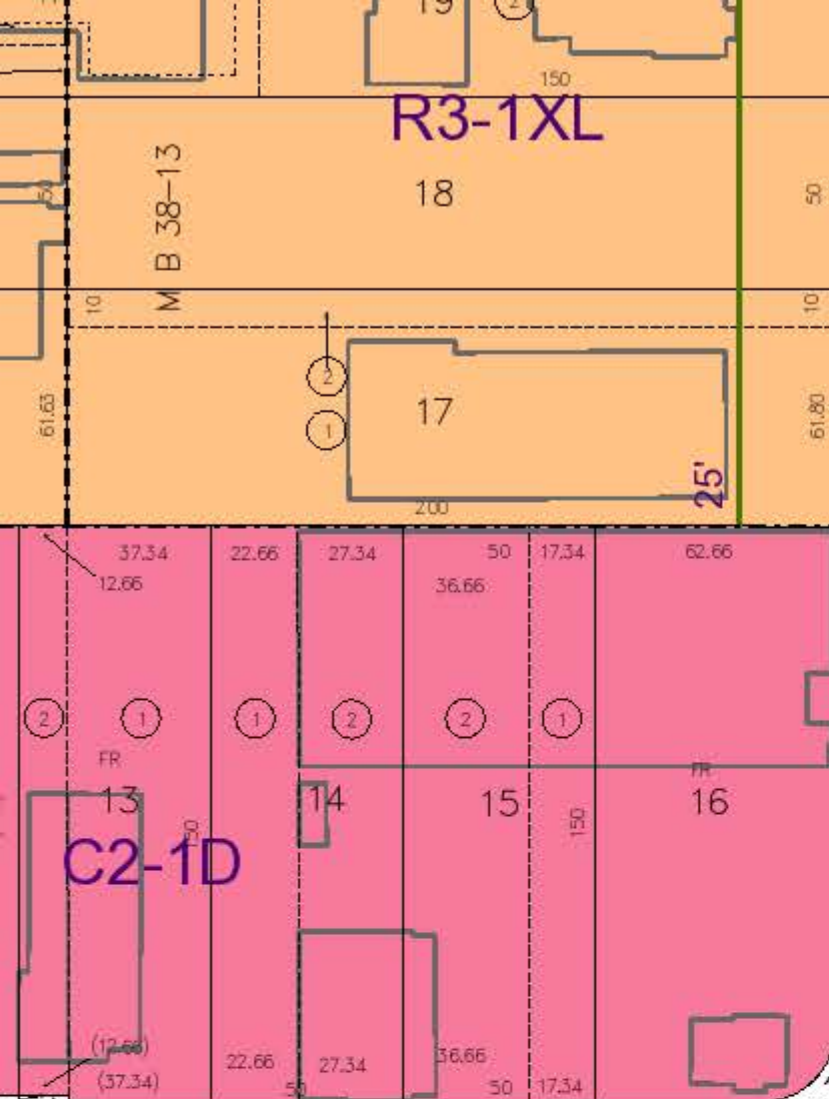


5271 W SUNSET BLVD

 Map Prepared by:  Leon Mapping & GIS Services 15031 Chatsworth St, Ste 17 Mission Hills, CA 91345  818-235-7649 leonmapping@hotmail.com www.laradiusmaps.com	LEGAL DESC; LOT 36, TR 3469, M B 38-13 APN 5544017021		300' RADIUS	
	Thomas Brothers Grid PAGE 593 - GRID H4	Map Sheet 147A195	ACREAGE: ± 0.189	
	Community Plan Area Hollywood Area Planning Commission Central Neighborhood Council East Hollywood Council District CD 13 - Hugo Soto-Martinez Census Tract # 1905.20	CASE # USES: FIELD	DATE: 1/11/2025 UPDATE: _____	
		CONTACT: BEROUKHIM & COMPANY PHONE : (310) 435-4594		

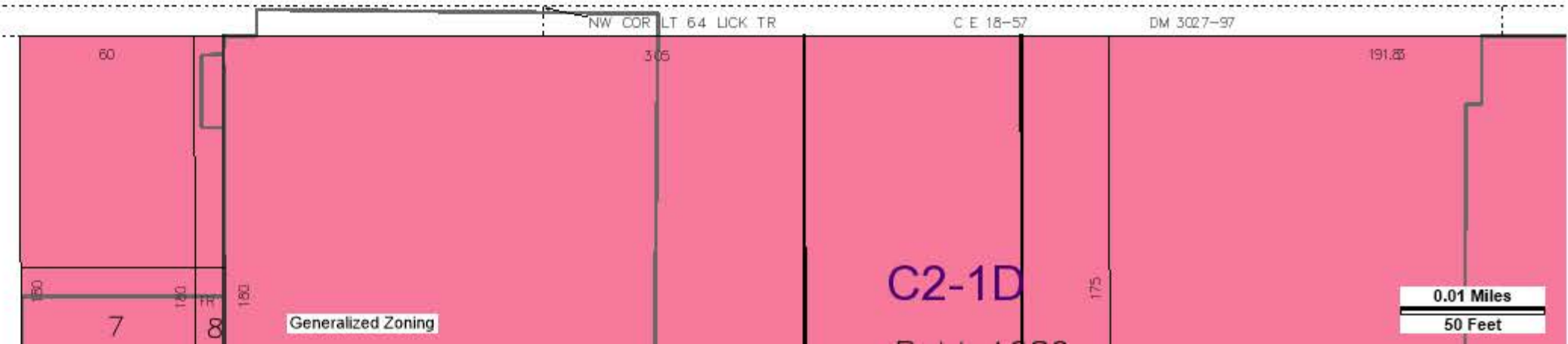
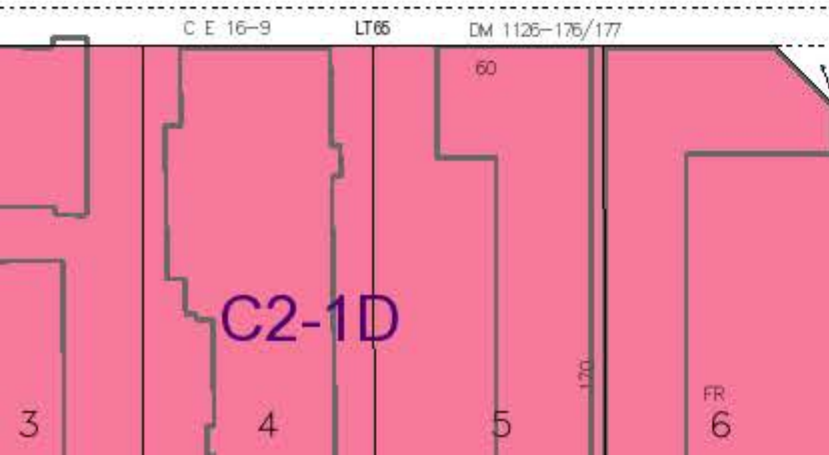
**B – MAPS**

**B.3 - ZIMAS MAP**



DEDICATION

SUNSET BLVD



Generalized Zoning





**C – DIR-2023-2587-TOC-SPP-HCA LETTER OF DETERMINATION**

DEPARTMENT OF  
CITY PLANNING

COMMISSION OFFICE  
(213) 978-1300

CITY PLANNING COMMISSION

MONIQUE LAWSHE  
PRESIDENT

MICHAEL R. NEWHOUSE  
VICE-PRESIDENT

MARIA CABILDO  
CAROLINE CHOE  
MARTINA DIAZ  
PHYLLIS KLEIN  
KAREN MACK  
JACOB SAIMAN  
ELIZABETH ZAMORA

CITY OF LOS ANGELES  
CALIFORNIA



KAREN BASS  
MAYOR

EXECUTIVE OFFICES  
200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

HAYDEE URITA-LOPEZ  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

**DIRECTOR'S DETERMINATION  
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM  
VERMONT/WESTERN SNAP PROJECT PERMIT COMPLIANCE REVIEW**

December 11, 2024

**Applicant / Property Owner**

Michael Eghabli and Farshad Zaghi  
7119 West Sunset Boulevard,  
Space 380  
Los Angeles, CA 90046

**Case No.** DIR-2023-2587-TOC-SPP-HCA

**CEQA:** ENV-2023-2588-CE

**Specific Plan Subarea:** B – Mixed Use Boulevards

**Location:** 5271 West Sunset Boulevard  
(5271-5277 West Sunset  
Boulevard)

**Representative**

Jordan Beroukhim  
Beroukhim & Company, LLC  
5632 Van Nuys Boulevard,  
Space 1140  
Sherman Oaks, CA 91401

**Council District:** 13 – Soto-Martinez

**Neighborhood Council:** East Hollywood

**Community Plan Area:** Hollywood

**Land Use Designation:** Highway Oriented Commercial

**Zone:** C2-1D

**Legal Description:** Lot 36, Tract 3469

**Last Day to File an Appeal:** December 26, 2024

**DETERMINATION**

Pursuant to the Los Angeles Municipal Code (LAMC) Chapter 1, Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Determine** that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (Class 32 - In-Fill Development Project), and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

**Approve with Conditions** project consistent with the provisions of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program Tier 3 to permit a project consisting of 19 residential units by reserving two (2) dwelling units, equal to 10% of the total units, for Extremely-Low Income Household Occupancy for a period of 55 years, with Base Incentives permitted pursuant to LAMC 12.21 A.31, in addition to the following Additional Incentives:

**a. Height.**

- (i) An up to 4.25% increase in the height requirement, allowing up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B;

- (ii) Transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A;
- (iii) A one (1)-story increase in the height allowance of the portion of the building located within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Sunset Boulevard per SNAP Subarea B.
- (iv) An up to 11-foot increase in the height allowance of the portion of the building located within 15 feet of the property line, allowing up to 41 feet of maximum building height in lieu of the maximum 30 feet within 15 feet of the property line along Sunset Boulevard per SNAP Subarea B.

**b. Open Space Dimension.** An up to 25 percent reduction to permit a minimum common open space width of 15 feet in lieu of the minimum 20 feet otherwise required;

**c. Open Space Setback.** An up to 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required; and

Pursuant to Los Angeles Municipal Code (LAMC) Chapter 1, Section 11.5.7 C and the Vermont/Western Station Neighborhood Area (SNAP) Specific Plan Ordinance No. 186,735, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Approve with Conditions** a Project Permit Compliance Review for the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan.

The project approval is based upon the attached Findings, and is subject to the attached Conditions of Approval:

## CONDITIONS OF APPROVAL

### TOC Affordable Housing Incentive Program Grant Clause and Conditions

1. **Residential Density.** The project shall be limited to a maximum density of 19 residential dwelling units, including On-Site Restricted Affordable Units.
2. **On-Site Restricted Affordable Units.** The project shall provide a minimum of two (2) On-Site Restricted Affordable units, consisting of two (2) Extremely Low-Income Household Occupancy, as defined in the California Health and Safety Code to the satisfaction of the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
3. **SB 8 Replacement Units.** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated September 19, 2022, to the satisfaction of LAHD. The most restrictive affordability levels shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in On-Site Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.31.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make two (2) units available to Extremely Low-Income Households or equal to 10 percent of the project's total proposed residential density allowed, for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.31, to the satisfaction of LAHD, and in consideration of the project's Replacement Unit Determination. Unless otherwise required by state or federal law, the project shall provide an onsite building manager's unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the manager's unit.
6. **Rent Stabilization Ordinance (RSO).** Prior to the issuance of a Certificate of Occupancy, the owner shall obtain approval from LAHD regarding replacement of affordable units, provision of RSO Units, and qualification for the Exemption from the Rent Stabilization Ordinance with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all the new units to be exempt from the Rent Stabilization Ordinance, the applicant will need to either replace all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded covenant and agreement submitted and approved by LAHD shall be provided.
7. **Automobile Parking.** Automobile parking shall be provided consistent with Assembly Bill (AB) 2097, which permits no minimum automobile parking spaces for a mixed-use project located within half a mile of a major transit stop, and no more than two (2) commercial parking spaces, 25 residential parking spaces and five (5) guest parking space per the SNAP.
8. **Height.** The project shall be limited to a maximum building height of 52 feet and three (3) inches, as measured from grade to the highest point of the structure. Architectural rooftop features as identified in LAMC Section 12.21.1 B.3 may be erected up to 10 feet above the

height limit, if the structures and features are set back a minimum of 10 feet from the roof perimeter and screened from view at street level.

9. **Building Stepback.** The project shall set the third floor back from the first-floor frontage by a minimum of 10 feet. The project shall be limited to 41 feet in height for the portion of the building located within 15 feet from the front property line along Sunset Boulevard .
10. **Transitional Height.** Within 25 feet of the property line abutting the SNAP Subarea A (Neighborhood Conservation) lot, the building height limit shall be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in Subarea A.
11. **Open Space.** The project shall provide a minimum of 2,200 square feet of usable open space, of which 1,100 square feet must be located at grade level or first habitable room level. The common open space shall be open to the sky, must be at least 600 square feet in size, and have a minimum dimension of 15 feet when measured perpendicular from any point on each of the boundaries of the open space area. Balconies shall have a minimum dimension of six feet and patios shall have a minimum dimension of 10 feet. Common open space areas, balconies, and patios not meeting the minimum dimension requirements when measured perpendicular from any point on each of the boundaries of the open space area cannot be counted towards the square-footage allocated towards meeting the overall usable open space requirement.
  - a. Pursuant to the TOC Affordable Housing Incentive Program, the roof deck may be used in its entirety as common or private open space excluding that portion within 15 feet of the roof perimeter.
12. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A". There shall be a minimum of five (5) 24-inch box, or larger, trees onsite pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City-determined physical constraints.
13. **Landscaping.** The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.

## **SNAP Conditions**

14. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
15. **Parks First.** Prior to the issuance of a Certificate of Occupancy, the applicant shall complete the following:

- a. Make a payment to the Department of Recreation and Parks (RAP) for the required Park Fee pursuant to LAMC Section 17.12. Contact RAP staff by email at [rap.parkfees@lacity.org](mailto:rap.parkfees@lacity.org), by phone at (213) 202-2682 or in person at the public counter at 221 N. Figueroa St., Suite 400 (4<sup>th</sup> Floor), Los Angeles, CA 90012 to arrange for payment.
  - b. Make a payment of \$64,500 to the Parks First Trust Fund for the net increase of 15 residential dwelling units. The calculation of a Parks First Trust Fund Fee to be paid pursuant to the Vermont/Western SNAP shall be off-set by the Park Fee paid pursuant to LAMC Section 17.12 as a result of the project.
  - c. The applicant shall provide proof of payment for the Park Fee to the Department of City Planning (DCP), Central Project Planning Division staff to determine the resulting amount of Parks First Trust Fund Fee to be paid. DCP staff shall sign off on the Certificate of Occupancy in the event there are no resulting Parks First Trust Fund Fee to be paid.
  - d. In the event there are remaining Parks First Trust Fund Fees to be paid, the applicant shall make a payment to the Office of the City Administrative Officer (CAO), Parks First Trust Fund. Contact Melinda Gejer and Kristine Harutyunyan of the CAO to arrange for payment. Melinda Gejer may be reached at (213) 473-9758 or [Melinda.Gejer@lacity.org](mailto:Melinda.Gejer@lacity.org). Kristine Harutyunyan may be reached at (213) 473-7573 or [Kristine.Harutyunyan@lacity.org](mailto:Kristine.Harutyunyan@lacity.org). The applicant shall submit proof of payment for the Parks First Trust Fund Fee to DCP staff, who will then sign off on the Certificate of Occupancy.
  - e. All residential units in a project containing units set aside as affordable for Very Low or Low Income Households that are subsidized with public funds and/or Federal or State Tax Credits with affordability covenants of at least 30 years are exempt from the Parks First Trust Fund.
16. **Use.** The proposed residential use shall be permitted on the subject property. The project is allowed C1.5 uses on the subject property, and the future commercial tenant will be required to obtain a Project Permit Compliance Review approval before any permit clearance is given to ensure the proposed use is consistent with the SNAP. Commercial Uses shall be limited to the ground floor of the building.
  17. **Bicycle Parking.** The project shall provide a minimum of 10 residential bicycle parking spaces and a minimum of one (1) commercial bicycle spaces on site, as shown in Exhibit "A."
  18. **Setback.** No front, side, or rear yard setbacks shall be required.
  19. **Streetscape Elements.**
    - a. **Street Trees.** Street trees must be installed and maintained prior to issuance of the building permit or suitably guaranteed through a bond and all improvements must be completed prior to the issuance of a Certificate of Occupancy.
      - i. Three (3), 36-inch box shade trees shall be provided in the public right-of-way along Sunset Boulevard, subject to the Bureau of Street Services, Urban Forestry Division requirements.

- ii. The project site currently includes existing trees within the frontages along the project site. Whether the street tree should remain or should be replaced is subject to the Bureau of Street Services, Urban Forestry Division.
- iii. A tree well cover shall be provided for each new and existing tree in the public right-of-way adjacent to the subject property to the satisfaction of the Bureau of Street Services.
- iv. The applicant shall be responsible for new street tree planting and pay fees for clerical, inspection, and maintenance per the Los Angeles Municipal Code Section 62.176 for each tree.
- v. An automatic irrigation system shall be provided.

Note: Contact the Urban Forestry Division, Subdivision staff, at (213) 847-3088 for site inspection prior to any street tree work.

- b. **Bike Racks.** Two (2) simple black-painted bike racks shall be provided in the public right-of-way along Sunset Boulevard. Bike racks shall be installed three (3) feet from the curb edge or per the City of Los Angeles Department of Transportation requirements.
  - c. **Trash Receptacles.** One (1) trash receptacle painted black shall be provided, maintained, and emptied by the project owner, and placed in the public right-of-way along Sunset Boulevard subject to the requirements of the Department of Public Works.
  - d. **Public Benches.** One (1) public bench painted black with a backrest, three armrests, and intermediate frame shall be provided and maintained in the public right-of-way along Sunset Boulevard subject to the requirements of the Department of Public Works.
20. **Curb Cuts.** Only one curb cut that is 20 feet in width for every 150 feet of street frontage is allowed when a project takes its access from a Major or Secondary Highway, unless otherwise required by the Departments of Public Works, Transportation, or Building and Safety. Approval by the Departments of Public Works, Transportation, or Building and Safety for a curb cut exceeding 20 feet in width must be provided to the Department of City Planning once received.
21. **Utilities.** All new utility lines which directly service the lot or lots shall be installed underground. If underground service is not currently available, then provisions shall be made by the applicant for future underground service.
22. **Floor Area Ratio (FAR).** The maximum FAR shall be limited to 2.04:1, or 16,820 square feet. At no point shall the commercial FAR equate to more than 1.5:1 FAR of the overall 2.04:1 FAR allowed. For purposes of this grant, the buildable area is considered the entire parcel's square footage.
23. **Transparent Elements.** At least 236 square feet of the ground floor façade shall be constructed with transparent building materials along Sunset Boulevard, consistent with Exhibit A, Sheet A-09.
24. **Façade Relief.** As illustrated in 'Exhibit A', all exterior elevations shall provide a break in the plane every 20 feet in horizontal length and every 15 feet in vertical length.

25. **Roof Lines.** As illustrated in 'Exhibit A', all roof lines greater than 40 feet in length shall be broken up with the use of gables, formers, plant-ons, cutouts, or other appropriate means.
26. **Surface Mechanical Equipment.** All surface or ground-mounted mechanical equipment, including transformers, terminal boxes, pull boxes, air conditioner condensers, gas meters and electric meter cabinets, shall be screened from public view and treated to match the materials and colors of the building which they serve.
27. **Rooftop Appurtenances.** All rooftop equipment and building appurtenances shall be screened from any street, public right-of-way, or adjacent property with enclosures or parapet walls constructed of materials complimentary to the materials and design of the main structure.
28. **Trash, Service Equipment and Satellite Dishes.** Trash, service equipment and satellite dishes, including transformer areas, shall be located away from streets and enclosed or screened by landscaping, fencing or other architectural means. The trash area shall be enclosed by a minimum six-foot high decorative masonry wall. Each trash enclosure shall have a separate area for recyclables. Any transformer area within the front yard shall be enclosed or screened.
29. **Freestanding Walls.** Any freestanding wall shall be articulated with an architectural element at intervals of 20 feet or less.
30. **Design of Entrance.** The applicant shall submit detailed elevations of the ground floor illustrating that all pedestrian entrances, including entries to the commercial store, residential lobby area, and the pedestrian throughways, are accented with architectural elements such as columns, overhanging roofs, or awnings. The location of Entrances shall be in the center of the façade or symmetrically spaced if there are more than one.
31. **Landscape Plan.** The applicant shall submit a final landscape plan prepared by a licensed landscape architect showing enhanced paving such as stamped concrete, permeable paved surfaces, tile and/or brick within paved areas in front, side and rear yards.
32. **Irrigation Plan.** A final irrigation plan shall be prepared and included.
33. **Lighting.** The applicant shall comply with the following standards:
  - a. **On-Site Lighting.** The applicant shall install on-site lighting along all vehicular access ways and pedestrian walkways. Parking areas shall have a minimum of  $\frac{3}{4}$  foot-candle of flood lighting measured at the pavement. All on-site lighting shall be directed away from adjacent properties. This condition shall not preclude the installation of low-level security lighting.
  - b. **Lighting Shielded.** Sources of illumination shall be shielded from casting light higher than 15 degrees below the horizontal plane as measured from the light source. They shall not cast light directly into adjacent residential windows.
  - c. **Light Mounting Height.** A maximum mounting height of light sources for ground level illumination shall be 14 feet, measured from the finished grade of the area to be lit.
  - d. **Lamp Color.** Color corrected ("white") high pressure sodium (HPS), color corrected fluorescent (2,700-3,000 degrees K), metal halide, or incandescent lamps shall be used for ground level illumination. Standard "peach" high pressure sodium, low pressure sodium, standard mercury vapor, and cool white fluorescent shall not be used for ground floor illumination.



34. **Security Devices.** If at any time during the life of the project the property owner wishes to install security devices such as window grilles and/or gates, such security devices shall be designed so as to be fully concealed from public view. The applicant shall be required to acquire approval from the Department of City Planning, Central Project Planning Division for the installation of any security devices on the exterior or the structure through a building permit clearance sign off.
35. **Hours of Operation.** All trash collection and deliveries and other similar parking maintenance activities shall take place between the hours of 7:00 a.m. to 8:00 p.m., Monday through Friday and 10:00 a.m. to 4:00 p.m. on Saturday and Sunday.
36. **Privacy.** As illustrated in 'Exhibit A', the façade shall avoid placing windows facing windows across property lines or facing private outdoor space of other residential units.
37. **Noise.** Any dwelling unit exterior wall including windows and doors having a line of sight to a public street or alley shall be constructed to provide a Sound Transmission Class of 50 or greater, as defined in the Uniform Building Code Standard No. 35-1, 1979 edition, or latest edition.
38. **Future Signage.** All future signs shall be reviewed by Project Planning staff for compliance with the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan and Design Guidelines. Filing for a Project Permit shall not be necessary unless a Project Permit Adjustment, Exception, or Amendment is required. Any pole, roof or off-site sign, any sign containing flashing, mechanical or strobe lights (Digital Signs) are prohibited. Canned/Cabinet signs should not be used.

#### **Administrative Conditions**

39. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
40. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
41. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
42. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
43. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as

approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.

44. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
45. **Expiration.** In the event that this grant is not utilized within three (3) years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
46. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
47. **Indemnification and Reimbursement of Litigation Costs.** The applicant shall do all of the following:
  - (i) Defend, indemnify, and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
  - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
  - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
  - (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the applicant otherwise created by this condition.

## PROJECT BACKGROUND

The subject property consists of one (1) lot with approximately 55 feet of frontage along the northerly side of Sunset Boulevard between Hobart Boulevard and Harvard Boulevard. The subject lot has a total lot size of approximately 8,249.9 square feet based on a survey prepared by Cyrus Azarmy, Professional Land Surveyor #9404. The project site is located within the Hollywood Community Plan and Subarea B of the Vermont/Western SNAP Specific Plan. The site is zoned C2-1D, designated for Highway Oriented Commercial land uses, and currently improved with a two (2)-story, four (4) apartment building and accessory structure. There is one (1) existing non-protected tree within the public right-of-way, and no existing protected trees or shrubs on site.

The applicant requests a Project Permit Compliance to permit the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. The proposed project will include 16,250 residential square feet and 570 commercial square feet for a total floor area with a Floor Area Ratio (FAR) of 2.04:1. The project will include a total of 22 bicycle parking spaces (20 residential bicycle spaces and two (2) commercial bicycle spaces) and 2,450.5 square feet of open space. Pursuant to Assembly Bill (AB) 2097, the applicant is proposing no automobile parking spaces. As the proposed project includes the construction of a mixed-use building and the site is located within half a mile of a major transit stop, the project qualifies for the parking reduction under the provisions of AB 2097.

The surrounding area is characterized by level topography and improved streets. Properties to the west and east are zoned C2-1D, located within Subarea B (Mixed-Use Boulevards) of the Vermont/Western SNAP Specific Plan, and developed with commercial buildings. The property to the south, across Sunset Boulevard, is zoned C2-1D, located within Subarea B of the Vermont/Western SNAP Specific Plan, and developed with a commercial building and surface parking lot. Lastly, the property to the north is zoned R3-1XL, located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP Specific Plan and developed with a residential building.

The applicant is seeking discretionary approval of the TOC Housing Incentive Program with the following incentives:

### Base Incentives:

1. An up to 70 percent increase in density, allowing up to 19 units in lieu of 11 units; and
2. An up to two (2) percent increase in residential floor area ratio, allowing up to 2.04:1 of residential floor area ration in lieu of 2:1 per SNAP Subarea B.

### Additional Incentives:

1. Height.
  - a. An up to 4.25 percent increase in the height requirement, allowing up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B; and
  - b. Transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A;
  - c. An up to 11-foot increase in the height allowance of the portion of the building located within 15 feet of the property line, allowing up to 41 feet of maximum building height in lieu of the maximum 30 feet within 15 feet of the property line along Sunset Boulevard per SNAP Subarea B; and
2. Open Space Dimension. An up to 25 percent reduction to permit a minimum common open space width of 15 feet in lieu of the minimum 20 feet otherwise required; and

3. Open Space Setback. An up to 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required.

### Urban Design Review

On June 6, 2023, the proposed project was taken to Urban Design Studio's (UDS) Office Hours for review. UDS' Office Hours function is to provide input directly to the project planner at meetings. The Studio's feedback focuses on ways a project can be improved to comply more fully with the Studio's three (3) design approaches which are: 1) Pedestrian First Design, 2) 360 Degree Design, and 3) Climate Adaptive Design. At this meeting, UDS had comments relating to the inclusion of windows in bathrooms and kitchens adjacent to the building's exterior, at the stairwell to promote access to natural light, and the inclusion of street trees and other native plants as part of the proposed landscaping. The project team responded to these comments by updating the floor plans and elevations to include windows in bathrooms and kitchens adjacent to the building's exterior and updating the project's proposed landscaping.

### **HOUSING REPLACEMENT (SB 8 DETERMINATION) BACKGROUND**

The Los Angeles Housing Department (LAHD) reviewed all of the existing units at the subject site and has determined, per the Housing Crisis Act of 2019 (SB 8) Replacement Unit Determination (RUD), dated September 19, 2022, that two (2) units are subject to replacement pursuant to requirements of the HCA, including one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The two (2) total units required by the SB 8 RUD are satisfied by the two (2) units set aside for habitation by Extremely Low Income Households and 17 Market Rate housing units proposed through the Transit Oriented Communities Affordable Housing Incentive Project, and the project will be required to comply with all applicable regulations set forth by LAHD. As such, the project meets the eligibility requirement for providing replacement housing consistent with California Government Code Sections 65915(c)(3) (State Density Bonus Law) and 66300 (Housing Crisis Act of 2019).

### **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND**

Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016. Section 6 of the Measure instructed the Department of City Planning to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program, a transit-based affordable housing incentive program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed-use projects located within ½ mile of a major transit stop. Major transit stops are defined under existing State law.

The TOC Guidelines, adopted September 22, 2017, establish a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The project site is located less than 2,640 feet from the Hollywood/Western Red Line Station, which qualifies the site as Tier 3 of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program (TOC Guidelines) according to the TOC Referral Form dated March 16, 2023.

Pursuant to the TOC Guidelines, the project is eligible for Base Incentives and up to three (3) Additional Incentives for setting aside 10 percent of the total 19 units and 11 percent of the base 11 units for Extremely Low-Income Households, with Base Incentives permitted pursuant to LAMC

12.21 A.31, in addition to the following three (3) Additional Incentives: (1) an up to 4.25% increase in the height requirement, allowing up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B along with the transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A; (2) an up to 25 percent reduction to permit a minimum common open space width of 15 feet in lieu of the minimum 20 feet otherwise required; and (3) an up to 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required.

The project site is zoned C2-1D, which allows R4 density. However, Subarea B Section 8.A of the SNAP states that only R3 density is allowed regardless of the underlying zone and limits residential density of the subject property to a maximum of one dwelling unit for each 800 square feet of lot area. The R3 density allows a maximum base density of 11 units on an 8,249-square-foot lot. The project is permitted a 70 percent increase in density, which allows a maximum of 19 units. The applicant proposes a total of 19 units, which is within the maximum density permitted.

The TOC Guidelines allow a 45 percent increase in the maximum 2:1 FAR permitted for a mixed-use development per the SNAP Subarea B, thereby allowing a maximum 2.9:1 FAR. The project will consist of 16,820 residential square feet and 570 commercial square feet, which results in a maximum 2.04:1 FAR.

Per the TOC Guidelines, a project containing 19 dwelling units within Tier 3 units is required to provide a minimum of 15 residential automobile parking spaces based on a ratio of 0.5 spaces per unit. Pursuant to Assembly Bill (AB) 2097, the applicant is proposing no automobile parking spaces. As the proposed project includes the construction of a mixed-use building and the site is located within half a mile of a major transit stop, the project qualifies for the parking reduction under the provisions of AB 2097.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS**

To be an eligible Transit Oriented Communities (TOC) Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines). A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. ***On-Site Restricted Affordable Units.*** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
  - a. *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.*
  - b. *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
  - c. *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
  - d. *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

The project site is located within a Tier 3 TOC Affordable Housing Incentive Area according to the TOC Referral Form dated March 16, 2023. As part of the proposed development, the project is required to reserve at least 10 percent, or two (2) units, of the total 19 units for Extremely Low Income Households. The applicant proposes two (2) units restricted to Extremely Low Income Households. As such, the project meets the eligibility requirement for On-Site Restricted Affordable Units.



2. **Major Transit Stop.** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guidelines.*

A Major Transit Stop is a site containing a retail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The project site is located less than 2,640 feet from the Hollywood/Western Red Line Station. As such, the project meets the eligibility requirement for proximity to a Major Transit Stop.

3. **Housing Replacement.** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Department of Housing and Community Investment (HCIDLA) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

Pursuant to the Determination made by the Los Angeles Housing Department (LAHD), dated September 19, 2022, two (2) dwelling units are subject to replacement under SB 8. The two (2) units must be of equivalent type, with the one (1) unit restricted to Extremely Low Income households, and one (1) unit restricted to Very Low Income households. The proposed 19-unit mixed-use project is reserving two (2) units for Extremely Low Income households. As such, the project meets the eligibility requirement for providing replacement housing consistent with California Government Code Section 65915(c)(3).

4. **Other Density or Development Bonus Provisions.** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

The project is not seeking any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, CPIO, Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. **Base Incentives and Additional Incentives.** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, "base units" refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*

- a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*

- b. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*
- c. *Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

As part of the proposed development, the project is required to reserve at least 10 percent, or two (2) units, of the total 19 units for Extremely Low Income to receive the Base Incentives listed in Section VI of the TOC Guidelines. The project is seeking three (3) Additional Incentives as follows: (1) an up to 4.25% increase in the height requirement, allowing up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B along with the transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A; (2) an up to 25 percent reduction to permit a minimum common open space width of 15 feet in lieu of the minimum 20 feet otherwise required; and (3) an up to 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required. The project is required to set aside 11 percent, or two (2) units, of the base 11 units for Extremely Low Income Households. The applicant is proposing to set aside an overall of two (2) units for Extremely Low Income households. As such, the project meets the eligibility requirement for Base and Additional Incentives and the project will not be required to set aside any additional units for the Additional Incentives.

- 6. ***Projects Adhering to Labor Standards.*** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

Projects are only required to adhere to Labor Standards identified in LAMC 11.5.11 if they are requesting more than three (3) Additional Incentives. As the project is only requesting three (3) Additional Incentives, the project need not adhere to the labor standards required in LAMC Section 11.5.11 and this eligibility requirement does not apply.

- 7. ***Multiple Lots.*** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The project site consists of one (1) rectangular lot which is located within a Tier 3 TOC Affordable Housing Incentive Area. As such, this eligibility requirement does not apply.

- 8. ***Request for a Lower Tier.*** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any Lower Tier and be limited to the Incentives available for the Lower Tier.*

The applicant has not selected a lower Tier and is not providing the percentage of On-Site Restricted Affordable Housing units required for any Lower Tier. As such, this eligibility requirement does not apply.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The project does not consist of 100% On-Site Restricted Affordable units. As such, this eligibility requirement does not apply.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS**

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities (TOC) Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. **Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentives unless the Director finds that:**

- a. **The incentives are not required to provide for affordable housing costs for rents for the affordable units.**

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent of gross income based on area median income thresholds dependent on affordability levels.

The list of incentives in the TOC Guidelines were pre-evaluated at the time the TOC Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the base incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project. The following incentives allow the developer to increase the building height and reduce open space requirements per the SNAP so that affordable housing units reserved for Extremely Low-Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two (2) units for Extremely Low-Income Households.

**Height.** A 2-foot, three (3) inches height increase to permit up to 52 foot, three (3) inches of maximum building height in lieu of the maximum 50 feet otherwise permitted in Subarea B for mixed-use projects; and the building height limit to be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in Subarea A in lieu of the Transitional Height limits based on distance to a Subarea A building. The requested increase in height is expressed in the Menu of Incentives in the TOC Guidelines, which permit exceptions to zoning requirements that result in building design or construction efficiencies that provide for affordable housing costs.

**Open Space Dimension.** A 25 percent reduction in the common open space dimensions to permit a minimum common open space width of 15 feet in lieu of the minimum 20-foot common open space width otherwise required. The requested open space incentive is expressed in the Menu of Incentives in the TOC Guidelines, which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentive allows the inclusion of affordable housing, while still providing usable open space as intended by the Code.

**Open Space Setback.** A 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area in lieu of the minimum 20 feet otherwise required. The requested open space incentive is expressed in the Menu of Incentives in the TOC Guidelines, which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentive allows the inclusion of affordable housing, while still providing usable open space as intended by the Code

- b. The Incentive will not have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income Households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.**

There is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22.A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. Therefore, there is no substantial evidence that the proposed incentives will have a specific adverse impact on public health and safety.

## **VERMONT/WESTERN SNAP FINDINGS**

- 2. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.**

- A. Parks First.** Section 6.F of the Vermont/Western Specific Plan requires the applicant to pay a Parks First Trust Fund of \$4,300 for each new residential unit, prior to the issuance of a Certificate of Occupancy. The applicant proposes the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area, resulting in a net increase of 15 residential units. The project is therefore required to pay a total of \$64,500 into the Parks First Trust Fund. The calculation of a Parks First Trust Fund fee to be paid or actual park space to be provided pursuant to the Parks First Ordinance shall be off-set by the amount of any fee pursuant to LAMC Section 17.12 or dwelling unit construction tax pursuant to LAMC Section 21.10.1, et seq. This requirement is reflected in the Condition of Approval. As conditioned, the project complies with Section 6.F of the Specific Plan.
- B. Use.** Section 8.A of the Vermont/Western Specific Plan states that residential uses permitted in the R3 Zone by LAMC Section 12.10 and commercial uses permitted in the C1.5 Limited Commercial Zone by LAMC Section 12.13.5 shall be permitted by-right on any lot located within Subarea B of the Specific Plan area. The subject site is 8,249 square feet in size, allowing a maximum of 11 dwelling units. However, the applicant is seeking a 70 percent increase in the maximum allowable density permitted in the SNAP to allow 19 dwelling units in lieu of the otherwise permitted 11 dwelling units, in exchange for setting aside 10 percent, or two (2) units, of the total 19 units for Extremely Low Income households per the TOC Affordable Housing Incentive

Program. The project has been conditioned to record a covenant with the Los Angeles Housing Department (LAHD) to make two (2) units available to Extremely Low Income Households to ensure the applicant sets aside the required number of units for affordable housing to be eligible for a 70 percent increase from the total density permitted by the SNAP. The project site is allowed C1.5 commercial uses on the subject property and is proposing 570 square feet of commercial floor area. The applicant is not proposing a commercial use as part of this application request. Any future change of use will be required to apply for a Specific Plan Project Compliance determination to ensure that the proposed use is consistent with the SNAP. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.A of the Specific Plan.

- C. Height and Floor Area.** Section 8.B of the Vermont/Western Specific Plan requires that a Mixed-Use Project shall not exceed 50 feet; except that roofs and roof structures for the purposes specified in Section 12.21.1 B.3 of the Code, may be erected up to 10 feet above the height limit established in this section, if those structures and features are setback a minimum of 10 feet from the roof perimeter and are screened from view at street level by a parapet or a sloping roof. The applicant proposes the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. A mixed-use project shall not exceed a height of 50 feet. However, the applicant is seeking a two (2) foot, three (3) inches height increase in exchange for setting aside affordable housing units. As shown in Exhibit "A", the proposed project will not exceed 52, three (3) inches feet in height. As conditioned, the final plans for the project will be in compliance with the TOC Affordable Housing Incentive Program and the requirements of the Vermont/Western SNAP Specific Plan.

Height Increase			
	Limit	With TOC	Proposed
<b>SNAP Overall Height</b>	50'	$50' + 22' = 72'$	$50' + 2'-3" = 52' 3"$

Moreover, a mixed-use project shall not exceed a 2:1 FAR. However, the applicant is seeking a FAR increase to 2.1:1 in exchange for setting aside affordable housing units. As the FAR increase is a TOC Base Incentive, the applicant only needs to demonstrate a set aside of 10 percent, or three (3) units, of the total 30 units for Extremely Low Income households per the TOC Affordable Housing Incentive Program.

FAR Increase			
	Limit	With TOC	Proposed
<b>SNAP FAR Mixed Use Project</b>	2:1	$2:1 + 45\% = 2.9:1$	$2:1 + 2\% = 2.04:1$

The project site contains 8,249.9 square feet of lot area and the proposed building contains a combined floor area of 16,820 square feet, resulting in a 2.04:1 FAR which is within the allowable 2.9:1 FAR per the TOC incentive, which is a 45 percent increase. Typically, TOC Guidelines would permit a 50 percent increase for properties in Tier 3, however, TOC Guidelines Section VI.b.v.1. notes that the maximum FAR increase shall be limited to 45 percent if the site is located within a Specific Plan or overlay district. As such, the maximum permissible FAR increase would be 45 percent, although the project is only requesting a five (5) percent increase in FAR. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.B of the Specific Plan.

- D. Transitional Height.** Section 8.C of the Vermont/Western Specific Plan states that portions of buildings on a lot located within Subarea B adjoining or abutting a lot within Subarea A shall not exceed 25 feet in height and 33 feet in height when located within 0-49 feet and 50-99 feet, respectively. Pursuant to the TOC Guidelines, the applicant has requested the building height limit to be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in Subarea A in lieu of the Transitional Height limits based on Section 8.C. of the SNAP. The applicant has requested a total of three (3) Additional Incentives, regarding height, open space dimension and open space setback, and as such, the applicant is required to set aside 11 percent, or two (2) units of the base 11 units for Extremely Low-Income Households. The applicant is proposing two (2) units for Extremely Low Income Households. As conditioned, the final plans for the project will be in compliance with the TOC Affordable Housing Incentive Program and the requirements of the Vermont/Western SNAP Specific Plan. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.B of the Specific Plan.
- E. Usable Open Space.** Section 8.D of the Vermont/Western Specific Plan states that residential projects with two (2) or more dwelling units must provide specified amounts of common and private open space pursuant to the standards set forth in LAMC 12.21 G.2 of the Code. The Specific Plan further stipulates that up to 50 percent of the total open space may be located above the grade level or first habitable room level of the project, and that roof decks may be used in their entirety as common or private open space, excluding that portion of the roof within 20 feet of the roof perimeter. Units containing less than three (3) habitable rooms require 100 square feet of open space per unit. Units containing three (3) habitable rooms require 125 square feet of open space per unit. Units containing more than three (3) habitable rooms require 175 square feet of open space per unit. The Vermont/Western SNAP sets forth the minimum usable open space requirement, as shown in the table below:

SNAP Minimum Usable Open Space			
	Units	Sq. Ft. Required	Usable Open Space (sq. ft.)
Dwelling Units with Less than 3 Habitable Rooms	11	100	1,100
Dwelling Units with 3 Habitable Rooms	6	125	750
Dwelling Units with More than 3 Habitable Rooms	2	175	350
<b>Total Minimum Usable Open Space</b>			<b>2,200</b>
50% located at grade or first habitable room level			<b>1,100</b>

The project is therefore required to provide at least 2,200 square feet of open space of which 1,100 square feet must be located at grade level or first habitable room level. The applicant proposes a total of 2,346.5 square feet of usable open space with 1,100 square feet of open space located at grade or first habitable room level. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.D of the Specific Plan.

**F. Project Parking Requirements.**

**Residential Parking.** Section 8.E of the Vermont/Western Specific Plan sets forth a minimum and maximum parking standard for residential projects, as shown in the tables below:



SNAP Minimum Residential Parking Spaces			
	Parking Space Per Square Feet / Unit	Units	Parking Spaces
Dwelling Units with Less than 3 Habitable Rooms	1	11	11
Dwelling Units with 3 Habitable Rooms	1	6	6
Dwelling Units with More than 3 Habitable Rooms	1.5	2	3
<b>Total <u>Residential</u> Required Spaces</b>			<b>20</b>
Guest	.25	19	5
<b>Total Minimum Required Spaces (inclusive of guest parking)</b>			<b>25</b>

SNAP Maximum Residential Parking Spaces			
	Parking Space Per Square Feet / Unit	Units	Parking Spaces
Dwelling Units with Less than 3 Habitable Rooms	1	11	11
Dwelling Units with 3 Habitable Rooms	1.5	6	9
Dwelling Units with More than 3 Habitable Rooms	2	2	4
<b>Total <u>Residential</u> Allowed Spaces</b>			<b>24</b>
Guest	.25	19	5
<b>Total Maximum Allowed Spaces (inclusive of guest parking)</b>			<b>29</b>

The applicant proposes to utilize Assembly Bill (AB) 2097, which is a California law that prohibits public agencies or cities from imposing a minimum automobile parking requirement on most development projects located within a half-mile radius of a major transit stop. As the proposed project is a residential project and the site is located within half a mile of a major transit stop, the project qualifies for the parking reduction under the provisions of AB 2097. However, the project is still subject to the maximum parking requirement per the SNAP. The SNAP limits the maximum number of automobile parking spaces to 29, inclusive of guest parking spaces. AB 2097 replaces the parking requirement in the TOC Guidelines and SNAP Parking requirements for residential projects. The applicant proposes zero residential parking spaces and zero guest parking spaces, thereby satisfying the TOC Guidelines and the maximum SNAP parking requirements. Therefore, the project complies with Section 8.E of the Specific Plan.

**Bicycles.** Section 8.E.2 of the Vermont/Western Specific Plan requires any residential project with two (2) or more dwelling units to provide one-half (0.5) bicycle parking space per residential unit. The proposed development consists of 19 residential units, thus, requiring 10 bicycle parking spaces. Furthermore, the SNAP requires one (1) parking space for every 1,000 square feet of commercial floor area for the first 10,000 square feet, and one (1) parking space for every additional 10,000 square feet of floor area thereafter. The applicant proposes 570 square feet of commercial floor area, thereby requiring two (2) commercial bicycle parking spaces. The applicant proposes 20 residential bicycle parking spaces and two (2) commercial bicycle parking spaces within a bicycle parking room located within the parking level. Therefore, the project complies with Section 8.E.2 of the Specific Plan.

**Commercial Parking.** Section 8.E.3 of the Vermont/Western Specific Plan requires two (2) parking spaces per 1,000 square feet of commercial floor area, which must be shared with any guest parking spaces being proposed. The applicant proposes 570 square feet of commercial floor area, thereby allowing a maximum of two (2) commercial parking spaces. The applicant proposes zero commercial parking spaces which does not exceed the original maximum SNAP requirement of two (2) commercial spaces allowed. If guest parking spaces are designated at a later time, they must be shared with commercial spaces and cannot be in addition to guest parking spaces. Therefore, the project complies with Section 8.E.3 of the Specific Plan.

- G. Conversion Requirements.** Section 8.F of the Vermont/Western Specific Plan sets forth requirements pertaining to the conversion of existing structures to residential condominium uses. The applicant proposes the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area. Therefore, Section 8.F of the Specific Plan does not apply.
- H. Yards.** Section 8.G of the Vermont/Western Specific Plan specifies that no front, side or rear yard setbacks shall be required for the development of any project within Subarea B. The applicant proposes a 10 foot front yard setback, five (5)-foot side yard setbacks, and a 15-foot rear yard setback. Therefore, the proposed project complies with Section 8.G of the Specific Plan.
- I. Pedestrian Throughways.** Section 8.H states that applicants shall provide one public pedestrian walkway, throughway, or path for every 250 feet of street frontage for the Project. The pedestrian throughway shall be accessible to the public and have a minimum vertical clearance of 12 feet and a minimum horizontal clearance of 10 feet. The proposed building occupies approximately 55 feet of frontage along the northerly side of Sunset Boulevard. Therefore, Section 8.H. of the Specific Plan does not apply.
- J. Development Standards.** Section 8.I of the Vermont/Western Specific Plan requires that all projects with new development and extensive remodeling be in substantial conformance with the following Development Standards and Design Guidelines.

### **Development Standards**

- (1). Landscape Plan.** The Development Standard for Subarea B requires that all open areas not used for buildings, driveways, parking, recreational facilities, or pedestrian amenities shall be landscaped by lawns and other ground coverings, allowing for convenient outdoor activity. The applicant has submitted a Landscape Plan which includes landscaping on the ground floor and rooftop levels. These floors will be landscaped with trees and shrubs such as Sweet Bay trees, Olive trees, Flax Lily shrubs, and Breese Mat-Rush shrub. The Landscape Plan also shows the public right-of-way containing street trees. Therefore, the project complies with this Development Standard.
- (2). Usable Open Space.** This Development Standard requires that common usable open space must have a dimension of 20 feet when measured perpendicular from any point on each of the boundaries of the open space area and a minimum common open space area of 400 square feet for projects with less than 10 dwelling units and 600 square feet for projects with 10 dwelling units or more. Balconies shall have a minimum dimension of six feet. Common open space areas or balconies not meeting the minimum dimension requirements when measured perpendicular from any point on

each of the boundaries of the open space area cannot be counted towards the square-footage allocated towards meeting the overall usable open space requirement.

Pursuant to TOC Guidelines, the applicant is seeking a 25 percent decrease in the 20-foot minimum open space dimension requirement in the SNAP to allow a 15-foot minimum common open space dimension and a 25 percent reduction to permit a minimum distance of 15 feet from the roof perimeter to the required common open space area. The applicant has requested a total of three (3) Additional Incentives, regarding height and open space, and as such, the applicant is required to set aside 11 percent, or two (2) units, of the base 11 units for Extremely Low Income Households. The applicant is proposing to set aside an overall of two (2) units for Extremely Low Income households, and as such, the applicant is providing more than the required number of affordable housing units for the Additional Incentive and is not required to provide additional units.

The Development Standard further stipulates that private usable open space, such as balconies with a minimum dimension of six feet, may reduce the required usable open space directly commensurate with the amount of private open space provided. The applicant proposes multiple open space areas throughout the building in the forms of ground floor common open space, private balconies, and a roof deck common open space area for a total area of 2,346 square feet of open space consisting of 1,587.5 square feet of common open space and 759 square feet of private open space. Therefore, in conjunction with the TOC Guidelines, the project complies with this Development Standard.

(3). **Streetscape Elements.** The Development Standards require that any project along Vermont Avenue, Virgil Avenue, Hollywood Boulevard between the Hollywood Freeway and Western, or referred to in the Barnsdall Park Master Plan, or projects along other major and secondary highways, to conform to the standards and design intentions for improvement of the public right-of-way. The project site is located along Sunset Boulevard, which is considered a major highway; therefore, the following Development Standards apply.

- a) **Street Trees.** The Development Standards require that one 36-inch box shade tree be planted and maintained on the sidewalk for every 30 feet of street frontage. The project site has approximately 55 feet of frontage along the northerly side of Sunset Boulevard. As such, three (3) street trees are required along the Sunset Boulevard public right-of-way. The project plans currently show three (3) existing street trees along Sunset Boulevard. Whether any existing street tree should remain or should be replaced is subject to the Bureau of Street Services, Urban Forestry Division. The project has been conditioned to provide a total of three (3) street trees along Sunset Boulevard public right-of-way of the project site. Therefore, as conditioned, the project complies with this Development Standard.
- b) **Tree Well Covers.** The Development Standards require that a tree well cover be provided for each new and existing street tree in the project area. The project is required to provide a total of three (3) street trees in the Sunset Boulevard public right-of-way which include a tree well cover. Any existing trees, if they are to remain, shall provide a tree well cover. The project has been conditioned to require a total of three (3) new street trees. Therefore, as conditioned, the project complies with this Development Standard.
- c) **Bike Racks.** The Development Standards require one bike rack for every 50 feet of street frontage. The project site has approximately 55 feet of frontage

along the northerly side of Sunset Boulevard. As such, two (2) bike racks are required along the Sunset Boulevard public right-of-way. The project has been conditioned to provide a total of two (2) bike racks along the Sunset Boulevard public right-of-way of the project site. Therefore, as conditioned, the project complies with this Development Standard.

- d) **Trash Receptacles.** The Development Standards require one trash receptacle be provided in the public right of way for every 100 feet of lot frontage along a Major or Secondary Highway. The project site has approximately 55 feet of frontage along the northerly side of Sunset Boulevard. As such, two (2) trash receptacles along the public right-of-way of Sunset Boulevard are required. The applicant proposes two (2) trash receptacles along Sunset Boulevard. The project has been conditioned to provide a total of two (2) trash receptacles along the Sunset Boulevard public right-of-way of the project site. Therefore, as conditioned, the project complies with this Development Standard.
- e) **Public Benches.** The Development Standards require that one public bench be provided in the public right of way for every 250 feet of lot frontage on a Major or Secondary Highway. The project site has approximately 55 feet of frontage along the northerly side of Sunset Boulevard. Sunset Boulevard is an Avenue I and measures less than 250 feet of lot frontage. As such, no public benches are required along the project site's public rights-of-way. However, the applicant proposes to provide one (1) public bench along Sunset Boulevard. Therefore, the project complies with this Development Standard.

(4). **Pedestrian/Vehicular Circulation.** The Development Standards require that projects fronting on a main commercial street shall avoid pedestrian/vehicular conflicts by adhering to standards related to parking lot location, curb cuts, pedestrian entrances, pedestrian walkways and speed bumps. The subject property fronts along Sunset Boulevard, which is a commercial street. Therefore, the following Development Standards apply.

- a) **Parking Lot Location.** The Development Standards require that surface parking lots be placed at the rear of structures. The project does not propose any parking. Therefore, this Development Standard does not apply.
- b) **Waiver.** The Director of Planning may authorize a waiver from the requirement to provide parking in the rear of the lot for mid-block lots that do not have through access to an alley or public street at the rear. The project lot does not have access to an alley or public street at the rear. The applicant proposes zero parking. Therefore, this Development Standard does not apply.
- c) **Curb Cuts.** The Development Standards allow one curb cut that is 20 feet in width for every 150 feet of street frontage when a project takes its access from a Major or Secondary Highway, unless otherwise required by the Departments of Public Works, Transportation or Building and Safety. The applicant proposes its vehicle ingress and egress along Sunset Boulevard, which is considered a Major Highway. The project is proposing one (1) 20-foot curb cuts along Sunset Boulevard. Therefore, as conditioned and proposed, the project complies with this Development Standard.
- d) **Pedestrian Entrance.** The Development Standards require that all buildings that front on a public street shall provide a pedestrian entrance at the front of the building. As shown on "Exhibit A" the applicant proposes a main

pedestrian lobby entrance and commercial entrance along Sunset Boulevard. Therefore, the project complies with this Development Standard.

- e) **Design of Entrances.** The Development Standards require that entrances be located in the center of the façade or symmetrically spaced if there are more than one and be accented by architectural elements such as columns, overhanging roofs or awnings. The lobby entrance for the project is located towards the center of the façade along Sunset Boulevard and will primarily lead residents from the street to the lobby area and will lead the public into the commercial space. This placement assures that the residential entrance and commercial entrance are opposite from the vehicle entrance. Therefore, as proposed, the project complies with this Development Standard.
- f) **Inner Block Pedestrian Walkway.** The Development Standards require that applicants provide a pedestrian walkway, throughway or path for every 250 feet of street frontage for a project. The pedestrian path or throughway shall be provided from the rear property line or from the parking lot or public alley or street if located to the rear of the project, to the front property line. The pedestrian walkway shall be accessible to the public and have a minimum vertical clearance of twelve feet, and a minimum horizontal clearance of ten feet. The proposed site occupies approximately 55 feet of frontage along the southerly side of Sunset Boulevard. Therefore, this Development Standard does not apply.
- g) **Speed Bumps.** The Development Standards require speed bumps be provided at a distance of no more than 20 feet apart when a pedestrian walkway and driveway share the same path for more than 50 lineal feet. The proposed project does not contain a pedestrian walkway and driveway that share the same path for more than 50 lineal feet. Therefore, this Development Standard does not apply.

(5). **Utilities.** The Development Standards require that when new utility service is installed in conjunction with new development or extensive remodeling, all proposed utilities on the project site shall be placed underground. The project does not propose any installation of new utility service at this time. However, in the event new utility lines are to be installed on the site, the Conditions of Approval require all new utility lines which directly service the lot or lots shall be installed underground. If underground service is not currently available, then provisions shall be made for future underground service. Therefore, as conditioned, the project complies with this Development Standard.

(6). **Building Design.** The purpose of the following provisions is to ensure that a project avoids large blank expenses of building walls, is designed in harmony with the surrounding neighborhood, and contributes to a lively pedestrian friendly atmosphere. Accordingly, the following standards shall be met:

- a) **Stepbacks.** The Development Standards require that 1) no portion of any structure exceed more than 30 feet in height within 15 feet of the front property line, and 2) that all buildings with a property line fronting on a Major Highway, including Hollywood Boulevard, Sunset Boulevard, Santa Monica Boulevard, and Vermont Avenue, shall set the second floor back from the first-floor frontage at least ten feet. The proposed building has street frontage along Sunset Boulevard. Sunset Boulevard is classified as a Major Highway.

SNAP Stepback Height Increase			
	Limit	With TOC	Proposed

<b>SNAP Subarea B Stepback Height</b>	30'	30' + 11' = <b>41'</b>	38'- 2"
---	-----	---------------------------	---------

Therefore, the proposed project is subject to both stepback requirements along. As seen on Sheet A-07 and Sheet A-10 of "Exhibit A", the project satisfies Stepback No. 1. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with this Development Standard.

- b) **Transparent Building Elements.** The Development Standards require that transparent building elements such as windows and doors occupy at least 50 percent of the ground floor facades on the front and side elevations and 20 percent of the surface area of the rear elevation of the ground floor portion which has surface parking in the rear of the structure. Moreover, a "side elevation ground floor façade" has been interpreted by Staff to only mean those facades which face a street or alley and not facades along interior lot lines that face other buildings. The subject site currently has a south elevation that faces Sunset Boulevard. The northern, western, and eastern façades are along an interior lot line that face existing buildings, not a street. Per Exhibit A, Sheet A-09, the project is providing at least 50% transparency along the southern façade. As such, the project has been conditioned to provide at least 50% of the exterior surface of the ground floor façade along the northern and western elevations with transparent building materials. Therefore, as conditioned, the project complies with this Development Standard.
- c) **Façade Relief.** The Development Standards require that exterior walls provide a break in plane for every 20 feet horizontally and every 30 feet vertically. As seen in "Exhibit A", Sheet A-9, Sheet A-10, and Sheet A-27, the applicant proposes horizontal and vertical plane breaks through the use of the façade incrementally stepped away from the street, change in material, recessed windows, balconies, transparency, and lineal orientation of the façade construction. Therefore, the project complies with this Development Standard.
- d) **Building Materials.** The Development Standards require that building facades be comprised of at least two types of complimentary building materials. As seen in "Exhibit A", Sheet A-27, the applicant proposes the use of stucco, metal, and glass on all elevations of the structure. Therefore, the project complies with this Development Standard.
- e) **Surface Mechanical Equipment.** The Development Standards require that all surface or ground mounted mechanical equipment be screened from public view and treated to match the materials and colors of the building which they serve. The plans reflect a transformer at the southern façade of the proposed building and propose to screen it from the public view with metal fencing which match the materials and colors of the proposed building. Moreover, the project has been conditioned to require surface mechanical equipment to match the colors and materials of the building that they serve. Therefore, as proposed, and conditioned, the project complies with this Development Standard.
- f) **Roof Lines.** The Development Standards require that all rooflines in excess of 40 feet are broken up through the use of gables, dormers, plant-ons, cutouts, or other appropriate means. As seen in Exhibit A, Sheet A-0.06, all roof lines are continuously broken up to not exceed a horizontal roof line of 40



feet or greater. Moreover, the project has been conditioned to require all rooflines in excess of 40 feet to be broken up through the use of gables, dormers, plant-ons, cutouts, or other appropriate means. Therefore, the project complies with this Development Standard.

- (7). **Rooftop Appurtenances.** The Development Standards require that all rooftop equipment and building appurtenances shall be screened from public view or architecturally integrated into the design of the building. The proposed project will have no mechanical equipment placed on the roof. In the event that rooftop mechanical equipment is constructed, a Condition of Approval has been included requiring said equipment and ducts be screened from view from any street, public right-of-way or adjacent property and the screening shall be solid and match the exterior materials, design and color of the building. Therefore, as conditioned, the project complies with this Development Standard.
- (8). **Trash and Recycling Areas.** The Development Standards require that trash storage bins be located within a gated, covered enclosure constructed of identical building materials, be a minimum of six feet high, and have a separate area for recyclables. The proposed project provides a minimum six (6)-foot trash and recycle enclosures for the located against the exterior wall of the building. Therefore, the project complies with this Development Standard.
- (9). **Pavement.** The Development Standards require that paved areas not used as parking and driveway areas consist of enhanced paving materials such as stamped concrete, permeable paved surfaces, tile, and/or brick pavers. The project site does not currently contain areas not being used as parking and driveway access that would require enhance paving at the ground level. Therefore, as conditioned, the project complies with this Development Standard.
- (10). **Freestanding Walls.** The Development Standards require that all freestanding walls contain an architectural element at intervals of no more than 20 feet and be set back from the property line adjacent to a public street. This Development Standard applies to freestanding walls, which the project does not propose. As proposed and conditioned, the project complies with this Development Standard.
- (11). **Parking Structures – Required Commercial Frontage.** The Development Standards require that all of the building frontage along major or secondary highways, for a parking structure shall be for commercial, community facilities, or other non-residential uses to a minimum depth of 25 feet. This Development Standard applies to standalone parking structures, which the project does not propose. Therefore, this Development Standard does not apply.
- (12). **Parking Structures – Façade Treatments.** The Development Standards require parking structures be designed to match the style, materials and colors of the main building. This Development Standard applies to standalone parking structures, which the project does not propose. Therefore, this Development Standard does not apply.
- (13). **Parking Structures Across from Residential Uses.** The Development Standards require parking structures abutting or directly across an alley or public street from any residential use or zone conform to standards regarding the façade facing the residential use or zone. This Development Standard applies to standalone parking structures, which the project does not propose. Therefore, this Development Standard does not apply.

- (14). **Surface Parking Lots.** The Development Standards require at least 10 percent of the surface parking lot to be landscaped with: one (1) 24-inch box shade tree for every four parking spaces, spaced evenly to create an orchard-like effect; a landscaped buffer around the property line; and a three and a half foot solid decorative masonry wall behind a three-foot landscaped buffer. The trees shall be located so that an overhead canopy effect is anticipated to cover at least 50 percent of the parking area after 10 years of growth. The project does not propose a surface parking lot. Therefore, this Development Standard does not apply.
- (15). **Surface Parking Abutting Residential.** The Development Standards require surface parking abutting or directly across an alley or public street from any residential use or zone conform to standards regarding a decorative wall and landscaping buffer. The project does not propose a surface parking lot. The project does not propose a surface parking lot. Therefore, this Development Standard does not apply.
- (16). **On-Site Lighting.** The Development Standards require that the project include on-site lighting along all vehicular and pedestrian access ways. The Development Standards specify that the acceptable level of lighting intensity is  $\frac{3}{4}$  foot-candle of flood lighting measured from the ground, a maximum mounting height of light sources shall be 14 feet, and “white” color corrected lamp color shall be used for ground level illumination. A Condition of Approval has been included to ensure that any lighting shall meet the on-site lighting standards mentioned above. Therefore, as conditioned, the project complies with this Development Standard.
- (17). **Security Devices.** The Development Standards require security devices to be screened from public view. The proposed project does not contain any type of security devices at this time. In the event that additional security devices are installed in the future, a Condition of Approval has been included requiring all proposed devices to be integrated into the design of the building, concealed and retractable. Therefore, the project complies with this Development Standard.
- (18). **Privacy.** The Development Standards require that buildings be arranged to avoid windows facing windows across property lines, or the private open space of other residential units. The applicant has provided an elevation, Sheet A-10.1, which depicts the windows of the existing adjacent structures to the west superimposed onto the proposed project. Given the constraints of an infill development located in an urbanized area, the applicant shall demonstrate efforts to arrange windows to avoid directly facing windows across property lines or private open space of other residential units. Therefore, as conditioned, the project complies with this Development Standard.
- (19). **Hours of Operation.** The Development Standards require that parking lot cleaning and sweeping, trash collection and deliveries be limited between 7:00 a.m. - 8:00 p.m. Monday through Friday, and 10:00 a.m. - 4:00 p.m. on Saturdays and Sundays. The applicant has been required in the Conditions of Approval to comply with this Development Standard. Therefore, as conditioned, the project complies with this Development Standard.
- (20). **Noise Control.** The Development Standards require that any dwelling unit exterior wall including windows and doors having a line of sight to a public street or alley be constructed to provide a Sound Transmission Class of 50 or greater, as defined in the Uniform Building Code Standard No. 35-1, 1979 edition, or latest edition. The developer, as an alternative, may retain an acoustical engineer to submit evidence, specifying any alternative means of sound insulation sufficient to reduce interior noise levels below 45dBA in any habitable room. The proposed building has multiple windows along the front façade with a line of sight directly to Sunset Boulevard. The project team

submitted an alternative acoustical study, dated September 2023 and prepared by CAJA Environmental Services, LLC, concluding that the cumulative impact will be less than significant. A Condition of Approval has been included requiring any dwelling unit exterior wall including windows and doors having a line of sight to a public street or alley to be constructed to provide a Sound Transmission Class of 50 or greater, as defined in the Uniform Building Code Standard No. 35-1, 1979 edition, or latest edition. Therefore, as conditioned, the project complies with this Development Standard.

- (21). Required Ground Floor Uses.** The Development Standards states that any residential, commercial facility, or commercial use permitted by the Specific Plan Ordinance is allowed on the ground floor and second floor within Subarea B. The applicant proposes a total of 570 square feet of commercial floor area along the ground floor. Therefore, the project complies with this Development Standard.

## **Design Guidelines**

- (22). Urban Form.** The Design Guidelines encourage transforming commercial streets away from a highway oriented, suburban format into a distinctly urban, pedestrian oriented and enlivened atmosphere by providing outdoor seating areas, informal gathering of chairs, and mid-block pedestrian walkways. The Guidelines also indicate that streets should begin to function for the surrounding community like an outdoor public living room and that transparency should exist between what is happening on the street and on the ground floor level of the buildings. The project is designed to enhance the pedestrian experience along Sunset Boulevard by providing over 50 percent transparency increasing visibility into the ground floor from the street and adding a commercial retail space. The project has also been conditioned to include bike racks, shade trees, trash receptacles, and a public bench along the Sunset Boulevard public right-of-way. Therefore, as proposed, the project complies with this Design Guideline.
- (23). Building Form.** The Design Guidelines encourage every building to have a clearly defined ground plane, roof expression, and middle or shaft that relates the two. The ground plane of the project is defined by facades that consist of glass and concrete. The upper floors are defined by various planes that consist of different material, windows, and projections. The roof plane varies in height and material, which adds articulation to the building. Therefore, as proposed, the project complies with this Design Guideline.
- (24). Architectural Features.** The Design Guidelines encourage courtyards, balconies, arbors, roof gardens, water features, and trellises. Appropriate visual references to historic building forms – especially Mediterranean traditions – are encouraged in new construction. The proposed project provides multiple private balconies from the second to the fourth floor, and a roof deck. Furthermore, all street-facing elevations employ a variety of building materials and articulation by way of changes in building plane, and transparency. Therefore, the project complies with this Design Guideline.
- (25). Building Color.** The Design Guidelines encourage buildings be painted three colors: a dominant color, a subordinate color and a “grace note” color. The proposed project includes colors such as beige, light gray, and gray. Therefore, the project complies with this Design Guideline.
- (26). Signs.** The Design Guidelines provide extensive guidance related to the placement, type, and style of signage to be used for projects. The Guidelines identify appropriate signs for the Specific Plan area to include: wall signs, small projecting hanging signs, awnings or canopy signs, small directory signs, and window signs. Any pole, roof or off-site sign, any sign containing flashing, mechanical or strobe lights (digital signs) are

prohibited. The applicant does not propose signs as part of this application. However, all future signs shall be reviewed by Project Planning staff for compliance with the Vermont/Western SNAP and Design Guidelines. Filing for a Project Permit shall not be necessary unless a Project Permit Adjustment, Exception, or Amendment is required. Therefore, as conditioned, the project complies with this Development Standard.

**(27). Plant Materials on Facades.** The Design Guidelines encourage facade plant materials in addition to permanent landscaping. Plants can be arranged in planters, containers, hanging baskets, flower boxes, etc. The applicant does not propose any plant materials on facades. Therefore, this Design Guideline does not apply.

**3. The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.**

The Department of City Planning determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject Project as Categorically Exempt under Section 15332 (Class 32, In-Fill Development Project), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

See *Justification for Categorical Exemption Case No. ENV-2023-2588-CE* in the case file for the narrative demonstrates that exceptions do not apply, and the proposed project meets the five criteria under Class 32.

## **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES**

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

## APPEAL PERIOD - EFFECTIVE DATE

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

**Online Application System (OAS):** The OAS (<https://planning.lacity.org/oas>) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning's DSC, and submit fee payment by credit card or e-check.

**Drop off at DSC.** Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms, and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at <http://planning.lacity.org/development-services/forms>. Public offices are located at:

Metro DSC	Van Nuys DSC
201 N. Figueroa Street Los Angeles, CA 90012 <a href="mailto:planning.figcounter@lacity.org">planning.figcounter@lacity.org</a> (213) 482-7077	6262 Van Nuys Boulevard Van Nuys, CA 91401 <a href="mailto:planning.mbc2@lacity.org">planning.mbc2@lacity.org</a> (818) 374-5050
South LA DSC	West LA DSC
(In person appointments available on Tuesdays and Thursdays 8 am-4 pm only) 8475 S. Vermont Avenue 1st Floor Los Angeles, CA 90044 <a href="mailto:planning.southla@lacity.org">planning.southla@lacity.org</a>	(CURRENTLY CLOSED) 1828 Sawtelle Boulevard West Los Angeles, CA 90025 <a href="mailto:planning.westla@lacity.org">planning.westla@lacity.org</a> (310) 231-2901

City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's [BuildLA](#) portal ([appointments.lacity.org](https://appointments.lacity.org)). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to  
Online Appeal Filing



QR Code to Forms for In-  
Person Appeal Filing




QR Code to BuildLA  
Appointment Portal for  
Condition Clearance

**Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Transit Oriented Communities/Density Bonus Compliance Review Determination.** Per the Density Bonus Provision of State Law (Government Code Section 65915), the Density Bonus increase in units above the base density limits per the underlying zone(s) and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per LAMC Sections 12.22 A.25 and 12.22 A.31, appeals of Density Bonus Compliance Review and Transit Oriented Communities cases with the Director of Planning or Zoning Administrator as the initial decision maker are heard by the City Planning Commission.

VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:

  
Jane Choi, AICP, Principal City Planner

Reviewed by:

  
Danalynn Dominguez, City Planner

Prepared by:

  
Yamillet Brizuela, AICP, City Planning Associate  
[yamillet.brizuela@lacity.org](mailto:yamillet.brizuela@lacity.org)

**D – “EXHIBIT A” PROJECT PLANS DIR-2023-2587-TOC-SPP-HCA**



# 5271 SUNSET BLVD

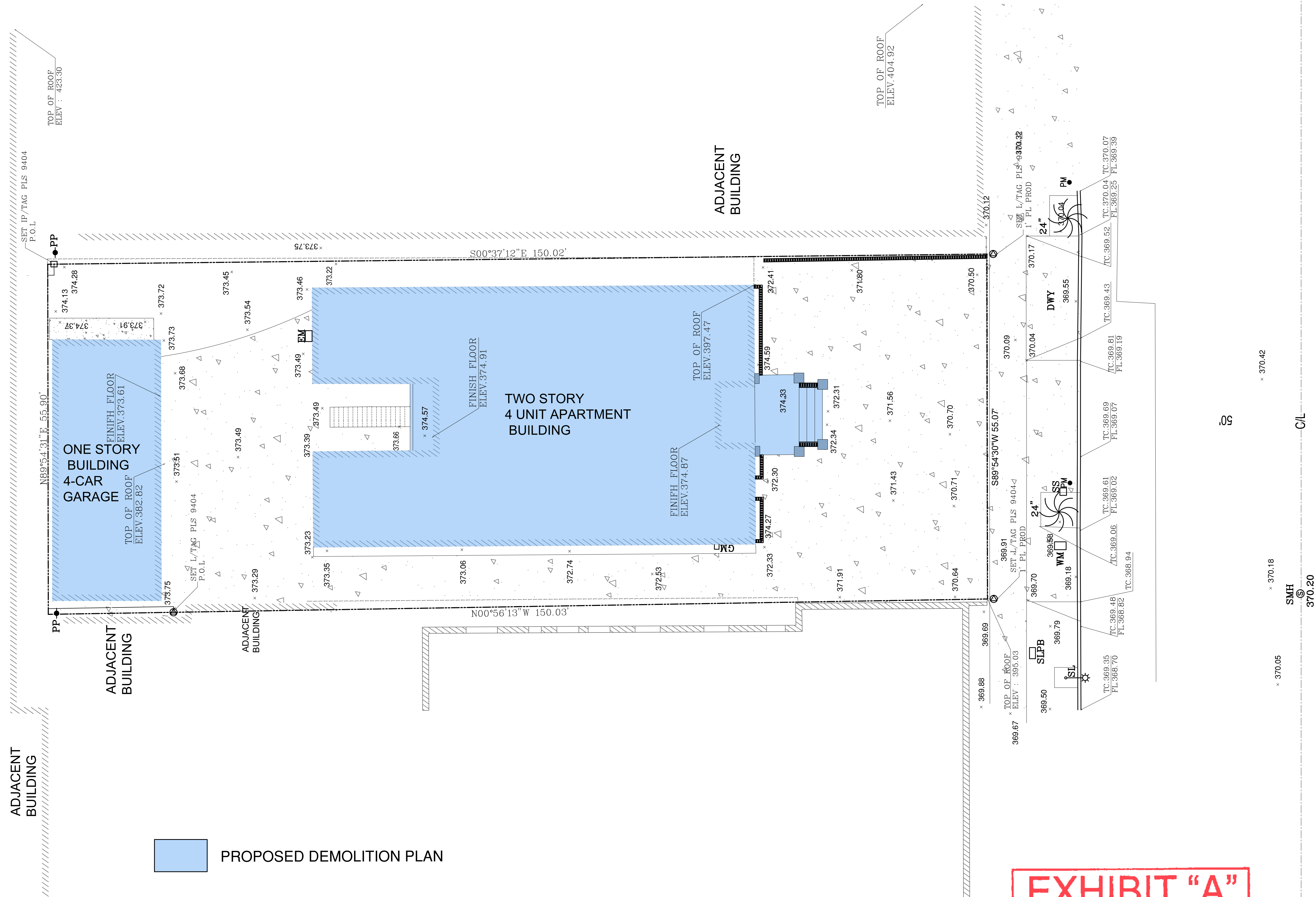
LOS ANGELES, CA 90027, USA

## 19-UNIT MIXED-USE PROJECT



PROJECT SUMMARY		BLD'G CONST. / OCCUPANCY		100 % PRIVATELY FUNDED PROJECT-NO TAX INCENTIVE CREDIT		SHEET INDEX		PROJECT DIRECTORY		ARCHITECTURAL DESIGNERS:																																																																		
<p>LOT SIZE: 8,249.9 SQ. FT.</p> <p>ZONING: C2-1D</p> <p>SITE ADDRESS: 5271 W SUNSET BLVD.</p> <p>LEGAL DESCRIPTION: LOT: 36,TRACT: TR3469, ARB: NONE, BLOCK: NONE</p> <p>MAP REFERENCE: M B 38-13</p> <p>ASSESSORS PARCEL NO: 5544017021</p> <p>MAP SHEET: 147A195</p> <p>OCCUPANCY: R2-S2-M</p> <p>ZONING CODE HEIGHT LIMIT: 50 FEET</p> <p>BUILDING HEIGHT BUILDING CODE: 41'-8 1/2"</p> <p>BUILDING HEIGHT ZONING CODE: 44'-4"</p> <p>TYPE OF CONSTRUCTION: TYPE V-A (4-STORY)</p> <p>PROPOSED NUMBER OF UNITS 19 UNITS</p>		<p>RESIDENTIAL: TYPE V-A (4-STORY) SUPERVISED AUTOMATIC FULLY SPRINKLERED THROUGH OUT (NFPA13) EMERGENCY RESPONDER RADIO COVERAGE REQUIRED PER CFC 510 PROVIDE APPROVED FIRE ALARM SYSTEM PER NFPA 72 UNDER SEPARATE PERMIT</p> <p>BUILDING HEIGHT ALLOWED PER BLD'G CODE: 50'-0" BUILDING HEIGHT PROPOSED 44'-4"</p> <p>TRANSITIONAL HEIGHT PER SNAP: DISTANCE HEIGHT 0 TO 49 FEET IS 25 FEET 50 TO 99 FEET IS 50 FEET</p> <p>COMMERCIAL FAR IS 0.068:1 WHICH IS LESS THAN 1.5:1 ALLOWED TRANSITIONAL HEIGHT PROPOSED WITH INCENTIVE 44'-4"</p>		<p>TOC INCENTIVES SUMMARY TOC TIER 3 BASE INVECTIVES; DENSITY INCREASE : (SECTION VI. I. a. iii) 70% 19x10% = 2 ELI F.A.R INCREASE: (SECTION VI. I. b. iii) 2.1:1 RESIDENTIAL AUTOMOBILE PARKING : (SECTION VI.2a.i.4) 0.5 SPACES PER UNIT COMMERCIAL AUTOMOBILE PARKING : (SECTION VI.2a.i.4) 30% REDUCTION</p> <p>ADDITIONAL INCENTIVES: 1. HEIGHT (TO ALLOW 52'-0" IN LIEU OF 60'-0") + SETBACK HEIGHT + TRANSITIONAL HEIGHT INCENTIVE(0-49 LINEAR FT. TO ALLOW 38'-0" IN LIEU OF 25'-0"); (SECTION VII.1(g)(4) ) TWO ADDITIONAL STORIES UP TO 22' IN STEPBACK HEIGHT PER TIER 3 TOC INCENTIVE , 11' STEPBACK HEIGHT INCREASE</p> <p>2. 25% COMMON AREA WIDTH DEDUCTION. 25%*20'-0"-5'-0" (DEDUCTION) 20'-0"-5'-0"-15'-0"</p> <p>3. 25% COMMON AREA DISTANCE DEDUCTION FROM PARAPET. 25%*20'-0"-5'-0" (DEDUCTION) 20'-0"-5'-0"-15'-0"</p> <p>NOTE: NO GRADING PLAN AS NO GRADING PROPOSED (NO SUBTERRANEAN GARAGE)</p>		<p>ARCHITECTURAL:</p> <p>1 A-00 COVER SHEET</p> <p>2 A-V.S.C VERMONT SNAP D CONDITION</p> <p>3 A-G.N.1 GENERAL NOTES</p> <p>4 A-G.N.2 GENERAL NOTES</p> <p>5 A-C.G.N.1 CAL-GREEN NOTES</p> <p>6 A-C.G.N.2 CAL-GREEN NOTES</p> <p>7 A-G.F. GREEN FORMS</p> <p>8 A-S.R. SOIL REPORT &amp; TIER VERIFICATION FORM</p> <p>9 SU-1 SURVEY</p> <p>10 A-BEM DEMOLITION PLAN</p> <p>11 A-01 SITE PLAN</p> <p>12 A-02 FIRST FLOOR PLAN</p> <p>13 A-03 SECOND FLOOR PLAN</p> <p>14 A-04 THIRD FLOOR PLAN</p> <p>15 A-05 FORTH FLOOR PLAN</p> <p>16 A-06 ROOF PLAN</p> <p>17 A-07 A-A SECTION</p> <p>18 A-08 B-B &amp; C-C SECTIONS</p> <p>19 A-09 FRONT &amp; REAR ELEVATIONS</p> <p>20 A-10 RIGHT &amp; LEFT ELEVATIONS</p> <p>21 A-10.1 PRIVACY OVERLAY DIAGRAM</p> <p>22 A-10.2 PRIVACY OVERLAY DIAGRAM</p> <p>23 A-11 1/4" ENLARGE STAIR PLANS</p> <p>24 A-12 1/4" ENLARGE STAIR PLANS</p> <p>25 A-13 1/4" UNIT PLAN</p> <p>26 A-14 1/4" UNIT PLAN</p> <p>27 A-15 1/4" UNIT PLAN</p> <p>28 A-16 1/4" UNIT PLAN</p> <p>29 A-17 1/4" UNIT PLAN</p> <p>30 A-18 1/4" UNIT PLAN</p> <p>31 A-19 1/4" UNIT PLAN</p> <p>32 A-20 1/4" UNIT PLAN</p> <p>33 A-20.1 1/4" UNIT PLAN</p> <p>34 A-21 OPEN SPACE CALC PLANS</p> <p>35 A-22 DOOR&amp;FINISH SCHEDULES</p> <p>36 A-26 FLOOR AREA DIAGRAM</p> <p>37 A-27 MATERIAL BOARD</p> <p>38 A-28 OCCUPANCY LOAD CALCULATION</p> <p>STRUCTURE:</p> <p>1 S001 GENERAL NOTES</p> <p>2 S002 OBSERVATION REPORT FROM/SOILS APPROVAL LETTER</p> <p>3 S101 FOUNDATION PLAN</p> <p>4 S102 SECOND FLOOR FRAMING PLAN</p> <p>5 S103 THIRD FLOOR FRAMING PLAN</p> <p>6 S104 FOURTH FLOOR FRAMING PLAN</p> <p>7 S105 ROOF FRAMING PLAN</p> <p>8 S201 GENERAL DETAILS</p> <p>9 S202 FOUNDATION DETAILS</p> <p>10 S203 FRAMING DETAILS</p> <p>11 S204 FRAMING DETAILS</p> <p>12 S205 FRAMING DETAILS</p> <p>13 HF1 HARDY FRAME SHEAR WALL SYSTEM DETAILS</p> <p>14 HF2 HARDY FRAME SHEAR WALL SYSTEM DETAILS</p> <p>15 HF3 HARDY FRAME SHEAR WALL SYSTEM DETAILS</p> <p>CIVIL:</p> <p>1 L-1 FIRST FLOOR PLANTING PLAN</p> <p>2 L-2 ROOF PLANTING PLAN</p> <p>3 L-3 FIRST FLOOR IRRIGATION PLAN</p> <p>4 L-4 ROOF IRRIGATION PLAN</p> <p>5 L-5 PLANTING DETAILS</p> <p>6 L-6 IRRIGATION DETAILS</p> <p>LANDSCAPE:</p>		<p>OWNER:</p> <p>DBA: SUNSETCOMPLEX 200 S. BARRINGTON AVE. #49385, LA CA 90049 TEL: 408-396-4530 EMAIL: SUNSETCOMPLEX@GMAIL.COM</p> <p>DESIGNER:</p> <p>CARPIRA DESIGN GROUP 30025 ALICIA PARKWAY #198, LAGUNA NIGUEL, CA 92677 TEL: (310) 795-4009 EMAIL: SAMCARPIRA@GMAIL.COM WWW.CARPIRA.COM</p> <p>SURVEY:</p> <p>LAND TOPOGRAPHY CORP. 4402 CHARLEMONT AVE., WOODLAND HILLS, CA 91364 CELL: (818)334-9135 E-MAIL: azormypls@gmail.com</p> <p>STRUCTURAL:</p> <p>FYP CONSULTING GROUP 58 FEATHER RIDGE, MISSION VIEJO CA 92692 TEL: 949-357-5907 FAX: 949-597-8151 EMAIL: FYPCONSULTING@COXNET</p> <p>CIVIL ENGINEER :</p> <p>SHAHRIAR YADEGARI, PE 5TH DIMENSION DEVELOPMENT LIC. 10301 KESWICK AVE. LOS ANGELES, CA. 90064 TEL: (310) 430-6033</p>		<p>SAM MONFARED ATABAK YOUSEFZADE SAMCARPIRA@GMAIL.COM</p> <p>ENGINEER:</p> <p>FYP CONSULTING GROUP: 32551 RACHEL CIRCLE, DANA POINT CA 92629 TEL: 949-357-5907 FAX: 949-597-8151 EMAIL: fypconsulting24@gmail.net</p> <p>OWNER :</p> <p>DBA: SUNSETCOMPLEX 200 S. BARRINGTON AVE. #49385, LA CA 90049 TEL: 408-396-4530 EMAIL: SUNSETCOMPLEX@GMAIL.COM</p> <p>PROJECT ADDRESS:</p> <p>5271 SUNSET BLVD., LOS ANGELES, CA 90018</p>																																																																		
VICINITY MAP		PARKING																																																																										
		<p>NOTE:</p> <p>PARKING HAS BEEN NOT PROVIDED ACCORDING TO THE NEW CALIFORNIA STATE LAW AB 2097</p> <p>SNAP REQUIRED PARKING:</p> <p>RESIDENTIAL 24 SPACES GUEST PARKING 5 SPACES TOTAL: 29 SPACES</p> <p>BIKE PARKING:</p> <p>REQUIREMENT: 10 SPACES REQUIRED PER SNAP PROPOSED: 20 RESIDENTIAL BIKE PARKING STALLS 2 COMMERCIAL BIKE PARKING STALLS</p>		<p>SNAP MAXIMUM RESIDENTIAL PARKING SPACES:</p> <table><thead><tr><th>DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS</th><th>PARKING SPACE PER SQUARE FEET/UNIT</th><th>UNITS</th><th>PARKING SPACES</th></tr></thead><tbody><tr><td>DWELLING UNITS WITH 3 HABITABLE ROOMS</td><td>1</td><td>11</td><td>11</td></tr><tr><td>DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS</td><td>1.5</td><td>6</td><td>9</td></tr><tr><td>DWELLING UNITS WITH MORE THAN 3 HABITABLE ROOMS</td><td>2</td><td>2</td><td>4</td></tr><tr><td colspan="4">TOTAL RESIDENTIAL ALLOWED SPACES: 24</td></tr><tr><td colspan="4">GUEST 0.25 19 5</td></tr><tr><td colspan="4">TOTAL MAXIMUM ALLOWED SPACES(INCLUDES OF GUEST PARKING): 29</td></tr></tbody></table>		DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS	PARKING SPACE PER SQUARE FEET/UNIT	UNITS	PARKING SPACES	DWELLING UNITS WITH 3 HABITABLE ROOMS	1	11	11	DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS	1.5	6	9	DWELLING UNITS WITH MORE THAN 3 HABITABLE ROOMS	2	2	4	TOTAL RESIDENTIAL ALLOWED SPACES: 24				GUEST 0.25 19 5				TOTAL MAXIMUM ALLOWED SPACES(INCLUDES OF GUEST PARKING): 29																																														
DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS	PARKING SPACE PER SQUARE FEET/UNIT	UNITS	PARKING SPACES																																																																									
DWELLING UNITS WITH 3 HABITABLE ROOMS	1	11	11																																																																									
DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS	1.5	6	9																																																																									
DWELLING UNITS WITH MORE THAN 3 HABITABLE ROOMS	2	2	4																																																																									
TOTAL RESIDENTIAL ALLOWED SPACES: 24																																																																												
GUEST 0.25 19 5																																																																												
TOTAL MAXIMUM ALLOWED SPACES(INCLUDES OF GUEST PARKING): 29																																																																												
DEVELOPMENT STANDARDS		BUILDING SUMMARY		CONSTRUCTION TYPE SUMMARY																																																																								
<p>PROJECT SITE IS LOCATED IN THE VERMONT/WESTERN TRANSIT ORIENTED SPECIFIC PLAN SUBAREA "B"- MIXED USE BOULEVARD</p> <ol style="list-style-type: none"><li>YARDS: NO FRONT SIDE OR BACK YARDS SHALL BE REQUIRED PER SECTION 8.G</li><li>LANDSCAPE FOCAL POINT: THE FRONT LANDSCAPE PLANTER IS USED AS FOCAL POINT.</li><li>LANDSCAPE PLAN: ALL OPEN AREAS OF THE BUILDINGS EXCEPT THE AREAS FOR BUILDING, DRIVEWAY, COMMON AREA RECREATIONAL FACILITIES EXIT COURTS AND RAMPS, FIRE DEPARTMENT ACCESS ARE LANDSCAPED WITH A COMBINATION OF SHRUBS, TREES, GROUND COVERS, PLANTER BOXES. ALL LANDSCAPE AREAS ARE IRRIGATED WITH AUTOMATIC WATERING SYSTEM. ALL DESIGN PREPARED BY A LICENSED LANDSCAPE ARCHITECT.</li><li>USABLE OPEN SPACE: USABLE OPEN SPACE IS 5,445 SQ. FT.&gt;5,325 SQ. FT. REQUIRED, WITH MIN. 20' DIMENSION AND 1/4" PER FOOT SLOPE. PRIVATE USABLE SPACE IS 2,400 SQ. FT. WITH MIN. 6 FEET DIMENSION FRO BALCONIES.</li><li>STREET TREES: STREET TREES SHALL BE PROVIDE PER SPECIFIC PLAN IF ALLOWED BY THE D.O.T. AND THE BUREAU OF ENGINEERING. EXISTING PALM TREES IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED IN RESIDENTIAL AREAS, AND ARE NOT REQUIRED TO BE REMOVED IN ORDER TO PLANT NEW STREET TREES. HOWEVER, EXISTING TREES OF ANY TYPE THAT HAVE LIFTED THE PAVEMENT MUST EITHER BE REMOVED OR BE CONTAINED IN SUCH A WAY THAT FUTURE SIDEWALK DAMAGE WILL NOT OCCUR. SIDEWALKS IN FRONT OF NEW DEVELOPMENT OR EXTENSIVE REMODELING PROJECTS MUST BE FULLY RESTORED TO A SAFE CONDITION, INCLUDING NO CREAKS, OR OTHER DAMAGE THAT COULD RESULT IN A TRIP HAZARD.</li><li>UTILITIES: ALL GAS, WATER ARE UNDERGROUND FROM THE FRONT STREET. THE ELECTRICAL AND TELEPHONE ARE PROVIDED FROM THE BACK POWER POLE WITH PROVISIONS FOR FUTURE UNDERGROUND.</li><li>PEDESTRIAN ACCESS: PEDESTRIAN ACCESS IS PROVIDED DIRECTLY FROM THE FRONT STREET NEXT TO THE PLANTER BOX AREA UP TO THE ENTRY PORCH.</li><li>ALLEY ACCESS: NO ALLEY IS ADJACENT TO THIS PROJECT.</li><li>CURB CUTS: THERE WILL BE ONLY ONE CURB CUT PROVIDING ACCESS FROM THE STREET AS PER DOT APPROVAL.</li><li>DRIVEWAYS: THE ENTIRE DRIVEWAY SHALL BE CONCRETE.</li><li>PARKING LOTS AND STRUCTURES: THE ENTIRE PARKING IS SUBTERRANEAN WITH NO SURFACE PARKING.</li><li>TRASH, SERVICE EQUIPMENT, SATELLITE DISHES: TRASH ROOM IS WITHIN THE SUBTERRANEAN GARAGE, AND SATELLITE DISH IS ON THE ROOF AT LEAST 10' AWAY FROM THE EDGE.</li><li>ROOFS AND ROOF TOP APPURTENANCES: (FLAT ROOF) BUILDING EQUIPMENTS ARE SET BACK 10' AWAY FROM THE EDGE OF THE BUILDING ARE 42" HIGH. THERE IS NO VISUAL SIGHT ANGLE TO BE SEEN.</li><li>ROOF LINES ARE BROKEN TO LESS THAN 18" OR SMALLER</li><li>PRIVACY: BALCONIES ARE SURROUNDED BY 2/3 SOLID SIDES FOR PRIVACY. THE UNITS DO NOT LOOK INTO EACH OTHER.</li><li>FACADE RELIEF: FRONT ELEVATION IS BROKEN INTO VERTICAL LINES LESS THAN 20" AND 10" VERTICALLY. STAIR SHAFT IS ORNATE WITH GALVANIZED OR STAINLESS STEEL PANELS. BALCONIES ARE INTRODUCED IN FRONT AND SIDES. MULTI PANE GLASS ARE USED FOR WINDOWS.</li></ol> <p>C. TRANSITIONAL HEIGHT.</p> <ol style="list-style-type: none"><li>HEIGHT LIMITS. NOTWITHSTANDING ANY PROVISIONS OF SECTIONS 12.21.1 A 10 OF THE CODE TO THE CONTRARY, PORTIONS OF BUILDINGS ON A LOT LOCATED WITHIN THE SUBAREA B SHALL NOT EXCEED THE TRANSITIONAL HEIGHT LIMITS SET FORTH BELOW WHEN LOCATED WITHIN THE DISTANCES SPECIFIED FROM AN ABUTTING LOT IN SUBAREA A: DISTANCE HEIGHT 0 TO 49 FEET 25 FEET 50 TO 99 FEET 33 FEET</li><li>CALCULATING DISTANCE. TRANSITIONAL HEIGHT LIMITS AS SET FORTH ABOVE IN SECTION 8.C OF THIS SPECIFIC PLAN SHALL ONLY APPLY TO LOTS ADJOINING OR ABUTTING A LOT IN SUBAREA A AND SHALL NOT APPLY TO LOTS SEPARATED BY A PUBLIC STREET.</li></ol>		<p>ZONING: C2-1D</p> <p>TRANSIT ORIENTED COMMUNITIES TIER 3 (SECTION 8.A) R3 ZONE BASE # OF UNITS: 8249.5/800=10.31=11</p> <p>DENSITY INCREASE OF 70% PER SECTION VI.1.A.iii (TOC TIER-3) PROPOSED TOTAL # OF UNITS 11x1.7=18.7=19</p> <p>TRANSITIONAL HEIGHT ABUTTING LOT IN SUB-AREA A) PER SECTION 8.C.1 (SNAP)</p> <p>HEIGHT INCREASE OF 22' STEPE-BACK 45 DEGREES 25 FEET ABOVE GRADE PER SECTION VII-1.g.ii (TOC TIER-3)</p> <p>LOT AREA: 8,249.9 SQ. FT.</p> <p>F.A.R. ALLOWED (C2 ZONE) PER SNAP 2:1 PROPOSED F.A.R. INCREASE (5%) 2.1 16,250 RESIDENTIAL SF + 570 COMMERCIAL SF = 16,820 SF / 8,249.9 SF (LOT AREA) = 2.039:1 FAR PROPOSED</p> <p>ALLOWABLE BUILDABLE AREA 8249.9x2.9=23924.71 SQ.FT.</p> <p>ACTUAL BUILDING AREA 16250 SQ. FT. &lt;23924.71 SQ. FT.</p> <p>THE COMMERCIAL FAR IS 0.07:1 WHICH IS LESS THAN 1.5:1 ALLOWED RESIDENTIAL FAR = 1.989:1</p> <p>NO ON SIDE COMMERCIAL SIGNAGE IS PROPOSED</p>		<table><thead><tr><th></th><th>OCCUPANCY LOAD</th><th>COMMERCIAL</th><th>RESIDENTIAL</th><th>EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS</th><th>TOTAL</th></tr></thead><tbody><tr><td>FIRST FLOOR</td><td>M 1/60 (10) R-2 1/200 (17)</td><td>570 sq.ft.</td><td>3480 sq.ft.</td><td>1715 sq.ft.</td><td>5765 sq.ft.</td></tr><tr><td>2ND FLOOR</td><td>R-2 1/200 (23)</td><td>—</td><td>4555 sq.ft.</td><td>1310 sq.ft.</td><td>5865 sq.ft.</td></tr><tr><td>3RD FLOOR</td><td>R-2 1/200 (23)</td><td>—</td><td>4180 sq.ft.</td><td>1295 sq.ft.</td><td>5475 sq.ft.</td></tr><tr><td>4TH FLOOR</td><td>R-2 1/200 (21)</td><td>—</td><td>4035 sq.ft.</td><td>1130 sq.ft.</td><td>5165 sq.ft.</td></tr><tr><td>TOTAL</td><td></td><td>570 sq.ft.</td><td>16250 sq.ft.</td><td>5450 sq.ft.</td><td>22270 sq.ft.</td></tr></tbody></table> <p>TOTAL RESIDENTIAL AREA (BLD'G CODE): 16250 SQ. FT. TOTAL RESIDENTIAL AREA (ZON'G CODE): 16250 SQ. FT. TOTAL RESIDENTIAL AREA (SCHOOL FEE): 22270 SQ. FT. TOTAL COMMERCIAL AREA : 570 SQ. FT.</p>			OCCUPANCY LOAD	COMMERCIAL	RESIDENTIAL	EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS	TOTAL	FIRST FLOOR	M 1/60 (10) R-2 1/200 (17)	570 sq.ft.	3480 sq.ft.	1715 sq.ft.	5765 sq.ft.	2ND FLOOR	R-2 1/200 (23)	—	4555 sq.ft.	1310 sq.ft.	5865 sq.ft.	3RD FLOOR	R-2 1/200 (23)	—	4180 sq.ft.	1295 sq.ft.	5475 sq.ft.	4TH FLOOR	R-2 1/200 (21)	—	4035 sq.ft.	1130 sq.ft.	5165 sq.ft.	TOTAL		570 sq.ft.	16250 sq.ft.	5450 sq.ft.	22270 sq.ft.	<p>TYPE OF CONSTRUCTION VA</p> <p>OCCUPANCY R-2</p> <p>NO. OF STORIES 4</p> <p>HEIGHT (ALLOWABLE) 45'</p> <p>ALLOWABLE FLOOR AREA 2x36000=72000 SQ.FT.</p> <p>ALLOWABLE AREA PER STORY 36000 SQ.FT.</p> <p>MAX. BUILDING AREA: &gt; 1 STORY: ALLOWABLE X 2 72000 SQ.FT.</p> <p>DEFERRED SUBMITTAL ITEMS SHALL COMPLY WITH CBC SECTION 106.4.4.2. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT (STRUCTURAL ENGINEER) FOR REVIEW WITH THE GENERAL CONFORMANCE TO CONTRACT DOCUMENTS. PROVIDE A PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL IN THE STATE WHERE THE PRODUCT SITE OCCURS. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTAL ITEMS ARE AS FOLLOWING: A. ELEVATOR ANCHOR SYSTEM B. ATS SYSTEM (HOLD DOWNS)</p> <p>FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) TABLE 601</p> <table><thead><tr><th>BUILDING ELEMENT</th><th>TYPE VA</th></tr></thead><tbody><tr><td>PRIMARY STRUCTURAL FRAME</td><td>1</td></tr><tr><td>BEARING WALLS</td><td>EXTERIOR 1 INTERIOR 1</td></tr><tr><td>NONBEARING WALLS AND PARTITIONS</td><td>EXTERIOR 1 INTERIOR 1</td></tr><tr><td>FLOOR CONSTRUCTION AND SECONDARY MEMBER</td><td>1</td></tr><tr><td>ROOF CONSTRUCTION AND SECONDARY MEMBER</td><td>1</td></tr><tr><td>SHAFT RATING</td><td>2</td></tr></tbody></table>		BUILDING ELEMENT	TYPE VA	PRIMARY STRUCTURAL FRAME	1	BEARING WALLS	EXTERIOR 1 INTERIOR 1	NONBEARING WALLS AND PARTITIONS	EXTERIOR 1 INTERIOR 1	FLOOR CONSTRUCTION AND SECONDARY MEMBER	1	ROOF CONSTRUCTION AND SECONDARY MEMBER	1	SHAFT RATING	2	<p>DESCRIPTION :</p> <p>DATE: 09/12/2022</p> <p>REV.1: 10/20/2022</p> <p>REV.2: 06/05/2023</p> <p>REV.3: 04/26/2024</p> <p>REV.4: 07/30/2024</p> <p>TITLE COVER SHEET</p> <p>SCALE</p> <p>PAGE NO.: A - 00</p> <p>ARCHITECTURAL SHEETS</p>																		
	OCCUPANCY LOAD	COMMERCIAL	RESIDENTIAL	EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS	TOTAL																																																																							
FIRST FLOOR	M 1/60 (10) R-2 1/200 (17)	570 sq.ft.	3480 sq.ft.	1715 sq.ft.	5765 sq.ft.																																																																							
2ND FLOOR	R-2 1/200 (23)	—	4555 sq.ft.	1310 sq.ft.	5865 sq.ft.																																																																							
3RD FLOOR	R-2 1/200 (23)	—	4180 sq.ft.	1295 sq.ft.	5475 sq.ft.																																																																							
4TH FLOOR	R-2 1/200 (21)	—	4035 sq.ft.	1130 sq.ft.	5165 sq.ft.																																																																							
TOTAL		570 sq.ft.	16250 sq.ft.	5450 sq.ft.	22270 sq.ft.																																																																							
BUILDING ELEMENT	TYPE VA																																																																											
PRIMARY STRUCTURAL FRAME	1																																																																											
BEARING WALLS	EXTERIOR 1 INTERIOR 1																																																																											
NONBEARING WALLS AND PARTITIONS	EXTERIOR 1 INTERIOR 1																																																																											
FLOOR CONSTRUCTION AND SECONDARY MEMBER	1																																																																											
ROOF CONSTRUCTION AND SECONDARY MEMBER	1																																																																											
SHAFT RATING	2																																																																											
		UNIT DESCRIPTIONS		OPEN SPACE REQUIREMENTS SEC. 12.21.G2																																																																								
		<table><thead><tr><th>UNIT</th><th>QTY.</th><th>MIX</th><th>NET AREA</th><th>TOTAL NET AREA</th></tr></thead><tbody><tr><td>101</td><td>1</td><td>1Beds+1Baths+Living room</td><td>555 sq.ft.</td><td>555 sq.ft.</td></tr><tr><td>102</td><td>1</td><td>1Beds+1Baths+Living room</td><td>685 sq.ft.</td><td>685 sq.ft.</td></tr><tr><td>103</td><td>1</td><td>2Beds+2Baths+Living room</td><td>960 sq.ft.</td><td>960 sq.ft.</td></tr><tr><td>104</td><td>1</td><td>3Beds+2Baths+Living room</td><td>1280 sq.ft.</td><td>1280 sq.ft.</td></tr><tr><td>201,301,401</td><td>3</td><td>1Beds+1Baths+Living room</td><td>745 sq.ft.</td><td>2235 sq.ft.</td></tr><tr><td>202,302,402</td><td>3</td><td>1Beds+1Baths+Living room</td><td>685 sq.ft.</td><td>2055 sq.ft.</td></tr><tr><td>203,303,403</td><td>3</td><td>2Beds+2Baths+Living room+deck</td><td>990 sq.ft.</td><td>2970 sq.ft.</td></tr><tr><td>204,304,404</td><td>3</td><td>1Beds+1Baths+Living room</td><td>685 sq.ft.</td><td>2055 sq.ft.</td></tr><tr><td>205</td><td>2</td><td>3Beds+2Baths+Living room+deck</td><td>1450 sq.ft.</td><td>1450 sq.ft.</td></tr><tr><td>305</td><td>1</td><td>2Beds+2Baths+Living room+deck</td><td>1075 sq.ft.</td><td>1075 sq.ft.</td></tr><tr><td>405</td><td>1</td><td>2Beds+2Baths+Living room+deck</td><td>930 sq.ft.</td><td>930 sq.ft.</td></tr><tr><td>TOTAL</td><td>19</td><td></td><td></td><td>16250 sq.ft.</td></tr></tbody></table>		UNIT	QTY.	MIX	NET AREA	TOTAL NET AREA	101	1	1Beds+1Baths+Living room	555 sq.ft.	555 sq.ft.	102	1	1Beds+1Baths+Living room	685 sq.ft.	685 sq.ft.	103	1	2Beds+2Baths+Living room	960 sq.ft.	960 sq.ft.	104	1	3Beds+2Baths+Living room	1280 sq.ft.	1280 sq.ft.	201,301,401	3	1Beds+1Baths+Living room	745 sq.ft.	2235 sq.ft.	202,302,402	3	1Beds+1Baths+Living room	685 sq.ft.	2055 sq.ft.	203,303,403	3	2Beds+2Baths+Living room+deck	990 sq.ft.	2970 sq.ft.	204,304,404	3	1Beds+1Baths+Living room	685 sq.ft.	2055 sq.ft.	205	2	3Beds+2Baths+Living room+deck	1450 sq.ft.	1450 sq.ft.	305	1	2Beds+2Baths+Living room+deck	1075 sq.ft.	1075 sq.ft.	405	1	2Beds+2Baths+Living room+deck	930 sq.ft.	930 sq.ft.	TOTAL	19			16250 sq.ft.	<p>LESS THAN 3 HABITABLE ROOM UNIT @100 SQ. FT. PER UNIT=11x100= 1100 SQ. FT. 3 HABITABLE ROOM UNIT @125 SQ. FT. PER UNIT=6x125= 750 SQ. FT. 4 HABITABLE ROOM UNIT @175 SQ. FT. PER UNIT=2x175= 350 SQ. FT. TOTAL OPEN SPACE REQUIRED&gt;= 1100 SQ. FT.</p> <p>MINIMUM COMMON OPEN SPACE REQUIRED (50%)&gt;= 1100 SQ. FT.</p> <p>PRIVATE OPEN SPACE PROVIDED: BALCONIES WITH 6' MIN. DIM.: 750 SQ. FT. COMMON OPEN SPACE PROVIDED: COURT YARD WITH 20' MIN.: 1100 SQ. FT. ROOF DECK WITH 15' MIN.: 487.5 SQ. FT.</p> <p>TOTAL OPEN SPACE PROVIDED: MIN. COMMON SPACE/LANDSCAPE REQUIRED (25%)=1587.5*25%= 396.875 SQ. FT. MIN. LANDSCAPE AREA PROVIDE FOR COMMON AREA 421.5 SQ. FT. NUMBER OF 24" BOX TREES REQUIRED (ONE PER 4 UNITS) 5 MIN. NUMBER OF 24" BOX TREES PROVIDED 5</p> <p>MINIMUM FIRST FLOOR OPEN SPACE REQUIRED (50%) = 1100 SQ.FT. COMMON OPEN SPACE PROVIDED WITH 20' MIN. = 1100 SQ.FT. TOTAL OPEN SPACE PROVIDED IN FIRST FLOOR = 1100 SQ.FT.</p>							
UNIT	QTY.	MIX	NET AREA	TOTAL NET AREA																																																																								
101	1	1Beds+1Baths+Living room	555 sq.ft.	555 sq.ft.																																																																								
102	1	1Beds+1Baths+Living room	685 sq.ft.	685 sq.ft.																																																																								
103	1	2Beds+2Baths+Living room	960 sq.ft.	960 sq.ft.																																																																								
104	1	3Beds+2Baths+Living room	1280 sq.ft.	1280 sq.ft.																																																																								
201,301,401	3	1Beds+1Baths+Living room	745 sq.ft.	2235 sq.ft.																																																																								
202,302,402	3	1Beds+1Baths+Living room	685 sq.ft.	2055 sq.ft.																																																																								
203,303,403	3	2Beds+2Baths+Living room+deck	990 sq.ft.	2970 sq.ft.																																																																								
204,304,404	3	1Beds+1Baths+Living room	685 sq.ft.	2055 sq.ft.																																																																								
205	2	3Beds+2Baths+Living room+deck	1450 sq.ft.	1450 sq.ft.																																																																								
305	1	2Beds+2Baths+Living room+deck	1075 sq.ft.	1075 sq.ft.																																																																								
405	1	2Beds+2Baths+Living room+deck	930 sq.ft.	930 sq.ft.																																																																								
TOTAL	19			16250 sq.ft.																																																																								





**EXHIBIT "A"**  
Page No. 2 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

**SUNSET BLVD**



**ARCHITECTURAL DESIGNERS:**  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

**ENGINEER:**  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

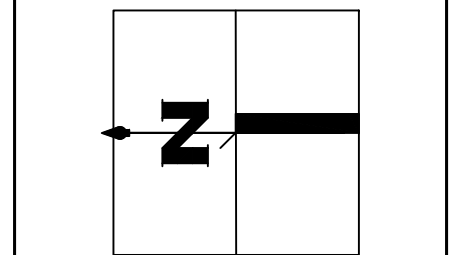
**OWNER :**  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

**PROJECT ADDRESS:**  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

**DESCRIPTION :**  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

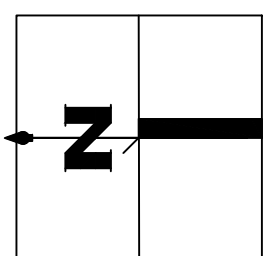
**TITLE**  
DEMOLITION PLAN

**SCALE**



**PAGE NO.:**  
**A-DEM**  
ARCHITECTURAL SHEETS





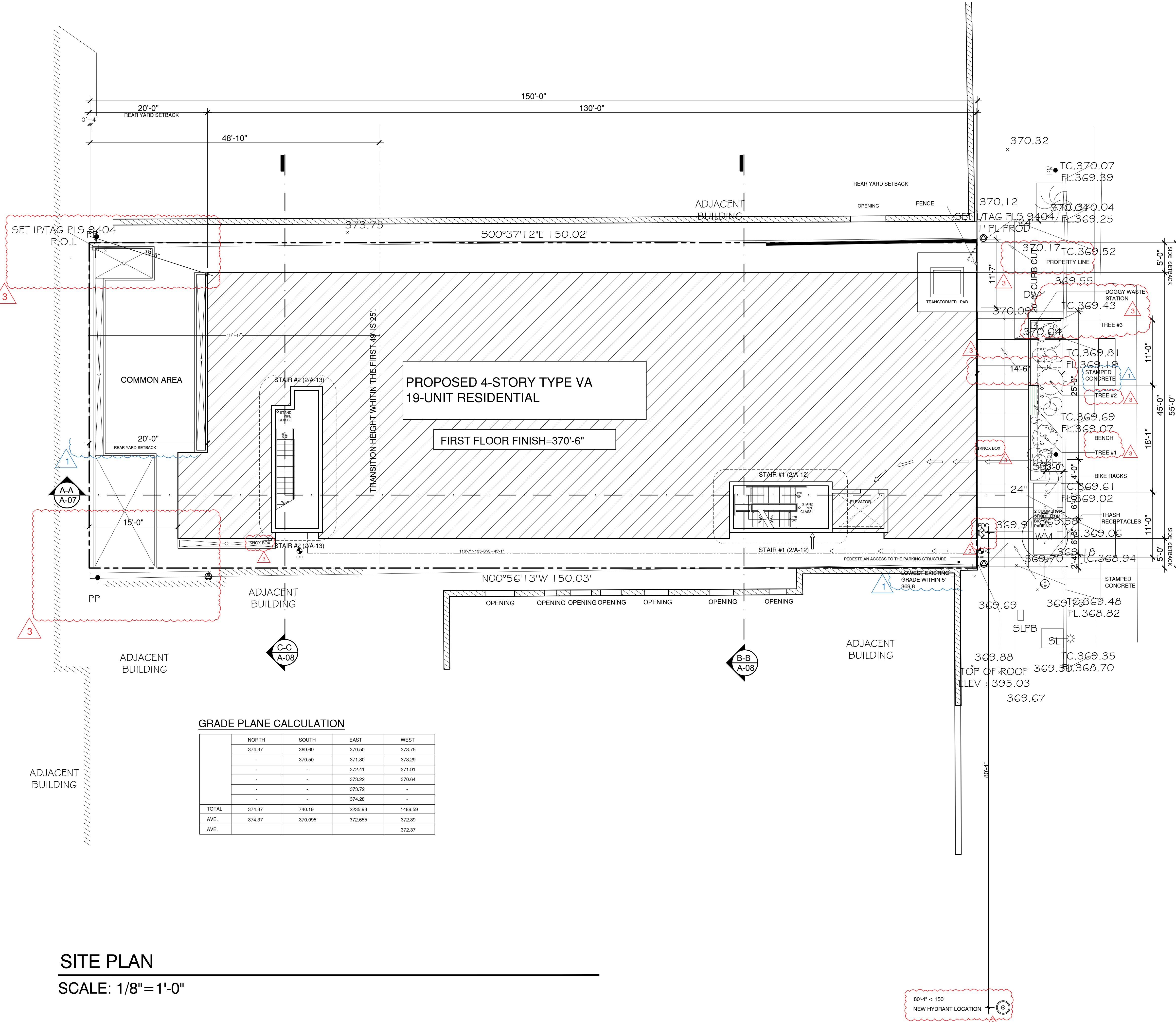
TYPE V-A NOTES :

1. CONTINUOUS DRYWALL BEHIND ALL TUBS IS REQUIRED UNLESS THE WALLS ARE WITHIN THE UNIT AND NON-BEARING. BACK TO BACK TUBS WITH A COMMON PLUMBING WALL ARE IMPRACTICAL IN 1-HOUR BUILDINGS.
2. ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTION. T-601 ATTIC ACCESS OPENINGS IN 1-HOUR CEILING CAN BE 2 LAYERS OF 3/4" PLYWOOD OR ONE LAYER OF 1-5/8" T&G MATERIAL, SELF-CLOSING.
3. ALL OPENINGS IN FLOORS ARE REQUIRED TO BE ENCLOSED BY A SHAFT HAVING WALL, FLOOR, AND CEILING OF HOUR FIRE RESISTIVE CONSTRUCTION.713.1
4. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL" TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.
5. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE CABINETS.
7. EXHAUST FANS FROM THE BATHROOM MUST ENTER THROUGH THE WALL. DAMPERS ARE REQUIRED IF THE CEILING IS PENETRATED 717.5
8. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING MATERIAL. INSULATION IS NOT APPROVED.
9. PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD REQUIRE DAMPERS (USE A DUCTLESS HOOD WHENEVER POSSIBLE). ATTIC UNITS (INCLUDING HEAT PUMPS) REQUIRE DAMPERS AT ALL CEILING PENETRATIONS 711
10. STEEL BEAMS AND COLUMNS SHALL BE PROTECTED AS REQUIRED FOR 1-HOUR PROTECTION. WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPANCY SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING ASSEMBLIES), THE CONSTRUCTION (FLOOR JOISTS) AND THEIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS) NEED NOT BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF. THE REQUIRED FIRE RESISTANCE SHALL NOT BE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBERS. 704.3
11. ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) ARE REQUIRED TO BE GALVANIZED OR CAST IRON PIPING.

NOTES :

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLERS SYSTEM IN ACCORDANCE WITH SECTION NFPA13 THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)  
PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

SUNSET BLVD



SITE PLAN

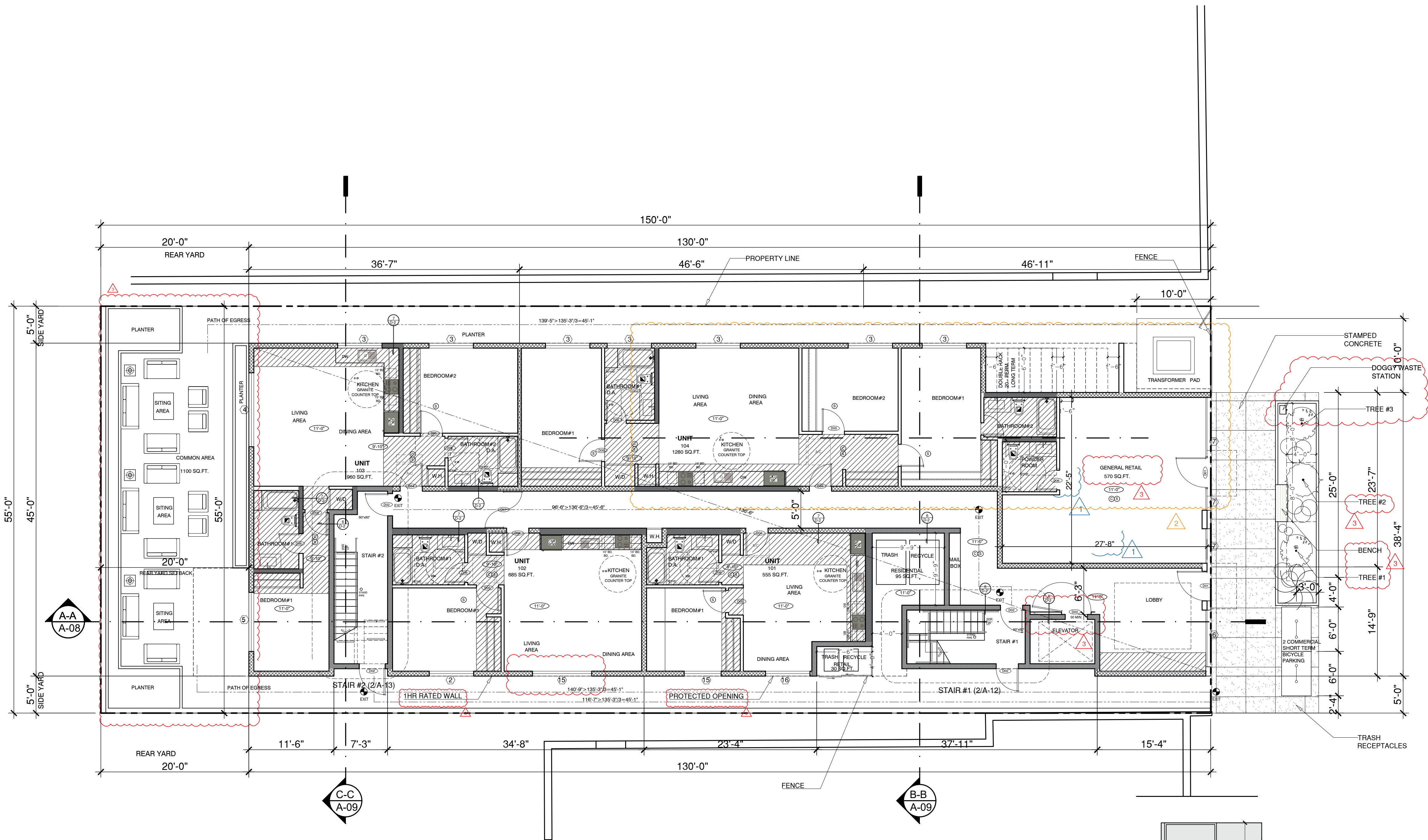
SCALE: 1/8"= 1'-0"

**EXHIBIT "A"**

Page No. 3 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA





"The building is not exposed to a noise level of 65dB Leq-1-hr during any hour of operation."

LABC 3006.3 (3) ADDITIONAL DOORS SHALL BE PROVIDED AT EACH ELEVATOR HOISTWAY DOOR OPENING IN ACCORDANCE WITH SECTION 3002.6. SUCH DOOR SHALL COMPLY WITH THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL.

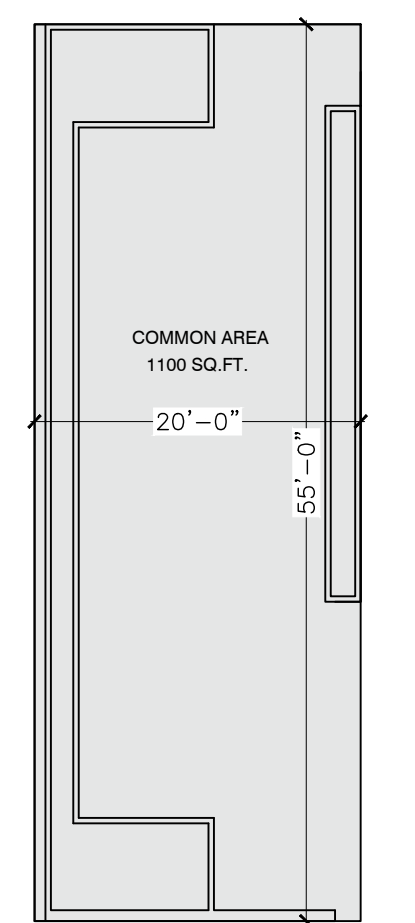
## FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

# EXHIBIT "A"

Page No. 4 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA



"COMMON AREA"  
AREA= 1100 SQ.FT.  
OCC. LOAD  
1100 SQ.FT./15= 74 OCC

### LEGEND:

- EXIT EXIT SIGN W/ EMERGENCY LIGHT
- CO SD HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- FS WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOX DOOR TYPE
- A WINDOW TYPE
- F.E. FIRE EXTINGUISHER, RECESSED INTO WALL.
- 4 2 INTERIOR ELEVATION MARKER
- 00.00 EXISTING GRADE ELEVATION
- T.W. TOP OF WALL
- F.F. FINISHED FLOOR
- E.F.G. EXISTING FINISH GRADE
- T.D. TOP OF DRAIN
- A.D. AREA DRAIN

- 2-HR EXTERIOR WALL SEE DETAIL 2/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6A/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6B/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 4/D-02.
- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION  
VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-LIMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL 6&7/A-16 AND 14/A-18
- 8'-2" HEADROOM CLERANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES

### EVS NOTES:

- SEE PLANS FOR RACEWAY TERMINATION (S), EVCS, AND EVE CHARGERS.
- ONLY UNDERGROUND RACEWAY AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVES. PLAN DESIGN SHALL BE BASE UPON A-40 AMPER MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.

OCCUPANT LOAD: TABLE 1004.1.1

OCCUPANCY R2 (APARTMENT)  
OCC. LOAD: 5,245 SQ. FT./200=27  
27-29 TWO EXITS REQUIRED,  
27-50 REQUIRED EXIT WIDTH 36"  
27-50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 135'-3"

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP.1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

# CARPIRA DESIGN GROUP COMPANY

### ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

### ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.com

### OWNER:

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

### PROJECT ADDRESS:

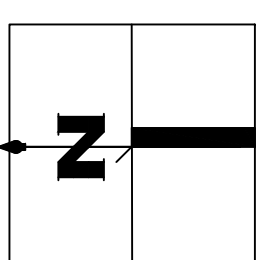
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

### DESCRIPTION:

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

### TITLE 1ST FLOOR PLAN

SCALE 1/8"=1'-0"

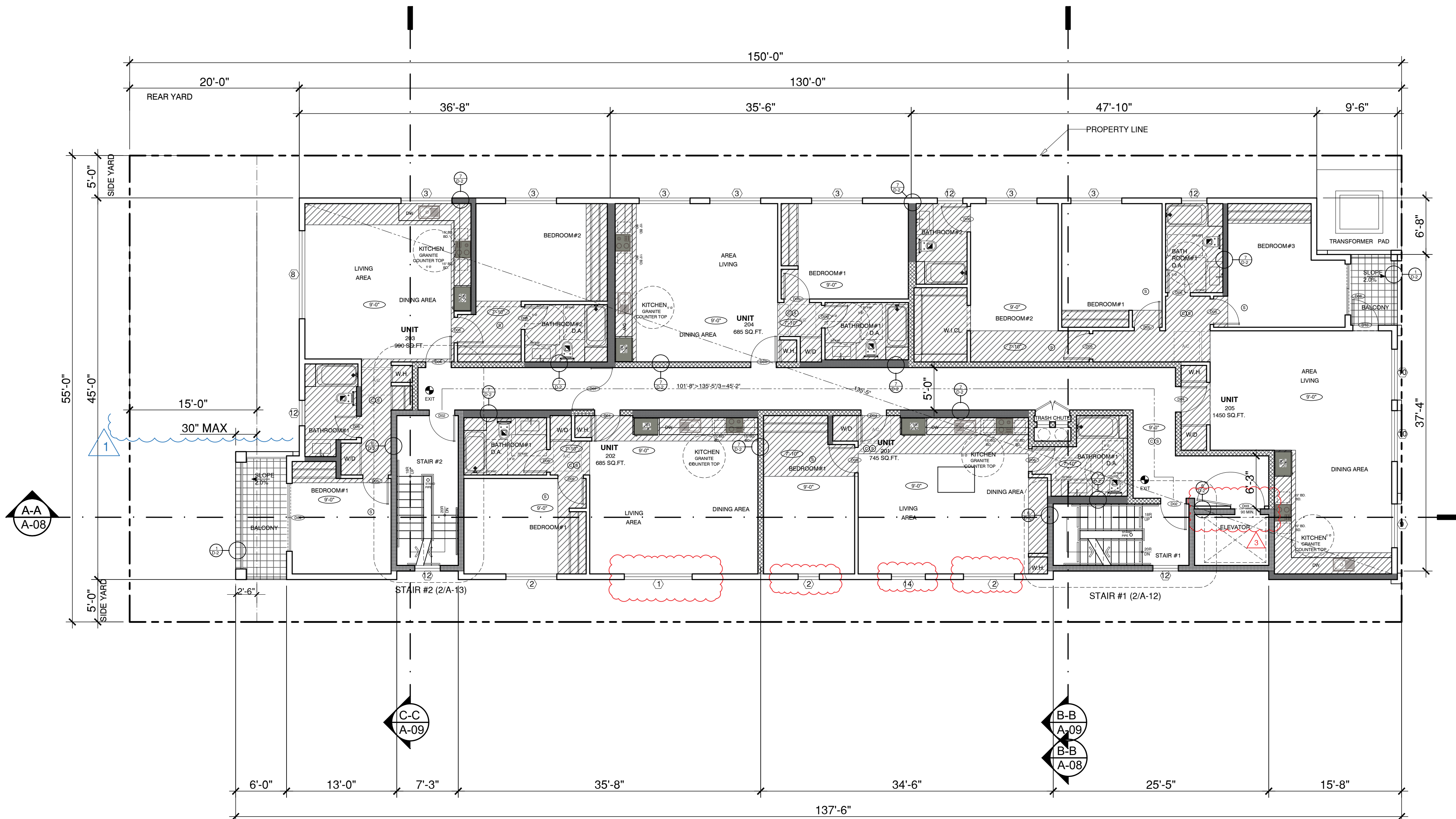


### PAGE NO.:

# A - 02

ARCHITECTURAL SHEETS





## SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 5 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

### LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
  - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL.
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN

- 2-HR EXTERIOR WALL SEE DETAIL 2/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6A/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6B/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 4/D-02.
- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION  
VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-LIMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL 6&7/A-16 AND 14/A-18
- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES

### EVS NOTES:

- SEE PLANS FOR RACEWAY TERMINATION (S), EVCS, AND EVE CHARGERS.
- ONLY UNDERGROUND RACEWAY AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVES. PLAN DESIGN SHALL BE BASE UPON A-40 AMPER MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.

OCCUPANT LOAD: TABLE 1004.1.1

OCCUPANCY R2 (APARTMENT)  
OCC. LOAD: 5,615 SQ. FT./200=28  
28-29 TWO EXITS REQUIRED.  
28-50 REQUIRED EXIT WIDTH 36"  
28-50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 135'-3"

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP.1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

### ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

### ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.com

### OWNER:

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

### PROJECT ADDRESS:

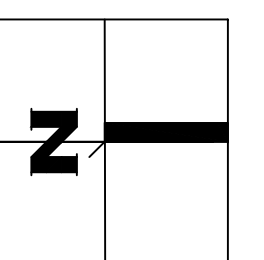
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

### DESCRIPTION:

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

### TITLE 2ND FLOOR PLAN

SCALE 1/8" = 1'-0"

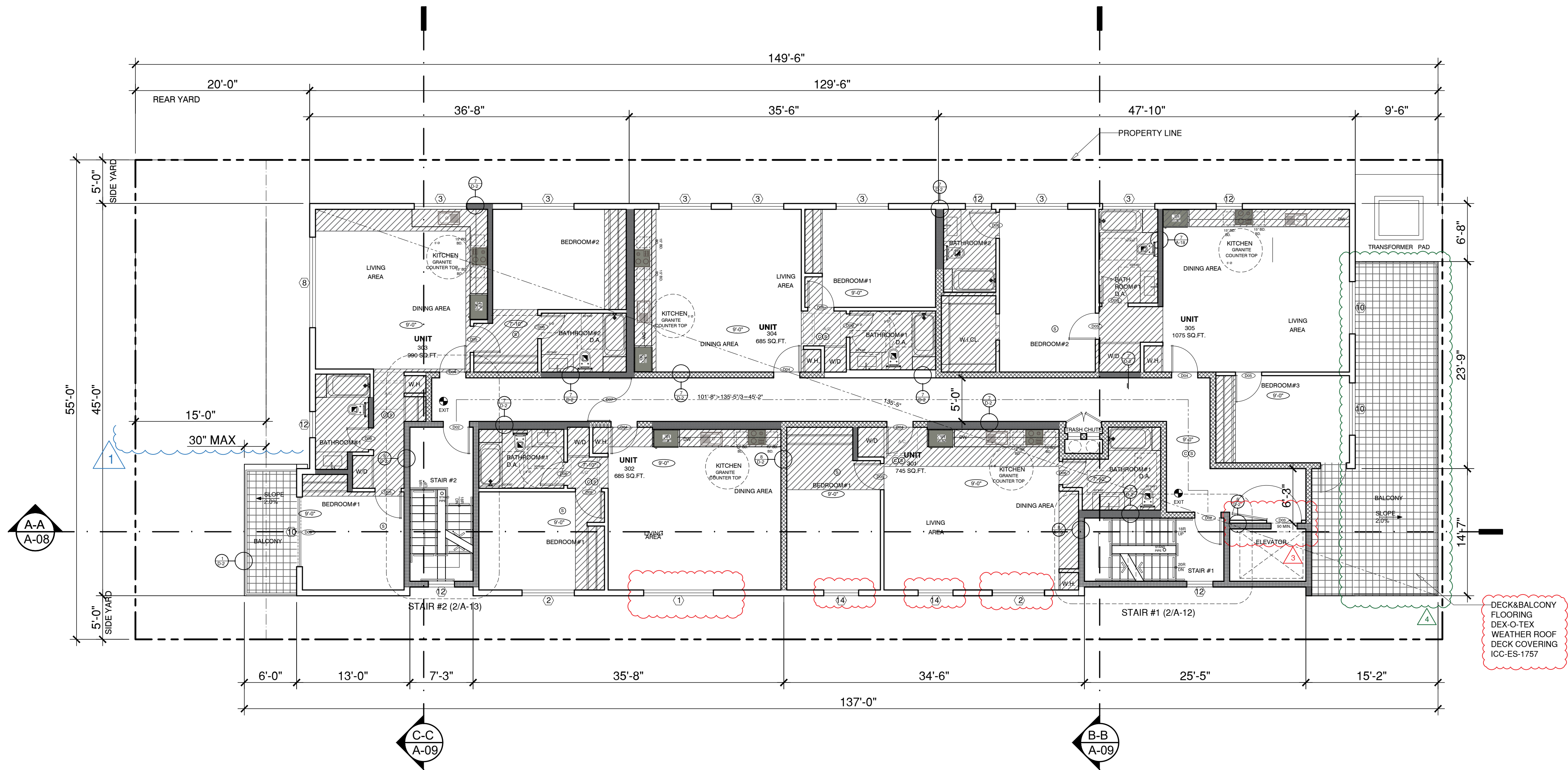


### PAGE NO.:

**A - 03**

ARCHITECTURAL SHEETS





THIRD FLOOR PLAN  
SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 6 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- LEGEND:**
- EXIT SIGN W/ EMERGENCY LIGHT
  - HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
  - 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
  - WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
  - DOOR TYPE
  - WINDOW TYPE
  - FIRE EXTINGUISHER, RECESSED INTO WALL.
  - INTERIOR ELEVATION MARKER
  - EXISTING GRADE ELEVATION
  - TOP OF WALL
  - FINISHED FLOOR
  - EXISTING FINISH GRADE
  - TOP OF DRAIN
  - AREA DRAIN

- 2-HR EXTERIOR WALL SEE DETAIL 2/D-02  
FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6A/D-02  
FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6B/D-02  
FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 7A/D-02  
FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 7B/D-02  
FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 4/D-02.
- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION  
VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-LIMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL 6&7/A-16 AND 14/A-18
- 8'-2" HEADROOM CLERANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES

- EVS NOTES :**
- SEE PLANS FOR RACEWAY TERMINATION (S), EVCS, AND EVE CHARGERS.
  - ONLY UNDERGROUND RACEWAY AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
  - THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVES. PLAN DESIGN SHALL BE BASE UPON A-40 AMPER MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
  - THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.
- OCCUPANT LOAD: TABLE 1004.1.1
- OCCUPANCY R2 (APARTMENT)  
OCC. LOAD: 5,615 SQ. FT./200=28  
28-29 TWO EXITS REQUIRED.  
28-50 REQUIRED EXIT WIDTH 36"  
28-50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 135'-3"
- TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP.1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

**ARCHITECTURAL DESIGNERS:**

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

**ENGINEER:**

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

**OWNER :**

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

**PROJECT ADDRESS:**

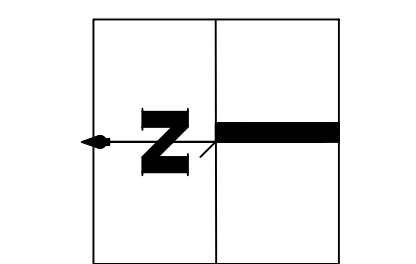
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

**DESCRIPTION :**

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

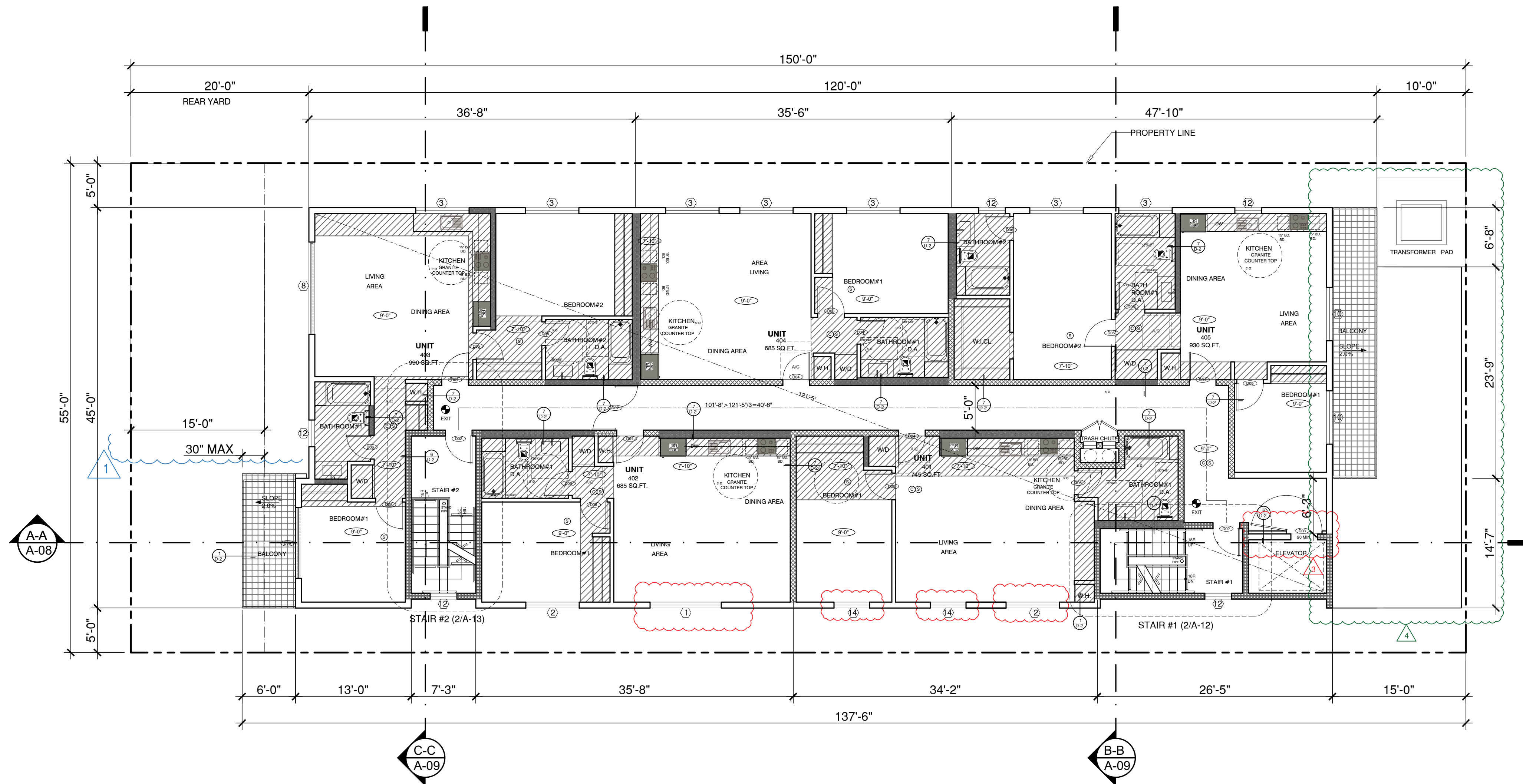
**TITLE**  
3RD FLOOR PLAN

**SCALE**  
1/8" = 1'-0"



**PAGE NO.:**  
**A - 04**  
ARCHITECTURAL SHEETS





## 4TH FLOOR PLAN

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 7 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

### LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
  - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL.
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN

- 2-HR EXTERIOR WALL SEE DETAIL 2/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6A/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6B/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 4/D-02.
- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-LIMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL 6&7/A-16 AND 14/A-18
- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES

### EVS NOTES:

- SEE PLANS FOR RACEWAY TERMINATION (S), EVCS, AND EVE CHARGERS.
- ONLY UNDERGROUND RACEWAY AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVES. PLAN DESIGN SHALL BE BASE UPON A-40 AMPER MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.

OCCUPANT LOAD: TABLE 1004.1.1

OCCUPANCY R2 (APARTMENT)  
OCC. LOAD: 5,135 SQ. FT./200-27  
27-29 TWO EXITS REQUIRED.  
27-50 REQUIRED EXIT WIDTH 36"  
27-50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 135'-3"

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP.1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

### ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

### ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

### OWNER:

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

### PROJECT ADDRESS:

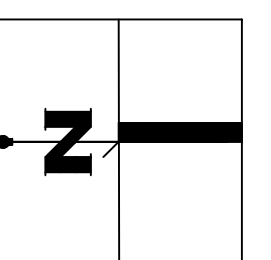
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

### DESCRIPTION:

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE **4TH FLOOR PLAN**

SCALE **1/8" = 1'-0"**



### PAGE NO.:

**A - 05**

ARCHITECTURAL SHEETS



## ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE

SAMCARPIRA@GMAIL.COM

## ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

## OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-386-4538  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

## PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

## DESCRIPTION :

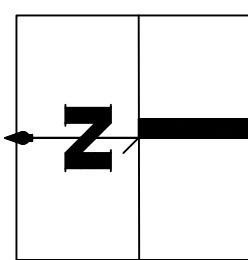
DATE: 09/12/2022

REV.1: 10/20/2022

REV.2: 06/05/2023

REV.3: 04/26/2024

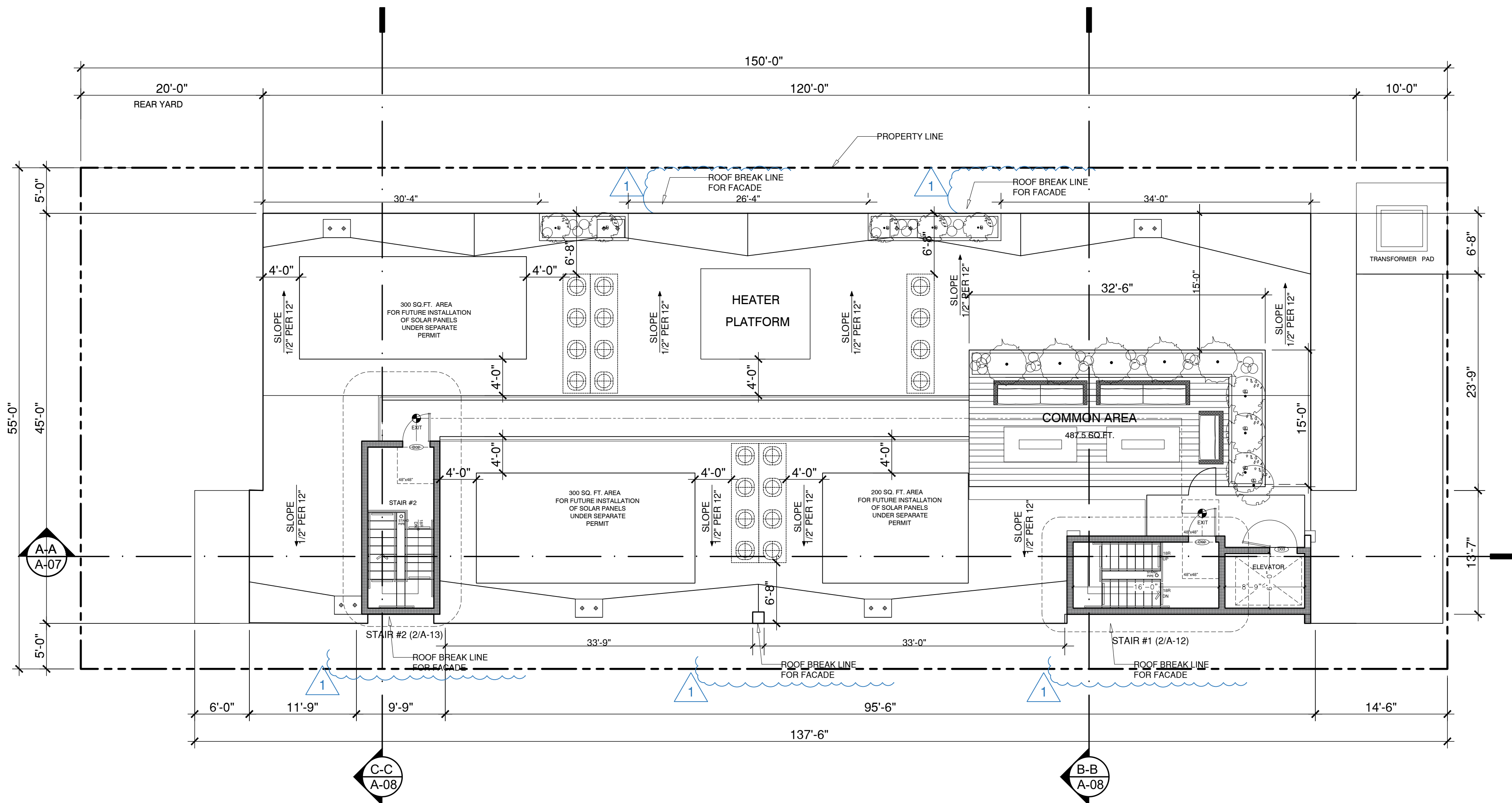
REV.4: 07/30/2024

TITLE  
ROOF PLANSCALE  
1/8" = 1'-0"

## PAGE NO.:

A - 06

ARCHITECTURAL SHEETS



A SIGN SHALL BE POSTED ON EACH DOOR  
BETWEEN THE STAIRWAY AND ROOF,  
INDICATING THE FOLLOWING INFORMATION :

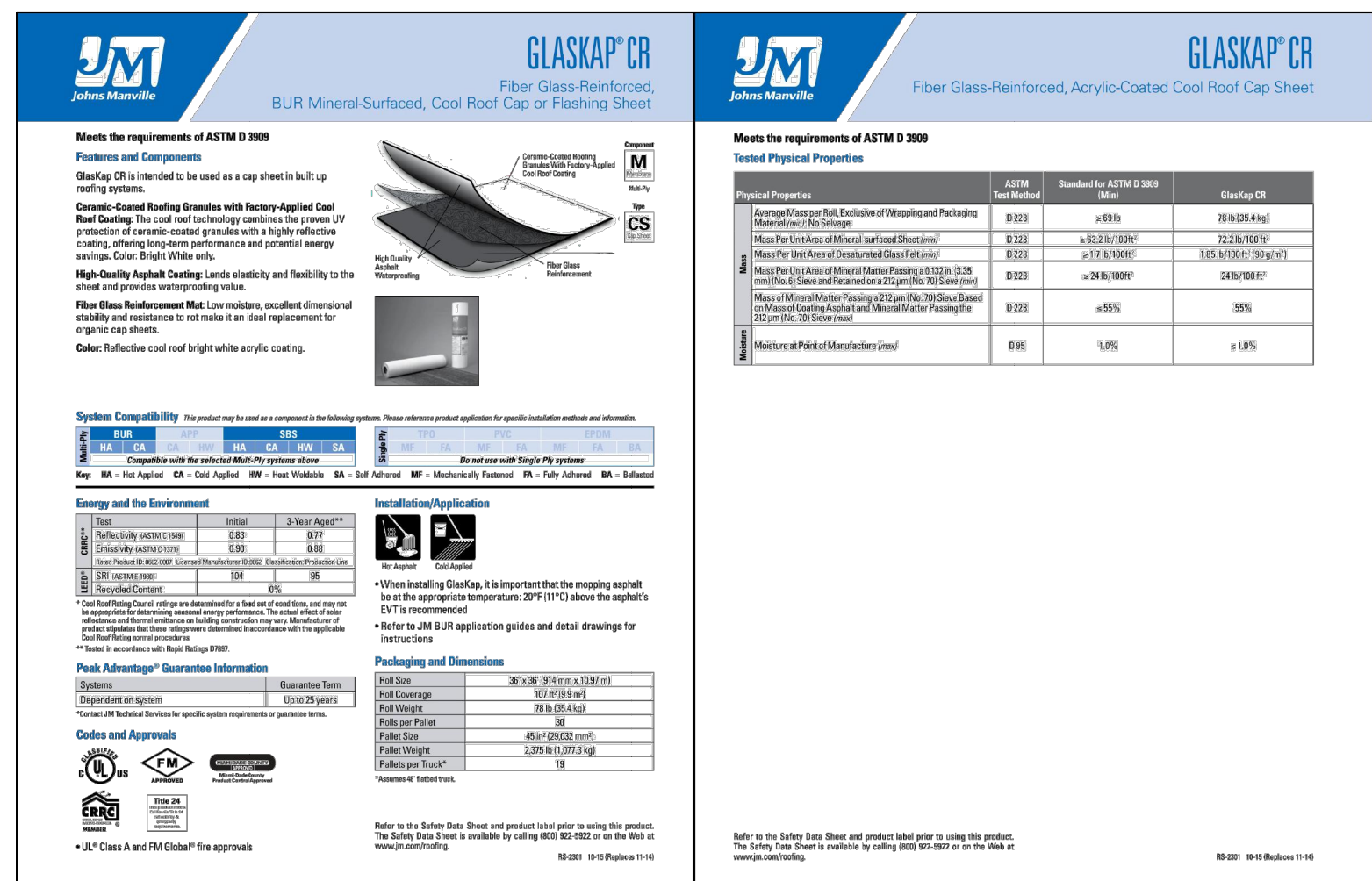
OCCUPIED AREA= 487.5 SQ.FT.  
OCCUPANT LOAD 487.5 SQ.FT./15= 33 OCC

## GREEN BUILDING SOLAR ROOF NOTES:

ROOF AREA: 5,113 SQ. FT.  
15% REQUIRED: 767 SQ. FT.  
AREA PROVIDED: 800 SQ. FT.

A/C EQUIPMENT  
30" HIGH

W/H EQUIPMENT  
48" HIGH



CLASS "A" ROOFING  
CERTAINTED COMMERCIAL ROOFING  
MANUFACTURER'S MODEL# APP-I-3-T  
ICC-ES ESR-1388  
SRI VALUE OF AT LEAST 75 OR BOTH A  
3-YEAR SOLAR REFLECTANCE OF AT LEAST  
0.63 AND A THERMAL EMITTANCE OF AT  
LEAST 0.75

## BMPs NOTES:

ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX

ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX

ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORM  
WATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN  
WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF  
PUBLIC WORKS, BUREAU OF SANITATION PRIOR TO  
CONSTRUCTION OF BMPs.

## ROOF &amp; DRAIN NOTES:

USE CHAPTER 11 OF THE LAPC TO SIZE THE DRAINS AND  
OVERFLOWS.THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE  
INDEPENDENT LINES TO A YARD BOXROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC  
PROPERTY. IT MUST BE CONDUCTED UNDER SIDEWALK.

OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE  
TO TABLE 11-1 OF LAPC AND SHALL BE LOCATED NOT MORE  
THAN 2' ABOVE THE LOW POINT OF THE ROOF.

ALL ROOF RUNOFF TO DRAIN TO BMP DEVICES  
PER LID PLANS

PROVIDE ROOF TIE BACK.  
PROVIDE CONSTRUCTION  
PASSENGER HOIST ELEVATOR

NOTES:  
CAL-OSHA PERMIT REQUIRES THE GENERAL CONTRACTOR TO  
ASK THE FOLLOWING CONTRACTORS TO OBTAIN PERMIT  
BEFORE BEFORE STARTING CONSTRUCTION:  
1. FRAMING CONTRACTOR  
2. EXCAVATION OR GRADING CONTRACTOR  
3. SCAFFOLDING CONTRACTOR

- ROOF TIE BACKS ARE REQUIRED WHEN THE BUILDING IS  
OVER 48 FT. IN HEIGHT TITLE 8 SEC. 3291 (f)  
- SCAFFOLDING SUSPENSION DAVITS, OUTRIGGERS OR OTHER  
METHODS ARE REQUIRED WHEN THE BUILDING IS OVER 60 FT.  
IN HEIGHT, TITLE 8 SEC. 3292  
- PARAPET/ GUARDRAILS SHALL BE PROVIDED ON ALL OPEN  
SIDES OF UNENCLOSED ELEVATED WORK LOCATIONS AS PER  
CCR TITLE 8 SECTION 3210(a)  
- CAVE-IN PROTECTION IS REQUIRED FOR ALL EXCAVATIONS  
EXCEPT FOR THOSE LESS THAN 5 FT. IN DEPTH AND  
EXAMINATION OF THE GROUND BY A COMPETENT PERSON  
PROVIDES NO INDICATION OF POTENTIAL CAVE-IN PER TITLE 8  
SECTION 154.1  
- DAILY INSPECTIONS OF EXCAVATIONS, THE ADJACENT AREAS,  
AND PROTECTIVE SYSTEMS SHALL BE MADE BY A COMPETENT  
PERSON PER TITLE 8 SECTION 1541(k)

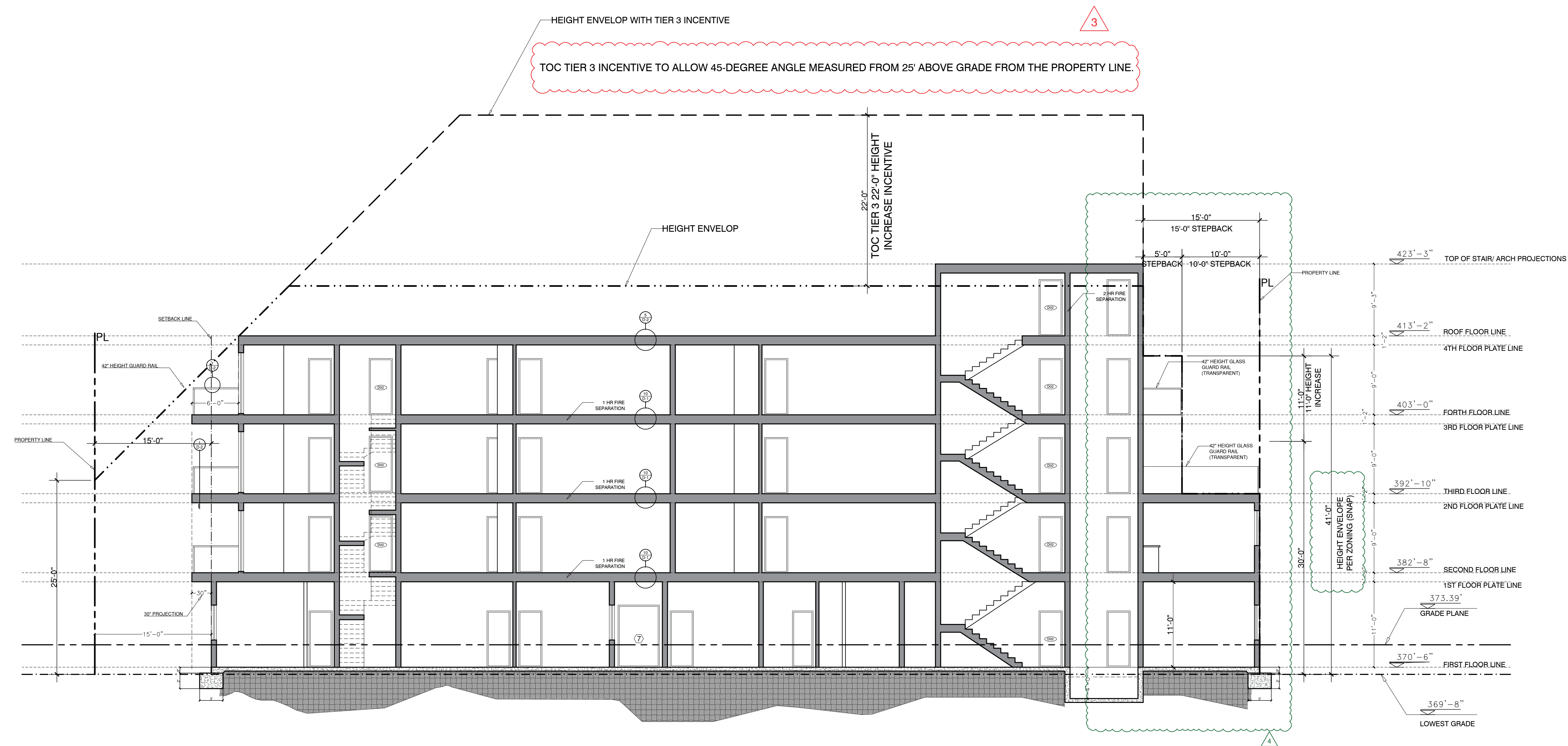
## ROOF PLAN

SCALE: 1/8" = 1'-0"

EXHIBIT "A"

Page No. 8 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA



SECTION A-A  
SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 9 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



**ARCHITECTURAL DESIGNERS:**

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

**ENGINEER:**

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

**OWNER :**

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

**PROJECT ADDRESS:**

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

**DESCRIPTION :**

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

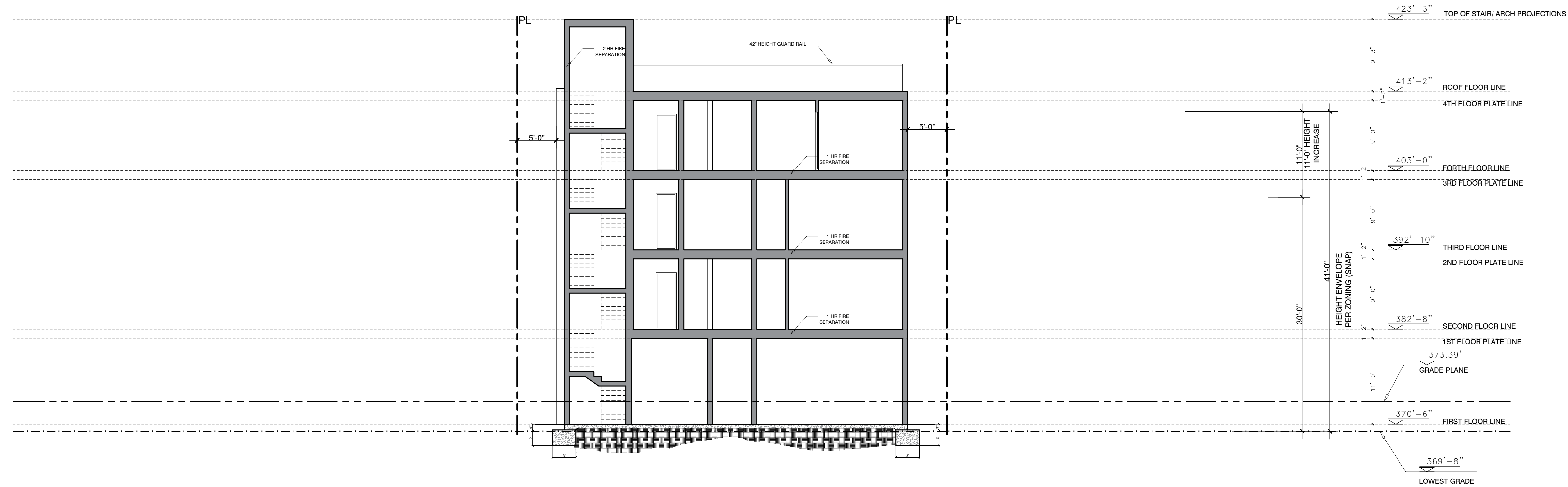
**TITLE**  
**B-B/C-C SECTIONS**

**SCALE**  
**1/8" - 1'-0"**

**PAGE NO.:**

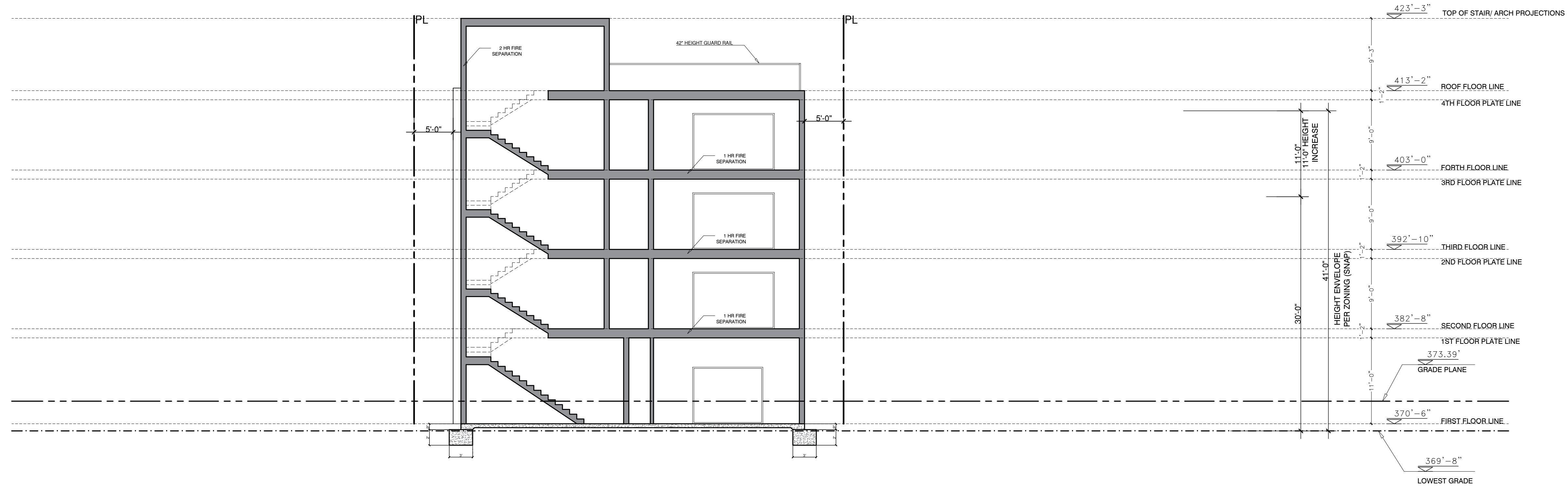
**A - 08**

ARCHITECTURAL SHEETS



**SECTION B-B**

SCALE: 1/8"=1'-0"



**SECTION C-C**

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**

Page No. 10 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA

## ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

## ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.com

## OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

## PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

## DESCRIPTION :

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024TITLE FRONT / REAR  
ELEVATIONS

SCALE 1/8" = 1'-0"

## PAGE NO.:

A - 09

ARCHITECTURAL SHEETS

1. SMOOTH 7/8" STUCCO (PATTERNED) , COLOR : WHITE
2. SMOOTH 7/8" STUCCO , COLOR : LIGHT GREY
3. SMOOTH 7/8" STUCCO , COLOR : DARK GREY
4. DECK RAILING , COLOR , BLACK METAL
5. STANDARD TEMPERED GLASS (TRANSPARENT)
6. 1/2"x1/2" , METAL SHEET , COLOR : BLACK
7. 2"x1" , METAL SHEET , COLOR : BLACK
8. METAL GUARDRAILS SHALL BE IN A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE , LESS THAN 4" CLEAR OPENING MAXIMUM. (BLACK)
9. GLASS DOOR
10. STAIN STEEL SHEET , COLOR : GREY
11. LIGHTED ADDRESS SIGN

## EXTERIOR WALL OPENING:

1ST FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 471.60 SQ. FT.  
TOTAL OPENING AREA: 264.75 SQ. FT.  
264.75/471.60= 56.14%

2ND FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 466.5 SQ. FT.  
TOTAL OPENING AREA: 185.34 SQ. FT.  
185.34/466.5=39.72%

3RD FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 466.5 SQ. FT.  
TOTAL OPENING AREA: 185.34 SQ. FT.  
185.34/466.5=39.72%

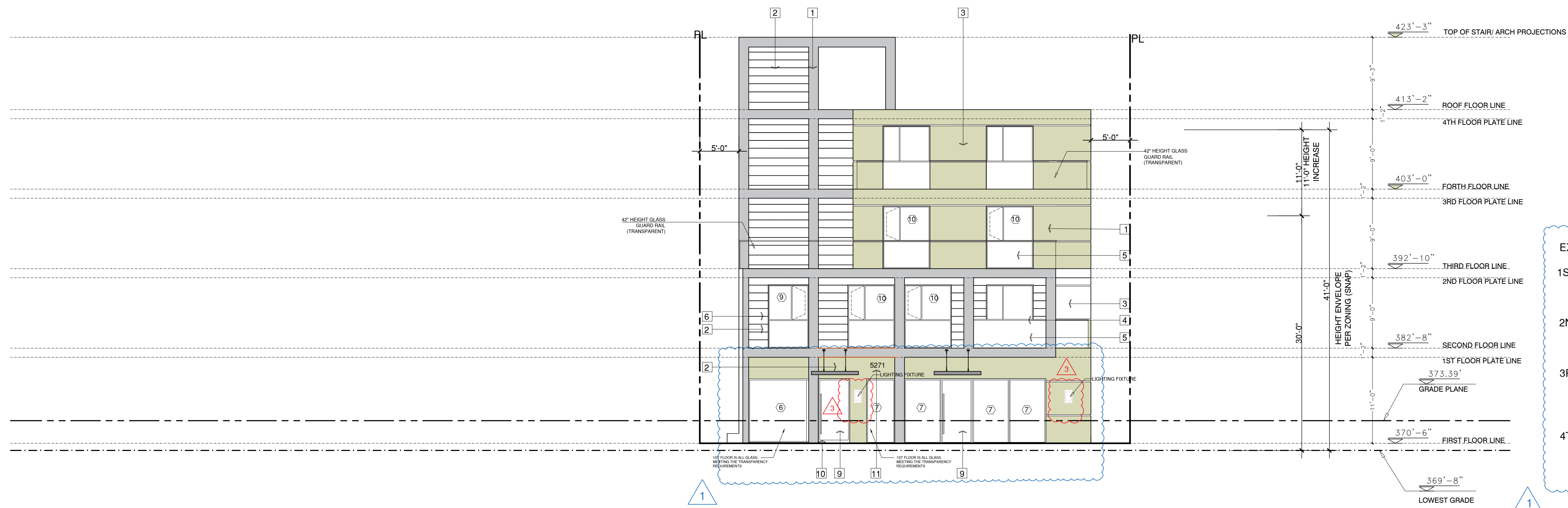
4TH FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 466.5 SQ. FT.  
TOTAL OPENING AREA: 144 SQ. FT.  
144/466.5= 30.86%

## BMP NOTE:

ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX  
ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX  
ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORM  
WATER BEST MANAGEMENT PRACTICES (BMP) MUST OBTAIN  
WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF  
PUBLIC WORKS , BUREAU OF SANITATION PRIOR TO  
CONSTRUCTION OF BMPs.

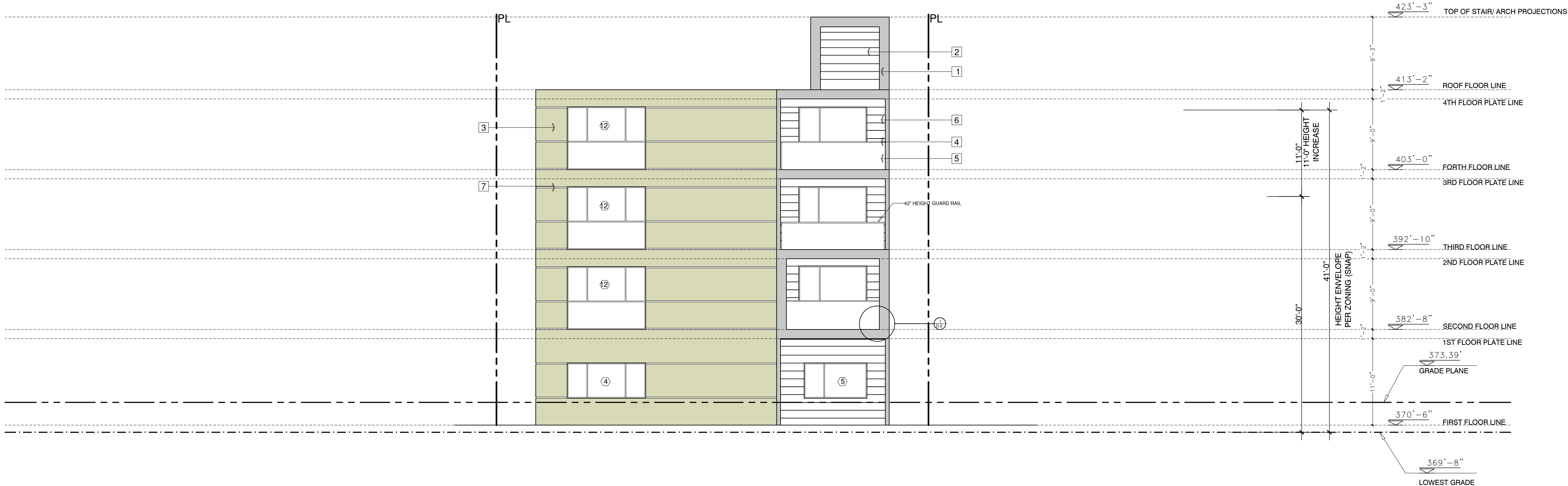
## BMP NOTE:

ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX  
ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX  
ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORM  
WATER BEST MANAGEMENT PRACTICES (BMP) MUST OBTAIN  
WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF  
PUBLIC WORKS , BUREAU OF SANITATION PRIOR TO  
CONSTRUCTION OF BMPs.



## PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



## PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

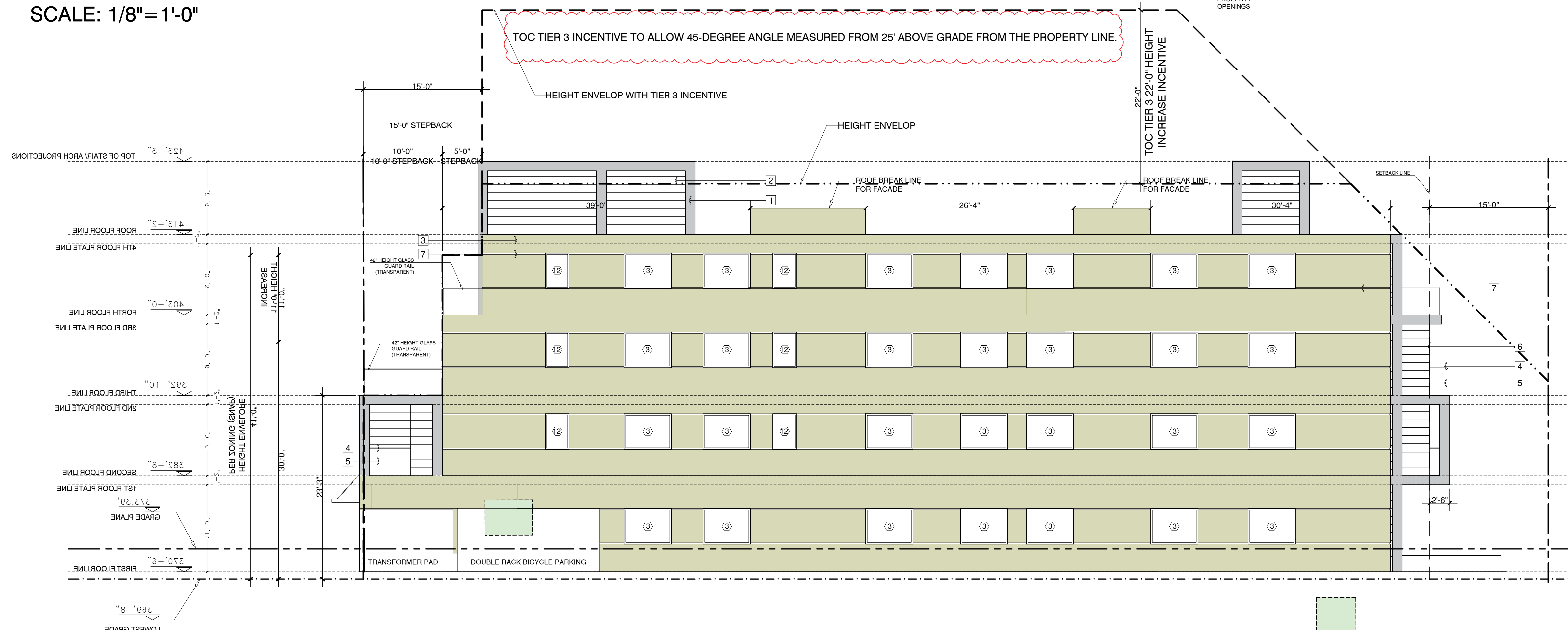
**EXHIBIT "A"**  
Page No. 11 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA





## PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"



## PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

1. SMOOTH 7/8" STUCCO (PATTERNED), COLOR: WHITE
2. SMOOTH 7/8" STUCCO, COLOR: LIGHT GREY
3. SMOOTH 7/8" STUCCO, COLOR: DARK GREY
4. DECK RAILING, COLOR, BLACK METAL
5. STANDARD TEMPERED GLASS (TRANSPARENT)
6. 1/2"x1/2", METAL SHEET, COLOR: BLACK
7. 2"x1", METAL SHEET, COLOR: BLACK
8. METAL GUARDRAILS SHALL BE IN A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE, LESS THAN 4" CLEAR OPENING MAXIMUM, (BLACK)
9. WOOD DOOR
10. STAIN STEEL SHEET, COLOR: GREY
11. LIGHTED ADDRESS SIGN

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

### ARCHITECTURAL DESIGNERS:

SAM MONFARD  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

### ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

### OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

### PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

### DESCRIPTION :

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE **RIGHT / LEFT  
ELEVATIONS**

SCALE **1/8" - 1'-0"**

### PAGE NO.:

**A - 10**

ARCHITECTURAL SHEETS

**EXHIBIT "A"**  
Page No. 12 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE  
PRIVACY OVERLAY  
DIAGRAM

SCALE  
1/8" - 1'-0"

PAGE NO.:

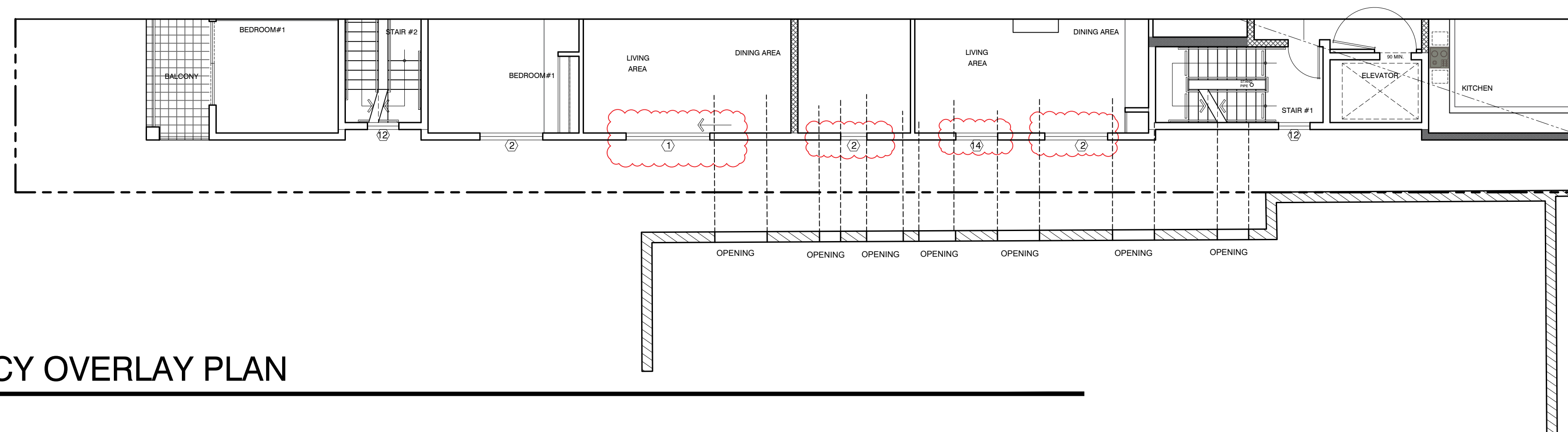
A - 10.1

ARCHITECTURAL SHEETS



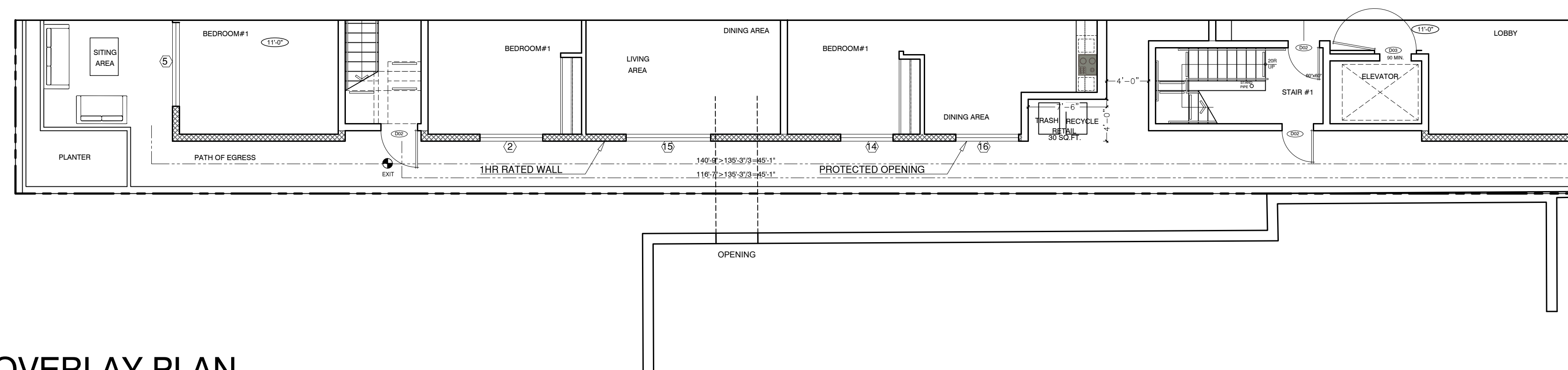
PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"



SECOND FLOOR PRIVACY OVERLAY PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR PRIVACY OVERLAY PLAN

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 13 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

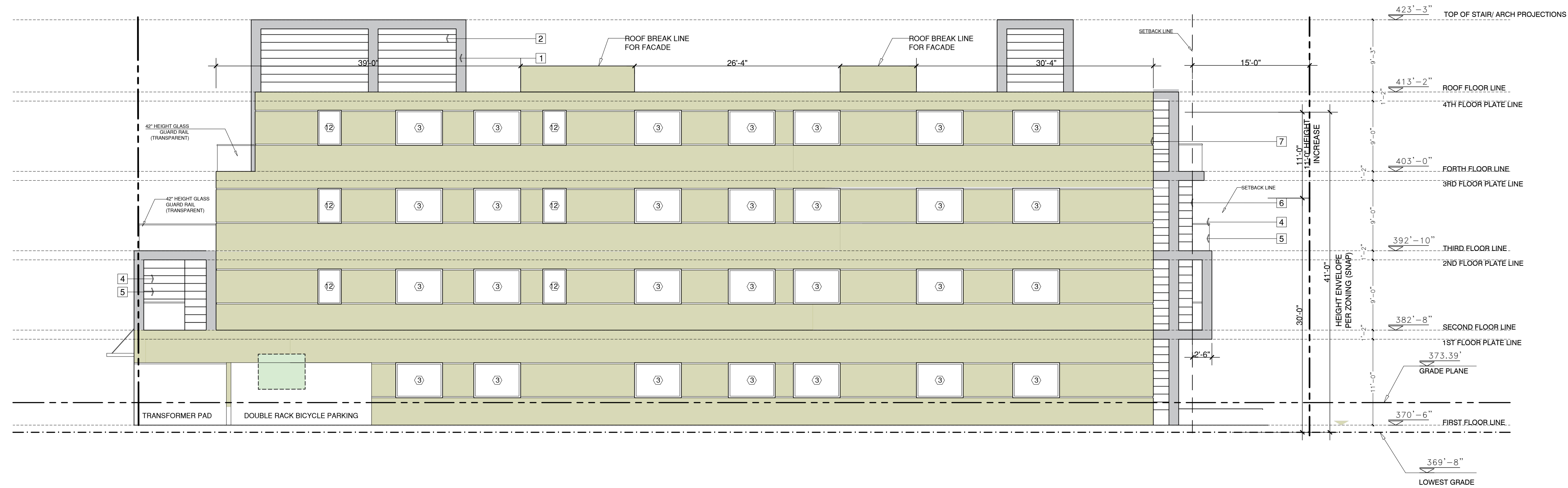
TITLE PRIVACY OVERLAY  
DIAGRAM

SCALE 1/8" - 1'-0"

PAGE NO.:

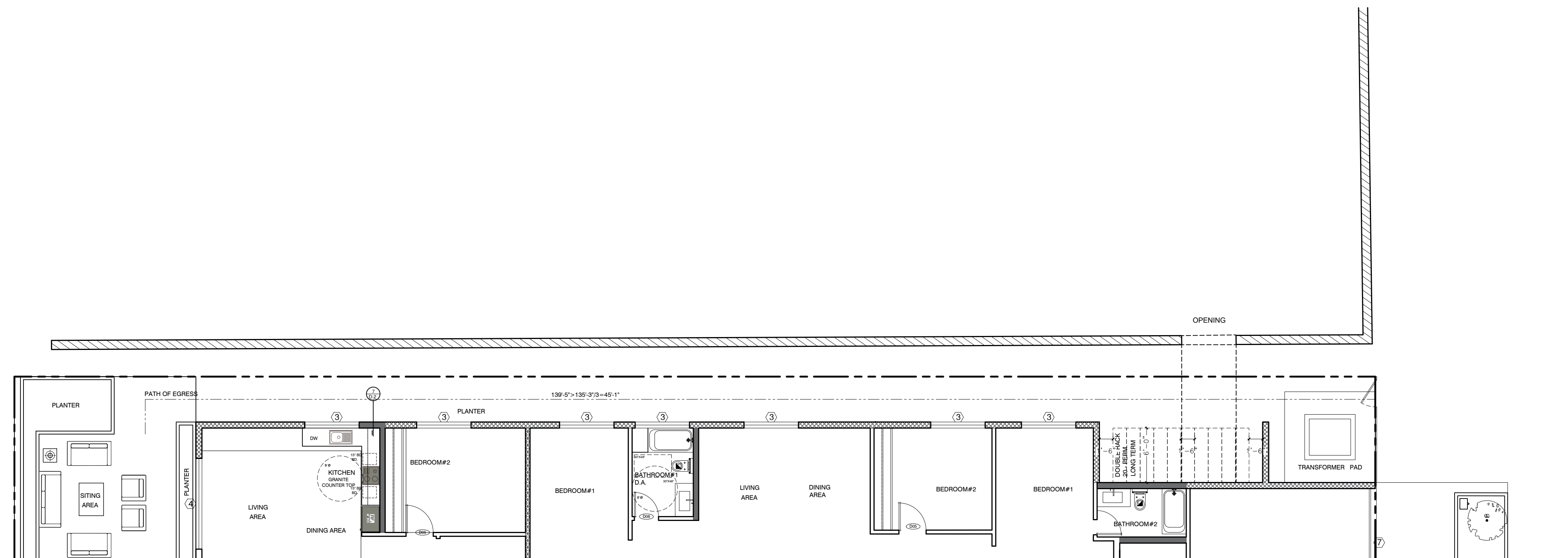
A - 10.2

ARCHITECTURAL SHEETS



PROPOSED EAST ELEVATION

SCALE: 1/8"= 1'-0"



FIRST FLOOR PRIVACY OVERLAY PLAN

SCALE: 1/8"= 1'-0"

**EXHIBIT "A"**  
Page No. 14 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



**ARCHITECTURAL DESIGNERS:**

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

**ENGINEER:**

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

**OWNER :**

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

**PROJECT ADDRESS:**

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

**DESCRIPTION :**

DATE: 09/12/2022

REV.1: 10/20/2022

REV.2: 06/05/2023

REV.3: 04/26/2024

REV.4: 07/30/2024

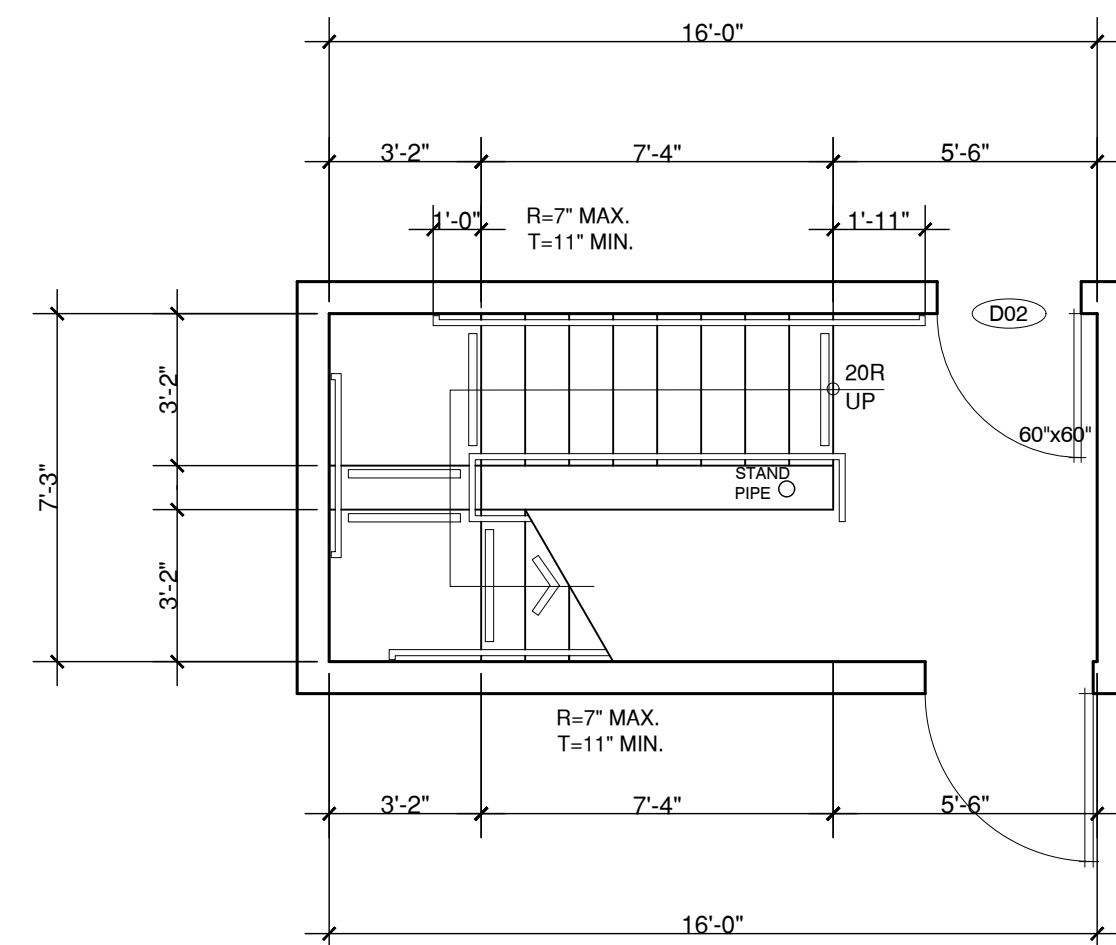
**TITLE**  
**ENLARGED  
STAIR PLAN**

**SCALE**  
**1/4" - 1'-0"**

PAGE NO.:

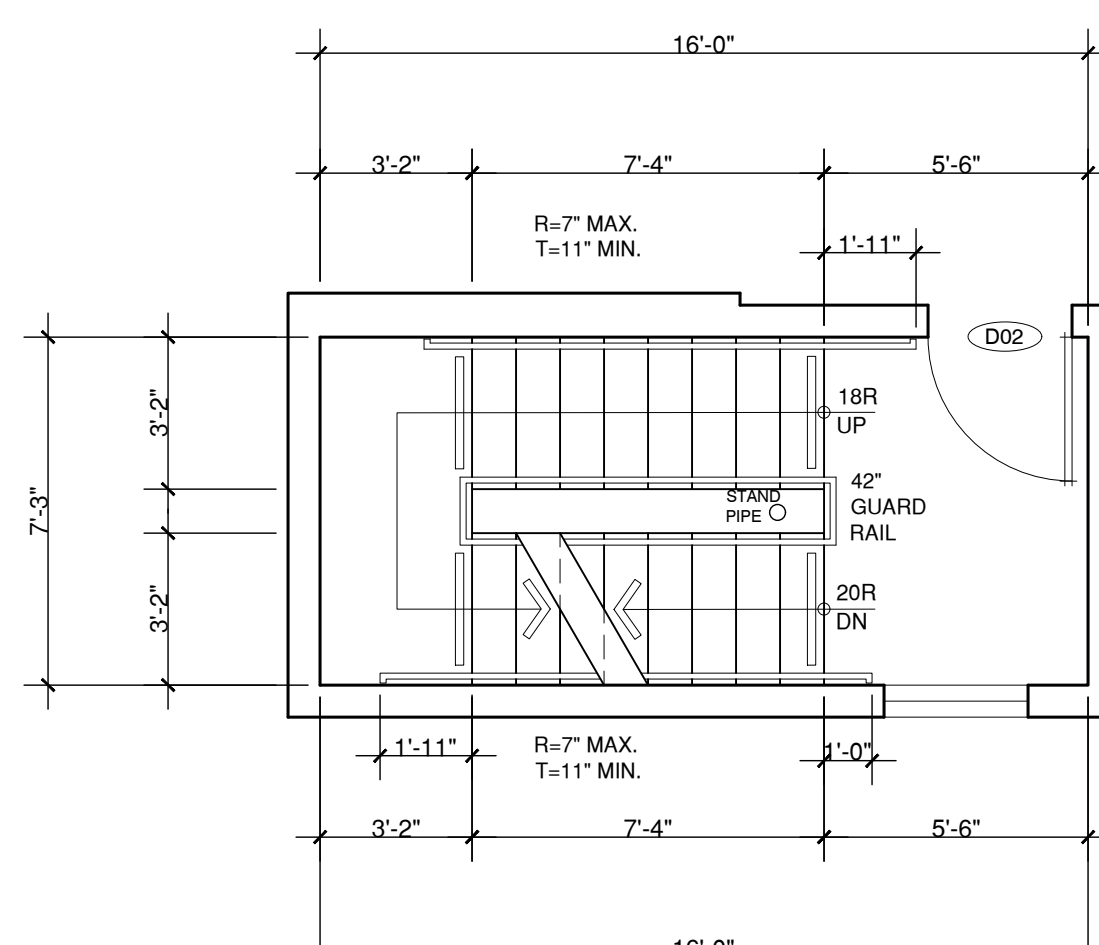
**A - 11**

ARCHITECTURAL SHEETS



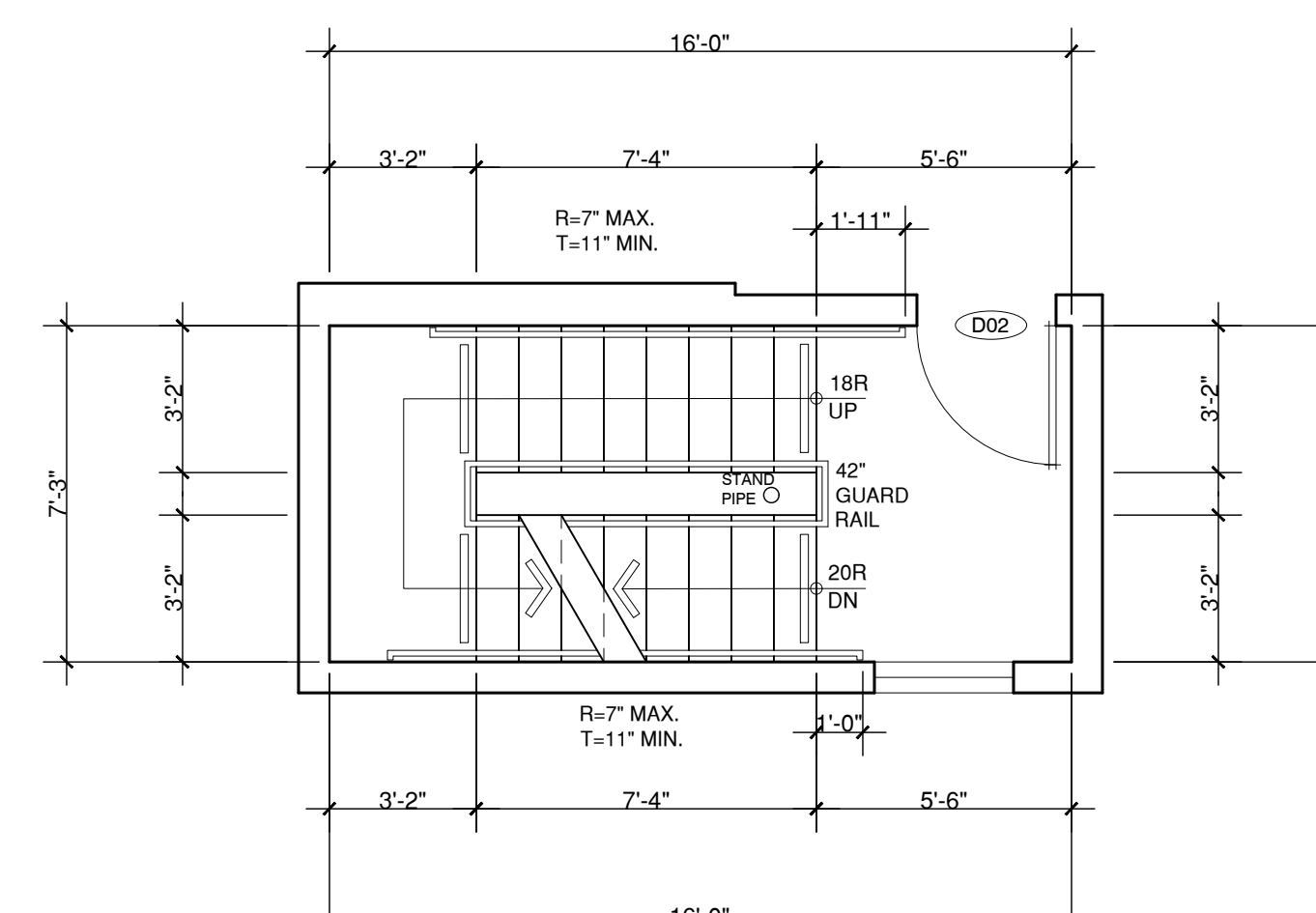
**1 STAIR #1 FIRST FLOOR**

SCALE : 1/4 = 1'-0"



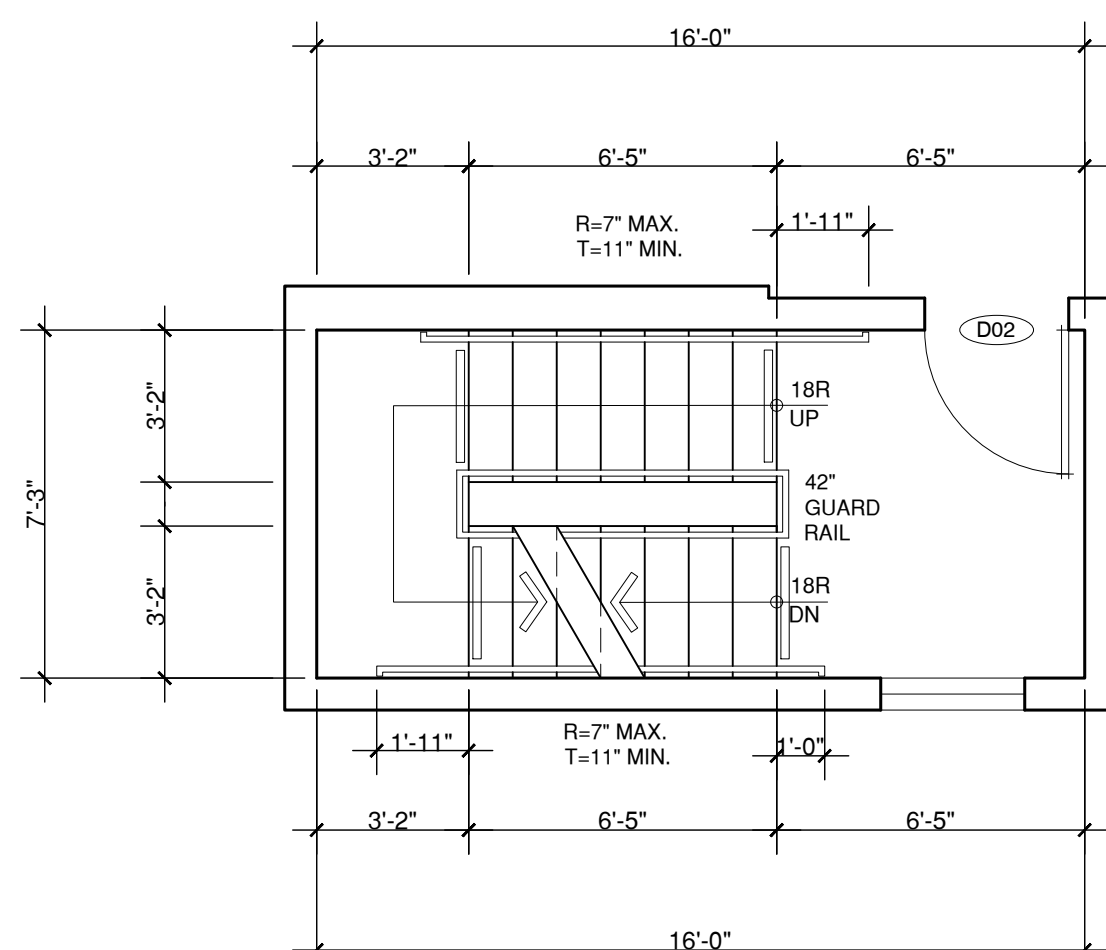
**2 STAIR #1 SECOND FLOOR**

SCALE : 1/4 = 1'-0"



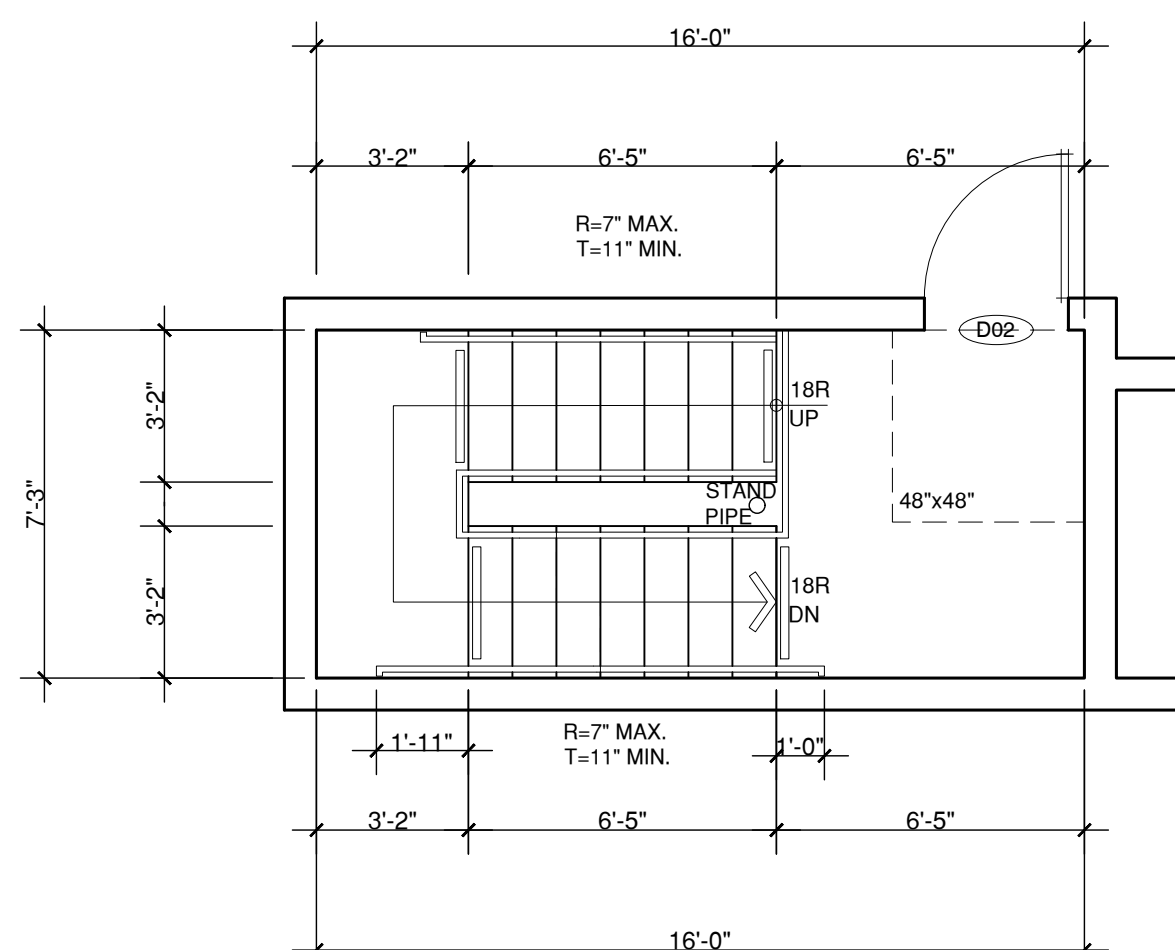
**3 STAIR #1 THIRD FLOOR**

SCALE : 1/4 = 1'-0"



**4 STAIR #1 FORTH FLOOR**

SCALE : 1/4 = 1'-0"



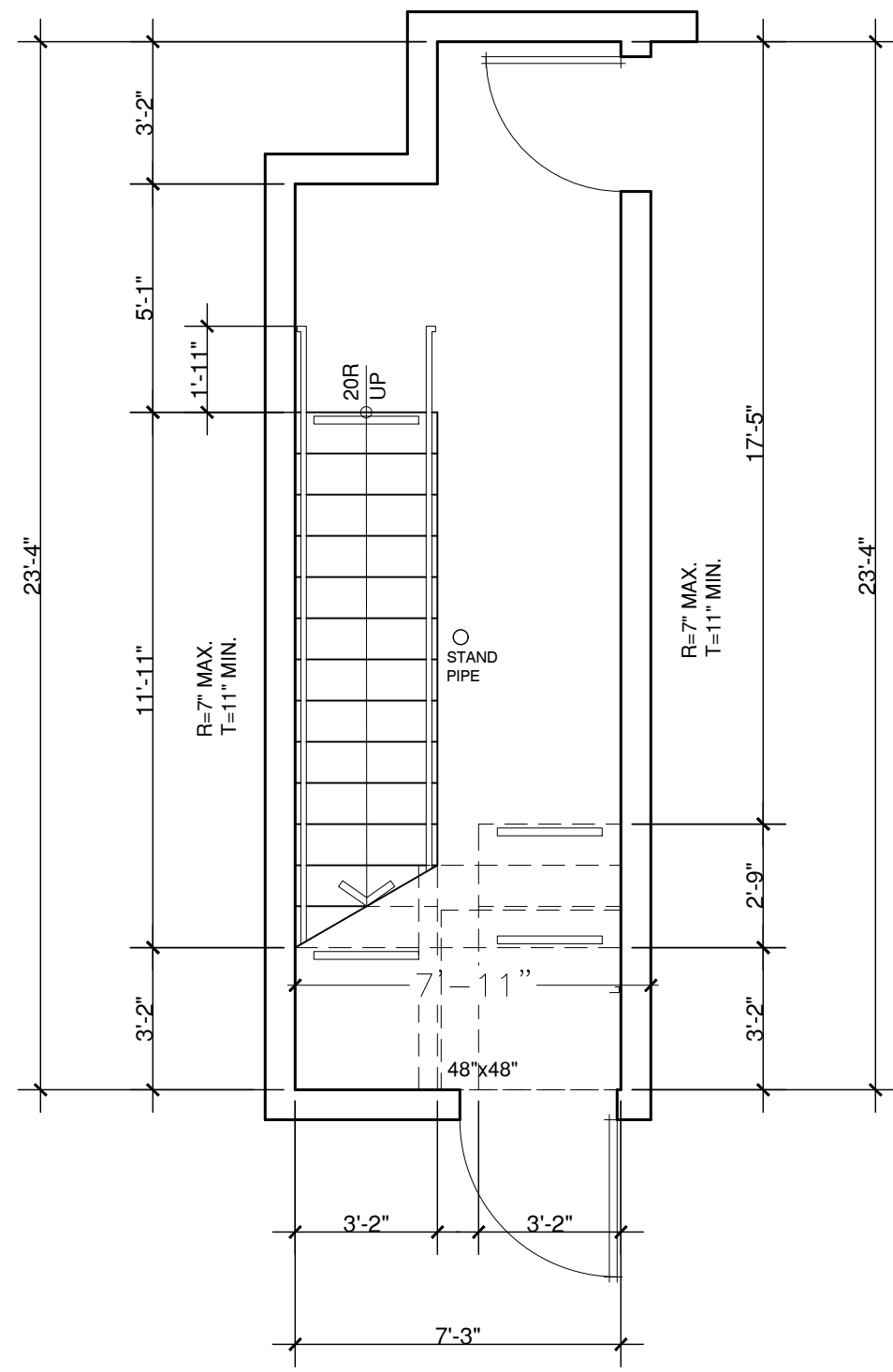
**5 STAIR #1 ROOF LEVEL**

SCALE : 1/4 = 1'-0"

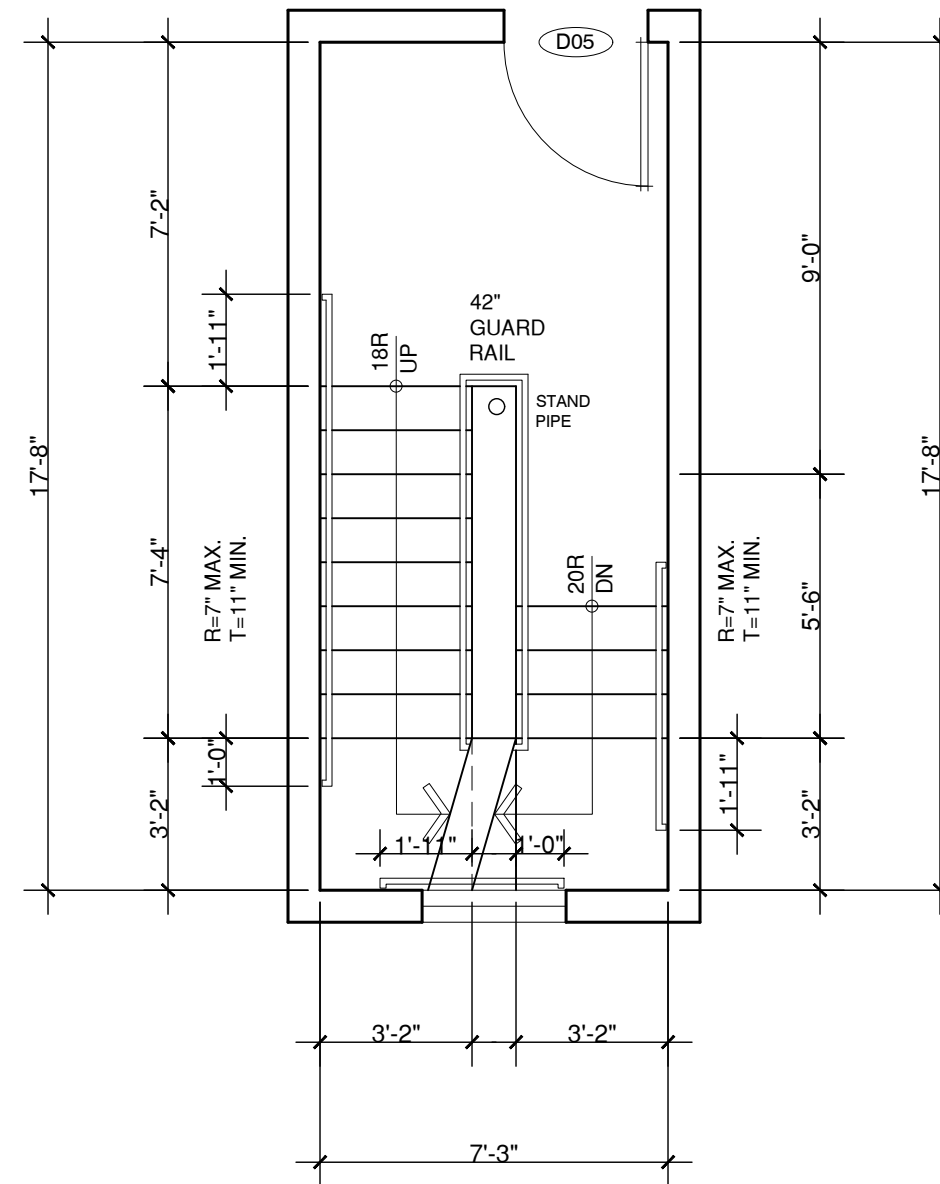
**ENLARGED STAIR PLAN**

SCALE: 1/4" = 1'-0"

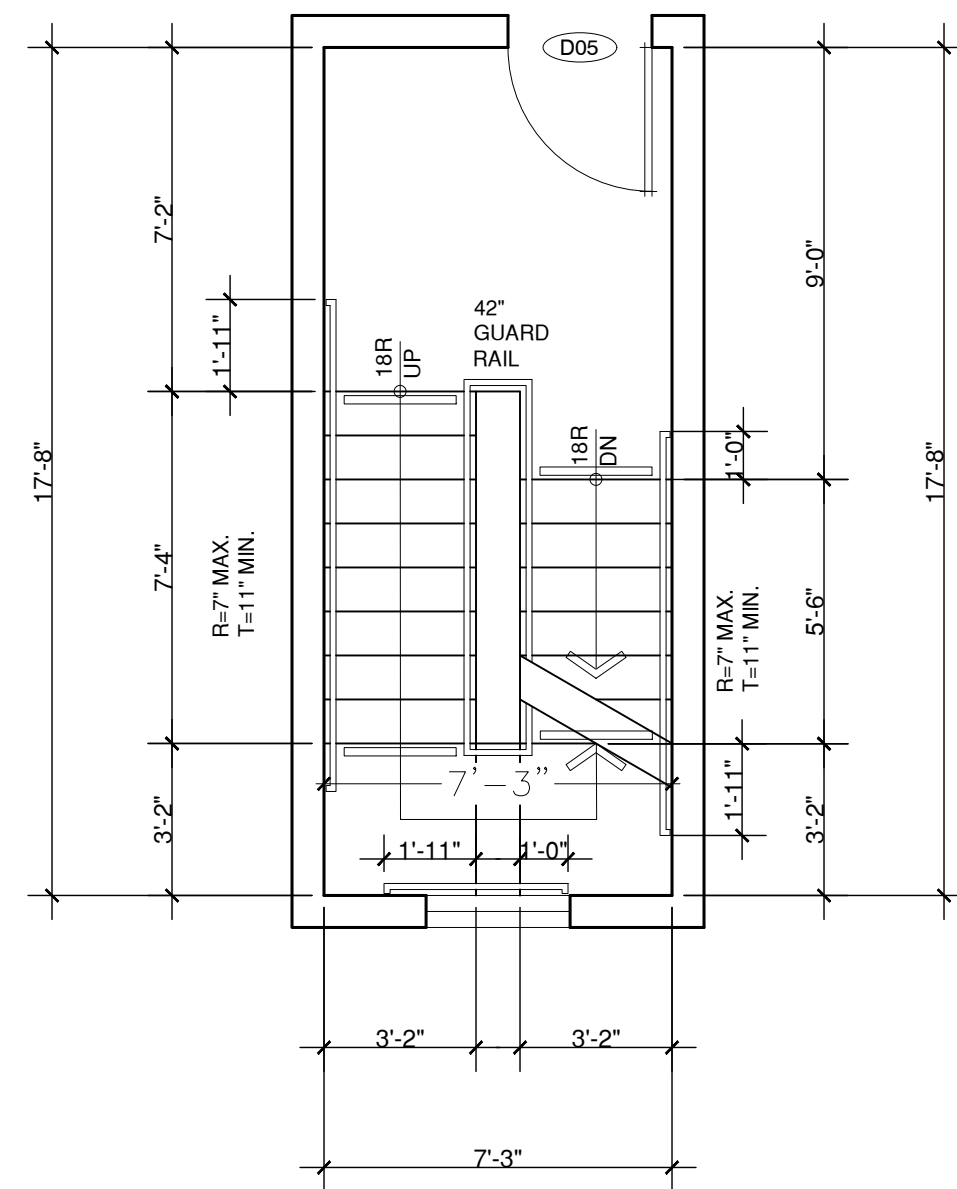
**EXHIBIT "A"**  
Page No. 15 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



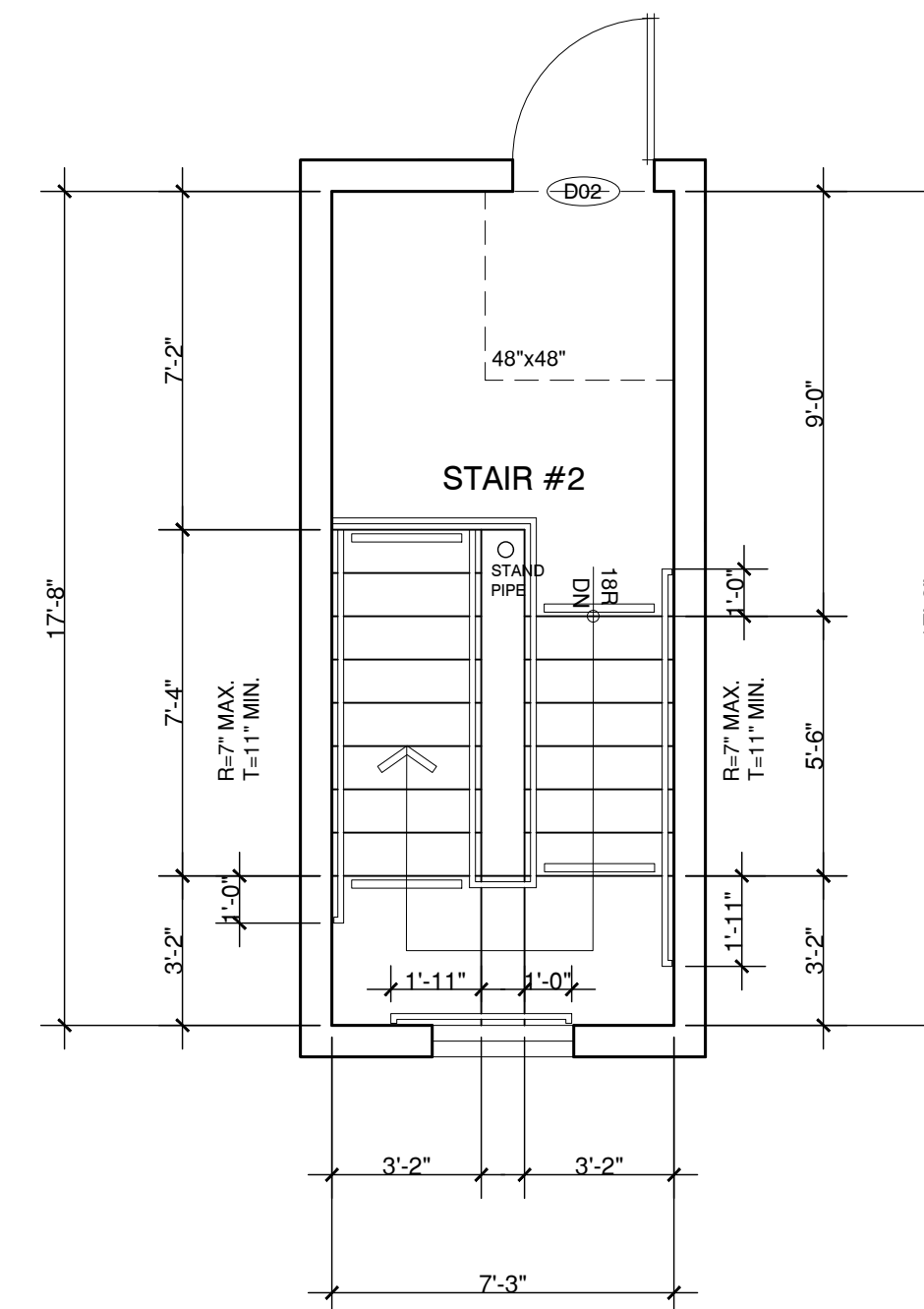
1 STAIR #2 FIRST FLOOR  
SCALE : 1/4" = 1'-0"



2 STAIR #2 SECOND FLOOR  
SCALE : 1/4" = 1'-0"



3 STAIR #2 THIRD&4TH FLOOR  
SCALE : 1/4" = 1'-0"



4 STAIR #2 ROOF LEVEL  
SCALE : 1/4" = 1'-0"

## ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"

**CARPIRA  
DESIGN  
GROUP  
PC  
COMPANY**

### ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

### ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

### OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

### PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

### DESCRIPTION :

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE  
**ENLARGED  
STAIR PLAN**

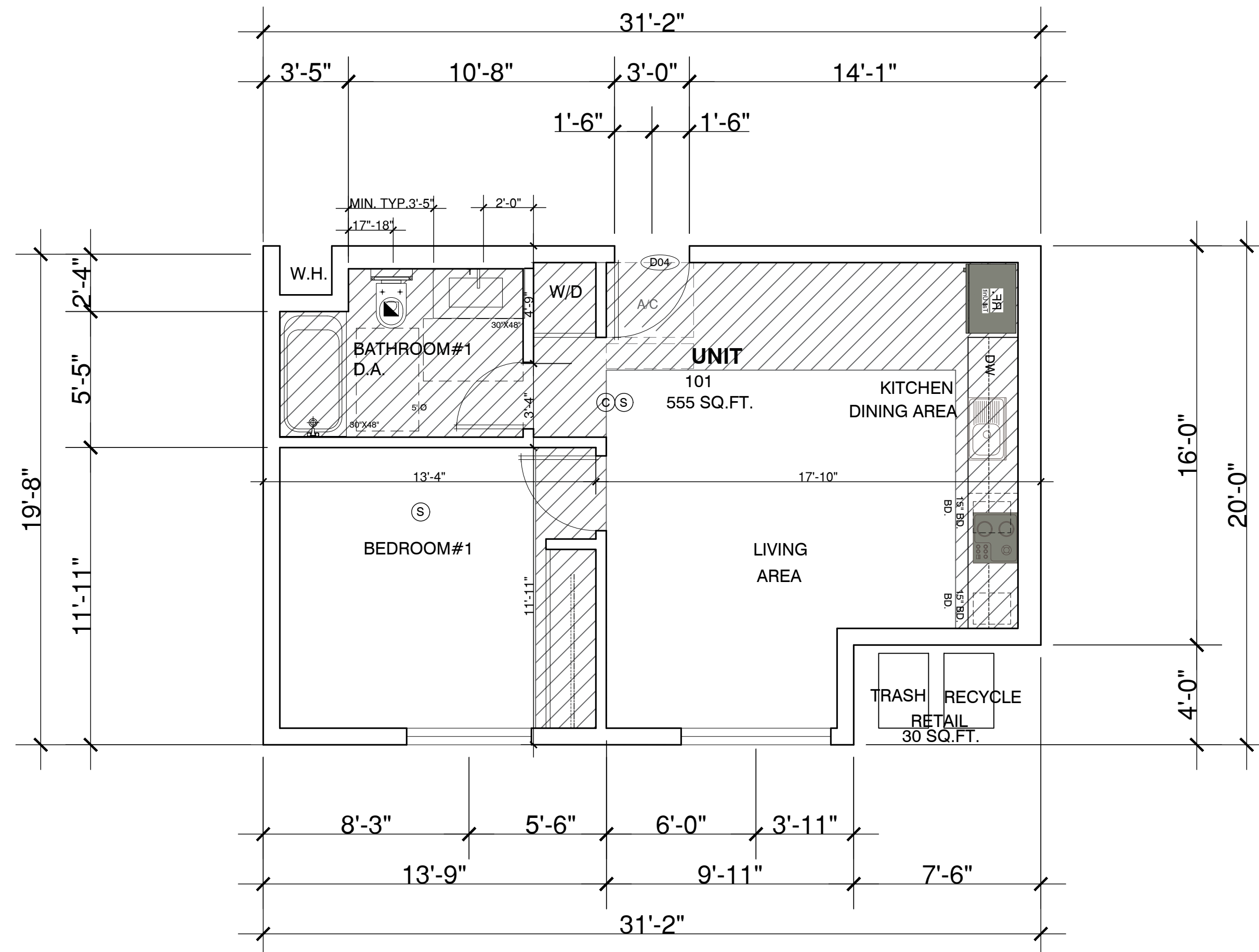
SCALE  
**1/4" - 1'-0"**

PAGE NO.:

**A - 12**

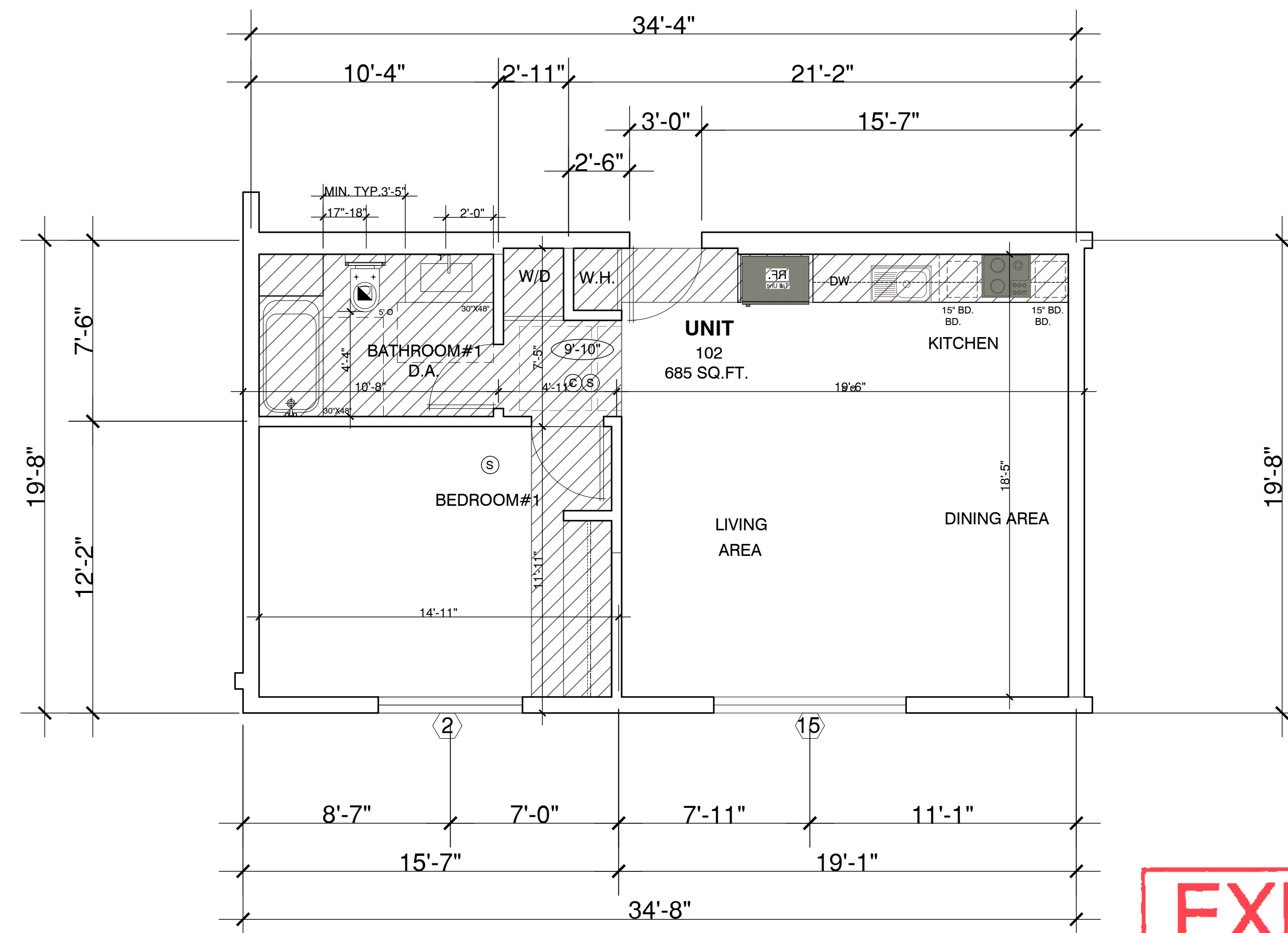
ARCHITECTURAL SHEETS

**EXHIBIT "A"**  
Page No. 16 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



TYPICAL UNIT 101

SCALE: 1/4"=1'-0"

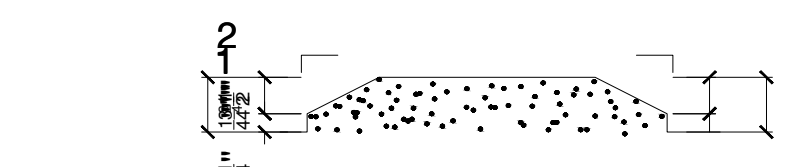


TYPICAL UNIT 102

SCALE: 1/4"=1'-0"

- ➔ A/C REGISTER
- ▶ TEL. JACK IN DUPLEX BOX
- ▶ CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- ▶ CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- ◻ RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- ◻ NO SOFFIT- CEILING HEIGHT
- ◻ SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25

--- ADAPTABLE GRAB BAR FLOOR OR SIDE  
NOTE:  
USE FRONT LOADED APPLIANCES  
OR PROVIDE ASSISTIVE DEVICE  
THRESHOLD



5 AIR EXCHANGE PER MINUTE MIN.  
EXHAUST FAN AND FLORESCENT LIGHT  
FANS SHALL BE ENERGY STAR  
COMPLIANT AND BE DUCTED TO  
TERMINATE TO THE OUTSIDE OF THE  
BUILDING. FANS NOT FUNCTIONING AS  
A COMPONENT OF A WHOLE HOUSE  
VENTILATION SYSTEM, MUST BE  
CONTROLLED BY A HUMIDITY  
CONTROL.

HARD WIRED SMOKE DETECTORS WITH  
BATTERY BACK-UP AND LOW BATTERY  
SIGNAL DWELLING UNITS WITHIN WHICH  
FUEL-BURNING APPLIANCES ARE  
INSTALLED SHALL HAVE AN APPROVED  
CARBON MONOXIDE ALARM IN THE  
FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE  
DWELLING UNIT SLEEPING AREA IN THE  
IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING  
UNIT INCLUDING BASEMENTS

**OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR**  
**TYPICAL NOTES**

- (A) 30" SINK COUNTER WITH REMOVABLE  
BASE CABINET AND FINISHED FLOOR  
UNDER THE CABINET AND 36" MAX.  
27" MIN. CLEARANCE. SEE DETAIL  
3/A-26
- (C) PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDE OF TOILET FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-07 SECTION D BATHING AND  
TOILET FACILITIES, WATER CLOSET #2  
DETAILS 8/A-26. PROVIDE TOILET  
FLUSH CONTROL ON THE WIDE SIDE.
- (D) PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDES OF TUB/ SHOWER  
32" TO 38" ABOVE FLOOR FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-06 SECTION D BATHING AND  
TOILET FACILITIES, BATH TUBS #2  
DETAIL 8/A-26. PROVIDE ADDITIONAL  
BACKING ON FLOOR FOR FUTURE  
POSSIBLE FLOOR MOUNTED GRAB  
BAR.
- (E) REMOVABLE BASE CABINET UNDER  
ADAPTABLE LAVATORY. FINISHED  
FLOOR UNDER THE CABINET AND 34"  
MAX. 27" MIN. CLEARANCE. SEE  
DETAIL 3/A-26

**EXHIBIT "A"**  
Page No. 17 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

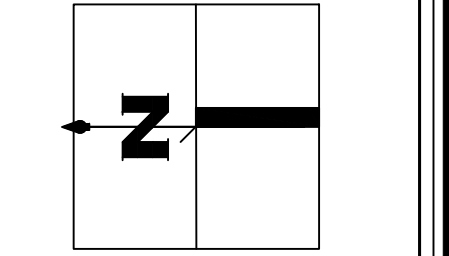
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

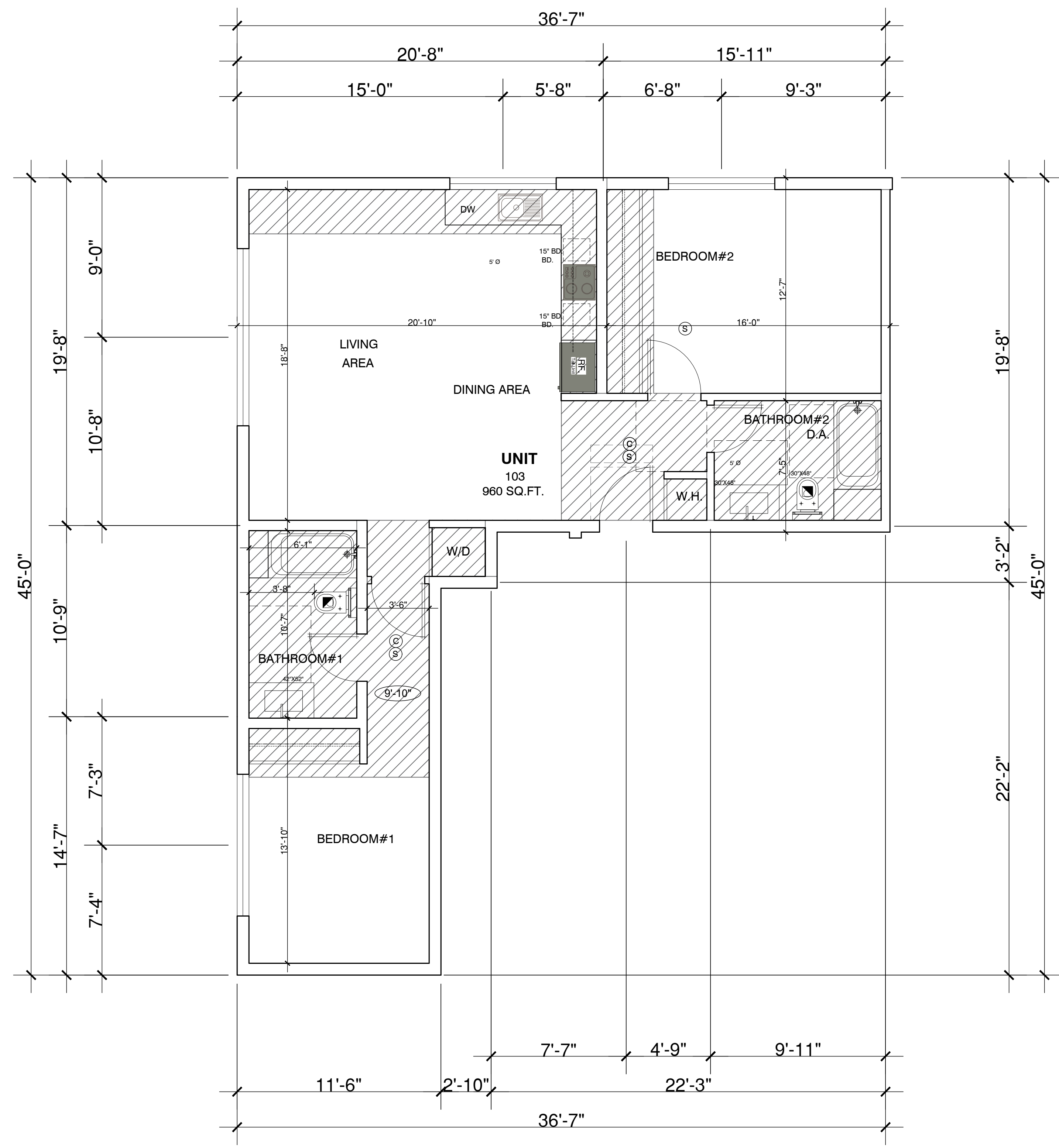
TITLE **ENLARGED  
FLOOR PLAN**

SCALE **1/4" - 1'-0"**



PAGE NO.:  
**A - 13**  
ARCHITECTURAL SHEETS





TYPICAL UNIT 103  
SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 18 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7'-10" ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE NOTE: USE FRONT LOADED APPLIANCES OR PROVIDE ASSISTIVE DEVICE THRESHOLD
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES**
- (A) 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- (C) PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE. PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- (E) REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26



ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

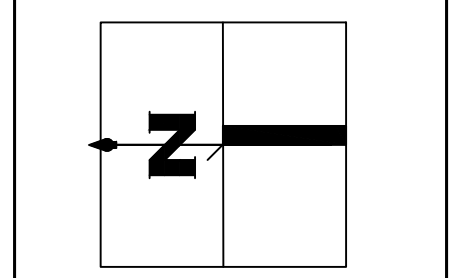
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

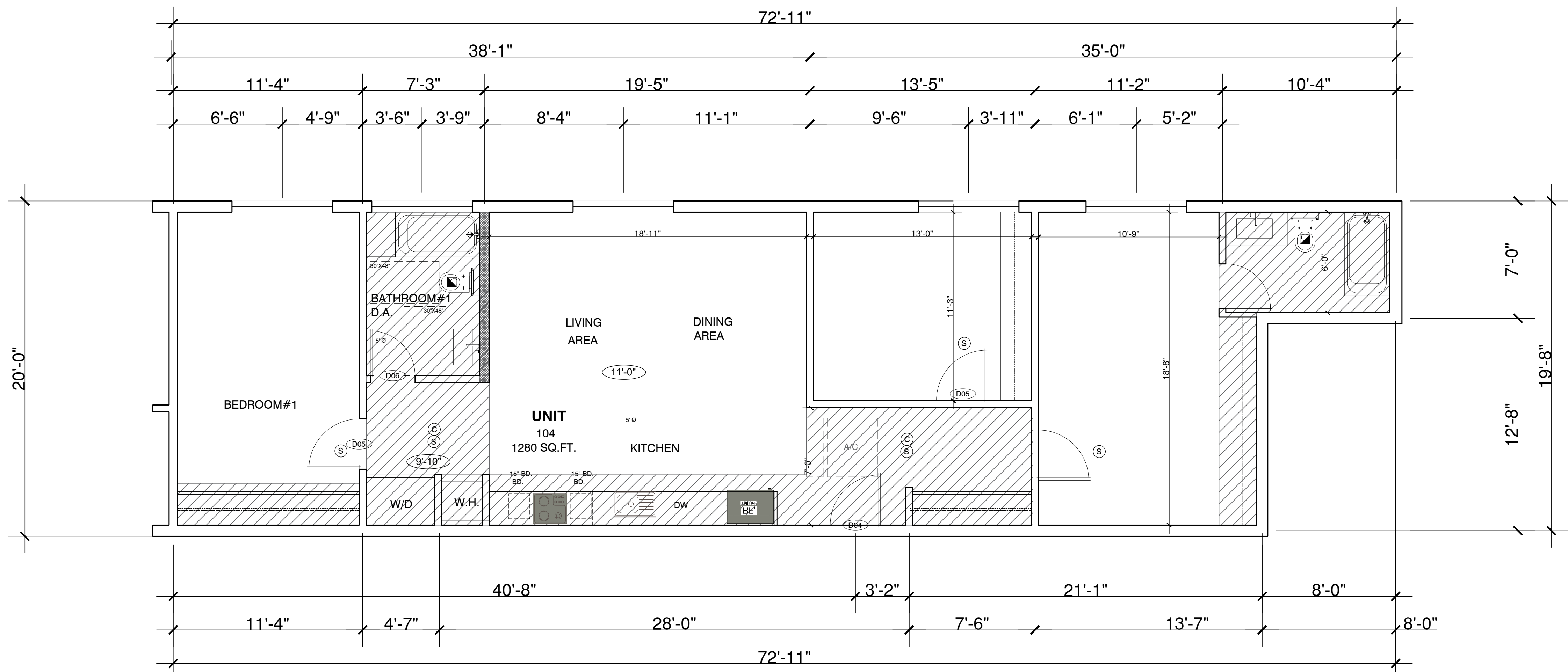
DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE **ENLARGED FLOOR PLAN**

SCALE **1/4" - 1'-0"**

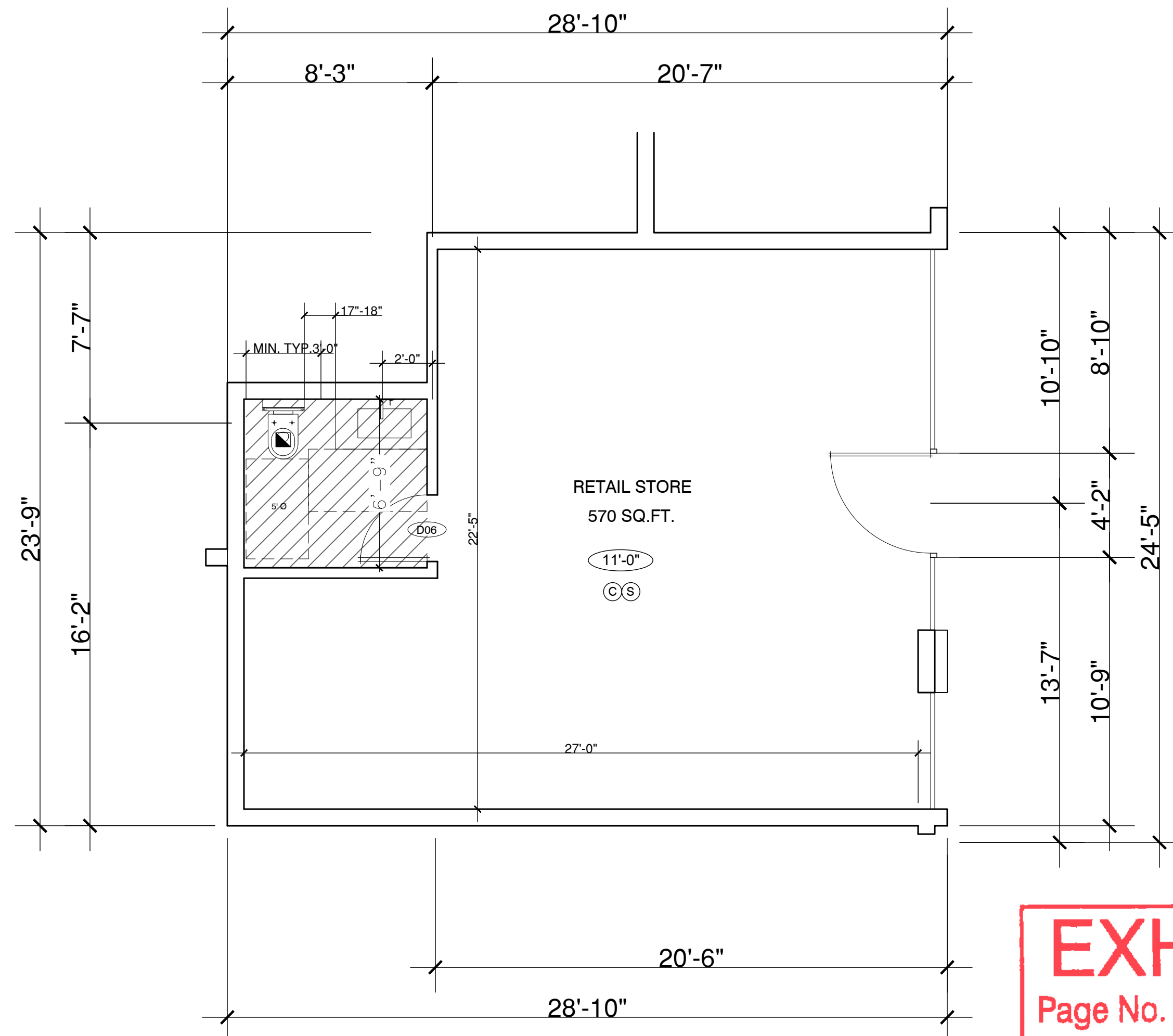


PAGE NO.:  
**A - 14**  
ARCHITECTURAL SHEETS



TYPICAL UNIT 104

SCALE: 1/4"=1'-0"



RETAIL STORE

SCALE: 1/4"=1'-0"

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7'-10" ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE
- NOTE: USE FRONT LOADED APPLIANCES OR PROVIDE ASSISTIVE DEVICE
- THRESHOLD

5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

**OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES**

- 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE. PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26

CARPIRA  
DESIGN  
GROUP  
COMPANY

ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

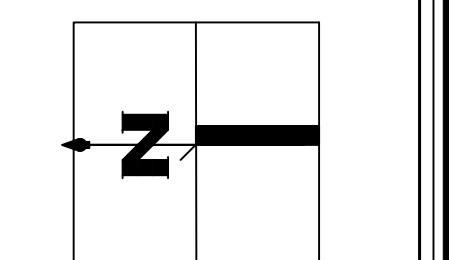
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

ENLARGED  
FLOOR PLAN

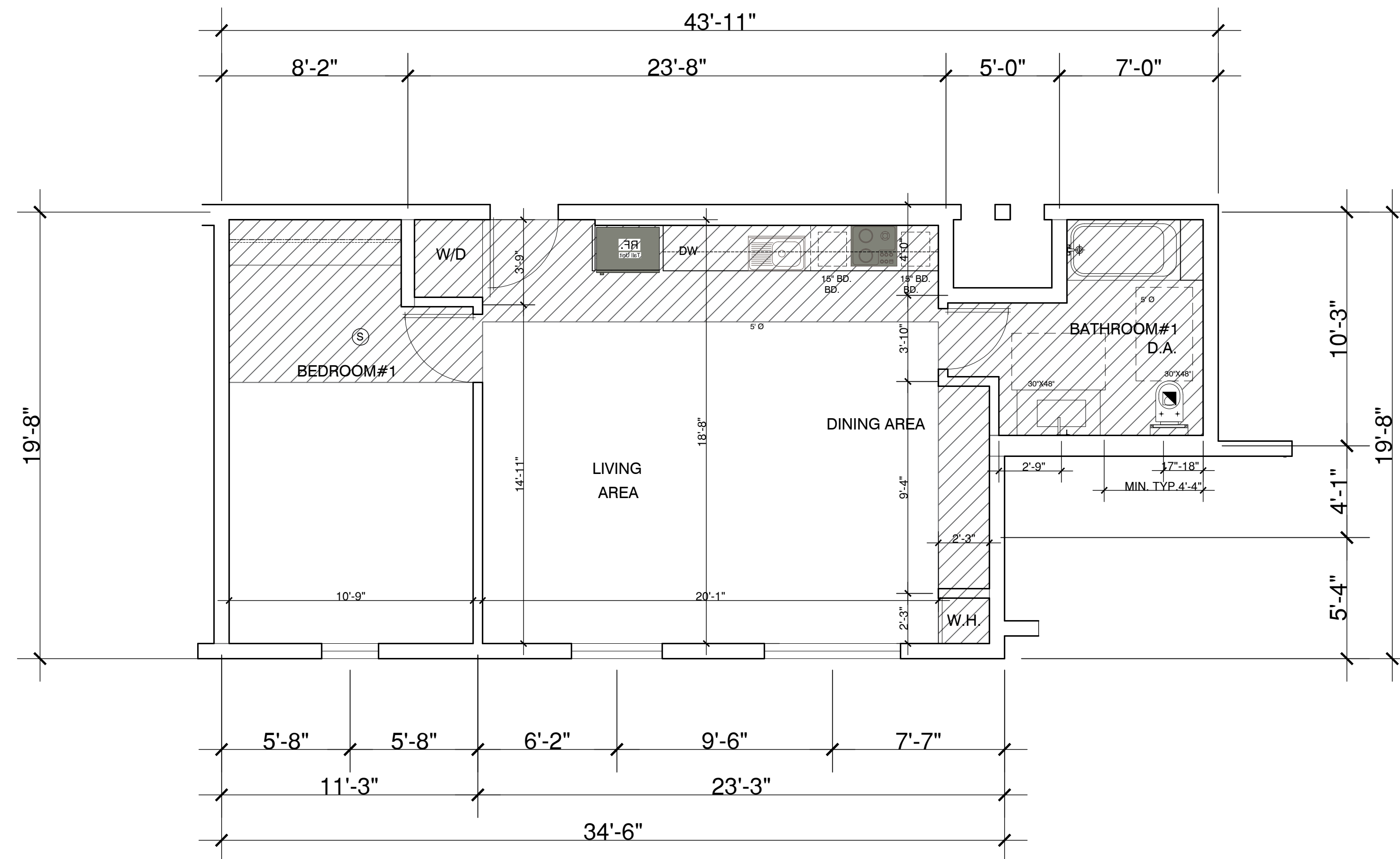
SCALE  
1/4" - 1'-0"



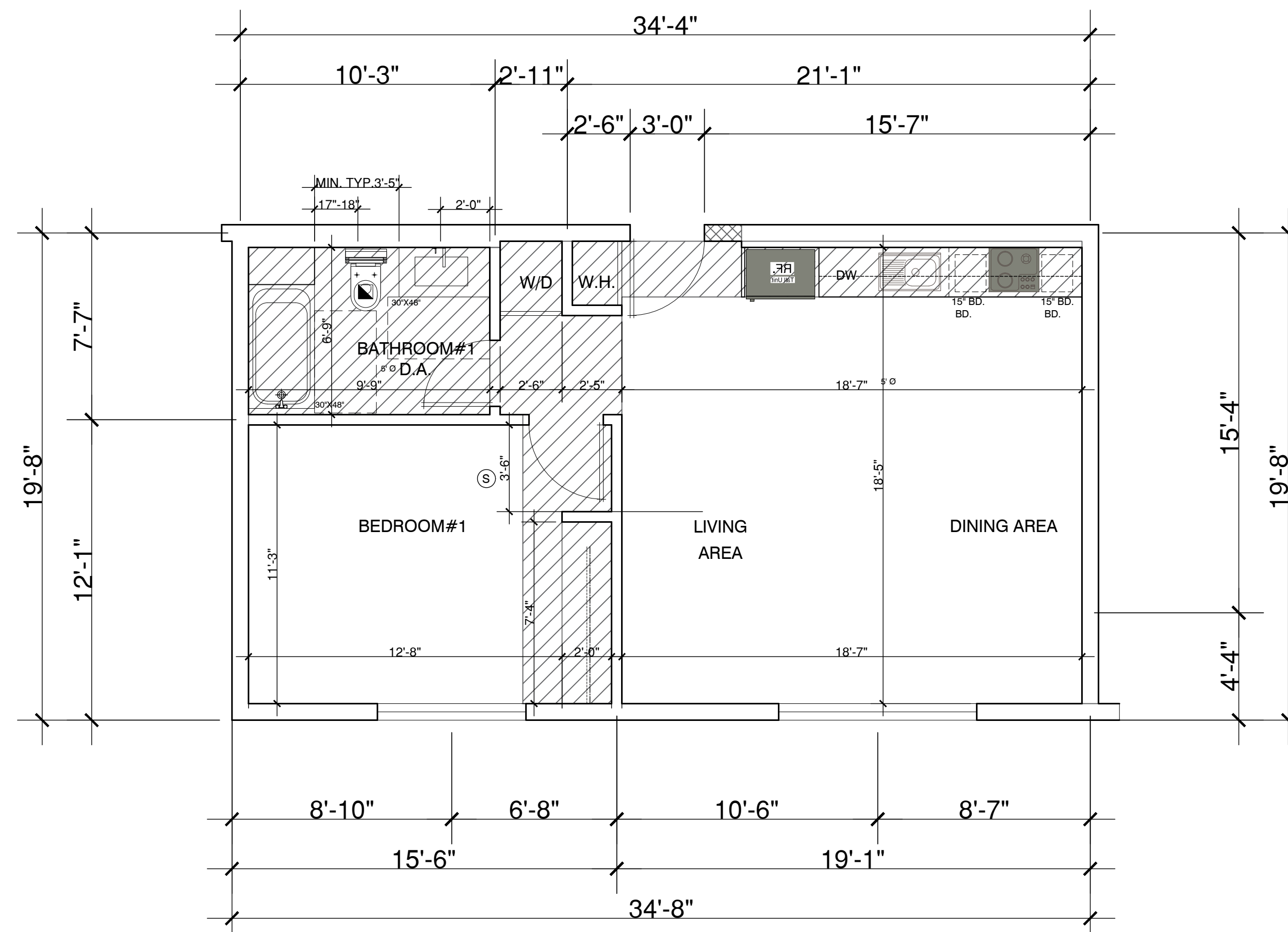
PAGE NO.:  
**A - 15**  
ARCHITECTURAL SHEETS

**EXHIBIT "A"**  
Page No. 19 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA





TYPICAL UNIT 201-301-401  
SCALE: 1/4"=1'-0"



TYPICAL UNIT 202-302-402  
SCALE: 1/4"=1'-0"

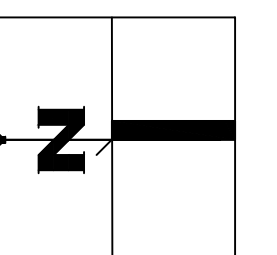
**EXHIBIT "A"**  
Page No. 20 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

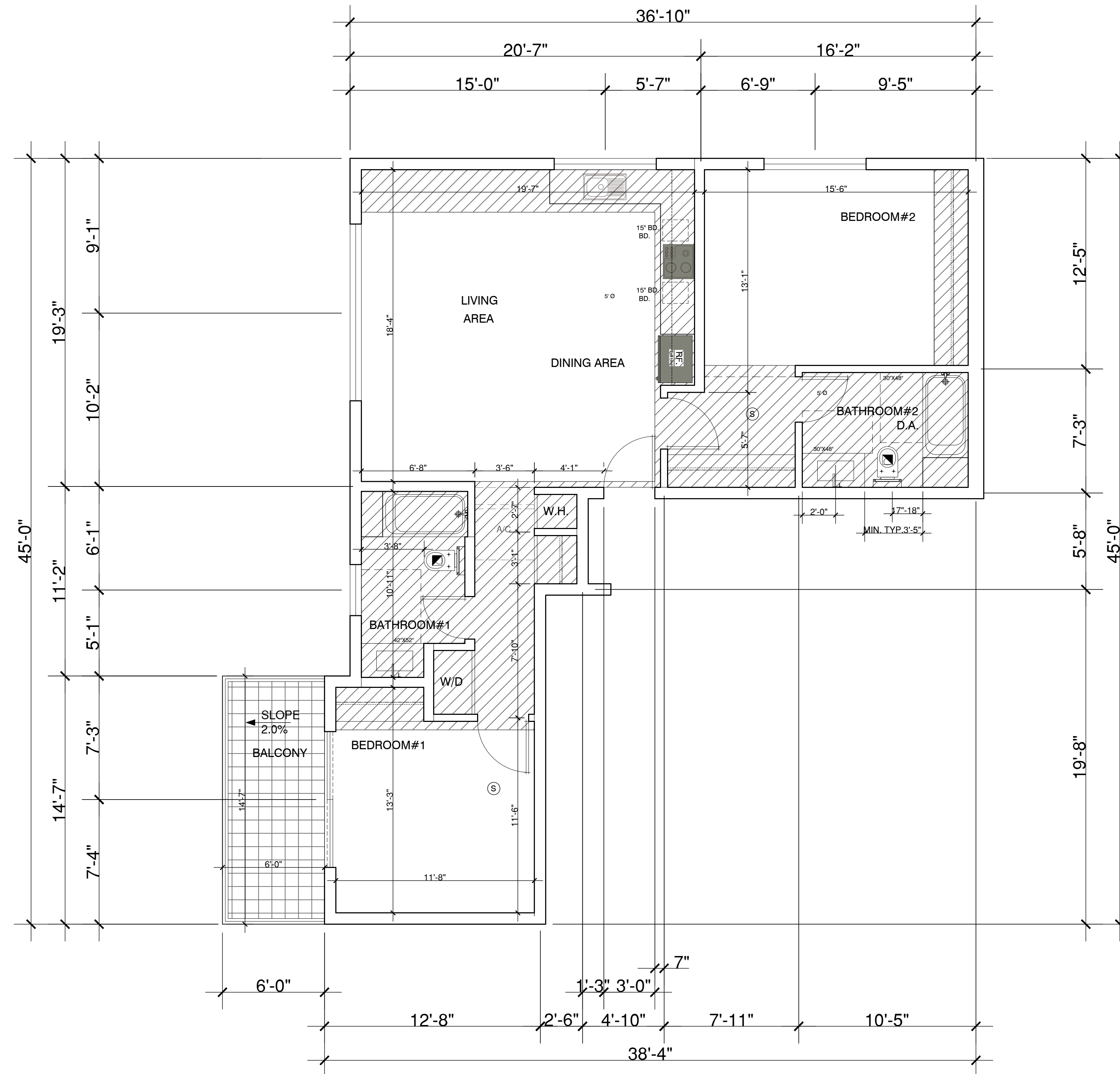
- A/C REGISTER  
▷ TEL. JACK IN DUPLEX BOX  
▷ CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)  
▷ CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL  
E.P. ELECT. PANEL  
○ WALL SCONES  
□ RECESSED OR LED SURFACE LIGHT  
○ SURFACE MOUNTED LIGHT  
○ CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7'-10" ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE NOTE: USE FRONT LOADED APPLIANCES OR PROVIDE ASSISTIVE DEVICE THRESHOLD

5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

- OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES**
- (A) 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- (C) PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE. PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- (E) REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26





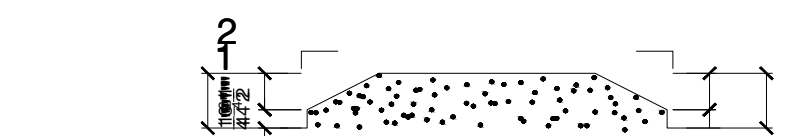
TYPICAL UNIT 203-303-403

SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 21 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25

ADAPTABLE GRAB BAR FLOOR OR SIDE  
NOTE:  
USE FRONT LOADED APPLIANCES  
OR PROVIDE ASSISTIVE DEVICE  
THRESHOLD



5 AIR EXCHANGE PER MINUTE MIN.  
EXHAUST FAN AND FLORESCENT LIGHT  
FANS SHALL BE ENERGY STAR  
COMPLIANT AND BE DUCTED TO  
TERMINATE TO THE OUTSIDE OF THE  
BUILDING. FANS NOT FUNCTIONING AS  
A COMPONENT OF A WHOLE HOUSE  
VENTILATION SYSTEM, MUST BE  
CONTROLLED BY A HUMIDITY  
CONTROL.

HARD WIRED SMOKE DETECTORS WITH  
BATTERY BACK-UP AND LOW BATTERY  
SIGNAL DWELLING UNITS WITHIN WHICH  
FUEL-BURNING APPLIANCES ARE  
INSTALLED SHALL HAVE AN APPROVED  
CARBON MONOXIDE ALARM IN THE  
FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE  
DWELLING UNIT SLEEPING AREA IN THE  
IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING  
UNIT INCLUDING BASEMENTS

**OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR**  
**TYPICAL NOTES**

- 30" SINK COUNTER WITH REMOVABLE  
BASE CABINET AND FINISHED FLOOR  
UNDER THE CABINET AND 36" MAX.  
27" MIN. CLEARANCE. SEE DETAIL  
3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDE OF TOILET FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-07 SECTION D BATHING AND  
TOILET FACILITIES, WATER CLOSET #2  
DETAILS 8/A-26. PROVIDE TOILET  
FLUSH CONTROL ON THE WIDE SIDE.
- PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDES OF TUB/ SHOWER  
32" TO 38" ABOVE FLOOR FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-06 SECTION D BATHING AND  
TOILET FACILITIES, BATH TUBS #2  
DETAIL 8/A-26. PROVIDE ADDITIONAL  
BACKING ON FLOOR FOR FUTURE  
POSSIBLE FLOOR MOUNTED GRAB  
BAR.
- REMOVABLE BASE CABINET UNDER  
ADAPTABLE LAVATORY. FINISHED  
FLOOR UNDER THE CABINET AND 34"  
MAX. 27" MIN. CLEARANCE. SEE  
DETAIL 3/A-26

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

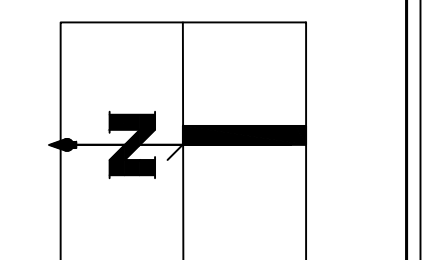
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

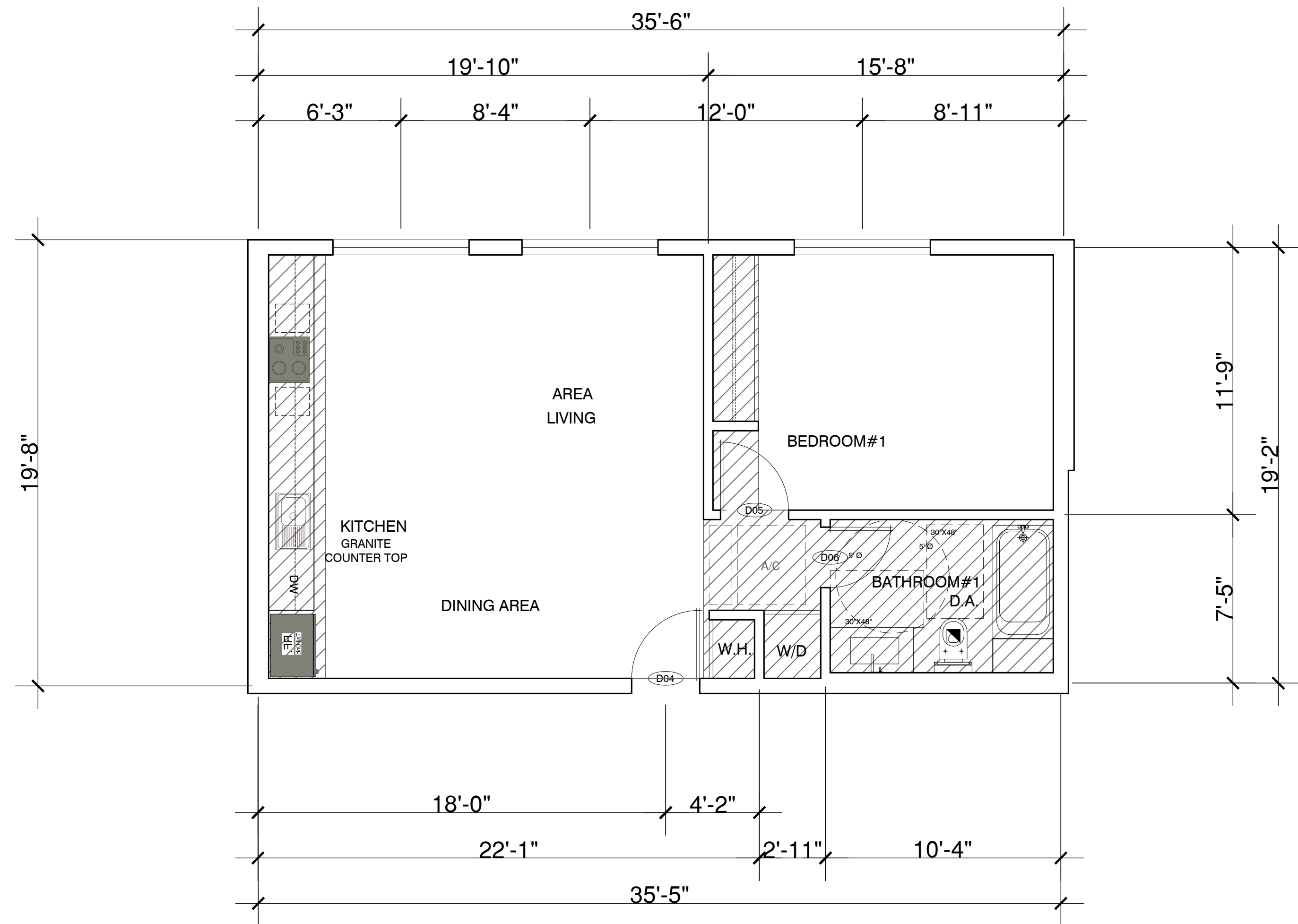
TITLE **ENLARGED  
FLOOR PLAN**

SCALE **1/4" - 1'-0"**



PAGE NO.:  
**A - 17**  
ARCHITECTURAL SHEETS





TYPICAL UNIT 204-304-404

SCALE: 1/4"=1'-0"

EXHIBIT "A"

Page No. 22 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E  
IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E  
IN BOX. ONE HIGH AND ONE LOW WITH  
HDMI ABLE AND CONDUIT CONNECTING  
TWO BOXES (LIVING ROOM)
- D.P.
- E.P.
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10"  
ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE  
NOTE:  
USE FRONT LOADED APPLIANCES  
OR PROVIDE ASSISTIVE DEVICE  
THRESHOLD
- 5 AIR EXCHANGE PER MINUTE MIN.  
EXHAUST FAN AND FLORESCENT LIGHT  
FANS SHALL BE ENERGY STAR  
COMPLIANT AND BE DUCTED TO  
TERMINATE TO THE OUTSIDE OF THE  
BUILDING. FANS NOT FUNCTIONING AS  
A COMPONENT OF A WHOLE HOUSE  
VENTILATION SYSTEM, MUST BE  
CONTROLLED BY A HUMIDITY  
CONTROL.
- HARD WIRED SMOKE DETECTORS WITH  
BATTERY BACK-UP AND LOW BATTERY  
SIGNAL DWELLING UNITS WITHIN WHICH  
FUEL-BURNING APPLIANCES ARE  
INSTALLED SHALL HAVE AN APPROVED  
CARBON MONOXIDE ALARM IN THE  
FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE  
DWELLING UNIT SLEEPING AREA IN THE  
IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING  
UNIT INCLUDING BASEMENTS

- COST
- OPTION #2  
SEE SHT#SP-05, SP-06, SP-07 FOR  
TYPICAL NOTES
- 30" SINK COUNTER WITH REMOVABLE  
BASE CABINET AND FINISHED FLOOR  
UNDER THE CABINET AND 36" MAX.  
27" MIN. CLEARANCE. SEE DETAIL  
3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDE OF TOILET FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-07 SECTION D BATHING AND  
TOILET FACILITIES, WATER CLOSET #2  
DETAILS 8/A-26. PROVIDE TOILET  
FLUSH CONTROL ON THE WIDE SIDE.  
PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDES OF TUB/ SHOWER  
32" TO 38" ABOVE FLOOR FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-06 SECTION D BATHING AND  
TOILET FACILITIES, BATH TUBS #2  
DETAIL 8/A-26. PROVIDE ADDITIONAL  
BACKING ON FLOOR FOR FUTURE  
POSSIBLE FLOOR MOUNTED GRAB  
BAR.
- REMOVABLE BASE CABINET UNDER  
ADAPTABLE LAVATORY. FINISHED  
FLOOR UNDER THE CABINET AND 34"  
MAX. 27" MIN. CLEARANCE. SEE  
DETAIL 3/A-26



ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

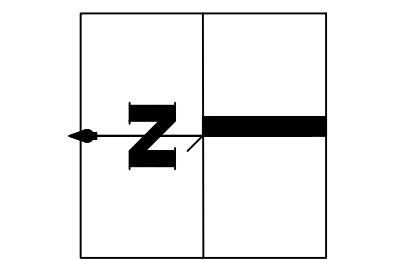
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

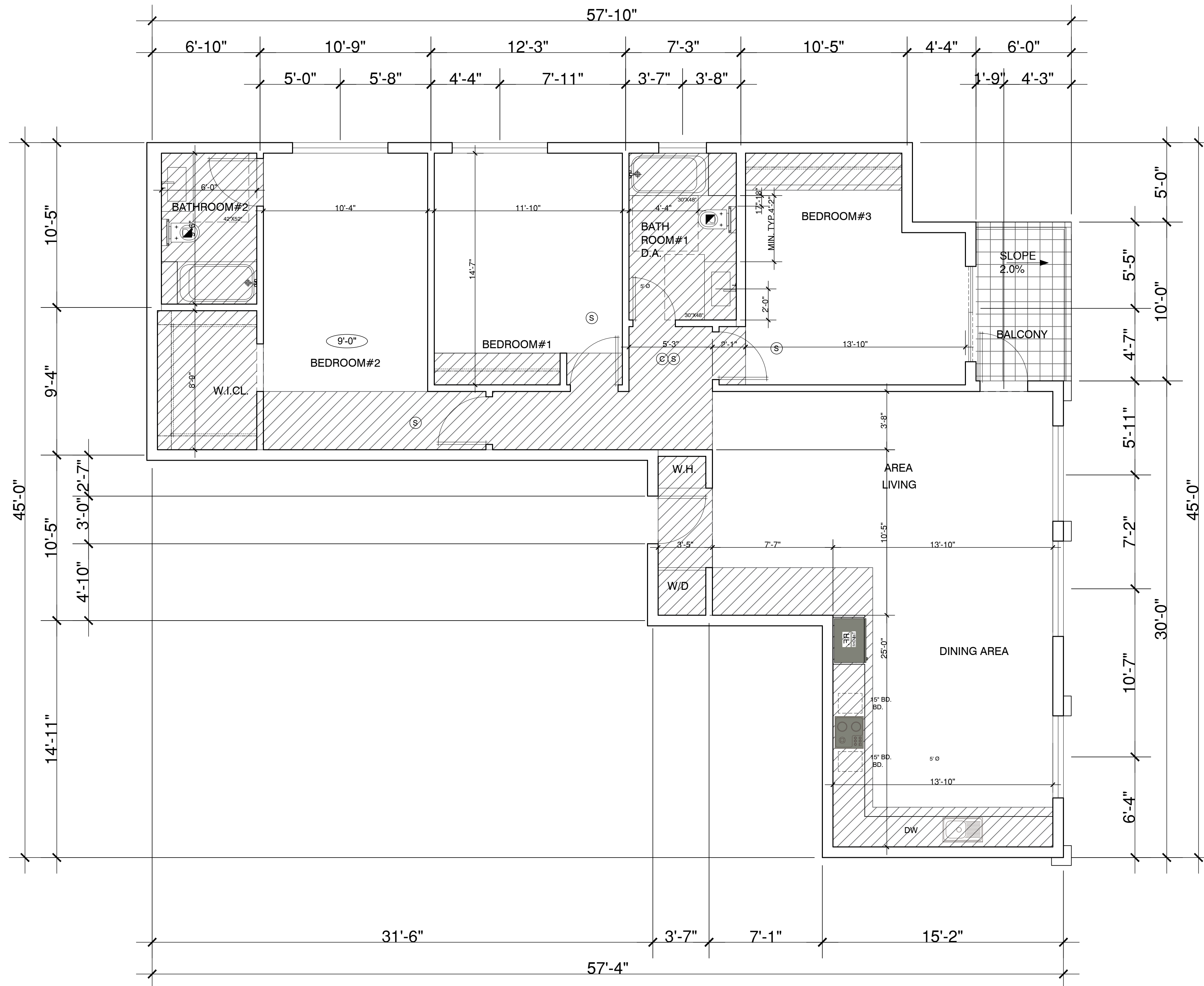
DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE ENLARGED  
FLOOR PLAN

SCALE 1/4" - 1'-0"



PAGE NO.:  
A - 18  
ARCHITECTURAL SHEETS



TYPICAL UNIT 205

SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 23 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- L/W DIST. PANEL
- ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE NOTE: USE FRONT LOADED APPLIANCES OR PROVIDE ASSISTIVE DEVICE THRESHOLD
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES**
- 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE. PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26



ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

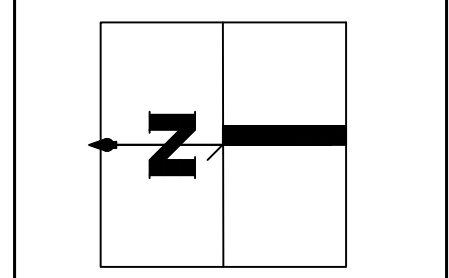
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

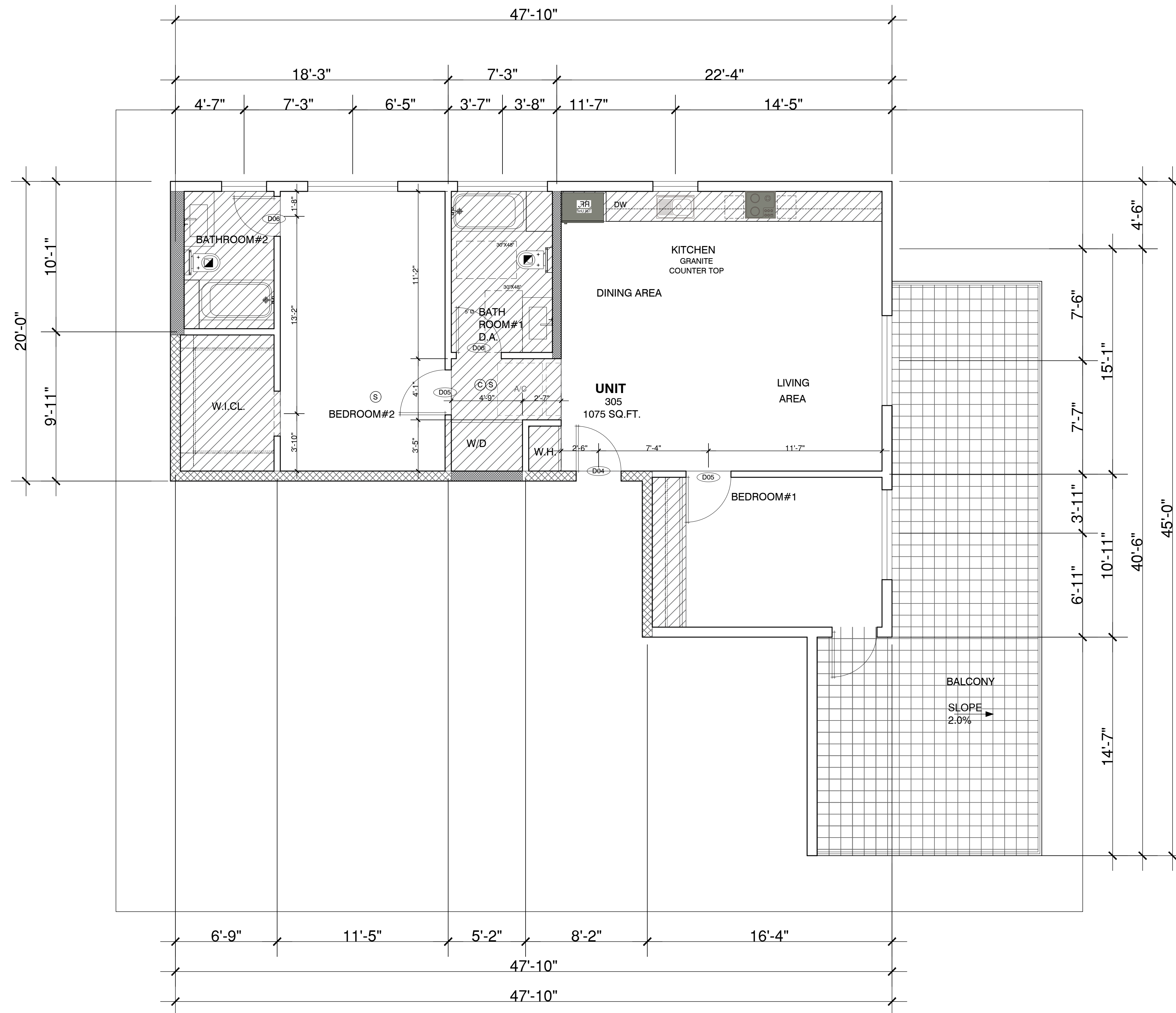
TITLE  
**ENLARGED FLOOR PLAN**

SCALE  
**1/4" - 1'-0"**



PAGE NO.:  
**A - 19**  
ARCHITECTURAL SHEETS



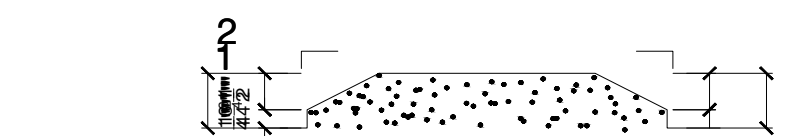


TYPICAL UNIT 305  
SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 24 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- L/W DIST. PANEL
- ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25

ADAPTABLE GRAB BAR FLOOR OR SIDE  
NOTE:  
USE FRONT LOADED APPLIANCES  
OR PROVIDE ASSISTIVE DEVICE  
THRESHOLD



5 AIR EXCHANGE PER MINUTE MIN.  
EXHAUST FAN AND FLORESCENT LIGHT  
FANS SHALL BE ENERGY STAR  
COMPLIANT AND BE DUCTED TO  
TERMINATE TO THE OUTSIDE OF THE  
BUILDING. FANS NOT FUNCTIONING AS  
A COMPONENT OF A WHOLE HOUSE  
VENTILATION SYSTEM, MUST BE  
CONTROLLED BY A HUMIDITY  
CONTROL.

HARD WIRED SMOKE DETECTORS WITH  
BATTERY BACK-UP AND LOW BATTERY  
SIGNAL DWELLING UNITS WITHIN WHICH  
FUEL-BURNING APPLIANCES ARE  
INSTALLED SHALL HAVE AN APPROVED  
CARBON MONOXIDE ALARM IN THE  
FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE  
DWELLING UNIT SLEEPING AREA IN THE  
IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING  
UNIT INCLUDING BASEMENTS

**OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR**  
**TYPICAL NOTES**

- 30" SINK COUNTER WITH REMOVABLE  
BASE CABINET AND FINISHED FLOOR  
UNDER THE CABINET AND 36" MAX.  
27" MIN. CLEARANCE. SEE DETAIL  
3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDE OF TOILET FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-07 SECTION D BATHING AND  
TOILET FACILITIES, WATER CLOSET #2  
DETAILS 8/A-26. PROVIDE TOILET  
FLUSH CONTROL ON THE WIDE SIDE.  
PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDES OF TUB/ SHOWER  
32" TO 38" ABOVE FLOOR FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-06 SECTION D BATHING AND  
TOILET FACILITIES, BATH TUBS #2  
DETAIL 8/A-26. PROVIDE ADDITIONAL  
BACKING ON FLOOR FOR FUTURE  
POSSIBLE FLOOR MOUNTED GRAB  
BAR.
- REMOVABLE BASE CABINET UNDER  
ADAPTABLE LAVATORY. FINISHED  
FLOOR UNDER THE CABINET AND 34"  
MAX. 27" MIN. CLEARANCE. SEE  
DETAIL 3/A-26

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

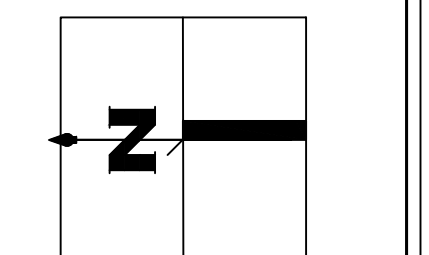
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

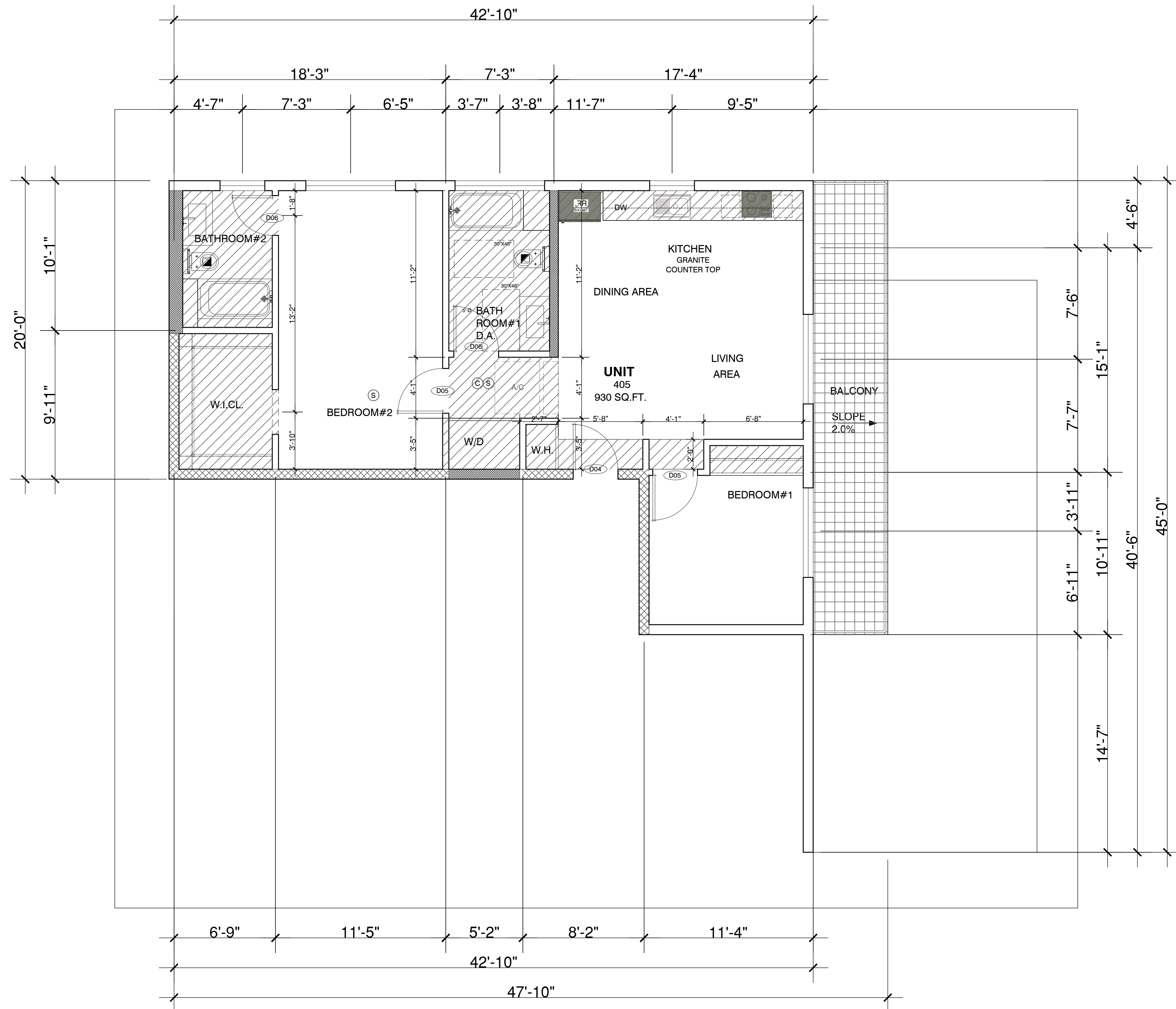
DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE  
**ENLARGED  
FLOOR PLAN**

SCALE  
**1/4" - 1'-0"**



PAGE NO.:  
**A - 20**  
ARCHITECTURAL SHEETS



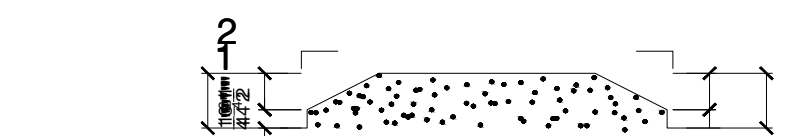
TYPICAL UNIT 405

SCALE: 1/4"=1'-0"

EXHIBIT "A"  
Page No. 25 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- L/W DIST. PANEL
- ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25

ADAPTABLE GRAB BAR FLOOR OR SIDE NOTE: USE FRONT LOADED APPLIANCES OR PROVIDE ASSISTIVE DEVICE THRESHOLD



5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

OPTION #2  
SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES

- 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE. PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26

CARPIRA  
DESIGN  
GROUP  
COMPANY

ARCHITECTURAL DESIGNERS:  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

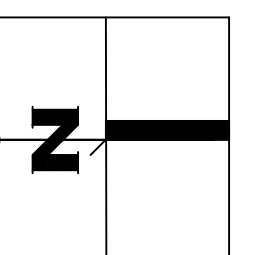
OWNER :  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

ENLARGED  
FLOOR PLAN

SCALE  
1/4" - 1'-0"



PAGE NO.:

A - 20.1

ARCHITECTURAL SHEETS



## ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

## ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

## OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

## PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

## DESCRIPTION :

DATE: 09/12/2022

REV.1: 10/20/2022

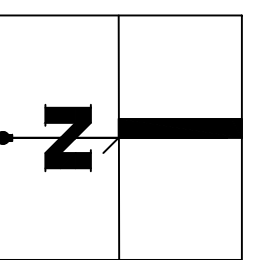
REV.2: 06/05/2023

REV.3: 04/26/2024

REV.4: 07/30/2024

TITLE OPEN SPACE/ GRADING/  
SHADING PLANS

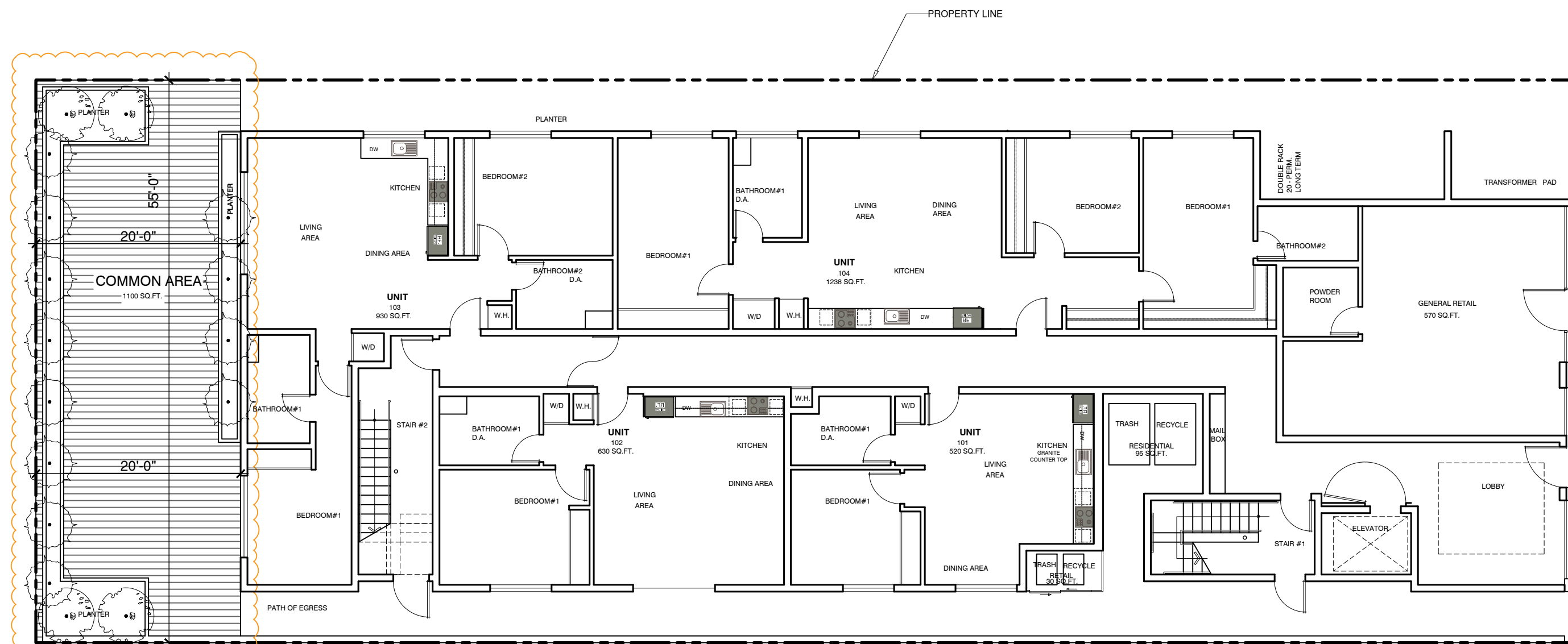
SCALE 3/32" = 1'-0"



## PAGE NO.:

A - 21

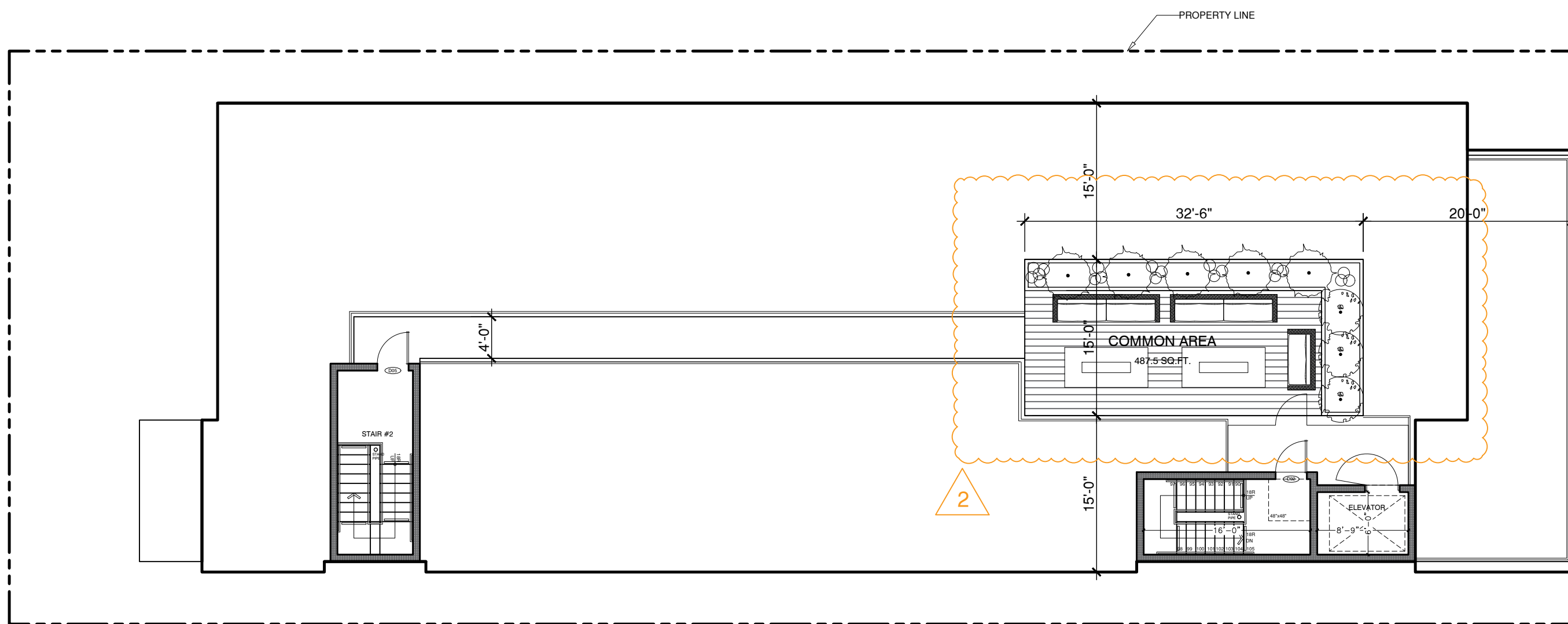
ARCHITECTURAL SHEETS



## 2 FIRST FLOOR OPEN SPACE/ GRADING/ SHADING PLANS

SCALE: 3/32" = 1'-0"

TOTAL OPEN SPACE PROVIDED IN FIRST FLOOR = 1100 SQ.FT.

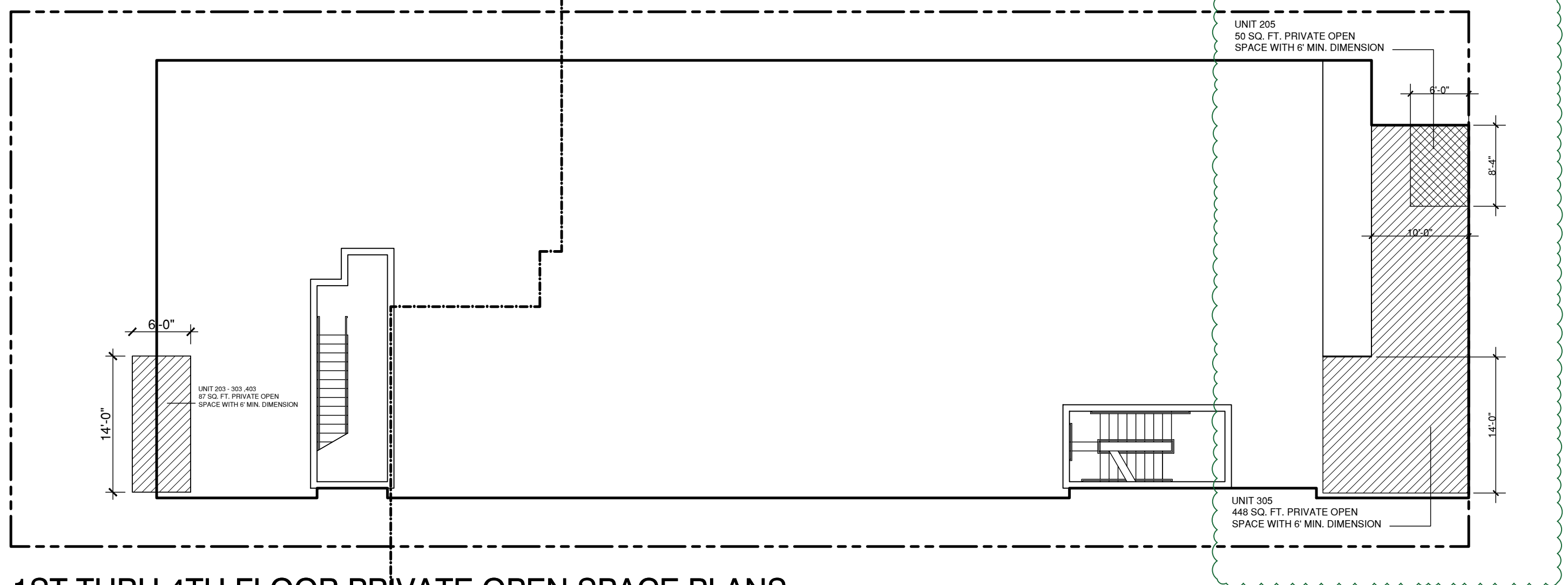


## ROOF FLOOR OPEN SPACE/ GRADING/ SHADING PLANS

SCALE: 3/32" = 1'-0"

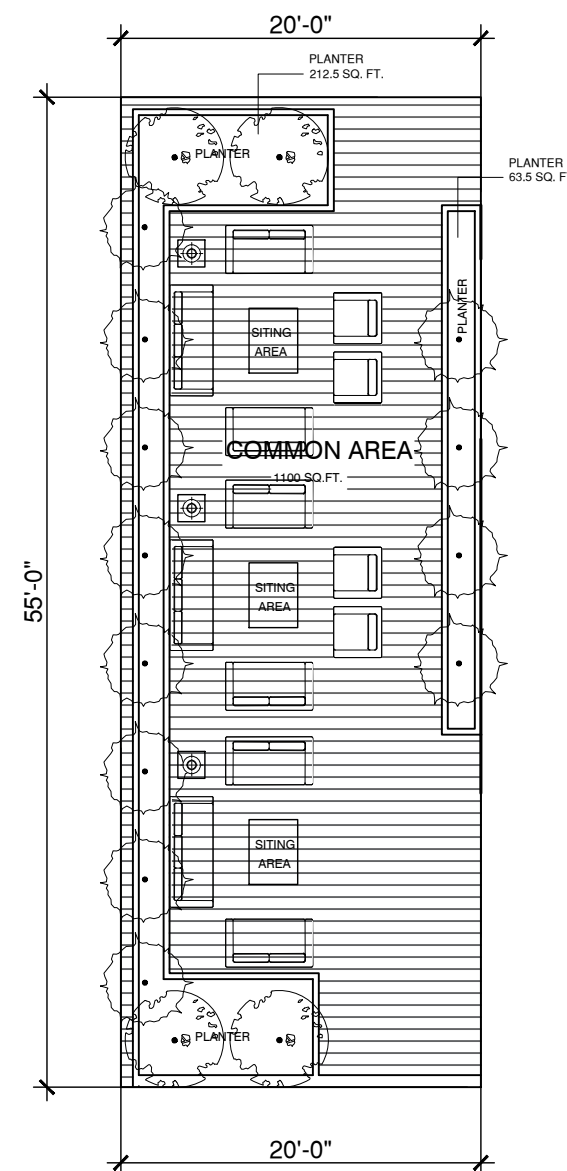
LESS THAN 3 HABITABLE ROOM UNIT @100 SQ. FT. PER UNIT=11X100=	1100 SQ. FT.
3 HABITABLE ROOM UNIT @125 SQ. FT. PER UNIT=6X125=	750 SQ. FT.
4 HABITABLE ROOM UNIT @175 SQ. FT. PER UNIT=2X175=	350 SQ. FT.
TOTAL OPEN SPACE REQUIRED=	2200 SQ. FT.
MINIMUM COMMON OPEN SPACE REQUIRED (50%)=	1100 SQ. FT.
PRIVATE OPEN SPACE PROVIDED: BALCONIES WITH 6' MIN. DIM.:	759 SQ. FT.
COMMON OPEN SPACE PROVIDED: COURT YARD WITH 20' MIN.:	1100 SQ. FT.
ROOF DECK WITH 15' MIN.:	487.5 SQ. FT.
TOTAL OPEN SPACE PROVIDED:	2346.5 SQ. FT.
MIN. COMMON SPACE LANDSCAPE REQUIRED (25%)=1587.5*25%=	396.875 SQ. FT.
MIN. LANDSCAPE AREA PROVIDE FOR COMMON AREA	421.5 SQ. FT.
NUMBER OF 24" BOX TREES REQUIRED (ONE PER 4 UNITS)	5
MIN. NUMBER OF 24" BOX TREES PROVIDED	5

MINIMUM FIRST FLOOR OPEN SPACE REQUIRED (50%) =	1100 SQ.FT.
COMMON OPEN SPACE PROVIDED WITH 20' MIN. =	1100 SQ.FT.
TOTAL OPEN SPACE PROVIDED IN FIRST FLOOR =	1100 SQ.FT.



## 1ST THRU 4TH FLOOR PRIVATE OPEN SPACE PLANS

SCALE: 3/32" = 1'-0"

COMMON AREA  
487.5 SQ. FT.  
ROOF DECK

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE OR WIND.
2. STOCKPILE OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
5. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
6. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTOOD THE REQUIREMENTS, LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME \_\_\_\_\_  
(OWNER OR AUTHORIZED AGENT)SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
(OWNER OR AUTHORIZED AGENT)

An Wet Weather Erosion Control Plan (WWECP), utilizing sediment and erosion control BMPs, for projects that will leave disturb soil during the rainy season (October 1 to April 15) is required. The WWECP must be prepared, for projects that have already broken ground, not less than 30 days prior to the beginning of each rainy season during which soil will be disturbed, and implemented throughout the entire rainy season. A copy of the WWECP shall be kept on the project site at all times beginning 30 days prior to the start of the rainy season through the end of the rainy season. For projects that will begin construction during the rainy season, the WWECP must be available 30 days before construction commences. The WWECP must be submitted to the Bureau of Engineering, Public Works for review and approval. The WWECP is not a requirement for the issuance of a building or grading permit.

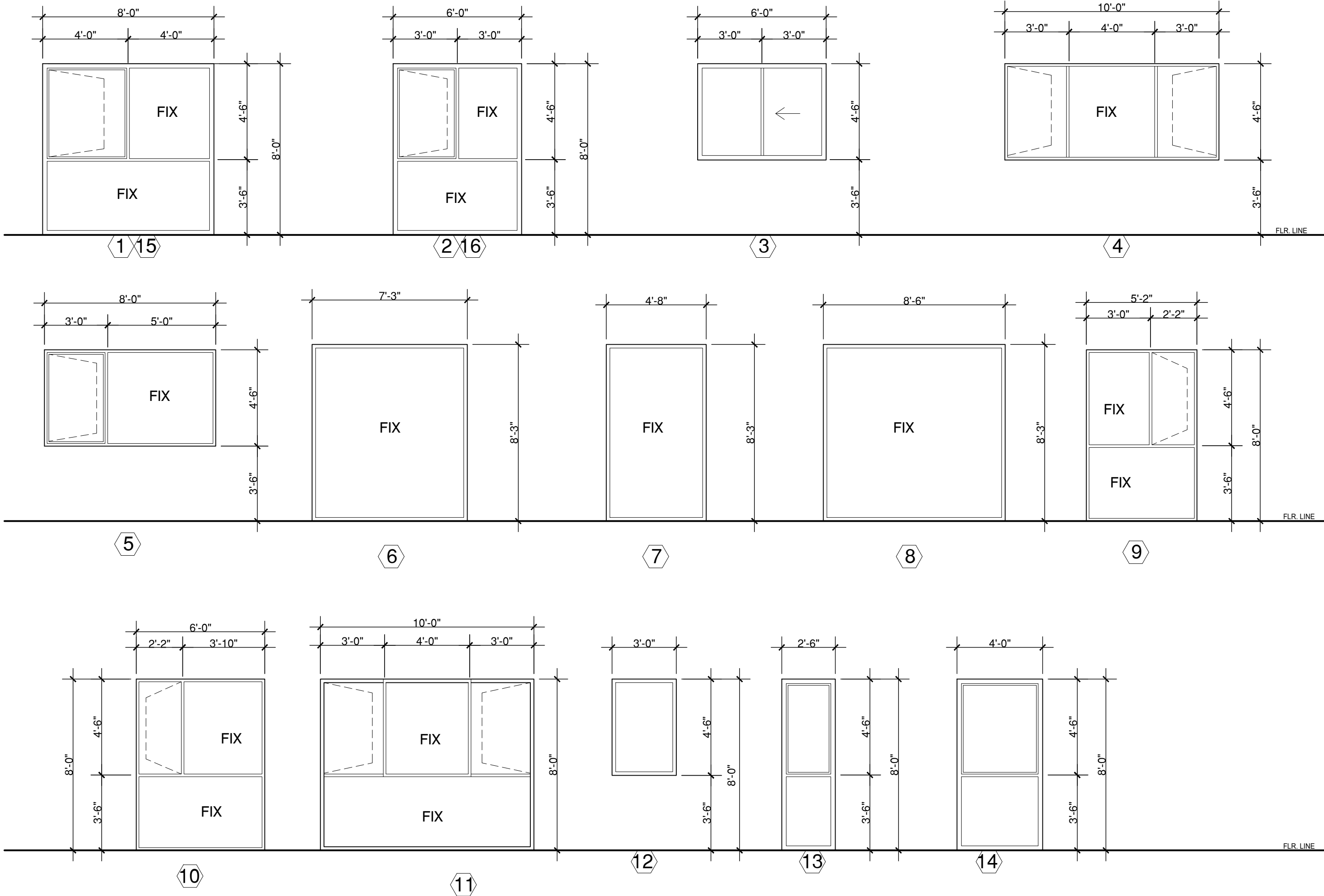


WINDOW SCHEDULE

X WINDOW NO.	TYPE	EGRESS REQ.	SIZE		FRAME MATERIAL	FRAME FINISH	GLASS TYPE	TEMPERED GLASS	FIRE RATE	REMARKS
			WIDTH	HEIGHT						
1	SWING	---	8'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA
2	SWING	●	6'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	BEDROOM
3	SLIDING	●	6'-0"	4'-6"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA, BEDROOM, BATHROOM
4	SWING	---	10'-0"	4'-6"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA
5	SWING	---	8'-0"	4'-6"	ALUM.	FF	DUAL GLAZED	●	---	DINING AREA (Unit 104-201-202-301-302-401-402)
6	FIX	---	7'-3"	8'-3"	ALUM.	FF	DUAL GLAZED	●	---	LOBBY
7	FIX	---	4'-8"	8'-3"	ALUM.	FF	DUAL GLAZED	●	---	RETAIL STORE
8	FIX	---	8'-6"	8'-3"	ALUM.	FF	DUAL GLAZED	●	---	RETAIL STORE
9	SWING	---	5'-2"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA, DINING, KITCHEN
10	SWING	---	8'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA, DINING, KITCHEN
11	SWING	---	10'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	BEDROOM
12	SWING	---	3'-0"	4'-0"	ALUM.	FF	DUAL GLAZED	●	---	STAIR BOX
13	SWING	●	2'-6"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	BEDROOM
14	SWING	---	4'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA
15	SWING	●	8'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	45 MIN.	
16	SWING	●	6'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	45 MIN.	BEDROOM, LIVING AREA

- WINDOW NOTES:
- REFER TO EXTERIOR ELEVATIONS FOR WINDOW HEAD, JAMB, SILL AND POST DETAILS.
  - BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.C. R310.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
  - THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS SHALL BE A MINIMUM OF 42" ABOVE THE FINISH FLOOR. WHEN OPERABLE SECTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 42" ABOVE THE FINISHED FLOOR THE OPENINGS SHALL PROTECTED BY A GUARD THAT WILL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE. (C.R.C. R312.2.1.)

WINDOW TYPES



ABBREVIATIONS

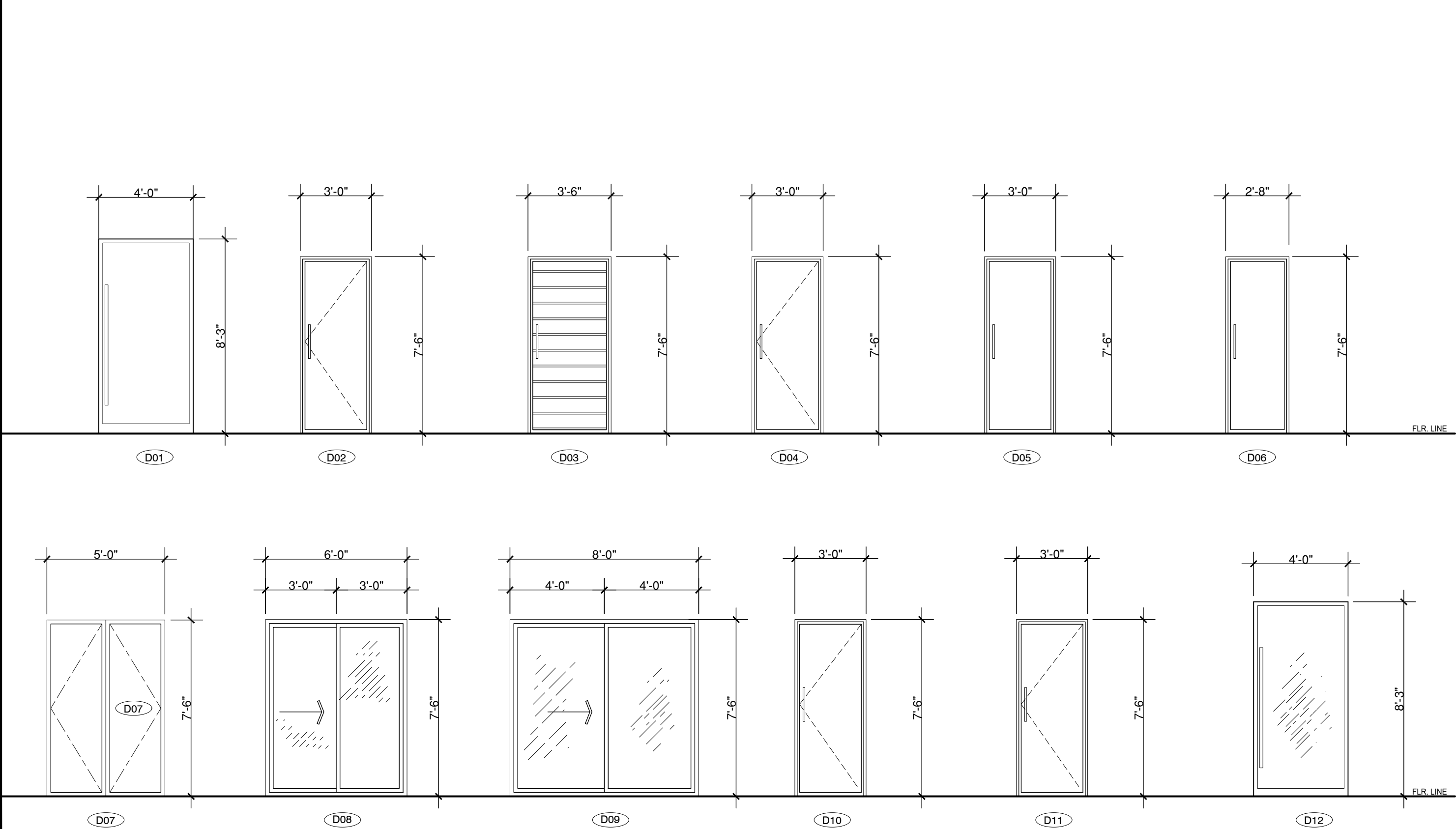
AL	ALUMINUM	FF	FACTORY FINISH
WD	WOOD	SC	SOLID CORE
VYL.	VINYL	GL	GLASS
PT	PAINT FINISH	MIRR.	MIRROR
FRST.	FROSTED GLASS	CH	CHROME FINISH

DOOR SCHEDULE

DOOR NO.	TYPE	PAIR	SIZE		THICKNESS	CORE MATERIAL	FINISH	FRAME		TEMPERED GLASS	THRESHOLD	FIRE RATE	REMARKS
			WIDTH	HEIGHT				MATERIAL	FINISH				
1	SWING DOOR	---	4'-0"	8'-3"	---	GLASS	---	ALUM	PAINT	●	●	60 MIN.	BUILDING ENTRANCE
2	SWING DOOR	---	3'-0"	7'-6"	1-3/4"	METAL	PAINT	METAL	PAINT	---	●	90 MIN.	STAIR CASE - SMOKE GASKET - SELF LATCHING
3	SWING DOOR	---	4'-0"	7'-6"	1-3/4"	ALUM	ALUM	ALUM	PAINT	---	---	90 MIN.	ELEVATOR DOOR - MAGNETIC HOLDER SMOKE GASKET
4	SWING DOOR	---	3'-0"	7'-6"	1-3/4"	WOOD	WOOD	WOOD	PAINT	---	---	20 MIN.	UNITS ENTRANCE DOOR - SELF CLOSING
5	SWING DOOR	---	3'-0"	7'-6"	1-3/4"	WOOD	PAINT	WOOD	PAINT	---	---	---	BEDROOMS
6	SWING DOOR	---	2'-8"	7'-6"	1-3/4"	WOOD	PAINT	WOOD	PAINT	---	●	---	BATHROOM
7	DOUBLE SWING DOOR	●	5'-0"	7'-6"	1-3/4"	METAL	PAINT	METAL	PAINT	---	●	90 MIN.	FIRE BARRIER WALL DOOR
8	SLIDING DOOR	---	6'-0"	7'-6"	---	GLASS	---	ALUM	PAINT	●	●	---	LIVING AREA/BEDROOM TO BALCONY
9	SLIDING DOOR	---	8'-0"	7'-6"	---	GLASS	---	ALUM	PAINT	●	●	---	LIVING AREA/BEDROOM TO BALCONY
10	SWING DOOR	---	3'-0"	7'-6"	---	GLASS	---	ALUM	PAINT	●	●	---	LIVING AREA/BEDROOM TO BALCONY
11	SWING DOOR	---	3'-0"	7'-6"	1-3/4"	METAL	PAINT	METAL	PAINT	---	---	60 MIN.	ELEVATOR & ELECTRICAL ROOM

- DOOR NOTES:
- REFER TO SLAB PLANS FOR FIRST FLOOR DOORS HEAD, JAMB, THRESHOLD AND POST DETAILS.
  - REFER SECOND FLOOR PLANS FOR SECOND FLOOR DOORS HEAD, JAMB, THRESHOLD AND POST DETAILS.
  - EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
  - WITH AND HEIGHT OF REQUIRED EXIT DOORWAYS SHALL COMPLY WITH TITLE 24.713.
  - VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7.
  - AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL325.
  - FOR RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL COMPLY WITH TITLE 24, 1004.6.

DOOR TYPES



ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

ENGINEER:

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

OWNER :

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:

5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

DOOR AND WINDOW SCHEDULE

SCALE 1/4" = 1'-0"

PAGE NO.:

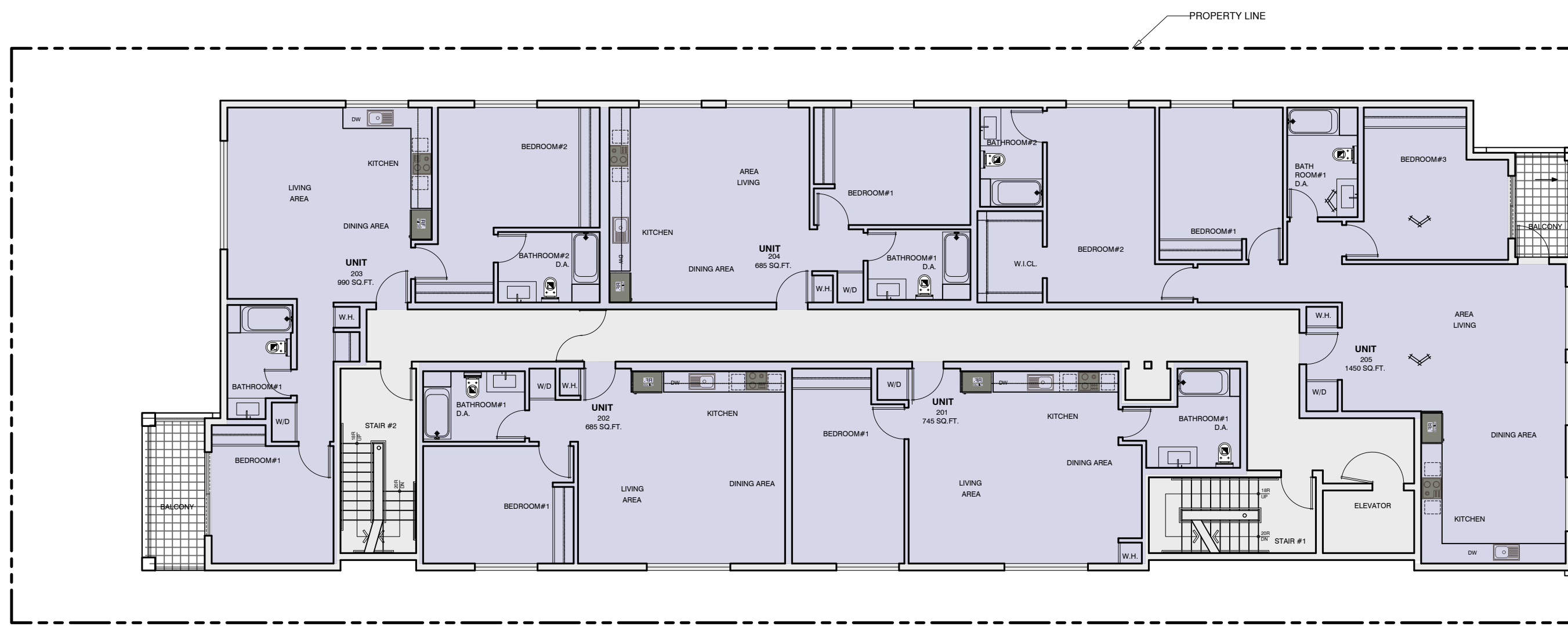
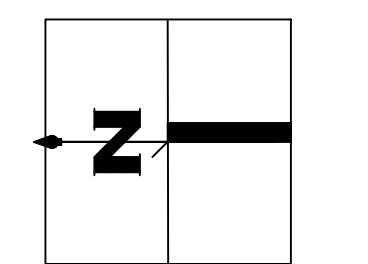
A - 22

ARCHITECTURAL SHEETS

EXHIBIT "A"

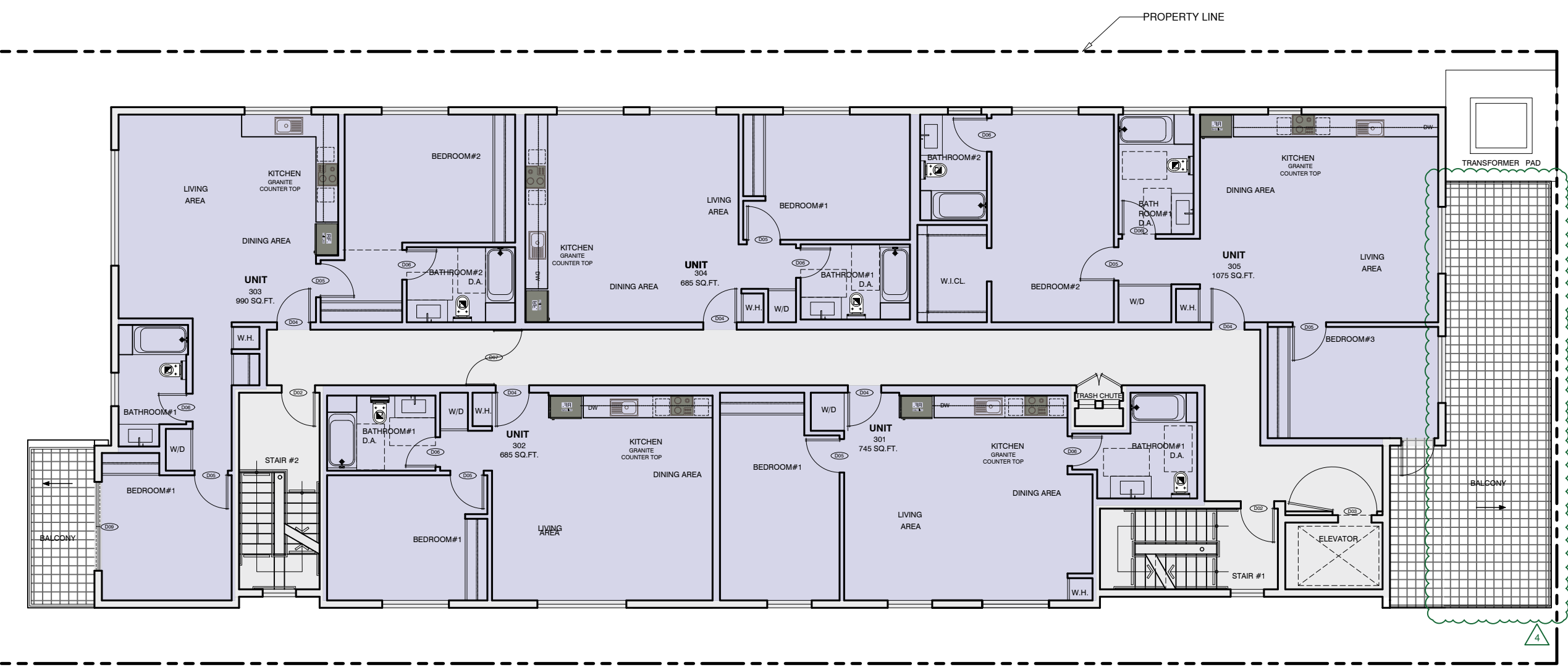
Page No. 27 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA



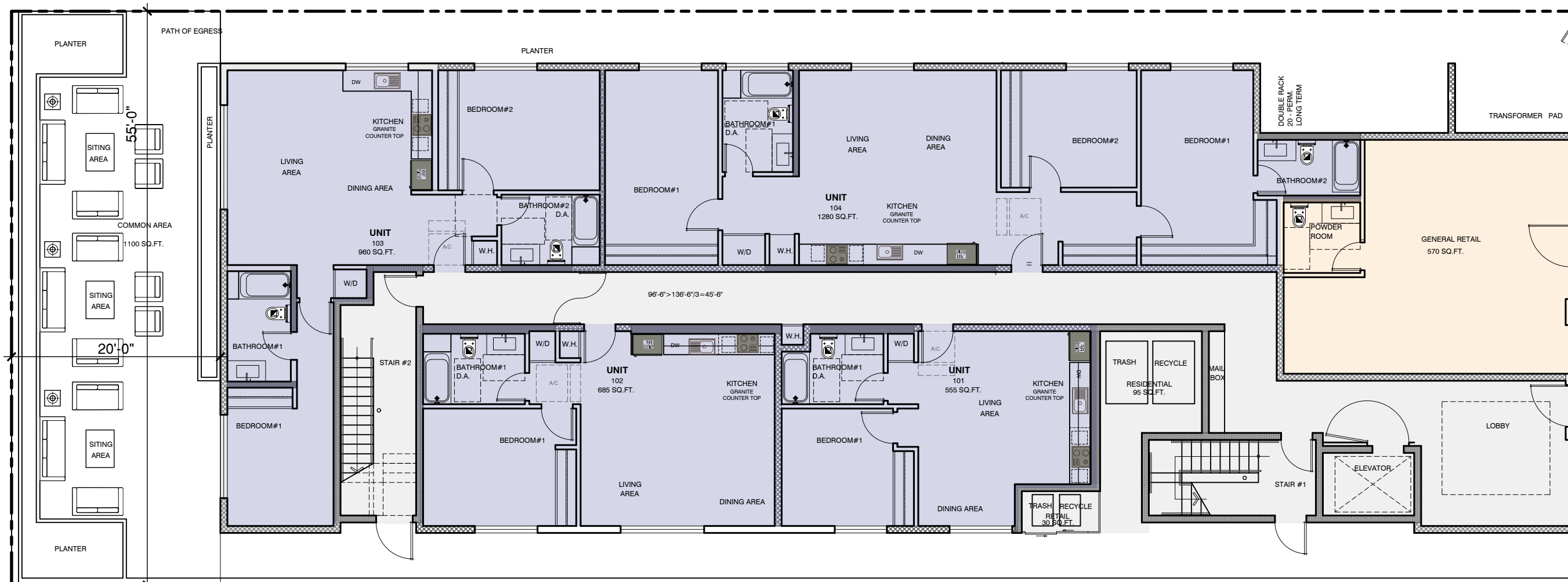
SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



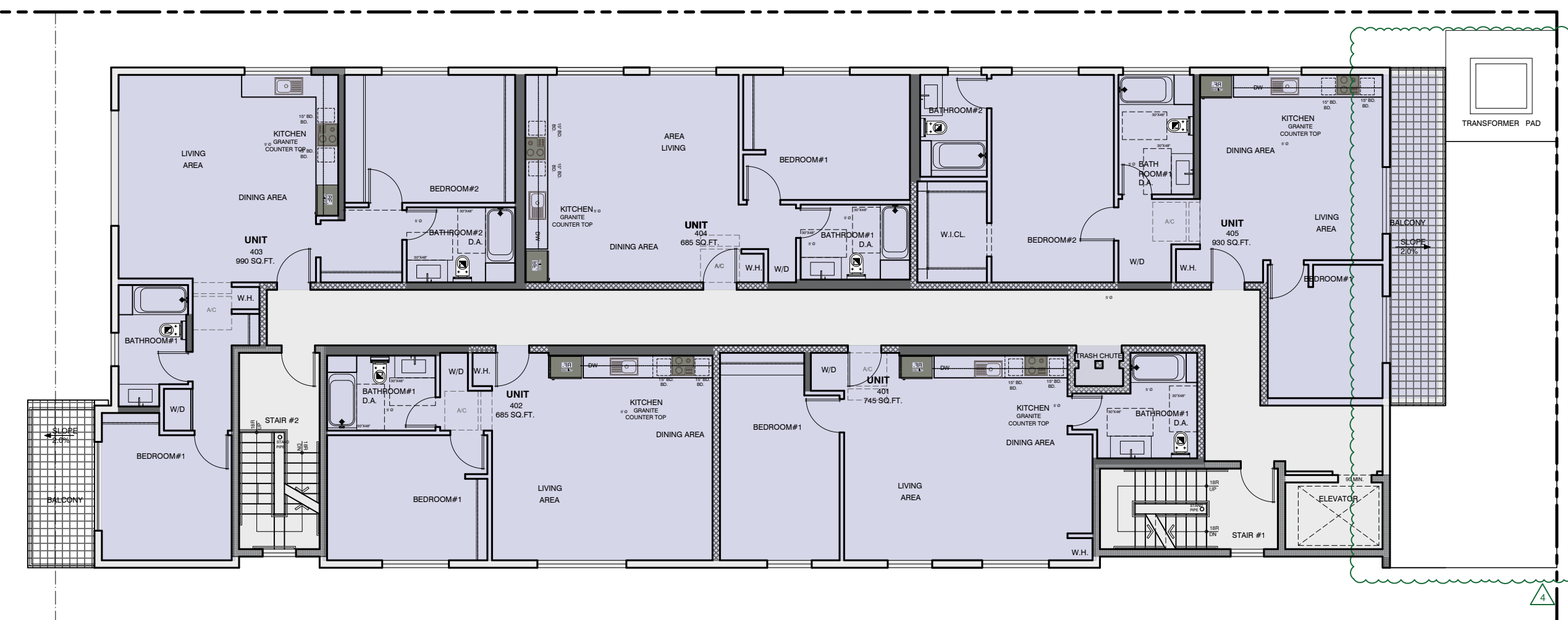
THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



4TH FLOOR PLAN

SCALE: 3/32" = 1'-0"

	COMMERCIAL	RESIDENTIAL	EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS	TOTAL
FIRST FLOOR	570 sq.ft.	3480 sq.ft.	1715 sq.ft.	5765 sq.ft.
2ND FLOOR	—	4555 sq.ft.	1310 sq.ft.	5865 sq.ft.
3RD FLOOR	—	4180 sq.ft.	1295 sq.ft.	5475 sq.ft.
4TH FLOOR	—	4035 sq.ft.	1130 sq.ft.	5165 sq.ft.
TOTAL	570 sq.ft.	16250 sq.ft.	5450 sq.ft.	22270 sq.ft.

EXHIBIT "A"  
Page No. 28 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA





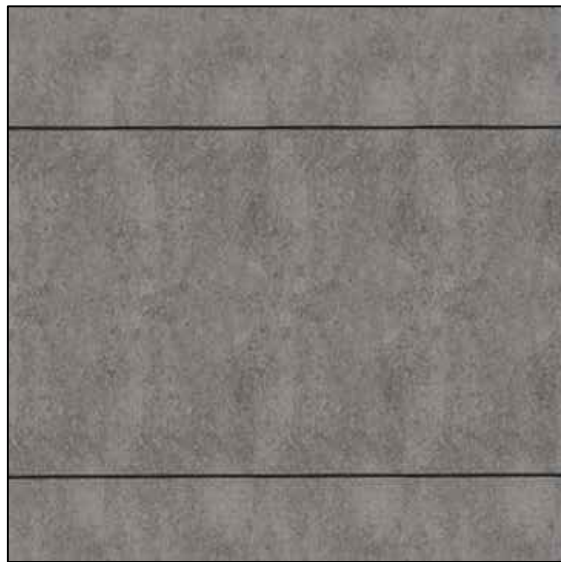
SMOOTH 7/8" STUCCO  
COLOR: BEIGE



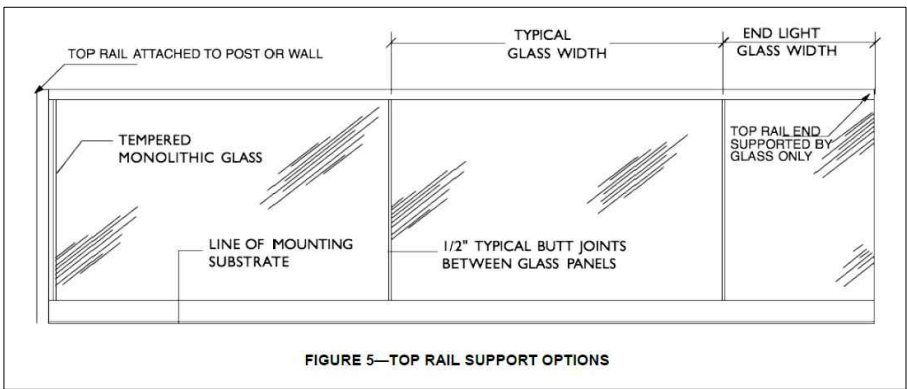
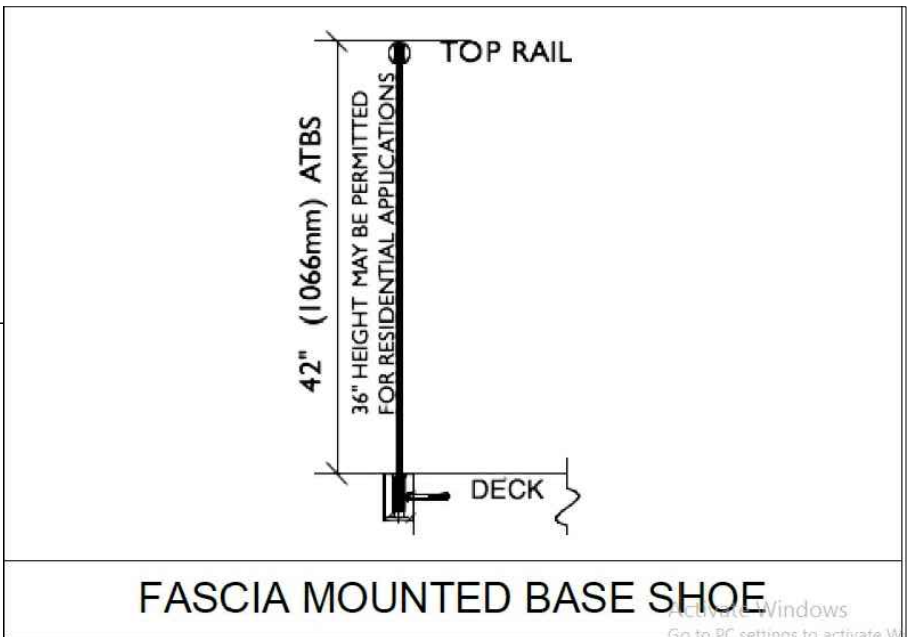
SMOOTH 7/8" STUCCO  
COLOR: LIGHT GREY



ARCHITECTURAL GLAZING



SMOOTH STUCCO  
COLOR: GRAY



RAILING DETAILS

**EXHIBIT "A"**  
Page No. 29 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

**ARCHITECTURAL DESIGNERS:**  
  
SAM MONFARED  
ATABAK YOUSEFZADE  
  
SAMCARPIRA@GMAIL.COM

**ENGINEER:**  
  
FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

**OWNER :**  
  
DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

**PROJECT ADDRESS:**  
  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

**DESCRIPTION :**  
  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

**TITLE** MATERIAL BOARD  
  
**SCALE**

**PAGE NO.:**  
  
**A - 27**  
  
ARCHITECTURAL SHEETS



**ARCHITECTURAL DESIGNERS:**

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

**ENGINEER:**

FYP CONSULTING GROUP: 32551  
RACHEL CIRCLE, DANA POINT CA  
92629  
TEL: 949-357-5907  
FAX: 949-597-8151  
EMAIL: fypconsulting24@gmail.net

**OWNER :**

DBA: SUNSETCOMPLEX  
200 S. BARRINGTON AVE.  
#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

**PROJECT ADDRESS:**

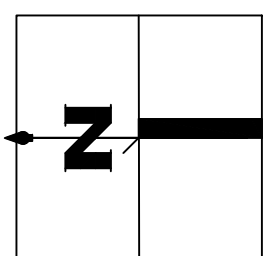
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

**DESCRIPTION :**

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

**TITLE** OCCUPANCY LOAD  
CALCULATION

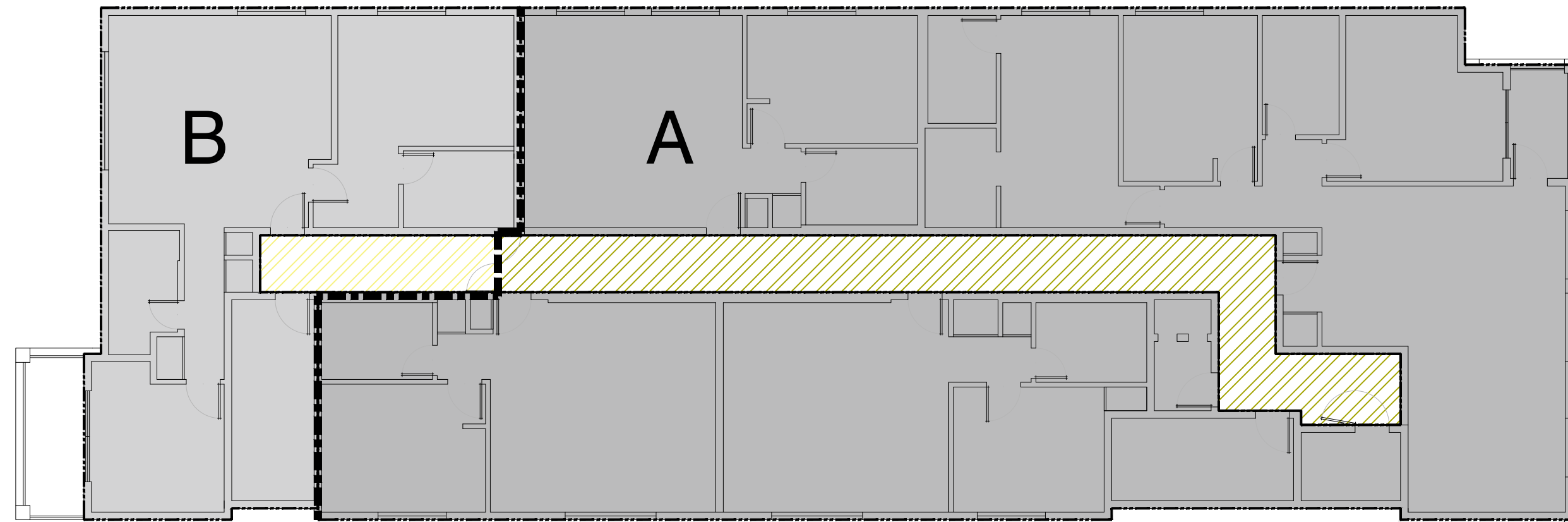
**SCALE** 3/32" = 1'-0"



**PAGE NO.:**

**A - 28**

ARCHITECTURAL SHEETS



"B"  
AREA= 1204.3 SQ.FT.  
OCC. LOAD 1204.3 SQ.FT./200= 7 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
7\*3 SQ.FT.= 21 SQ.FT. < 104.6 SQ.FT.

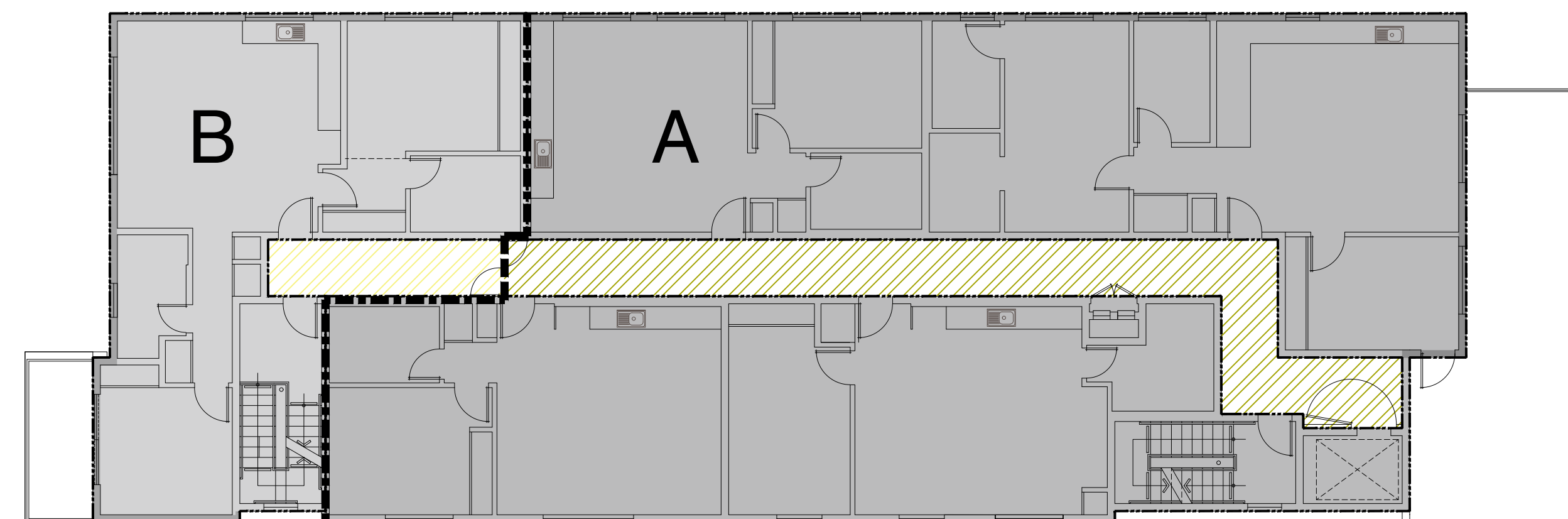
AREA OF REFUGE CAPACITY= 104.6 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

"A"  
AREA= 4000 SQ.FT.  
OCC. LOAD 3546.3 SQ.FT./200= 20 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
20\*3 SQ.FT.= 60 SQ.FT. < 460.2 SQ.FT.

AREA OF REFUGE CAPACITY= 460.2 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

**SECOND FLOOR PLAN**

SCALE: 3/32" = 1'-0"



"B"  
AREA= 1204.3 SQ.FT.  
OCC. LOAD 1204.3 SQ.FT./200= 7 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
7\*3 SQ.FT.= 21 SQ.FT. < 104.6 SQ.FT.

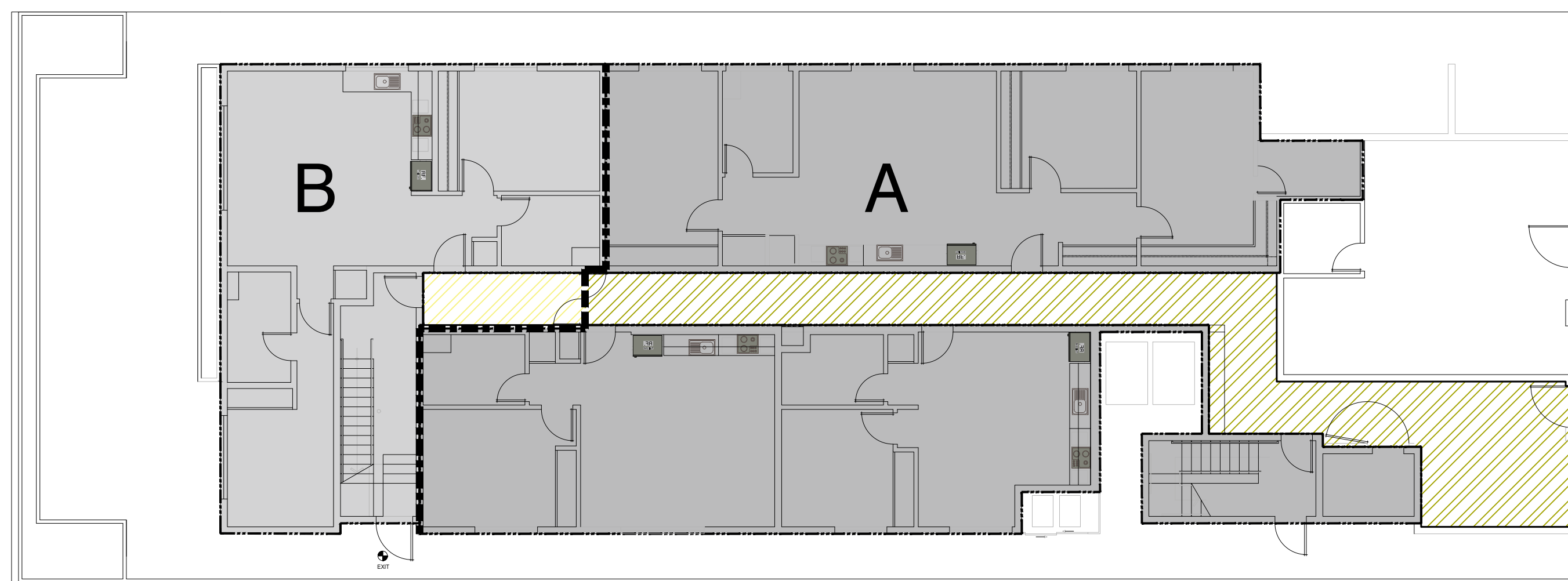
AREA OF REFUGE CAPACITY= 104.6 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

"A"  
AREA= 3546.3 SQ.FT.  
OCC. LOAD 3546.3 SQ.FT./200= 18 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
18\*3 SQ.FT.= 54 SQ.FT. < 460.2 SQ.FT.

AREA OF REFUGE CAPACITY= 460.2 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

**THIRD FLOOR PLAN**

SCALE: 3/32" = 1'-0"



"B"  
AREA= 1210.0 SQ.FT.  
OCC. LOAD 1210.0 SQ.FT./200= 7 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
7\*3 SQ.FT.= 21 SQ.FT. < 77.5 SQ.FT.

AREA OF REFUGE CAPACITY= 77.5 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

"A"  
AREA= 2980.2 SQ.FT.  
OCC. LOAD 2822 SQ.FT./200= 15 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
15\*3 SQ.FT.= 45 SQ.FT. < 663.6 SQ.FT.

AREA OF REFUGE CAPACITY= 663.6 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

**FIRST FLOOR PLAN**

SCALE: 3/32" = 1'-0"

**EXHIBIT "A"**  
Page No. 30 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

**4TH FLOOR PLAN**

SCALE: 3/32" = 1'-0"





Laurus nobilis / Sweet



Olea europea / Olive



Lomandra l. 'Breeze' /  
Breeze Mat-Rush



Dianella r. 'Little Rev' /  
Flax Lilly



Chair



Table

**Landscape Points**

Total square footage	8,250.00 sf
Total number of points required for site	10

**Detail of points**

Points Claimed	Reference
5	L-1

Main finish elevation of structure, leading directly to the main pedestrian entrance of the structure, is handicap accessible

Use of Class I or Class II compost produced using City organic materials TOPGRO in a majority of landscaped areas

Water Management Points	
-------------------------	--

Total square footage of site	8,250.00 sf
Total number of points required for site	100

**Detail Of Points**

Points Claimed	
Points 2 per plant 74 plants	148
TOTAL POINTS	148

L-1 & L-2

**TREE LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
☉	*Laurus nobilis	Sweet Bay	15-gal	5	hedge	low 0.3
☉	*Laurus nobilis	Sweet Bay	24"box	3	hedge	low 0.3
☉	*Olea europea	Olive	24"box	2	fruitless	low 0.3
☉	Street tree	Per City req.	36"box	2		low 0.3

**SHRUBS AND GROUND COVER LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
▨	Dianella r. 'Little Rev'	Flax Lilly	5-gal	24"oc		low 0.3
○	*Lomandra l. 'Breeze'	Breeze Mat-Rush	5-gal	31		low 0.3

\* Points claimed for low water use plants

LANDSCAPE AREA: 571 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

**NOTE:**

All groundcover areas where plants are 3' oc or greater to have geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

Waterproofing and drains in planters by others.

All trees to be planted with commercial root barriers.

3" deep shredded Cedar bark to spread between plants.

**Landscape Form items**

Item	Model	Color	Remarks
Trash	Chase Park	Black	surface mount

tel: 800.521.2546



Trash

**EXHIBIT "A"**

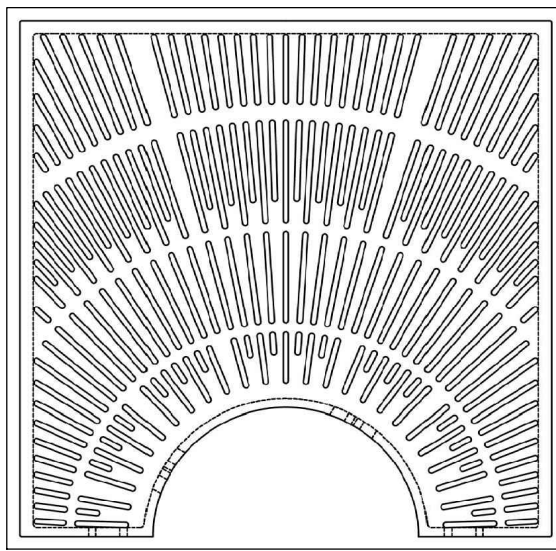
Page No. 31 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA

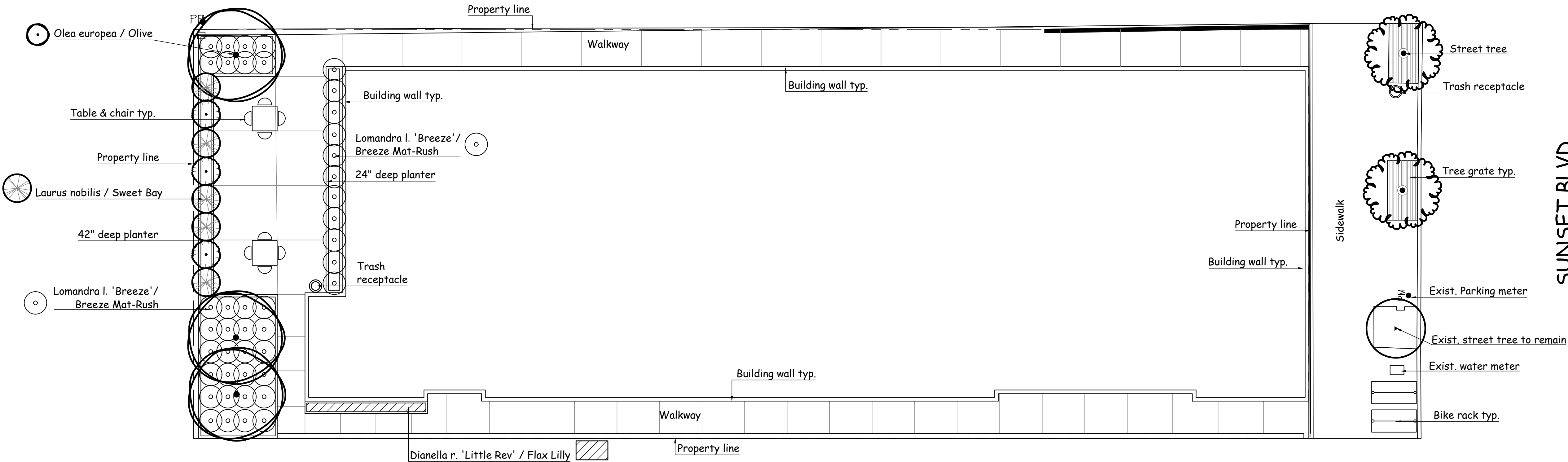
**Neenah Tree Grate**

Modle	Dimension	Color
8815-A	48" x 96"	Black

tel: 920.725.7000



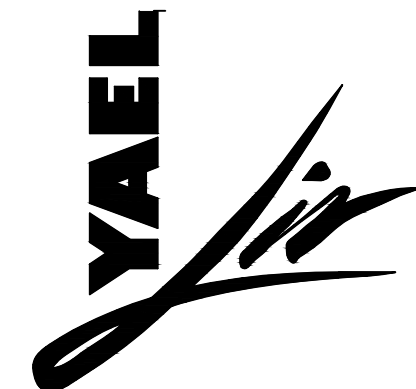
Tree Grate



Legal Description:  
LOT 36,TRACT: TR3469, ARB: NONE, BLOCK: NONE  
ASSESSORS PARCEL NO.: 554401702

0' 2' 4' 8' 16'  
SCALE: 1/8" = 1'-0"

REVISIONS	DATE
1.	2.29.24
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	



ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

571 SUNSET BLVD.  
LOS ANGELES, CA 90018

**FIRST FLOOR  
PLANTING PLAN**



DATE: NOV. 1, 2022  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 231622  
DRAWN BY:



SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊕	* Juncus patens	Ca. Grey Rush	5-gal	17		low 0.3
⊖	* Lavandula x allardii 'Meerlo'	Variegated Allard's Lavender	5-gal	4		low 0.3

\* Points claimed for low water use plants

NOTE:  
Waterproofing and drains in planters by others.  
3" deep shredded Cedar bark to spread between plants.

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Lakeside	Stainless Steel

tel: 800.521.2546

EXHIBIT "A"  
Page No. 32 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



Chair



Trash



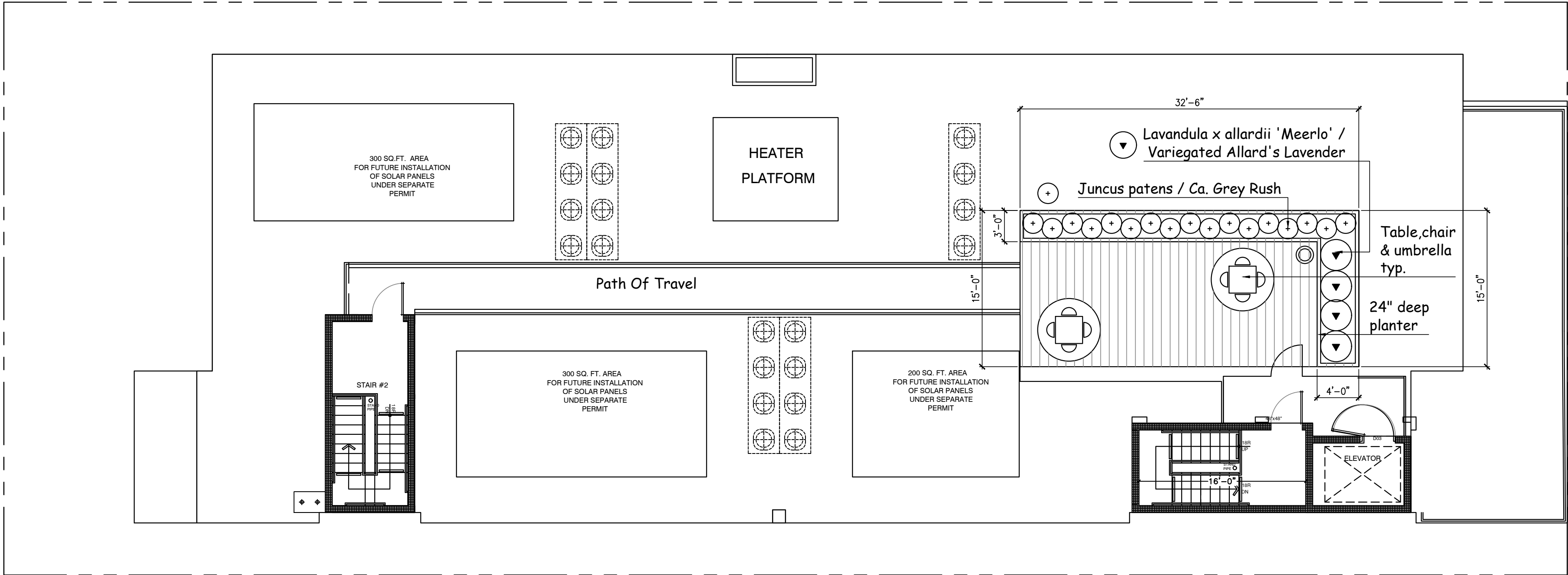
Table



Juncus patens / Ca. Grey Rush



Lavandula x allardii 'Meerlo' /  
Variegated Allard's Lavender



REVISIONS	DATE
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	

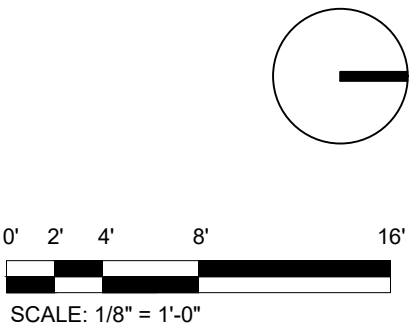
**Yael**  
ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

5271 SUNSET BLVD.  
LOS ANGELES, CA 90018

ROOF  
PLANTING PLAN



DATE: NOV. 1, 2022  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 231622  
DRAWN BY:





ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND					
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.	
'RAINBIRD' RWS-B-1402		10	-	.50	
'SUPERIOR' BRASS CONTROL VALVES, #950		1" 1" 1" W/WYE STRAINER IN CAGE (BFP TO BE PAINTED DARK GREEN) LOCATION BY OWNER LOCATION BY OWNER TWICE LINE SIZE (MIN.) 1" SEE PLAN FOR SIZE 1.5" VERIFY LOCATION ON SITE			
'NIBCO' GATE VALVE T-113					
'CHRISTY' CONCRETE VALVE BOX					
'RAINBIRD' QUICK COUPLER 44 LRC 1"					
'SUPERIOR' 3100 series MASTER VALVE					
'HUNTER' FLOW SENSOR FCT-150 FLOW					
'WILKINS' REGULATOR MODEL 500					
'WILKINS' BACKFLOW PREVENTER 375					
'HUNTER' ACC2					
'HUNTER' SOLAR SYNC WIRELESS					
SLEEVING SCH. 40 P.V.C.					
PRESSURE LINE SCH. 40 P.V.C.					
NON-PRESSURE LINE SCH. 40 P.V.C.					
IRRIGATION METER					
POINT OF CONNECTION					
NETAFIM LEGEND					
'NETAFIM' LVC210075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.			
'NETAFIM' LINE FLUSH VALVE		BURIED 3" BELOW GRADE			
'NETAFIM' TECHLINE CV TLCV4-18025					
NON-PRESSURE 1" SCH. 40 PVC HEADER					

SIZE  
NO. GPM  
H—HYDROZONE

LANDSCAPE AREA: 571 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"  
8/07/2023

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

EXHIBIT "A"

Page No. 33 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA

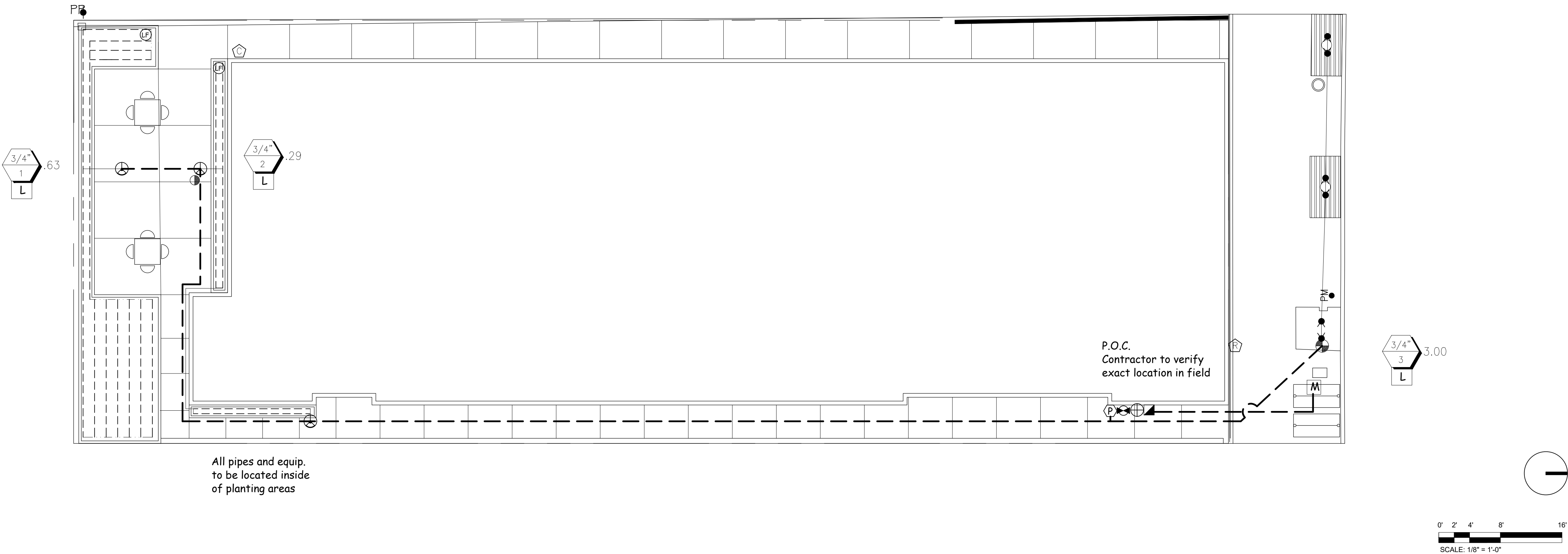
WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET<sub>o</sub>): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	324	119.88	3723
2 / water use plants	.3	DRIP	.81	.37	92	34.04	1057
3 / water use plants	.3	DRIP	.81	.37	10	3.7	114
4 / water use plants	.3	DRIP	.81	.37	145	53.65	1667
				SUM	571	211.27	
				ESTIMATED TOTAL WATER USE (ETWU)			6,561
				MAXIMUM APPLIED WATER ALLOWANCE (MAWA)			9,755

ETAF CALCULATION

ETAF x AREA	211.27
TOTAL AREA	571
AVERAGE ETAF	.37



ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

5271 SUNSET BLVD.  
LOS ANGELES, CA 90018




















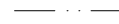
FIRST FLOOR  
IRRIGATION PLAN



DATE: NOV. 1, 2022  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 231622  
DRAWN BY:



ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND					
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.	
'RAINBIRD' RWS-B-1402		10	-	.50	
'SUPERIOR' BRASS CONTROL VALVES, #950		<div>1"</div> <div>1"</div> <div>1"</div> <div>W/WYE STRAINER IN CAGE (BFP TO BE PAINTED DARK GREEN)</div> <div>LOCATION BY OWNER</div> <div>LOCATION BY OWNER</div> <div>TWICE LINE SIZE (MIN.)</div> <div>1"</div> <div>SEE PLAN FOR SIZE</div> <div>1.5"</div> <div>VERIFY LOCATION ON SITE</div>			
'NIBCO' GATE VALVE T-113					
'CHRISTY' CONCRETE VALVE BOX					
'RAINBIRD' QUICK COUPLER 44 LRC 1"					
'SUPERIOR' 3100 series MASTER VALVE					
'HUNTER' FLOW SENSOR FCT-150 FLOW					
'WILKINS' REGULATOR MODEL 500					
'WILKINS' BACKFLOW PREVENTER 375					
'HUNTER' ACC2					
'HUNTER' SOLAR SYNC WIRELESS					
SLEEVING SCH. 40 P.V.C.					
PRESSURE LINE SCH. 40 P.V.C.					
NON-PRESSURE LINE SCH. 40 P.V.C.					
IRRIGATION METER					
POINT OF CONNECTION					
NETAFIM LEGEND					
'NETAFIM' LVC210075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.			
'NETAFIM' LINE FLUSH VALVE					
'NETAFIM' TECHLINE CV TLCV4-18025					
NON-PRESSURE 1" SCH. 40 PVC HEADER		BURIED 3" BELOW GRADE			

SIZE  
NO. GPM

H—HYDROZONE

LANDSCAPE AREA: 571 SF

IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

8/07/2023

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

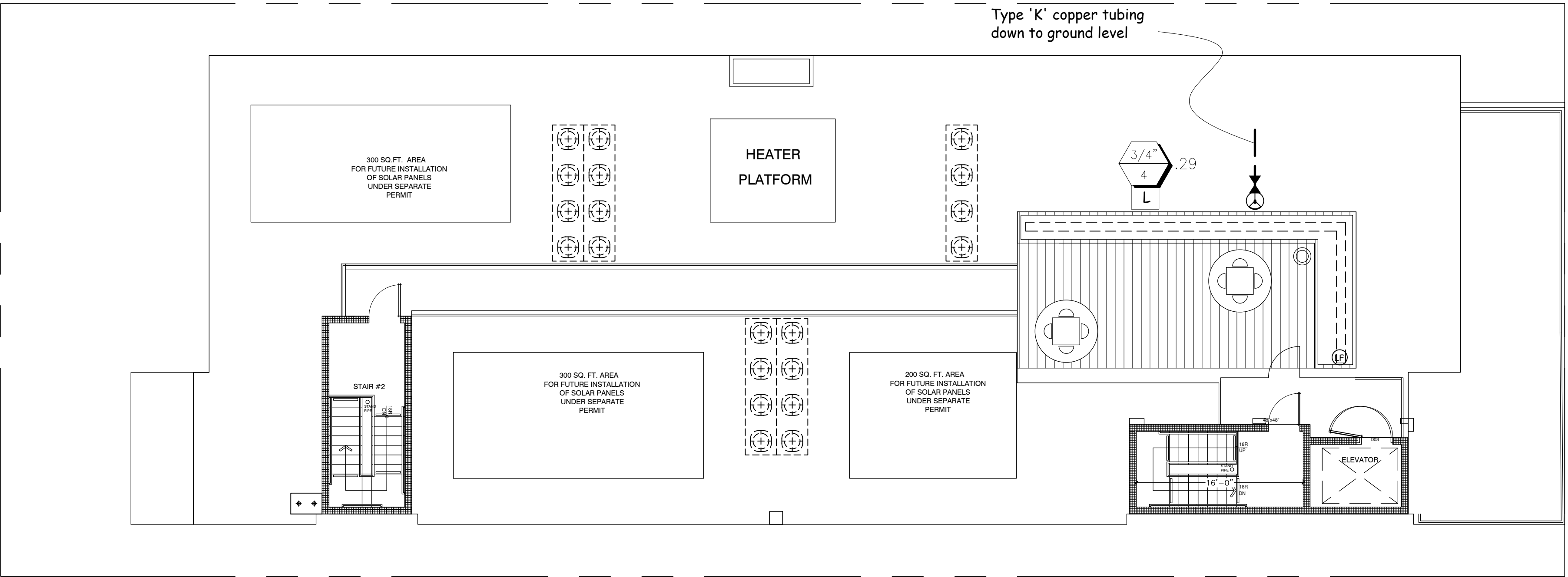
A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

EXHIBIT "A"

Page No. 34 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA



0' 2' 4' 8' 16'

SCALE: 1/8" = 1'-0"

REVISIONS	DATE
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	



ASLA

Yael Lir Landscape Architects

1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

5271 SUNSET BLVD.  
LOS ANGELES, CA 90018

ROOF  
IRRIGATION PLAN



DATE: NOV. 1, 2022

SCALE: 1/8"=1'-0"

JOB NUMBER: 231622

DRAWN BY:

**E – CATEGORICAL EXEMPTION**

**E.1 – NOTICE OF EXEMPTION (ENV-2023-2588-CE)**

**E.2 – CLASS 32 JUSTIFICATIONS (ENV-2023-2588-CE)**

**E – CATEGORICAL EXEMPTION**

**E.1 – NOTICE OF EXEMPTION (ENV-2023-2588-CE)**

COUNTY CLERK'S USE

## CITY OF LOS ANGELES

OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 395  
LOS ANGELES, CALIFORNIA 90012

## CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

DIR-2023-2587-TOC-SPP-HCA

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2023-2588-CE

PROJECT TITLE

5271 West Sunset Boulevard

COUNCIL DISTRICT

13 – Soto-Martinez

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

☐ Map attached.

5271 West Sunset Boulevard (5271-5277 West Sunset Boulevard)

PROJECT DESCRIPTION:

☐ Additional page(s) attached.

The demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area. No grading is proposed.

NAME OF APPLICANT / OWNER:

Michael Eghabli and Farshad Zaghi (Applicant / Owner)

CONTACT PERSON (If different from Applicant/Owner above)

Jordan Beroukhim (Representative)

(AREA CODE) TELEPHONE NUMBER

(310) 435-4593

EXT.

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

## STATE CEQA STATUTE &amp; GUIDELINES

☐ STATUTORY EXEMPTION(S)

Public Resources Code Section(s) \_\_\_\_\_

☒ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)CEQA Guideline Section(s) / Class(es) Section 15332 (Class 32)☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )

JUSTIFICATION FOR PROJECT EXEMPTION:

☒ Additional page(s) attached

**Class 32.** In-fill development meeting the conditions described in CEQA Guidelines 15332: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

## CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Yamillet Brizuela *Yamillet Brizuela*

STAFF TITLE

City Planning Associate

ENTITLEMENTS APPROVED

Transit-Oriented Communities, Project Permit Compliance

DISTRIBUTION: County Clerk, Agency Record

Rev. 6-22-2021

**E – CATEGORICAL EXEMPTION**

**E.2 – CLASS 32 JUSTIFICATIONS (ENV-2023-2588-CE)**





## JUSTIFICATION FOR CATEGORICAL EXEMPTION CASE NO. ENV-2023-2588-CE

The Department of City Planning determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act and the State CEQA Guidelines designate the subject Project as Categorically Exempt under Section 15332 (Class 32), Case No. ENV-2023-2588-CE, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

### **Project Description**

The proposed project includes the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 16,820 square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. The four (4)-story building measures up to 52 feet, three (3) inches in overall height. The project site will include balconies, rooftop deck, 20 residential bicycle parking spaces, and two (2) commercial bicycle spaces. The proposed project will provide zero parking. No grading is proposed. The type of proposed uses and size are not unusual for the vicinity of the subject site and are similar in scope to other existing commercial buildings and residential dwellings in the area. Thus, there are no unusual circumstances that may lead to a significant effect on the environment.

### **CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions**

The City has considered whether the Proposed Project is subject any of the five (5) exceptions that would prohibit the use of a categorical exemption as set forth in State CEQA Guidelines Section 15300.2. There are five (5) Exceptions which must be considered in order to find a project exempt under CEQA: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

**(a) Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

The project is located at 5271 West Sunset Boulevard within the Hollywood Community Plan and Vermont/Western Station Neighborhood Area Plan (SNAP) Subarea B (Mixed Used Boulevards). There are currently eight (8) projects dating back to January 8, 2015, which are either currently filed with the Department of City Planning or have received a Letter of Determination from the Department of City Planning but have yet to receive a Certificate of Occupancy from the Los Angeles Department of Building and Safety (LADBS). As such, there are projects within a quarter-mile of the same type and in the same place as the subject project at the time of filing.

PROJECTS WITHIN A QUARTER-MILE FROM THE SUBJECT SITE			
Address	Case Number	Date Filed	Scope of Work
5520 West Sunset Boulevard	CPC-2015-74-GPA-SP-CUB-SPP-SPR	01/08/2015	New Commercial Building with a parking structure
5525 West Sunset Boulevard	CPC-2019-4639-CU-DB-SPE-SPP-SPR-DD-MCUP-PHP	08/06/2019	New 412-unit mixed-use building
1525 North Hobart Boulevard	DIR-2017-1835-DB-SPP	05/08/2017	New 21-unit residential building
1553-1555 North Kingsley Drive	DIR-2019-906-SPP	02/13/2019	New 4-unit residential building
1615 #1-4 North Winona Boulevard	DIR-2020-4097-SPP-HCA	07/10/2020	New 2-unit residential building
5314 – 5322 West Sunset Boulevard	DIR-2023-6077-SPP	09/07/2023	New 3-story commercial building
1559 North Harvard Boulevard	DIR-2023-6714-TOC-SPP-HCA	10/10/2023	New 7-unit residential building with 1 ADU
5420 West Sunset Boulevard	ZA-2017-1083-MCUP-SPP-SPR	03/14/2017	New 735-unit residential building

According to SCAQMD, individual construction projects that do not exceed the SCAQMD's recommended daily thresholds for project-specific impacts would not cause a cumulatively considerable increase in emissions for those pollutants for which the Air Basin is in non-attainment. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. Construction-related daily emissions at the project site would not exceed SCAQMD's regional or localized significance thresholds. In addition, an Air Quality Technical Report prepared by CAJA Environmental Services, LLC on September 2023 concluded that any cumulative impacts would be less than significant. Therefore, the project's contribution to cumulative construction-related regional emissions would not be cumulatively considerable and therefore would be less than significant. Construction of the project also would have a less-than-significant impact with regard to localized emissions.

As noise is a localized phenomenon and decreases in magnitude as the distance from the source increases, only projects and ambient growth in the nearby area could combine with the proposed project to result in cumulatively considerable noise impacts. These above-noted projects will begin construction and end construction at different timelines, with minor overlap between projects. A Noise Technical Report, prepared by CAJA Environmental Services, LLC on September 2023 concluded that any cumulative impacts would be less than significant. Thus, the construction of these known projects will be staggered and therefore do not have the potential to cumulatively contribute to air quality, construction traffic, and noise levels.

- (b) Significant Effect.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

As mentioned, the proposed project includes the demolition of a two (2)-story, four (4)-unit apartment building and accessory structure and the construction, use, and maintenance of a four (4)-story, 17,273-square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of commercial floor area. The project proposes a FAR of 2.1:1 which is within the maximum 2.1:1 FAR otherwise permitted by Subarea B of the SNAP. The proposed project will be a four (4)-story mixed-use building in an area that is currently developed with residential and commercial buildings that range in height from one (1)- to four (4)-stories. Thus, there are no unusual circumstances that may lead to a significant effect on the environment.

- (c) Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

As it relates to development along a Scenic Highway, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. State Route 27 is located approximately 16 miles to the west of the subject property. Therefore, the subject site will not create any impacts within a designated state scenic highway.

- (d) Hazardous Waste.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.*

In regards to Hazardous Waste sites, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site nor any site in the vicinity, is identified as a hazardous waste site. As such, the project would not be developed on a site identified as a hazardous site pursuant to Section 65962.5 of the Government Code.

- (e) Historic Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. The Department of City Planning, Office of Historic Resources confirmed that the existing single-family dwelling and detached garage are not considered historic resources for the purposes of CEQA per an email dated February 5, 2024.



## **CEQA Determination – Class 32 Categorical Exemption Applies**

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the conditions as follows: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services.

**(a) The project is consistent with applicable general plan designation, applicable policies, and applicable zoning designations.**

The subject site is located within the Hollywood Community Plan and the Vermont-Western Station Neighborhood Area Plan (SNAP) Specific Plan. The site is zoned C2-1D and has a General Plan Land Use Designation of Highway Oriented Commercial. As shown in the case file, the project is consistent with the applicable Hollywood Community Plan designation and policies and all applicable zoning designations and regulations.

**(b) The proposed development occurs within city limits on a project site no more than five acres substantially surrounded by urban uses.**

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.19 acres. The surrounding area is characterized by level topography, improved streets, and commercial and residential uses. The surrounding area is characterized by level topography and improved streets. Properties to the west and east are zoned C2-1D, located within Subarea B (Mixed-Use Boulevards) of the Vermont/Western SNAP Specific Plan, and developed with commercial buildings. The property to the south, across Sunset Boulevard, is zoned C2-1D, located within Subarea B of the Vermont/Western SNAP Specific Plan, and developed with a commercial building and surface parking lot. Lastly, the property to the north is zoned R3-1XL, located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP Specific Plan and developed with a residential building.

**(c) The project has no value as a habitat for endangered species, rare, or threatened species.**

The site was previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare, or threatened species. Moreover, a Tree Disclosure statement, prepared by the Owner and dated April 17, 2023, declared there are no protected trees or shrubs on-site.

**(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations, and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water.

A Noise Technical Report, prepared by CAJA Environmental Services, LLC, on September 2023 concluded that any cumulative impacts would be less than significant. Furthermore, the City of Los Angeles Vehicle Miles Traveled (VMT) Calculator resulted in the proposed project having a net increase of 76 daily vehicle trips and a net increase of 495 daily VMT. Based on

the VMT Calculator, the project is not required to perform VMT analysis under the VMT standards.

Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. In addition, an Air Quality Technical Report was prepared in September 2023 by CAJA Environmental Services, LLC which concluded that the construction and operation of the proposed project would result in no significant impact. Therefore, the project would not result in any significant effects related to traffic, noise, air quality, or water quality.

**(e) The proposed project has been reviewed by City staff and can be adequately served by all required utilities and public services.**

The project site will be adequately served by all public utilities and services given that the construction of a residential building will be on a site that has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32. As the project has been found to be categorically exempt from CEQA, the project is not anticipated to have a negative effect on the environment and no mitigation measures are required.

**F – Los Angeles Housing Department's Replacement Unit  
Determination Letter dated September 19, 2022.**



Ann Sewill, General Manager  
Tricia Keane, Executive Officer

Daniel Huynh, Assistant General Manager  
Anna E. Ortega, Assistant General Manager  
Luz C. Santiago, Assistant General Manager

City of Los Angeles



Eric Garcetti, Mayor

LOS ANGELES HOUSING DEPARTMENT

1200 West 7th Street, 9th Floor  
Los Angeles, CA 90017  
Tel: 213.928.9071

housing.lacity.org

DATE: September 19, 2022

TO: Michael Eghbali, a Married Man, as his sole and separate property, as to an undivided 80% interest and Farshad Zaghi, a Married Man, as his sole and separate property, as to an undivided 20% interest, Owner

FROM: Marites Cunanan, Senior Management Analyst II   
Los Angeles Housing Department

Digitally signed by MARITES  
CUNANAN  
Date: 2022.09.19 11:06:37 -07'00'

SUBJECT: **Housing Crisis Act of 2019 (SB 8)  
(TOC) Replacement Unit Determination  
RE: 5271 – 5277 West Sunset Boulevard, Los Angeles, CA 90027**

Based on the SB 8 Application for a Replacement Unit Determination (RUD) submitted by Michael Eghbali, a Married Man, as his sole and separate property, as to an undivided 80% interest and Farshad Zaghi, a Married Man, as his sole and separate property, as to an undivided 20% interest (Owner) for the property located at 5271 – 5277 W. Sunset Blvd. (APN 5544-017-021, Lot 36) (Property), the Los Angeles Housing Department (LAHD) has made the following determination in regards to the above-referenced application. Four (4) units exists/existed on the property within the last five (5) years. Four (4) Rent Stabilization Ordinance (RSO) units are subject to replacement pursuant to the requirements of California Government Code Section 66300, as "protected units" with four (4) of the four (4) units, subject to replacement as affordable "protected units".

**PROJECT SITE REQUIREMENTS:**

The Housing Crisis Act of 2019, as amended by SB 8 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed housing development project ("Project") on a site ("Property") that will require demolition of existing dwelling units or occupied or vacant "Protected Units" unless the Project replaces those units as specified below. The replacement requirements below apply to the following projects:

- Discretionary Housing Development Projects that receive a final approval from Los Angeles City Planning (LACP) on or after January 1, 2022,
- Ministerial On-Menu Density Bonus, SB 35 and AB 2162 Housing Development Projects that submit an application to LACP on or after January 1, 2022, and
- Ministerial Housing Development Projects that submit a complete set of plans to the Los Angeles Department of Building & Safety (LADBS) for Plan Check and permit on or after January 1, 2022.

**Replacement of Existing Dwelling Units**

The Project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the Property within the past 5 years.

**Replacement of Existing or Demolished Protected Units**

The Project must also replace all existing or demolished "Protected Units". Protected Units are those residential dwelling units on the Property that are, or were, within the 5 years prior to the owner's application for a SB 8 Replacement Unit Determination (SB 8 RUD): (1) subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, (2) subject to any form of rent or price control through a public entity's valid exercise of its police power within the 5 past years (3) occupied by lower or very low income households (an affordable Protected Unit), or (4) that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the INCOME level of the occupants (i.e. W-2 forms, tax return, pay stubs, etc.). The Los Angeles Housing Department (LAHD) will send requests for information to each occupant of the existing project. Requests for information can take two (2) or more weeks to be returned. It is the owner's responsibility to work with the occupants to ensure that the requested information is timely produced.

- ***In the absence of occupant income documentation:*** Affordability will default to the percentage of extremely low, very low or low income renters in the jurisdiction as shown in the latest HUD Comprehensive Housing Affordability Strategy (CHAS) database, which as of October 1, 2021, is at 28% extremely low income, 18% very low income and 18% low income for Transit Oriented Communities (TOC) projects and 46% very low income and 18% low income for Density Bonus projects. In the absence of specific entitlements, the affordability will default to 46% very low income and 18% low income. The remaining 36% of the units are presumed above-low income. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

**Replacement of Protected Units Subject to the Rent Stabilization Ordinance (RSO), Last Occupied by Persons or Families at Moderate Income or Above**

The City has the option to require that the Project provide: (1) replacement units affordable to low income households for a period of 55 years (rental units subject to a recorded covenant), OR (2) require the units to be replaced in compliance with the RSO.

**Relocation, Right to Return, Right to Remain:**

All occupants of Protected Units (as defined in California Government Code Section 66300(d)(2)(F)(vi)) being displaced by the Project have the right to remain in their units until six (6) months before the start of construction activities with proper notice subject to Chapter 16 (Relocation Assistance) of Division 7, Title I of the California Government Code ("Chapter 16"). However, all **Lower Income Household** (as defined in California Health and Safety Code Section 50079.5) occupants of Protected Units are **also** entitled to: (a) Relocation benefits also subject to Chapter 16, and (b) the right of first refusal ("Right to Return") to a comparable unit (same bedroom type) at the completed Project. If at the time of lease up or sale (if applicable) of a comparable unit, a returning occupant remains income eligible for an "affordable rent" (as defined in California Health and Safety Code Section 50053) or if for sale, an "affordable housing cost" (as defined in California Health and Safety Code Section 50052.5), owner must also provide the comparable unit at the "affordable rent" or "affordable housing cost", as applicable. This provision does not apply to: (1) a Project that consists of a Single Family Dwelling Unit on a site where a Single Family Dwelling unit is demolished, and (2) a Project that consists of 100% lower income units except Manager's Unit.

**THE PROPOSED HOUSING DEVELOPMENT PROJECT:**

Per the statement received by LAHD on June 28, 2022, the Owner plans to demolish the existing four (4)-unit building and construct a new nineteen (19)-unit project on the Property pursuant to additional incentives from the Department of City Planning (DCP) under Transit Oriented Communities (TOC) Guidelines.

**PROPERTY STATUS (AKA THE "PROJECT SITE"):**

Owner submitted an Application for a RUD for the Property on June 28, 2022. In order to comply with the required **five (5)-year** lookback period, LAHD collected and reviewed data from June 2017 to June 2022.

**Review of Documents:**

Pursuant to the Grant Deed, the Owner acquired the Property on January 21, 2022.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database, indicates a use code of "0400 - Residential - Four Units (Any Combination)" for the Property (APN 5544-017-021, Lot 36).

Google Earth, Google Street View, and an Internet Search confirm that the Property contains a two (2)-story apartment building that supports four (4) residential dwellings.

The Los Angeles Department of Building and Safety (LADBS) database indicates that the Owner has not applied for a Demolition Permit or a Building Permit Application.

#### **REPLACEMENT UNIT DETERMINATION:**

The Existing Residential Dwelling Units at the Property within the last five (5) years:

ADDRESS	BEDROOM TYPE	"PROTECTED?"	BASIS OF "PROTECTED" STATUS
5271 W. Sunset Blvd.	2 Bedrooms	Yes	RSO Unit
5273 W. Sunset Blvd.	2 Bedrooms	Yes	RSO Unit
5275 W. Sunset Blvd.	2 Bedrooms	Yes	RSO Unit
5277 W. Sunset Blvd.	2 Bedrooms	Yes	RSO Unit
<b>Total: 4 Units</b>			

On July 26, 2022, tenant letter packages were sent to all four (4) units on the Property most commonly known as 5271 – 5277 W. Sunset Blvd.

On August 8, 2022, the tenant's statement for 5273 W. Sunset Blvd. were received along with the requested tax returns, pay stubs, and lease agreement verifying income and residency at the address starting at least in June 2021. Research and submitted documents show that there are tenants residing in 5273 W. Sunset Blvd. After reviewing the documents, LAHD has determined that 5273 W. Sunset Blvd. is considered a Low Income affordable unit within the five (5)-year lookback period.

On August 10, 2022, the tenant's statement for 5275 W. Sunset Blvd. were received along with the requested tax returns, pay stubs, and lease verifying income and residency at the address at least since 2017. Research and submitted documents show that there are tenants residing in 5275 W. Sunset Blvd. After reviewing the documents, LAHD has determined that 5275 W. Sunset Blvd. is considered an Extremely Low Income affordable unit within the five (5)-year lookback period.

No income documents were provided for the remaining units. Pursuant to (SB 8), where incomes of existing or former tenants are unknown, the required percentage of affordability is determined by the percentage of extremely low, very low, and low income rents in the jurisdiction as shown in the HUD Comprehensive Housing Affordability Strategy (CHAS) database. At present, the Comprehensive Housing Affordability Strategy (CHAS) database shows 28% extremely low income, 18% very low income and 18% low income for Transit Oriented Communities (TOC) projects and 46% very low income and 18% low income for Density Bonus projects. The remaining 36% of the units are presumed above-low income.

<b>Number of Existing Protected Units within five (5) years of Owner's application:</b>		4
<b>Number of Protected Units Ellised within the last (10) years:</b>		0
<b>Number of Affordable Replacement Units required per CHAS:</b>		2
2 Units x 64%	2 Units	
28% Extremely Low	1 Unit	
18% Very Low	1 Unit	
18% Low	0 Unit	
Market Rate RSO units	0 Unit	
<b>Number of Affordable Replacement Units per tenant income verification (Low Income):</b>		1
<b>5273 W. Sunset Blvd.</b>		
<b>Number of Affordable Replacement Units per tenant income verification (Extremely Low Income):</b>		1
<b>5275 W. Sunset Blvd.</b>		
<b>Number of Unit(s) presumed to be above-lower income subject to replacement:</b>		0



**For Rental:**

Income verification documents were provided for two (2) units at the Property. The unit at 5273 W. Sunset Blvd. was verified to be a Low Income affordable unit within the last five (5) years, and the unit at 5275 W. Sunset Blvd. was verified to be an Extremely Low Income affordable unit within the last five (5) years. Per income verification, two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households and one (1) unit restricted to Low Income Households.

No income documents were provided for remaining two (2) units. Pursuant to CHAS, two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households and one (1) unit restricted to Very Low Income Households.

**Vacancy/Occupancy of Units:**

Per the Owner's statement, all four (4) units were occupied at the time of the application. No income documents were provided for the two (2) unit(s) located at 5271 W. Sunset Blvd. and 5277 W. Sunset Blvd., therefore LAHD cannot verify that those units are currently occupied by a lower-income household.

Unless tenant income verification documents prove the unit(s) was/were occupied by a lower income or below lower income household(s) at the time of application, the bedroom size of the existing units and the proportionality of the bedroom sizes of the new units, whichever is more restrictive will be considered to determine the bedroom types of the replacement units.

Please note that all the new units may be subject to RSO requirements unless the RSO is not applicable, or an RSO Exemption is filed and approved by the RSO Section. This determination is provisional and subject to verification by the RSO Section.

This RUD only applies if the proposed project is a rental TOC project and NOT condominiums. In the event the project changes to condominiums, the owner needs to request a RUD amendment to reflect 100% replacement of the units. In addition, if the project is changed from TOC to Density Bonus, a RUD amendment will also be required.

**NOTE: This determination is provisional and is subject to verification by LAHD's Rent Division.**

If you have any questions about this RUD, please contact Jessica Wang at [jessica.wang@lacity.org](mailto:jessica.wang@lacity.org).

cc: Los Angeles Housing Department File  
Planning.PARP@lacity.org, Department of City Planning for discretionary projects, or  
LADBS.ahs@lacity.org, Department of Building and Safety for by-right projects

MAC:jw

**G – Email exchange between Project Planning Staff and the Office of  
Historic Resources, dated January 30, 2024 – February 5, 2024.**



Yamillet Brizuela <yamillet.brizuela@lacity.org>

## DIR-2023-2587-TOC-SPP-HCA / ENV-2023-2588-CE : 5271 W. Sunset Boulevard

2 messages

Yamillet Brizuela <yamillet.brizuela@lacity.org>  
To: Planning Ohr <planning.ohr@lacity.org>

Tue, Jan 30, 2024 at 1:25 PM

Hello,

I'm reviewing Case No. DIR-2023-2587-TOC-SPP-HCA which is for the demolition consisting of four (4)-unit, two (2)- story building and one (1) accessory structure; and the construction, use, and maintenance of a four (4)-story, **16,703** square-foot mixed-use building, consisting of 19 dwelling units and 570 square feet of general retail floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan at 5271 West Sunset Blvd. The applicants are requesting to demolish buildings that were constructed in 1920 according to the Assessor's information. The CEQA clearance is proposed as a CE (Class 32) and I just wanted to confirm that there would be no CEQA impacts as it relates to historic resources. This property is not listed in HistoricPlaces LA nor in Survey LA individual resources reports. Could you confirm whether an HRA is needed for purposes of CEQA?

Attached are the proposed architectural plans. Please let me know if you need additional information.

Thank you,



Yamillet Brizuela, AICP  
City Planning Associate  
Los Angeles City Planning

200 N. Spring St., Room 621  
Los Angeles, CA 90012

T: (213) 202-5620 | Planning4LA.org



5271 SUNSET 01 20 2024.pdf  
25528K

Planning Ohr <planning.ohr@lacity.org>  
To: Yamillet Brizuela <yamillet.brizuela@lacity.org>  
Cc: Rafael Fontes <rafael.fontes@lacity.org>

Mon, Feb 5, 2024 at 10:42 AM

Hello Yamillet,

Pardon the delayed follow up here. Just confirming that you're correct with respect to the CE. While the building at [5271 W. Sunset Boulevard](#) is older, it is not a historic resource and we would not require an HRA from the applicant here.

Please let us know if you need anything additional from us, and thank you.

Best,  
Rafael

[Quoted text hidden]



Office of Historic Resources  
Los Angeles City Planning

221 N. Figueroa St., Suite 1350  
Los Angeles, CA 90012

T: (213) 847-3676 | Planning4LA.org

