

DEPARTMENT OF CITY PLANNING APPEAL RECOMMENDATION REPORT

West Los Angeles Area Planning Commission

Date: May 21, 2025 After 4:30 p.m.* Time:

Felicia Mahood Multipurpose Center Place:

> 11338 W Santa Monica Blvd Los Angeles, CA 90025

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apcwestla@lacity.org.

DIR-2024-4409-DRB-SPPC-Case No.:

COA-1A

CEQA No.: ENV-2024-4410-CE

Related Cases: None

Council No.: 5 - Yaroslavsky Plan Area: Westwood

Specific Plan: Westwood Village Specific

Plan: Westwood Community

Design Review Board;

North Westwood Certified NC:

GPLU: Community Commercial

C4-2D-O Zone:

Steven Sann Appellant:

Applicant: Kristen Roberts

Raising Cane's

Representative: Sara Houghton

ThreeSixty

Public Hearing: Required

Appeal Status: Not further appealable under LAMC

May 29, 2025 **Expiration Date:**

Multiple Approval: Yes

10942 - 10946 West Weyburn Avenue & 1008 South Broxton Avenue PROJECT

LOCATION:

PROPOSED Project Compliance Review, Design Review, and Certificate of Appropriateness for a façade PROJECT: remodel and rehabilitation resulting in a consolidated retail corner suite with new windows,

entryways, awnings, lighting, and an open-air patio and the change of use from retail to

restaurant.

REQUESTED

Appeal of the Director of Planning's Conditional Approval of a Project Compliance Review, ACTION:

Design Review, and Certificate of Appropriateness pursuant to Los Angeles Municipal Code

Sections 13B.4.3 and 13B.8.5 of Chapter 1A.

RECOMMENDED ACTIONS:

1. **DETERMINE**, based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Sections 15301 (Class 1) and 15331 (Class 31), and that there is no substantial evidence demonstrating that an exception to a Categorical Exemption pursuant to CEQA Guidelines Section 15300.2 applies;

2. **DENY in part and GRANT in part** the appeal to correct typographical errors;

- 3. **SUSTAIN** the Director's Determination to conditionally approve a Project Compliance Review, Design Review, and Certificate of Appropriateness.
- 4. **ADOPT** the modified Conditions of Approval and Findings.

VINCENT P. BERTONI, AICP Director of Planning

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PROJECT ANALYSIS

PROJECT SUMMARY

The project involves the remodel and rehabilitation of a multi-tenant retail façade resulting in a consolidated retail corner suite with new windows, entryways, awnings, lighting, and an open-air patio and the change of use from retail to restaurant. Exterior work includes: new storefront systems, new steel awnings, the uncovering of original vent windows, new bi-folding aluminum windows and doors, and the restoration of historic transom windows in the corner space; restoration of original wrought ironwork on the corner pavilion and new rooftop mechanical equipment and equipment screen.

BACKGROUND

The proposed project pertains to a one- and two- story, multi-tenant commercial building. It involves the consolidation of five (5) separate tenant spaces, a façade remodel, and the change of use to establish a new take-out and dine-in fast-food restaurant use in the resulting commercial tenant space. The exterior scope of work includes the installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bifolding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen for a new restaurant (Raising Cane's).

The project site is in a designated Locally Significant Cultural Resource (No. 45, Stan's Donuts) per the Westwood Village Specific Plan, which states that, "no Cultural Resources in the Specific Plan Area shall be demolished, relocated, significantly altered or removed unless a Certificate of Appropriateness has been approved by the designated decision-maker in accordance with the standards and procedures set forth in Sections 12.20.3 K, N, O, P and Q of the Los Angeles Municipal Code. A *Cultural Resource Documentation Report* (November 30, 1985) was prepared by Johnson Heumann Research Associates for Gruen Associates as part of the Westwood Village Specific Plan Study. The study was conducted in preparation for the adoption of the Westwood Village Specific Plan. This report, which predates the adoption of the Specific Plan in 1989, describes the structure's Mediterranean-influenced design as well as the mission tile hipped roof along the Broxton façade and tile edged parapets along the Weyburn frontage.

The most recent case associated with the portion of the subject site was approved in January of 2024; it was a prior iteration of the current proposal. The property owner has since acquired an additional tenant suite at the corner of the subject property and has elected to pursue additional entitlements for the ensuing façade changes.

The applicant submitted a Cultural Resource Report dated October 2024 prepared by John LoCascio, licensed architect, of Historic Resources Group. The report corroborated the proposed project's compliance with the Secretary of the Interior's Standards for Rehabilitation and found that the proposed project would not have any potential impacts on the significance of the resource. The Office of Historic Resources reviewed the proposed project and COA Findings and recommended that the report be adopted, and a Certificate of Appropriateness be granted for the proposed project.

Westwood Community Design Review Board

The project was first presented to the Design Review Board (DRB) for Preliminary Review at a public hearing on August 21, 2024, where the Board members provided preliminary feedback on the originally proposed design. The project was then redesigned according to feedback received during the Preliminary Review and presented for Final Review at the November 20, 2024, hearing, where a quorum of four (4) Board Members voted to continue the project to the December 4, 2024, meeting. The Board failed to meet quorum on December 4th and the applicant subsequently agreed to reconvene at the regularly scheduled December 18, 2024, meeting; the hearing was re-noticed accordingly. At the second Final Review on December 18, 2024, the project representative made a brief presentation to the Board detailing the changes made in response to comments during the First Final Review. Five (5) members of the public provided comment, and Board Members asked questions. The Board voted four (4) to two (2) to recommend approval of the project with conditions regarding the color of a singular door and the material of the equipment screen.

Director's Determination

On January 23, 2025, the Director of Planning issued a Determination Letter to conditionally approve a Project Compliance Review, Design Review, and Certificate of Appropriateness for the proposed project and incorporated conditions recommended by the Westwood Community DRB.

On January 30, 2025, the applicant's representative alerted City Planning staff that Condition of Approval No. 5 of the Director's Determination lists an incorrect material for rooftop screening equipment, as well as a typo in the subsequent Design Review Criteria condition. Specifically, the Design Review Criteria Conditions shall be corrected to accurately reflect the recommendations from the December 18, 2024, vote of the Westwood Community Design Review Board.

On February 7, 2025, an appeal was filed for the decision, in a timely manner. The appeal of the Director of Planning's Conditioned Approval of DIR-2024-4409-DRB-SPP-COA contends that:

APPEAL ANALYSIS

Below is a summary of the appeal points relevant to the Director of Planning's determination and staff's response.

<u>APPEAL POINTS AND STAFF RESPONSES</u>

<u>Appeal Point No. 1.</u> The Appellant contends the Westwood Community DRB did not make the required findings for the issuance of the Certificate of Appropriateness and provides the following discussion:

I attended every single public hearing in their entirety, including both preliminary and final hearings, conducted by the Westwood Design Review Board (DRB), including the final meeting held on December 18, 2024, when the Board, by the BARE MINIMUM VOTE of 4 in favor and 2 opposed, ostensibly acted to recommend the project to the Director of Planning for approval.

However, the Board FAILED COMPLETELY to analyze the project and make the LEGALLY REQUIRED FINDINGS as enumerated in the Los Angeles Municipal Code, the Westwood Village Specific Plan, including the 10 mandatory findings required for the issuance of a COA. A vote was taken, the required findings were not made and ignored and were only INSERTED into the Letter of Determination by staff, using boilerplate language found in nearly every other LOD.

Further, the legal standard to make the required findings is based on SUBSTANTIAL EVIDENCE IN THE RECORD. In fact, there was NOT substantial evidence in the record, and in certain cases there was NO EVIDENCE IN THE RECORD whatsoever.

Staff Response:

The Rules and Operating Procedures of the Westwood Community Design Review Board are adopted pursuant to the authority set forth in Charter Section 506 to assist the Board in conducting City business consistent with the law. The adopted Rules and Procedures of the Board defines a "Board Action" as a decision adopted by a simple majority of the Board (four votes on a seven-member Board). On December 18, 2024, the Board convened with a quorum of six members out of seven, where a duly noticed public hearing was held in accordance with the notification requirements of LAMC Chapter 1A Section 13B.4.3.C.The Board Action was a recommendation for approval (moved by James Grant, seconded by Bob Mirdamadi), passed by a vote of 4-2 with James Grant, Bob Mirdamadi, Gene Fong, and Alex Wuo in favor and Kathryn Welch-Howe and Raun Thorp opposed. The vote was recorded and submitted to the file (see Exhibit B), signed by Board Chair James Grant on December 26, 2024, in accordance with the Rules and Operating Procedures Section 6.0, and as required by Section 13B.4.3.D.4. of Chapter 1A of the Los Angeles Municipal Code.

Substantial evidence to support the DRB recommendation and Director's Determination for approval was provided by the applicant from a third-party historic consultant. The approved design seen in Exhibit B was referenced in an updated Cultural Resource Report dated October 2024 prepared by John LoCasio, a licensed architect with Historic Resources Group, (Exhibit D), which concludes that the proposed project is in conformance with the US Secretary of the Interior Standards for Rehabilitation of Historic Properties. This report was submitted to staff on October 23, 2024, reviewed and corroborated by the Senior Architect of the department's Office of Historic Resources in an email statement dated October 30, 2024. This report was subsequently uploaded to a public Google Drive folder for reference by the Design Review Board and the public in advance of the November 20, 2024, meeting. The report has since remained available to the board members and public.

Appeal Point No. 2. The Appellant contends the following:

I note further that the two NO votes were the TWO leading experts on the DRB with vast knowledge and full understanding of the REQUIREMENTS of the Secretary of the Interior's Standards. One of these two DRB members is the former President of the Los Angeles Conservancy Board of Directors, and a current Board member of the National Trust for Historic Preservation. This Board member stated repeatedly that the project as proposed FAILED utterly to meet the required standards for approval.

The other DRB member who also voted NO on the project is a longtime member of a Historic Preservation Overlay Zone (HPOZ) Board in the city of Los Angeles. As such, she is also highly experienced in CORRECTLY applying the Secretary of the Interior Standards. She also voted no, stating that the project as proposed, especially the treatment of the corner, FAILED to meet the legally required standards...

To put it simply, the DRB, by a BARE MAJORITY VOTE of 4-2 simply "approved the project" without making the required findings by the DRB members, and absent substantial evidence in the record.

This is not permitted, and is a violation of the LAMC, the California Environmental Quality Act (CEQA), and established Planning Department policies, practices, and procedures.

Staff Response:

As stated in Staff's Response to Appeal Point No. 1 above, the Design Review Board, in its capacity as the decision maker for the Certificate of Appropriateness, voted to approve the project in accordance with the Westwood Village Specific Plan Section 6.C. Thereafter, a Director's Determination was issued on January 23, 2025, where the project was approved and conditioned to conform with the Secretary of the Interior's Standards for Rehabilitation. The Director's Determination makes the required Findings in the affirmative that the project: 1) complies with the Standards for Rehabilitation approved by the United States Secretary of the Interior, and 2) protects and preserves the historic and architectural qualities and the physical characteristics which make the building a Contributing Element of the Preservation Zone [Westwood Village].

The Westwood DRB acted by a vote of the simple majority with a quorum of members present to recommend approval of the project with conditions, as detailed in the DRB Recommendation (Exhibit B) signed by the Board Chair on December 26, 2025, consistent with the requirements of LAMC Chapter 1A Section 13B.4.3. and the adopted Westwood Community Design Review Board Rules and Operating Procedures. The required findings for approval, supported by the Cultural Resource Report prepared by a third-party historic consultant (Exhibit D), were made in the Director's Determination dated January 23, 2025. As such, the appellant's contention that both staff and the Design Review Board failed to make the required findings is inaccurate.

Appeal Point No. 3. The Appellant contends the following:

Specifically, I wish to bring to your attention (1.) several MANDATORY FINDINGS enumerated below that must be made to approve this project; and (2.) to request that the proposed project be APPROVED WITH THE FOLLOWING CONDITIONS BELOW.

Note that the CORNER portion of this 1938 Villa Mart building at Broxton and Weyburn Avenues is expressly called out as a "Character-defining feature" under the Secretary of the Interior's Standards for Rehabilitation, in the 1985 Historic Resources Report relied upon by the Planning Department and City Council in originally adopting the Westwood Village Specific Plan: ...

By allowing the most significant character-defining feature of the building – the anchor corner element – to be essentially obliterated with missing windows and doors (replaced by inauthentic "folding plate windows and folding plate doors") this is a SIGNFICANT ALTERATION OF A KEY SPACIAL RELATIONSHIP, expressly prohibited by mandatory findings numbered 1, 2, and 3.

Staff Response:

The appellant contends that the installation of operable bi-fold windows prejudices the character defining features of Locally Significant Cultural Resource No. 45 (Stan's Donuts), as designated by the Westwood Village Specific Plan. The subject property is not a designated Historic Cultural Monument (HCM). The designation of the subject site as a Locally Significant Cultural Resource is rooted in a *Cultural Resource Documentation Report* (Exhibit D) for Westwood Village prepared by Gruen & Associates in 1985, in advance of the Specific Plan which was adopted in 1989. This report does not cite windows as a character defining feature of the resource. Rather, the report asserts that "despite its many changes, the building does suggest the themes which were historically identified with Westwood Village", acknowledging the following character defining features:

- 1. Reinforced brick and concrete material
- 2. mission tile hipped roof,
- 3. parapet edged with tile caps,

- 4. angled bay with simulated rusticated façade,
- 5. ornamental ironwork, and
- altered storefronts.

The applicant, Raising Cane's, seeks to provide an indoor-outdoor dining experience in conjunction with a quick-service restaurant on a site where constraints in the public right-of-way make outdoor al-fresco dining unviable. In response to feedback from the Westwood Design Review Board as well as the public, the approved project plans (Exhibit B) feature operable bifold doors within the existing historically altered window openings of the angled corner bay. The provision of operable bi-fold windows within the existing openings allows for an open-air dining experience during business hours with the option for the windows to remain fixed and closed outside of business hours or during inclement weather. The change of use to allow for open-air dining is consistent with the historic use(s) at the subject site, one of which included the historic open-air market Villa Mart. Further, the vertical bi-fold function of the proposed windows creates awning-like coverings while in use; the Locally Significant Cultural Resource previously used awnings in a similar manner, as supported by historic photos included in the Appendix of the Cultural Resource Report dated October 2024 (Exhibit D).

On March 20, 2025, the applicant's historic consultant, Historic Resources Group, submitted a Memo in response to the appellant claims (Exhibit D), clarifying the parameters of rehabilitation and restoration of historic properties as outlined by the National Park Service:

According to guidance from the National Park Service (US Secretary of the Interior), the accommodation of change to make possible an efficient new use of a historic building is basic to the process of rehabilitation and distinguishes it from restoration. The US Secretary of the Interior Standards do not contain requirements that missing or damaged historic features be restored; notwithstanding, the proposed project involves the restoration of the historic transom windows and ornamental ironwork that are original to the building. The Guidelines for Rehabilitating Historic Buildings recommends that missing historic features may be replaced with a new design that is compatible with the character of the historic building but clearly differentiated so that a false historical appearance is not created. The proposed new windows will be compatible with the size, shape, proportion, and pattern of the building's historic windows but will be clearly differentiated by their contemporary design featuring bi-folding operation and steel sash (John LoCasio, Historic Resources Group, submitted March 20, 2025, and revised April 24, 2025).

As stated in Finding No. 3 in the Director's Determination, the project as approved conforms to the Secretary of the Interior's Standards 1-10 for Rehabilitation as required by Section 2.E. of the Specific Plan. In response to the Appellants Appeal Justification, Standards 1-3 have been supplemented below as appropriate:

Standard 1 of the Secretary of the Interior's Standards for Rehabilitation requires that a property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. The Project will adapt the former Stan's Donut and Villa Mart buildings for new use as a restaurant while retaining all of its distinctive materials, features, spaces and spatial relationships, including the polygonal corner pavilion with its flat roof, metal roof balustrade, window openings, and transoms. Therefore, the Project complies with Standard 1.

Standard 2 requires that the historic character of a property will be retained and preserved and recommends avoiding removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property. The Project will preserve the historic character of the former Villa Mart building by retaining its distinctive materials, features, spaces and spatial relationships, including the polygonal corner pavilion with its

flat roof, metal roof balustrade, window openings, and transoms. Therefore, the Project complies with Standard 2.

Standard 3 requires that each property be recognized as a physical record of its time, place and use and prohibits changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties. The Project does not propose adding conjectural features or elements from other historic properties; it will install new, differentiated bi-folding steel sash windows in the historic window openings as recommended by the National Park Service in the Guidelines for Rehabilitating Historic Buildings. Therefore, the Project complies with Standard 3 (John LoCasio, Historic Resources Group, submitted March 20, 2025 and revised April 24, 2025).

The change of use from retail to quick-service restaurant requires minimal changes to the distinctive characteristics of the Locally Significant Cultural Resource, consistent with Standard 1 detailed above. The project involves the restoration and preservation of multiple architectural elements including transom windows and ironwork, in compliance with Standard 2 as detailed above. Further, the project does not propose conjectural features or elements from other Locally Significant Cultural Resources, in conformance with Standard 3 detailed above.

While the appellant asserts the proposed bi-fold windows is a "significant alteration of a key spatial relationship," he does not provide substantial evidence to support this claim. As discussed in Findings No. 3 and 4 of the Director's Determination and this response, the proposed improvements are consistent with the Secretary of the Interior's Standards for Rehabilitation and the required findings were made to approve the Certificate of Appropriateness.

Appeal Point No. 4: The Appellant contends the following:

Additionally, the following are the MANDATORY FINDINGS that must be made by the DRB to recommend a project for approval to the Director of Planning, for Specific Plan Project Permit Compliance (SPPC) as enumerated in the Westwood Village Specific Plan: ...

The addition of historically inaccurate, modern aluminum framed folding-place windows and folding plate doors is absolutely NOT consistent with ANY of the 46 historic-cultural resource buildings listed in the Westwood Village Specific Plan.

The Applicant failed completely to provide ANY evidence in the record that such modern windows are "reasonably consistent" with ANY of the 46 historic-cultural resource buildings...

Additionally, the fact that the windows and doors on the corner element are COMPLETELY DIFFERENT AND OBVIOUSLY do not matching the rest of the windows and doors of the project is a blatant violation of Condition 9 above which requires that "any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner." Windows and doors are both highly significant architectural features, and as such must be applied to ALL exterior walls in a similar manner...

...Raising Cane's absolutely must be held to the same standard, and respect the historical, architectural, and cultural integrity of Westwood Village and the 1938 Villa Mart building, a Mediterranean Revival structure, especially as the highly significant corner of Broxton and Weyburn Avenues, directly across the street from three highly significant, iconic, and

landmark buildings in our Village – the Fox Westwood Village Theater, the El Paseo Building, and the Bruin Theater.

Staff Response:

The Appellant asserts that the proposed bi-folding steel sash windows are not "reasonably consistent with the character of cultural resources in the area" as required by Design Review Criterion 3. However, Criterion 3 of the Westwood Village Specific Plan explicitly requires that "colors and types of building materials shall be reasonably consistent with the character of Cultural Resources in the area". Criterion 7 of the Westwood Village Specific Plan Section 13 B stipulates that the architectural style of the building shall relate to surrounding Cultural Resources. There are nine Locally Significant Cultural Resources as identified in the Specific Plan in the near vicinity of the Project Site:

- 1. 945 Broxton Avenue (Fox Theatre)
- 2. 926-940 Broxton Avenue (Bruin Theatre)
- 3. 10935-10937 Weyburn Avenue
- 4. 10931-10933 Weyburn Avenue
- 5. 10923-10927 Weyburn Avenue
- 6. 901-951 Westwood Boulevard (Holmby Building)
- 7. 1001 Westwood Boulevard
- 8. 10924 Weyburn Avenue
- 9. 1001-1009 Broxton Avenue (El Paseo Building)

As iterated in the Memo prepared by the applicant's historic consultant, Historic Resources Group, submitted in response to the appellant claims (Exhibit D):

There is little consistency in the types, sizes, shapes, materials, or character of the windows of these nine buildings. In fact, there is substantial evidence that each of the individual resources have seen some extent of window replacement. Examples of the diverse array of fenestration elements from nearby Resources include fixed, divided-light aluminum windows, some with tiled bulkheads; fixed aluminum storefronts, some with projecting decorative surrounds; punched, fixed divided-light windows; stacked awning windows; casement windows; aluminum-framed bay windows; wood-framed display windows; and fixed display windows with round-arched transom lights (John LoCasio, Historic Resources Group, submitted March 20, 2025 and revised April 24, 2025).

The diversity of window treatment across these Resources nullifies the prospect that the proposed project remains consistent; rather, the proposed fenestration of the project contributes to the diversity of window treatments in other Resources. Further, the proposed color and materials, namely beige-toned masonry, and aluminum, are not a novelty and will not create adverse inconsistencies in building color or materials seen in other Village Resources.

The appellant maintains that the bi-folding steel sash windows do not match the other windows and doors in the Project and therefore do not comply with Design Review Criterion 9, which states that "any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner." However, the fenestration and exterior treatment of the former Villa Mart building's corner pavilion were historically different from those of the rest of the building. The Weyburn façade was finished in smooth cement plaster and was nearly entirely open to the street, whereas the corner pavilion has rusticated piers framing rectangular windows. The Weyburn façade was later enclosed with aluminum storefront and the windows in the corner pavilion were replaced within the original openings. The Project will maintain the historic character of the building by applying different fenestration treatments to the Weyburn frontage and corner pavilion: glazed storefronts on Weyburn, and bi-folding windows in the

original window openings of the corner pavilion. The Project will retain all of the surviving character-defining features of the former Villa Mart building, including the polygonal corner pavilion with its flat roof, metal roof balustrade, window openings, and transoms, and will install compatible new windows in the window openings. It therefore complies with the Standards for Rehabilitation as required under Section 2.E. of the Specific Plan and concurrently complies with the Design Review Criteria from the Specific Plan.

Appeal Point No. 5:

IF YOUR COMMISSION DECIDES TO GRANT THE APPEAL BY AMENDING SOME OF THE CONDITIOND IN THE LOD, I OFFER THE FOLLOWING SUGGESTED MODIFIED CONDITIONS OF APPROVAL FOR RAISING CANE'S PROJECT (IN THE 1938 HISTORIC "VILLA MART" BUILDING, AT THE CORNER OF BROXTON & WEYBURN AVENUES, IDENTIFIED AS A HISTORIC CULTURAL RESOURCE BUILDING UNDER THE WESTWOOD VILLAGE SPECIFIC PLAN:

. . .

Additional suggested NOTES regarding advising Planning staff on the proposed signage: 1. The Village Pedestrian signs (aka "Blade Signs") as shown on the plans and renderings for both the Weyburn and Broxton elevations are UNAPPROVABLE.

. . .

Staff Response:

Additionally, in the final remarks of the appeal justification, the appellant provides a list of supplemental recommended conditions of approval— namely, to condition "fixed and inoperable windows" among others— as well as suggestions regarding proposed signage. The Westwood Village Specific Plan was amended in 2022 (effective date December 1, 2022) to remand the approval of signage projects that comply with Section 11 of this Specific Plan and do not require an adjustment, modification, exception, or a Certificate of Appropriateness, to staff. The scope of work of the proposed project does not include signage, as it does not involve the restoration or rehabilitation of any existing historic signage that would otherwise require a Certificate of Appropriateness. The recommended conditions of approval and suggestions regarding signage do not constitute a veritable appeal point and therefore no staff response is provided. However, the appellant's suggestions have been forwarded to the Commission for consideration.

Conclusion

The project, as conditioned in the Letter of Determination, accommodates the rehabilitation of a Locally Significant Cultural Resource in a manner that is consistent with both the Secretary of the Interior Standards for Rehabilitation of Historic Structures and the Westwood Village Specific Plan Design Review Criteria. The provision of operable, bi-fold windows within the existing window openings as recommended for approval by the Design Review Board exists as a mechanism to allow for open-air dining in a manner that sounds not prejudice any established character-defining features of the existing Resource.

Staff recommends the West Los Angeles Area Planning Commission (WLAAPC) find that the project is Categorically Exempt pursuant to the California Environmental Quality Act, deny in part and grant in part the appeal to adopt the modified conditions of approval, and sustain the Director of Planning's Determination to approve the Project Compliance Review, Design Review, and Certificate of Appropriateness.

MODIFIED CONDITIONS

Text changes are noted as follows: deletions in **bold strikethrough** and additions in **bold underline**.

CONDITIONS OF APPROVAL

- 1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
- 2. All use, height, and area regulations of the LAMC and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the subject property, except as such regulations are herein specifically varied or required.
- 3. **Façade Modifications.** Current entry doors, façade materials, awnings, and storefront windows shall be removed and replaced with new entry doors, façade materials, awnings, and storefront windows as shown in Exhibit A.
- 4. **Roof Equipment**. New rooftop mechanical equipment shall be fully screened from view, as depicted in Exhibit A.

5. **Design Review Criteria**

- a. The rooftop equipment screening shall be perforated metal, utilize EIFS Material color to match EWF-8 as depicted on Sheet MS-1.0 of Exhibit A, as depicted in material EWF-2 on page A4.20 of Exhibit A (Option 1).
- b. **The** That the back-of-house singular door on the Broxton Avenue elevation be painted black to match material P-10 as shown in Exhibit A.
- 6. **Certificate of Appropriateness.** As shown in Exhibit A, the project shall conform with the Secretary of Interior's Standards for Rehabilitation, listed below:
 - a. A property will be used as it was historically or be given a new use that require minimal changes to its distinctive materials, features, spaces, and spatial relationships.
 - b. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
 - c. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
 - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
 - e. Distinctive materials, features, finishes, and construction techniques or examples of craftmanship that characterize a property will be preserved.

- f. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration required replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing feature will be substantiated by documentary and physical evidence.
- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- i. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.
- j. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Administrative Conditions

- 7. Final Plans. Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Final Plans." A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
- 8. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
- 9. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or Verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 10. **Revocable Permit.** If any portion of the structure is determined to be located within the public right-of-way, the applicant shall obtain an approval of a revocable permit from the Bureau of Engineering.
- 11. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 12. **Department of Building and Safety**. The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral

- of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 13. **Condition Compliance.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
- 14. Prior to the issuance of any permits, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the subject case file.
- 15. **Indemnification and Reimbursement of Litigation Costs.** Applicant shall do all of the following:
 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including <u>but not limited to</u>, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
 - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the

defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with <u>any</u> federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

Exhibit A

Appeal Documents

APPLICATIONS

APPEAL APPLICATION Instructions and Checklist



PURPOSE

This application is for the appeal of Los Angeles Department of City Planning determinations, as authorized by the LAMC. For California Environmental Quality Act Appeals, use form CP13-7840. For Building and Safety Appeals and Housing Department Appeals, use form CP13-7854.

RELATED CODE SECTION

Refer to the Letter of Determination (LOD) for the subject case to identify the applicable Los Angeles Municipal Code (LAMC) Section for the entitlement and the appeal procedures.

APPELLATE BODY

Check only one. If unsure of t submission.	the Appellate Body	, check with City Plar	ining staff before
☐ Area Planning Commission (APC) □ City Pla	nning Commission (CP	C) ☐ City Council
☐ Zoning Administrator (ZA)			
CASE INFORMATION			
Case Number:			
APN:			
Project Address:			
Final Date to Appeal:			
APPELLANT			
Check all that apply.			
☐ Person, other than the Applic	ant, Owner or Oper	ator claiming to be agg	rieved
☐ Representative ☐ P	roperty Owner	□ Applicant	☐ Operator of the Use/Site

APPELLANT INFORMATION

Appellant Name:				
Company/Organization:				
Mailing Address:				
City:	State:	Zip Code:	_	
Telephone:	E-mail:			
Is the appeal being filed on yo	our behalf or on behalf of another party, or	ganization, or o	company?	
□ Self □ Other:				
Is the appeal being filed to su	pport the original applicant's position?	□ Y !	ES 🗆	NO
REPRESENTATIVE /	AGENT INFORMATION			
Name:				
Company/Organization:				
	State:			
Telephone:	E-mail:			
JUSTIFICATION / RE	ASON FOR APPEAL			
Is the decision being appealed	d in its entirety or in part?	□ Entire	□ Part	
Are specific Conditions of App	proval being appealed?	□ YES	□ NO	
If Yes, list the Condition Numb	per(s) here:			
On a separate sheet provide t	he following:			
☐ Reason(s) for the appeal				
☐ Specific points at issue				
☐ How you are aggrieved by	the decision			

APPLICANT'S AFFIDAVIT

I certify that the statemen			are complete and true.	
Appellant Signature:	Steven D.	Sann	Date:	
GENERAL NOTES				
	y not file an ap	peal on behalf	entified as a member of a CNC or as of the Neighborhood Council; persor ehalf of self.	
pertaining to the type of a have appeals scheduled p the appellant. If the appel consider the appeal prior	ppeal being file prior to the app late body is und to the last day d. The last day	ed. Los Angeles ellate body's la able to come to to act, the appe	e period specified in the LAMC Sections City Planning will make its best efforts st day to act in order to provide due per a consensus or is unable to hear and eal is automatically deemed denied, and in the LAMC may only be extended	rts to process to d and the
THIS SEC	TION FOR	CITY PLAN	INING STAFF USE ONLY	
Rasa Foo:				
Reviewed & Accepted	by (DSC Planr	ner):		
Reviewed & Accepted	by (DSC Planr	ner):		
Reviewed & Accepted Receipt No.: Determination authorit	by (DSC Planr	n er): □ Original red	Date:	
Reviewed & Accepted Receipt No.: Determination authorit GEN If dropping off an appeal a	ty notified ERAL APP at a Developme	□ Original red PEAL FILIN ent Services Ce	Date: ceipt and BTC receipt (if original appl	icant)
Reviewed & Accepted Receipt No.: Determination authorit GEN If dropping off an appeal a See also additional instruction	ty notified ERAL APP at a Development of the specific s	□ Original red PEAL FILIN ent Services Ce	Date: ceipt and BTC receipt (if original applements center (DSC), the following items are re-	icant)
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Receipt No.: Determination authorit GEN If dropping off an appeal a See also additional instruction system (OAS). APPEAL DOCUME 1. Hard Copy	ty notified ERAL APP at a Development of the specients for specients.	□ Original red PEAL FILIN ent Services Ce ific case types.	Date: ceipt and BTC receipt (if original applements center (DSC), the following items are re-	icant) equired.
Receipt No.: Determination authorit GEN If dropping off an appeal a See also additional instruction system (OAS). APPEAL DOCUME 1. Hard Copy	ty notified ERAL APP at a Developmentions for speci	□ Original red PEAL FILIN ent Services Ce ific case types.	Date: December of the control of th	icant) equired.

☐ Copy of Letter of Determination (LOD) for the decision being appealed
2. Electronic Copy
□ Provide an electronic copy of the appeal documents on a USB flash drive. The following items must be saved as <u>individual PDFs</u> and labeled accordingly (e.g., "Appeal Form", "Justification/Reason Statement", or "Original Determination Letter"). No file should exceed 70 MB in size.
3. Appeal Fee
☐ Original Applicant. The fee charged shall be in accordance with <u>LAMC Section 19.01 B.1(a) of Chapter 1</u> or <u>LAMC Section 15.1.1.F.1.a.</u> (Appeal Fees) of Chapter 1A as applicable, or a fee equal to 85% of the original base application fee. Provide a copy of the original application receipt(s) to calculate the fee.
☐ Aggrieved Party. The fee charged shall be in accordance with LAMC Section 19.01 B.1(b) of Chapter 1 or LAMC Section 15.1.1.F.1.b. (Appeal Fees) of Chapter 1A as applicable
4. Noticing Requirements (Applicant Appeals Only)
☐ Copy of Mailing Labels. All appeals require noticing of the appeal hearing per the applicable LAMC Section(s). Original Applicants must provide noticing per the LAMC for all Applicant appeals.
□ BTC Receipt. Proof of payment by way of a BTC Receipt must be submitted to verify that mailing fees for the appeal hearing notice have been paid by the <u>Applicant</u> to City Planning's mailing contractor (BTC).
See the Mailing Procedures Instructions (CP13-2074) for applicable requirements.
SPECIFIC CASE TYPES ADDITIONAL APPEAL FILING REQUIREMENTS AND / OR LIMITATIONS
DENSITY BONUS (DB) / TRANSIT ORIENTED COMMUNITES (TOC)

Appeal procedures for DB/TOC cases are pursuant to <u>LAMC Section 13B.2.5.</u> (<u>Director</u> Determination) of Chapter 1A or LAMC Section 13B.2.3. (Class 3 Conditional Use) of Chapter 1A as applicable.

- Off-Menu Incentives or Waiver of Development Standards are not appealable.
- Appeals of On-Menu Density Bonus or Additional Incentives for TOC cases can only be filed by adjacent owners or tenants and is appealable to the City Planning Commission.

☐ Provide documentation confirming adjacent owner or tenant status is required (e.g., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, driver's license, bill statement).

WAIVER OF DEDICATION AND / OR IMPROVEMENT

Procedures for appeals of Waiver of Dedication and/or Improvements (WDIs) are pursuant to <u>LAMC Section 12.37 I of Chapter 1</u> or <u>LAMC Section 10.1.10. (Waiver and Appeals) of Chapter 1A</u> as applicable.

- WDIs for by-right projects can only be appealed by the Property Owner.
- If the WDI is part of a larger discretionary project, the applicant may appeal pursuant to the procedures which govern the main entitlement.

[VESTING] TENTATIVE TRACT MAP

Procedures for appeals of [Vesting] Tentative Tract Maps are pursuant <u>LAMC Section 13B.7.3.G. of</u> Chapter 1A.

 Appeals must be filed within 10 days of the date of the written determination of the decisionmaker.

NUISANCE ABATEMENT / REVOCATIONS

Appeal procedures for Nuisance Abatement/Revocations are pursuant to <u>LAMC Section 13B.6.2.G.</u> of <u>Chapter 1A</u>. Nuisance Abatement/Revocations cases are only appealable to the City Council.

Appeal Fee

Applicant (Owner/Operator). The fee charged shall be in accordance with the LAMC Section
19.01 B.1(a) of Chapter 1 or LAMC Section 15.1.1.F.1.a. (Appeal Fees) of Chapter 1A as
applicable.

For appeals filed by the property owner and/or business owner/operator, or any individuals/agents/representatives/associates affiliated with the property and business, who files the appeal on behalf of the property owner and/or business owner/operator, appeal application fees listed under LAMC Section 19.01 B.1(a) of Chapter 1 shall be paid, at the time the appeal application is submitted, or the appeal application will not be accepted.

☐ Aggrieved Party. The fee charged shall be in accordance with the <u>LAMC Section 19.01 B.1(b)</u> of Chapter 1 or LAMC Section 15.1.1.F.1.b. (Appeal Fees) of Chapter 1A as applicable.

STEVEN D. SANN

907 WESTWOOD BOULEVARD, # 203 LOS ANGELES, CA 90024-2904 WRITER'S DIRECT: (213) 448-8147 • EMAIL: STEVESANN2001@YAHOO.COM

February 7, 2025

West Los Angeles Area Planning Commission c/o Commission Executive Assistant City Hall 200 North Spring Street, Room 272 Los Angeles, CA 90012 April Sandifer, President
Marty Shelton, Vice President
Haley Feng, Commissioner
Esther Marguilies, Commissioner
Lisa Waltz Morocco, Commissioner

Re: Case No. DIR-2024-4409-DRB-SPPC-COA; CEQA: ENV-2024-4410-CE 10942-10946 W. Weyburn Ave. & 1008 S. Broxton Ave.; Los Angeles, CA 90024 Applicant: Raising Cane's

Honorable Commissioners:

This letter is submitted as a supplement to the Appeal of the case number captioned above, stating the reasons for this appeal, the specific points at issue, how I and other members of our Westwood community are aggrieved by the decision, and why I believe the decision-maker erred or abused their discretion in this case.

I am the Chair of the Westwood Community Council, Inc., however I am filing this appeal as individual.

This is an Appeal of the improper issuance of a Certificate of Appropriateness (COA) of one of our 46 Historic-Cultural Resource buildings in our Westwood Village Specific Plan area and the improper issuance of Specific Plan Project Permit Compliance (SPPC).

I am writing in reference to the Raising Cane's project proposed for the 1938 Villa Mart building in Westwood Village, located at the highly significant "Crossroads Corner" of Broxton and Weyburn Avenues. This building faces three of our most architecturally, culturally, and historically landmark buildings in the entire Village: the 1931 Fox Westwood Village Theater, the 1932 El Paseo Building, and the 1937 Bruin Theater. Together, these four historic structures anchor one of the most significant and important corners in the Village, in Los Angeles, and indeed in the entire film entertainment world.

I attended every single public hearing in their entirety, including both preliminary and final hearings, conducted by the Westwood Design Review Board (DRB), including the final meeting held on December 18, 2024, when the Board, by the BARE MINIMUM VOTE of 4 in favor and 2 opposed, ostensibly acted to recommend the project to the Director of Planning for approval.

However, the Board FAILED COMPLETELY to analyze the project, and make the LEGALLY REQUIRED FINDINGS as enumerated in the Los Angeles Municipal Code, the Westwood Village Specific Plan, including the 10 mandatory findings required for the issuance of a COA. A vote was taken, the required findings were not made and ignored, and were only INSERTED into the Letter of Determination by staff, using boilerplate language found in nearly every other LOD.

Further, the legal standard to make the required findings is based on SUBSTANTIAL EVIDENCE IN THE RECORD. In fact, there was NOT substantial evidence in the record, and in certain cases there was NO EVIDENCE IN THE RECORD whatsoever.

I note further that the two NO votes were the TWO leading experts on the DRB with vast knowledge and full understanding of the REQUIREMENTS of the Secretary of the Interior's Standards. One of these two DRB members is the former President of the Los Angeles Conservancy Board of Directors, and a current Board member of the National Trust for Historic Preservation. This Board member stated repeatedly that the project as proposed FAILED utterly to meet the required standards for approval.

The other DRB member who also voted NO on the project is a longtime member of a Historic Preservation Overlay Zone (HPOZ) Board in the city of Los Angeles. As such, she is also highly experienced in CORRECTLY applying the Secretary of the Interior Standards. She also voted no, stating that the project as proposed, especially the treatment of the corner, FAILED to meet the legally required standards.

Underscoring the fatally flawed process in this case, BOTH of the dissenting Board members have formally asked City staff to provide urgently needed "in service training" possibly by the Office of Historic Resources (OHR) staff, to educate the DRB members on the correct process, their role, and duties to properly perform the function of the DRB, particularly when it is performing the function of an HPOZ Board, as required for the 46 enumerated historic-cultural resource buildings listed in the Westwood Village Specific Plan.

Despite these fatal flaws, fabricated "findings" were essentially plucked out of thin air, and boilerplate language was inserted into the LOD by planning staff, not based on any discussion, inquiry, or evaluation, or determination by the DRB, falsely asserting that the project, in fact, met the required findings.

To put it simply, the DRB, by a BARE MAJORITY VOTE of 4-2 simply "approved the project" without making the required findings by the DRB members, and absent substantial evidence in the record.

This is not permitted, and is a violation of the LAMC, the California Environmental Quality Act (CEQA), and established Planning Department policies, practices, and procedures.

Specifically, I wish to bring to your attention (I.) several MANDATORY FINDINGS enumerated below that must be made to approve this project; and (2.) to request that the proposed project be APPROVED WITH THE FOLLOWING CONDITIONS BELOW.

Note that the CORNER portion of this 1938 Villa Mart building at Broxton and Weyburn Avenues is expressly called out as a "Character-defining feature" under the Secretary of the Interior's Standards for Rehabilitation, in the 1985 Historic Resources Report relied upon by the Planning Department and City Council in originally adopting the Westwood Village Specific Plan:

Historic Resources Survey (1985)

Address: 10948 Weyburn Ave. Common Name: Stan's Donuts Historic Name: Villa Mart

Architectural Style: Mediterranean (Revival)

Year of original construction: 1938

"This wedge-shaped building of Mediterranean-influenced design is located at the intersection of Weyburn and Broxton. Apparently built in increments, it is one story and built of reinforced concrete and brick. A mission tile hipped roof tops the west (Broxton) elevation. An angled bay with a simulated rusticated façade acknowledges the corner. Ornamental ironwork surmounts the bay. Altered storefronts face each street. Despite its many changes, the building does suggest the themes which were historically identified with Westwood Village."

The following are the Ten Mandatory "Standards of the Secretary of the Interior" ALL of which are required "findings" (and which findings must be based on substantial evidence in the record) in order to recommend to the Director of Planning that a Certificate of Appropriateness (COA) be granted for this project, under the Westwood Village Specific Plan and the Los Angeles Municipal Code:

- I. A property will be used as it was historically, or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spacial The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, will not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right will be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features will be substantiated by documentary, physical, or pictorial evidence.
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- 8. Significant archeological resources affected by a project will be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, proportion, and massing, to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

By allowing the most significant character-defining feature of the building – the anchor corner element – to be essentially obliterated with missing windows and doors (replaced by inauthentic "folding plate windows and folding plate doors") this is a SIGNFICANT ALTERATION OF A KEY SPACIAL RELATIONSHIP, expressly prohibited by mandatory findings numbered 1, 2, and 3.

Additionally, the following are the MANDATORY FINDINGS that must be made by the DRB to recommend a project for approval to the Director of Planning, for Specific Plan Project Permit Compliance (SPPC) as enumerated in the Westwood Village Specific Plan:

Section 13.B. Design Review Criteria.

Pursuant to LAMC Section 16.50, the DRB shall make a recommendation to the Director of Planning concerning a proposed Project on the basis of the following criteria:

- 1. The Project shall conform to all applicable provisions of the Specific Plan.
- 2. The Project shall be consistent with the Westwood Village Design Guidelines.
- 3. The colors and types of building materials shall be reasonably consistent with the character of Cultural Resources in the area.
- 4. The Project shall not cast shadows onto adjacent residential buildings outside the Specific Plan Area for more than two hours between 10 a.m. and 4 p.m. on December 21 or between 10 a.m. and 4 p.m. on March 21.
- 5. All open areas not used for buildings, walkways, or driveways shall be landscaped.
- 6. The massing of the building shall relate in scale to surrounding Cultural Resources and shall be appropriate to the pedestrian oriented character of Westwood Village.
- 7. The architectural style of the building shall relate to surrounding Cultural Resources.
- 8. All mechanical equipment and other appurtenances shall be screened from public view.
- 9. Any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner.

The addition of historically inaccurate, modern aluminum framed folding-place windows and folding plate doors is absolutely NOT consistent with ANY of the 46 historic-cultural resource buildings listed in the Westwood Village Specific Plan.

The Applicant failed completely to provide ANY evidence in the record that such modern windows are "reasonably consistent" with ANY of the 46 historic-cultural resource buildings. No photos were submitted. Nothing! In fact, NO SUCH EVIDENCE could be provided because NONE of these 46 buildings have modern folding-plate windows and folding plate doors.

I defy the decision maker to point to ANY such evidence in the case file. In fact, NO SUCH evidence exists. Note also that the Historic Resources Survey report that was submitted was for an entirely DIFFERENT window treatment and design (rolling garage doors and windows), and no supplemental report was ever submitted to reflect the CURRENT design. As such there was no evidence in the record on which either the DRB or the Director of Planning could rely.

Additionally, the fact that the windows and doors on the corner element are COMPLETELY DIFFERENT AND OBVIOUSLY do not matching the rest of the windows and doors of the project is a blatant violation of Condition 9 above which requires that "any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner." Windows and doors are both highly significant architectural features, and as such must be applied to ALL exterior walls in a similar manner. The corner windows and doors fail that required finding. Thus the legally required finding CANNOT be made without modifying this condition, requiring that ALL windows and doors must be similar.

I note that Raising Cane's has recently built and opened many restaurants in architecturally and historically significant buildings, including in New York City, Washington, D.C., Boston, Nashville, and Chapel Hill, among other locations. IN NONE OF THESE CASES OF HISTORIC BUILDINGS did Raising Cane's install, nor were they authorized to install, folding plate windows or folding plate doors. That is because folding plate windows and folding plate doors are MODERN style windows and doors that are historically INAPPROPRIATE, inaccurate, and incompatible, under the Secretary of the Interior's Standards, and thus a Certificate of Appropriateness (COA) would not be granted.

Given Raising Cane's track record of RESPECTING the architectural and historical integrity of these historic and architecturally significant buildings in other cities across the United States, Raising Cane's absolutely must be held to the same standard, and respect the historical, architectural, and cultural integrity of Westwood Village and the 1938 Villa Mart building, a Mediterranean Revival structure, especially as the highly significant corner of Broxton and Weyburn Avenues, directly across the street from three highly significant, iconic, and landmark buildings in our Village – the Fox Westwood Village Theater, the El Paseo Building, and the Bruin Theater.

IF YOUR COMMISSION DECIDES TO GRANT THE APPEAL BY AMENDING SOME OF THE CONDITIOND IN THE LOD, I OFFER THE FOLLOWING SUGGESTED MODIFIED CONDITIONS OF APPROVAL FOR RAISING CANE'S PROJECT (IN THE 1938 HISTORIC "VILLA MART" BUILDING, AT THE CORNER OF BROXTON & WEYBURN AVENUES, IDENTIFIED AS A HISTORIC CULTURAL RESOURCE BUILDING UNDER THE WESTWOOD VILLAGE SPECIFIC PLAN:

- I. All windows and mullions on the corner portion of the building at Broxton & Weyburn shall be of the same style, type, design, dimension, and color to match the windows as shown on the plans and renderings of the Weyburn elevation, namely that they shall be **FIXED and INOPERABLE WINDOWS** of large single plate glass, to match the windows shown on page 21 of the Applicant's Historic Resources Group Report (photo dated c. 1950) with matching mullions made out of metal (or anodized aluminum?) painted in black enamel. (Note: need to specify (a.) exact color of glass, whether clear or tinted in different color specification, and (b.) either single paned or doubled paned glass, as required by Code and energy efficiency rules). Also need to specify whether flat or glossy paint finish for the mullions?). (Note: Folding plate windows to be expressly disallowed.)
- 2. All doors on the corner portion of the building at Broxton & Weyburn Avenues shall be of the same style, type, design, dimension, and color of the solid traditional-style doors of red-painted wood (or metal?) and glass to match the doors as shown on the renderings and plans for the Weyburn elevation of the building. (Note: Folding plate doors to be expressly disallowed.)
- 3. The windows and mullions on the Broxton elevation shall be of the same style, type, design, dimension, and color to match the windows as shown on the plans and renderings of the Weyburn elevation, namely that they be **FIXED and INOPERABLE WINDOWS** of large plate glass with matching mullions made out of metal (or anodized aluminum?) painted in black enamel (Note: need to specify (a.) exact color of glass, whether clear or tinted in different color specification, and (b.) either single paned or doubled paned glass, as required by Code and energy efficiency rules; note also that windows may be frosted on the inside to provide an opaque appearance. Also need to specify whether flat or glossy paint finish?).

- 4. Note: Presently, there are large "sheets" of paint peeling off the building, especially at the corner. Please add a condition that all such damaged paint be removed by the least intrusive method possible (careful scraping by hand), and absolutely NO SANDBLASTING OR WATER BLASTING which is forbidden under the Secretary of the Interior Standards.
- 5. All other unapproved elements such as existing flood lights, brackets from long-removed signs, and other extraneous materials currently on the façade should be carefully removed, the surface should be patched, carefully sanded and painted to match the original.

Additional suggested NOTES regarding advising Planning staff on the proposed signage:

- 1. The Village Pedestrian signs (aka "Blade Signs") as shown on the plans and renderings for both the Weyburn and Broxton elevations are UNAPPROVABLE. Note the definition in Section 4 of the Westwood Village Specific Plan: "Village Pedestrian Sign A sign that is attached to a wall or to the underside of an awning or marquee with one or two sign faces perpendicular to the face of the building and that identifies a use or service exclusively or primarily by symbol." The proposed blade signs are 100% text and unapprovable. If the Applicant wishes to change the design to depict their company mascot, "Cane" the Labrador, or perhaps a chicken (or chicken finger?) then perhaps they could be approvable. Note also that the DRB Design Guidelines and Practices and Preferences have routinely disallowed THICK box-like signs that resemble unapprovable CABINET signs hanging off a façade. The Board also has routinely disapproved INTERNALLY LIT blade signs, as these cause the signs to need to be too thick and bulky to accommodate the circuitry and electronics inside the "cabinet." The Board has routinely approved and preferred EXTERNALLY LIT blade signs (using goose neck or tensor lights, etc.).
- 2. Note also the definition of a "Cabinet Sign A wall sign placed on the face of enclosed cabinet/box attached to a building that may display any message allowed on either an off-site or an on-site sign." All such Cabinet signs are UNAPPROVABLE. The three round red "Raising Canes Chicken Fingers" signs shown on the Weyburn elevation, Broxton elevation, and at the corner of Broxton & Weyburn Avenues all appear to be Cabinet Signs, and as such appear to be UNAPPROVABLE.

With these necessary and well considered REVISED Conditions of Approval, your Commission could correct the fatal flaws contained in the current LOD.

Thank you very much for your diligent attention to this very important project, for following the legally mandated standards and findings as required by our Westwood Village Specific Plan, the Secretary of the Interior Standards for Rehabilitation, and the Los Angeles Municipal Code, and for helping bring in this new and eagerly anticipated restaurant into Westwood Village. With these AMENDED conditions your Board will achieve a "Win-Win" – helping Raising Cane's come into Westwood Village without delay,

The project can EASILY be modified, the corner treatment can be brought into proper compliance with the required findings, and the applicant can move forward with a slightly modified project and open for business, all while protecting the architectural and historical integrity at this highly significant corner of Westwood Village.

Therefore, I respectfully ask that the Commission GRANT the appeal, and find that the decision-maker erred or abused their discretion in granting this project approval absent substantial evidence in the record that the legally required findings were neither discussed, nor were the findings made by the DRB, and MODIFY the Conditions as noted above,.

I expressly reserve the right to submit supplemental materials for consideration by the Area Planning Commission, in accordance with the rules of procedure governing the submission of such materials, prior to the public hearing.

Sincerely,

Steven D. Sann

Steven D. Sann

Exhibit B

Determination, Design Review Board Recommendation & Project Plans

DEPARTMENT OF CITY PLANNING

COMMISSION OFFICE (213) 978-1300

CITY PLANNING COMMISSION

MONIQUE LAWSHE PRESIDENT

MICHAEL R. NEWHOUSE VICE-PRESIDENT

MARIA CARILDO CAROLINE CHOE MARTINA DIAZ PHYLLIS KLEIN KAREN MACK JACOB SAITMAN ELIZABETH ZAMORA

CITY OF LOS ANGELES **CALIFORNIA**



KAREN BASS MAYOR

EXECUTIVE OFFICES

200 N SPRING STREET ROOM 525 LOS ANGELES, CA 90012-4801 (213) 978-1271

VINCENT P. BERTONI, AICP DIRECTOR

SHANA M.M. BONSTIN

HAYDEE URITA-LOPEZ DEPUTY DIRECTOR

ARTHI L. VARMA, AICP DEPUTY DIRECTOR

LISA M. WEBBER, AICP

WESTWOOD VILLAGE SPECIFIC PLAN PROJECT PERMIT COMPLIANCE REVIEW & **DESIGN REVIEW**

January 23, 2025

Case No. DIR-2024-4409-DRB-SPPC-COA Applicant

Kristen Roberts CEQA: ENV-2024-4410-CE

Raising Cane's

Los Angeles, CA 90067

Culver City, CA 90230

6800 Bishop Road **Location:** 10942 – 10946 W. Plano, TX 75024

Weyburn Avenue & 1008 South Broxton

Avenue

Property Owner Westwood Village Properties LLC, **Council District**: CD 5 – Katy Yaroslavsky

Attn: Seth Bell Neighborhood Council: North Westwood

1901 Avenue of the Stars #630 Community Plan Area: Westwood

Specific Plan: Westwood Village; Westwood

Community Design Review Board

Representative Land Use Designation: **Community Commercial**

> C4-2D-O Zone:

Three6ixty Legal Description: Lot 12, Block 5, 11287 Washington Boulevard

Tract TR 10600

Last Day to File an

Appeal: February 7, 2025

DETERMINATION

Sara Houghton

Determined, based on the whole of the administrative record that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Sections 15301 Class 1 (Existing Facilities) and 15331 (Historical Resource Restoration/Rehabilitation), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

Pursuant to Los Angeles Municipal Code Sections 13B.4.3 and 13B.8.5 of Chapter 1A, and based upon the recommendation of the Westwood Community Design Review Board, I have reviewed the proposed Project and as the designee of the Director of Planning, I hereby:

Approve with Conditions a Project Permit Compliance Review, Design Review, and Certificate of Appropriateness for a façade remodel and rehabilitation resulting in a consolidated retail corner suite with new windows, entryways, awnings, lighting, and an openair patio and the change of use from retail to restaurant.

The approval of the proposed project is based upon the attached Findings and subject to the attached Conditions of Approval.

CONDITIONS OF APPROVAL

- 1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
- 2. All use, height, and area regulations of the LAMC and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the subject property, except as such regulations are herein specifically varied or required.
- 3. **Façade Modifications.** Current entry doors, façade materials, awnings, and storefront windows shall be removed and replaced with new entry doors, façade materials, awnings, and storefront windows as shown in Exhibit A.
- 4. **Roof Equipment.** New rooftop mechanical equipment shall be fully screened from view, as depicted in Exhibit A.

5. **Design Review Criteria**

- a. The rooftop equipment screening shall be perforated metal, color to match EWF-8 as depicted on Sheet MS-1.0 of Exhibit A.
- b. The That the back-of-house singular door on the Broxton Avenue elevation be painted black to match material P-10, on Sheet A4.20 of Exhibit A.
- 6. **Certificate of Appropriateness.** As shown in Exhibit A, the project shall conform with the Secretary of Interior's Standards for Rehabilitation, listed below:
 - a. A property will be used as it was historically or be given a new use that require minimal changes to its distinctive materials, features, spaces, and spatial relationships.
 - b. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
 - c. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
 - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
 - e. Distinctive materials, features, finishes, and construction techniques or examples of craftmanship that characterize a property will be preserved.
 - f. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration required replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.

- Replacement of missing feature will be substantiated by documentary and physical evidence.
- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- i. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.
- j. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Administrative Conditions

- 7. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Final Plans." A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
- 8. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
- 9. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or Verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 10. Revocable Permit. If any portion of the structure is determined to be located within the public right-of-way, the applicant shall obtain an approval of a revocable permit from the Bureau of Engineering.
- 11. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 12. **Department of Building and Safety**. The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised

- plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 13. **Condition Compliance.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
- 14. Prior to the issuance of any permits, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the subject case file.
- 15. **Indemnification and Reimbursement of Litigation Costs.** Applicant shall do all of the following:
 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including <u>but not limited to</u>, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
 - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with <u>any</u> federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

The proposed project, located at 10942 – 10946 West Weyburn Avenue & 1008 South Broxton Avenue, consists of a retail suite consolidation, façade remodel, and the change of use to establish a new take-out and dine-in fast-food restaurant use in the resulting commercial tenant space The exterior scope of work includes the installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen for a new restaurant (Raising Cane's). The project is located within a one-two story, multi-tenant commercial building and will involve the consolidation five (5) separate tenant spaces.

The project site is in a designated Locally Significant Cultural Resource (No. 45, Stan's Donuts) per the Westwood Village Specific Plan, which states that, "no Cultural Resources in the Specific Plan Area shall be demolished, relocated, significantly altered or removed unless a Certificate of Appropriateness has been approved by the designated decision-maker in accordance with the standards and procedures set forth in Sections 12.20.3 K, N, O, P and Q of the Los Angeles Municipal Code. A *Cultural Resource Documentation Report* (November 30, 1985) was prepared by Johnson Heumann Research Associates for Gruen Associates as part of the Westwood Village Specific Plan Study. The study was conducted in preparation for the adoption of the Westwood Village Specific Plan. This report, which predates the adoption of the Specific Plan in 1989, describes the structure's Mediterranean-influenced design as well as the mission tile hipped roof along the Broxton façade and tile edged parapets along the Weyburn frontage. There are previous projects associated with this building, and some have required a Certificate of Appropriateness (COA), while others have not, dependent on the project scope.

The most recent case associated with the portion of the subject site was approved in January of 2024; it was a prior iteration of the current proposal. The property owner has since acquired an additional tenant suite at the corner of the subject property and has elected to pursue additional entitlements for the ensuing façade changes.

<u>DIR-2023-4907-DRB-SPP-COA</u> – On January 3, 2024, the Director of Planning approved with conditions a Design Review, Project Permit Compliance, and Certificate of Appropriateness for a façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant.

The previous case associated with the structure did not require a Certificate of Appropriateness:

<u>DIR-2019-1690-DRB-SPP</u> — On June 12, 2019, the Director of Planning approved with conditions a Design Review and Project Permit Compliance Review for the installation of one illuminated wall sign on an existing fast-food establishment.

The applicant submitted a Cultural Resource Report dated October 2024 prepared by John Locascio, licensed architect, of Historic Resources Group. The report corroborated the proposed project's compliance with the Secretary of the Interior's Standards for Rehabilitation and found that the proposed project would not have any potential impacts on the significance of the resource. The Office of Historic Resources reviewed the proposed project and COA Findings and recommended that the report be adopted, and a Certificate of Appropriateness be granted for the proposed project.

Design Review Finding

1. A recommendation was made by the Westwood Community Design Review Board, pursuant to LAMC Sections 13B.4.3 and 13B.8.5 of Chapter 1A:

The project was first presented to the Design Review Board (DRB) for Preliminary Review at a public hearing on August 21, 2024, where the Board members provided preliminary feedback on the originally proposed design. The project was then redesigned according to feedback received during the Preliminary Review and presented for Final Review at the November 20, 2024, hearing, where a quorum of four (4) Board Members voted to continue the project to the December 4, 2024 meeting. The Board failed to meet quorum on December 4th and the applicant subsequently agreed to reconvene at the regularly scheduled December 18, 2024 meeting; the hearing was re-noticed accordingly. At the second Final Review on December 18, 2024, the project representative made a brief presentation to the Board detailing the changes made in response to comments during the First Final Review. Five (5) members of the public provided comment, and Board Members asked questions. The Board voted four (4) to two (2) to recommend approval of the project with conditions, as the project will substantially comply with LAMC Section 16.50, Subsection E as well as the relevant design guidelines and development provisions of the Specific Plan.

Project Permit Compliance Findings

2. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.

The proposed project involves a change of use and façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant within the Westwood Village Specific Plan (WVSP). No changes to floor area, height, setbacks, or parking are proposed, approved, or authorized. Therefore, Sections 7, 8, and 9 of the WVSP are not applicable. The proposed signs for the new restaurant are eligible for Administrative Review under a separate permit per Section 3.A.1(a) of the WVSP. As such, Section 11 is not applicable to this scope of work. Finally, a Village-Wide Improvements Assessment District has not been established; therefore, Section 12 of the Specific Plan is not applicable.

Section 5 Uses

Section 5.A Permitted Uses limits allowable uses in the WVSP to those permitted in the C4 Zone, except as provided in Section 5.B and 5.C. The proposed project is a new restaurant, which is a permitted use in the C4 Zone. As such, the project is in conformance with Section 5.A of the WVSP.

Section 5.B Limited Uses lists several different uses and specific limitations depending on the use or location of the use in the Specific Plan Area. This section is not applicable to the project because it does not include any limitations on restaurant uses.

Section 5.C Prohibited Uses forbids automobile, motorcycle, recreational vehicle, mobile, home and trailer sales areas as well as drive-in businesses within the Specific Plan Area.

This section is not applicable because the proposed restaurant does not include a drive-in window.

Section 5.D.1 Uses Permitted Along the Ground Floor Building Frontage limits the floor area on the ground floor of a commercial building to a depth of at least 30 feet, along at least 80 percent of the frontage to retail, restaurant, or other food service uses. The entirety of the proposed project is dedicated to restaurant uses, in conformance with the WVSP.

Section 5.D.2 Uses Permitted Along the Ground Floor Building Frontage requires that 20% of the floor area on the ground floor to a depth of 30 feet be devoted to Neighborhood Retail and / or Neighborhood Services if the building has over 100 feet of building frontage and is occupied by more than five (5) businesses. According to ZIMAS, the subject building has ground floor building frontage of 273.54 feet along Weyburn & Broxton Avenue. However, this section is not applicable because the subject building will be occupied by only three (3) tenant spaces following approval of the proposed project.

Section 6 Preservation of Cultural Resources

The proposed project substantially complies with Section 6 Preservation of Cultural Resources of the WVSP. The subject structure is identified on Table 1 and Figure 2 of the Westwood Village Specific Plan as a Locally Significant Historic Resource (No. 45, Stan's Donuts). The building was constructed in 1934 in a Mediterranean-influenced architectural style, featuring brick masonry with fluted piers, transom windows, a lowered corner with decorative wrought-iron fencing, and bow truss roof with rolled roofing and a stepped parapet with a simple cornice and clay barrel tile coping. In conformance with Section 6.C, a Certificate of Appropriateness (COA) must be approved by the designated decisionmaker in accordance with the standards and procedures set forth in Section 12.20.3 K, N, 0, P and Q of the Los Angeles Municipal Code prior to any significant structural alterations taking place. The Specific Plan provides that the Westwood DRB shall perform the functions of the "Board" specified in those Sections. The Westwood DRB provided a recommendation of approval at a duly noticed public hearing on December 18, 2024, as such the proposed project satisfies the findings for approval of a COA, as discussed below under "Certificate of Appropriateness Findings."

Section 10 Development Standards

Section 10.A Development Standards requires that any exterior wall abutting a public right-of-way not extend more than 40 feet horizontally without containing architectural features which will adequately protect against featureless, uninterrupted, large wall planes. The Weyburn and Broxton frontages of the proposed project are 50 feet – 6 inches and 42 feet – 6 inches respectively. Both frontages will feature interruptions in the form of new awnings, doors, windows, and aluminum-framed storefront with brick-veneered stem walls that adequately provide visual contrast, in conformance with Section 10.A of the WVSP.

Section 10.B requires ground floor tenants' primary entrance to be along the public right-of-way and at ground level. All entrances to the proposed restaurant are located along the public right-of-way at ground level in conformance with Section 10.B of the WVSP.

Sections 10.C and 10.D are related to driveways. These sections are not applicable because there are no driveways on the project site.

Section 10.E is only applicable to projects on Tiverton Avenue. This section is not applicable because the project is not along Tiverton Avenue.

Section 13 Design Review Procedures

The proposed project substantially complies with Section 13, Design Review Procedures, which requires that a proposed project be reviewed and approved in accordance with Design Review Board (DRB) procedures of Chapter 1 Section 16.50 and the Specific Plan procedures of Chapter 1A Section 13B.4.3 of the Los Angeles Municipal Code. The proposed project has been reviewed in accordance with the DRB and Specific Plan procedures of the Los Angeles Municipal Code. The review and recommendation of the Westwood Community DRB was based upon conformance with the criteria in Section 13, as described below.

The proposed project involves a change of use and façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant within an existing commercial building. No new floor area is proposed. Therefore, Design Review Criteria in Section 13.B regarding the building's shadow impacts (13.B.4), landscaping of open areas (13.B.5), massing/scale (13.B.6), and architectural style (13.B.7) are not applicable. Additionally, Section 13.B.2 is not applicable because Westwood Village Design Guidelines have not been adopted.

Section 13.B.1 The project shall conform to all of the provisions of the Specific Plan. The proposed project involves a façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant within an existing commercial building. As described above, the proposed project conforms to the relevant provisions of the Westwood Village Specific Plan, with conditions imposed to ensure compliance.

Section 13.B.3 The colors and types of building materials shall be reasonably consistent with the character of the cultural resources in the area. The proposed building materials and colors along the façade will be consistent with the rest of the subject building as well as the cultural resources in the area. For instance, the Weyburn façade will feature a brick masonry veneer that will match the color and texture of the project's Broxton Avenue façade. The Westwood Village Specific Plan's Locally Significant Historic Resource #45 (project site) as well as 2 and 41-44 are located along this block of Weyburn Avenue; the proposed project provides storefront glazing and awnings in a manner that is reasonably consistent with the glazing and awnings of nearby cultural resources.

Section 13.B.8 All mechanical equipment and other appurtenances shall be screened from public view. As shown in Exhibit A, all rooftop mechanical equipment shall be screened from public view with solid EFIS material.

Section 13.B.9 Any exterior treatment including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner. As shown in Exhibit A, the new storefront windows will be installed along the exterior walls in a similar manner where the current windows are located. The windows are finished with anodized silver aluminum storefront, including mullions to the likes of the mullions of the bi-fold doors provided at the corner. Further, the anodized silver creates a black color that matches the black trim finish provided by the proposed Trex Transcend ® awnings with Havana Gold composite decking, as seen in Exhibit A material finish EWF-9. This color is consistent with the restoration of

the ornamental ironwork at the corner bay, which is also black. The existing façade colors will be maintained on a like for like basis and the new awnings will be installed in a similar manner to the current location. As such the proposed exterior treatment is applied in a similar manner and creates a consolidated, congruent storefront as proposed.

Certificate of Appropriateness Findings

3. The project complies with the Standards for Rehabilitation approved by the United States Secretary of the Interior.

The proposed project has been reviewed and approved by the Senior Architect with the Department of City Planning's Office of Historic Resources on behalf of the City of Los Angeles Cultural Heritage Commission. In addition, the project as proposed has been reviewed by a historic architecture and conservation expert and licensed architect with the firm Historic Resources Group in a Cultural Resource Report dated October 2024. The proposed project complies with the US Department of the Interior Secretary of the Interior's Standards for Rehabilitation, as follows:

a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The Project includes a change of use from four existing retail and restaurant tenant spaces, into a singular tenant space for the operation of a 4,745 square foot dine-in restaurant containing 134 seats. The building was previously used as a donut shoppe, bakehouse, and grocery market, among other restaurant and retail uses. The proposed use is in keeping with the existing restaurant and retail uses of the Project Site. The Project will add new signage as part of a separate administrative review process the scope of work under this grant is limited to the façade changes herein. There will be no changes to the defining characteristics of the building frontage. In contrast, the project will restore the historic, character-defining features of the building including transom lights and windows as well as the ornamental ironwork at the lowered corner bay. The scope of work includes minimal changes to the site and environment, as the existing structures will undergo maintenance and rehabilitation.

b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of the Project Site, namely 1008 Broxton Avenue and 10942-46 Weyburn Avenue, will be retained and preserved. The exterior alterations proposed by the project will require minimal change to the distinctive materials, features, spaces, and spatial relationships that characterize the building. The project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, none of which are historic. The project will retain the building's complex massing, stepped plaster parapet with a simple cornice and clay barrel tile coping, rusticated plaster piers, polygonal corner pavilion with flat roof and decorative metal balustrade, vent light openings, painted brick masonry, fluted concrete pilasters, brick niches, and cast escutcheons. The Project will not remove historic materials or alter features or spaces that characterize the property, or the historic features of the neighboring tenant spaces. The proposed work includes a façade change for a new Raising Cane's restaurant, in an existing tenant space that is consistent with this Standard.

c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The Project does not propose any changes that create a false sense of historical development; no conjectural features or architectural elements from other buildings will be added. The proposed new storefronts, bi-fold windows, steel canopies, and sign rail are contemporary in design.

d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

No changes to the exterior of the building on the Project Site have acquired significance in their own right.

e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The Project will rehabilitate the frontage and will retain and repair distinctive features, finishes, and examples of craftsmanship that characterize the building. The frontage will be improved with new brickwork, windows, awnings and signage.

f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The Project will repair deteriorated historic features on the Project Site, including awnings, brick work, window sash and frames, and new paint finish. The Project will repair the decorative metal balustrade and replace its missing braces; and will restore the blocked transom lights above the windows of the corner pavilion. Features that are deteriorated beyond repair will be replaced with new features that match the originals in size, shape, finish, and where possible, materials, based on extant physical examples.

g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The Project does not propose chemical or physical treatments that cause damage to historic materials, such as sandblasting or high-pressure water blasting. Any treatments shall be undertaken using the most gentle means possible in an effort to follow guidance from the National Park Service in the applicable Preservation Briefs.

h. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

The Project Site is not located in an identified archeological zone and the scope of the Project does not include soil disruption; therefore, no significant archeological features will be found.

i. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

As noted previously, the proposed Project includes a façade change on an existing commercial building. The new work will connect three of the existing store fronts together on Weyburn Avenue and refurbish the frontage along Broxton Avenue. The project will retain the building's exterior character-defining features including its stepped plaster parapet with a simple cornice and clay barrel tile coping, rusticated plaster piers, polygonal corner pavilion with flat roof and decorative metal balustrade, vent light openings, painted brick masonry, fluted concrete pilasters, brick niches, and cast escutcheons. The project will also install new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages, install new bi-fold windows and restore the historic transom lights in the polygonal corner unit, install a new signage band, and install new rooftop mechanical equipment and equipment screen. The new doors, storefronts, canopies, and bi-fold windows will be simple and contemporary in design, so will be visually unobtrusive and differentiated from the historic character of the building. They will be installed within existing openings, so will not alter the historic scale and proportions of the façade or the existing fenestration pattern. The new mechanical equipment and equipment screen will be located on the rear portion of the roof and will be minimally visible from the street.. The new work will be differentiated from the old by its design, which will be a simplified interpretation of historic references, but will not copy any design motifs of the neighboring contributing buildings. The footprint of the building is not changing, as there is no new construction. The new work is therefore compatible with the massing, size, scale, and architectural features of the contributing buildings.

j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The project does not propose new additions or adjacent or related new construction. Therefore, this Standard is not applicable to the project.

4. The project protects and preserves the historic and architectural qualities and the physical characteristics which make the building a Contributing Element of the Preservation Zone.

The Westwood Village Specific Plan identifies 45 Historic and/or Cultural Resources within the Specific Plan area; thus, the Specific Plan Area is the equivalent of a Preservation Zone for the purposes of implementing Section 6.C. of the Specific Plan and LAMC Section 13B.8.5 of Chapter 1A. The subject building, built in 1934 with a Mediterranean-influenced architectural style, was a contributor to the Mediterranean ambience of Westwood Village ("Cultural Resource Documentation Report: Westwood Village," prepared by Johnson Heumann, Gruen Associates, 1985). Key architectural characteristics include but are not limited to the mission tile hipped roof along the Broxton façade and tile edged parapets along the Weyburn frontage. The proposed façade remodel, including new awnings, storefront windows, entry doors, and material finishes, as well as the restoration of character-defining features of the corner façade will help reinforce the vision of the original building and activate this extensive frontage in Westwood Village.

Environmental Findings

5. The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.

The City of Los Angeles determined based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Sections 15301 Class 1 (Existing Facilities) and 15331 Class 31 (Historic Resource Restoration/Rehabilitation) and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The Class 1 Categorical Exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The proposed project involves a façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant in an existing commercial building. It is limited to the four current tenant spaces and does not propose the expansion of an existing use.

The Class 31 Categorical Exemption allows projects limited to the maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. The subject building is a designated Locally Significant Cultural Resource within the Westwood Village Specific Plan. A Cultural Resources Report, dated October 2024, was prepared by Historic Resources Group. The proposed project has been reviewed for consistency with the Secretary of the Interior standards by both a third-party historic preservation consultant and the Office of Historic Resources. Whereas the project scope involves the rehabilitation of multiple character-defining historic features of the original building such as transom windows and iron-wrought railings, the project is eligible for an exemption of this class.

Furthermore, the Exceptions outlined in Section 15300.2 of the CEQA Guidelines do not apply to the proposed project:

- (a) Location. The project is not located in a sensitive environment. It is in the commercial district of a developed, urban neighborhood and is consistent with the scale and uses proximate to the area.
- (b) Cumulative Impact. The project is consistent with the type of development permitted for the area zoned C4-2D-O and designated for Community Commercial land uses. The proposed project will not exceed thresholds identified for impacts to the area (i.e. traffic, noise, etc.) and will not result in significant cumulative impacts.
- (c) Significant Effect. A Categorical Exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. The proposed project consists of work typical to a developed commercial district. Thus, there are no unusual circumstances

that will lead to a significant impact on the environment.

- (d) Scenic Highways. The only State-designated Scenic Highway in the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of the Topanga State Park. The subject property is located approximately 8 miles from Topanga Canyon State Scenic Highway. Therefore, the proposed project will not create any impacts to scenic resources within a Statedesignated Scenic Highway.
- (e) Hazardous Waste Sites. According to the EnviroStor, the State of California's database of hazardous waste sites, neither the subject property nor any property in the vicinity, is identified as a hazardous waste site. Furthermore, the building permit history for the project site does not indicate the site may be hazardous or otherwise contaminated. Therefore, this exception does not apply.
- (f) Historical Resources. A Categorical Exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource. The existing structure has been identified as a Locally Significant Cultural Resource in the Westwood Village Specific Plan. A Cultural Resources Report, dated October 2024, was prepared by Historic Resources Group. The Specific Plan requires a Certificate of Appropriateness for significant alterations to a Cultural Resource and requires compliance with the Secretary of the Interior's Standards for Rehabilitation in order to issue a Certificate of Appropriateness. The project has been evaluated by staff, technical experts, and the Westwood Design Review Board against the Standards for Rehabilitation. As outlined in the Cultural Resources Report, the project complies with the applicable Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan. Furthermore, the Office of Historic Resources reviewed the proposed project and Report, and determined that it did not alter significant defining features of the building that could result in a substantial change to the significance of the historic resource. The project will comply with the Secretary of Interior's Standards for Rehabilitation. The project will not result in a substantial adverse change in the significance of the Locally Significant Cultural Resource and the Exceptions outlined in Section 15300.2 of the CEQA Guidelines do not apply.

Therefore, the proposed project is determined to be categorically exempt and does not require mitigation or monitoring measures.

TIME LIMIT - OBSERVANCE OF CONDITIONS

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. Unless otherwise provided in Chapter 1A, Chapter 1 (General Provisions and Zoning), or in a project's conditions of approval, any approval by the Zoning Administrator, Director of Planning, an Area Planning Commission, or the City Planning Commission as initial decision makers that is not effectuated within three years of its effective date becomes null and void.

Section 12.29 of the Los Angeles Municipal Code provides: "A Quasi-judicial action or any conditional approval granted by the Director, pursuant to the authority of this Chapter or Chapter 1 (General Provisions and Zoning) of this Code shall become effective upon utilization of any portion of the privilege, and the owner and applicant shall immediately comply with its conditions.

The violation of any condition imposed by the Director, Zoning Administrator, Area Planning Commission, City Planning Commission, or City Council in connection with the granting of any action taken pursuant to the authority of this Chapter or Chapter 1 (General Provisions and Zoning), shall constitute a violation of this Chapter or Chapter 1 (General Provisions and Zoning) and shall be subject to the same penalties as any other violation of this Code."

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$2,500 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant.

APPEAL PERIOD - EFFECTIVE DATE

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

Online Application System (OAS): The OAS (https://planning.lacity.org/oas) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning's DSC, and submit fee payment by credit card or e-check.

Drop off at DSC. Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms, and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at http://planning.lacity.org/development-services/forms. Public offices are located at:

Metro DSC	Van Nuys DSC
201 N. Figueroa Street Los Angeles, CA 90012 planning.figcounter@lacity.org (213) 482-7077	6262 Van Nuys Boulevard Van Nuys, CA 91401 planning.mbc2@lacity.org (818) 374-5050
South LA DSC	West LA DSC
(In person appointments available on Tuesdays and Thursdays 8am-4pm only) 8475 S. Vermont Avenue, 1st Floor Los Angeles, CA 90044 planning.southla@lacity.org	(CURRENTLY CLOSED) 1828 Sawtelle Boulevard West Los Angeles, CA 90025 planning.westla@lacity.org (310) 231-2901

City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's <u>BuildLA</u> portal (<u>appointments.lacity.org</u>). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to Online Appeal Filing



QR Code to Forms for In-Person
Appeal Filing



QR Code to BuildLA Appointment Portal for Condition Clearance

VINCENT P. BERTONI, AICP Director of Planning

Approved by:

Prepared by:

Juliet Or, Senior City Planner

Jackson Olson, Planning Assistant

jackson.olson@lacity.org

WESTWOOD COMMUNITY DESIGN REVIEW BOARD

Chair: James Grant, Bob Mirdamadi, Alex Wuo, Gene Fong, Bettina O'Mara, Kathryn Welch Howe, Raun Thorp

December 18, 2024

DIR-2024-4409-DRB-SPP-COA

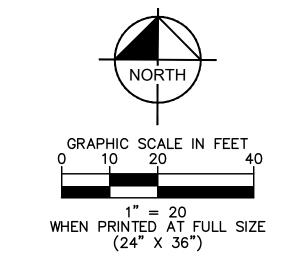
<u>10942 – 10946 W. Weyburn Avenue</u> <u>& 1008 South Broxton Avenue</u>

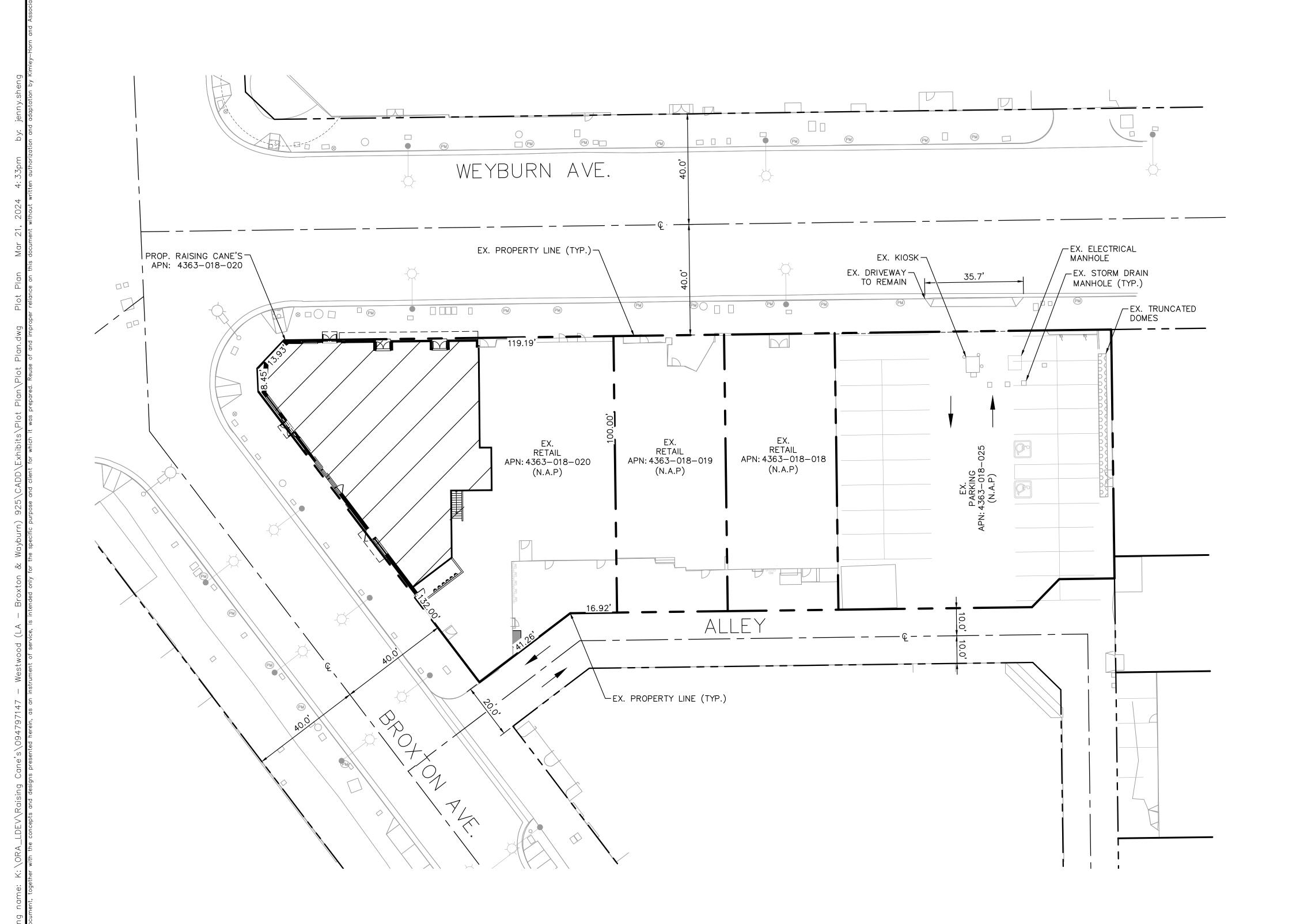
DIR-2024-4409-DRB-SPPC-COA; ENV-2024-4410-CE (1004-1010 S. Broxton Avenue & 10938-10948 W. Weyburn Avenue) SECOND FINAL REVIEW for a façade remodel and rehabilitation resulting in a consolidated retail corner suite with new entries, windows, awnings, lighting, and an open-air patio for a new restaurant. (Applicant's Representative: Sara Hougton, Three6ixty).

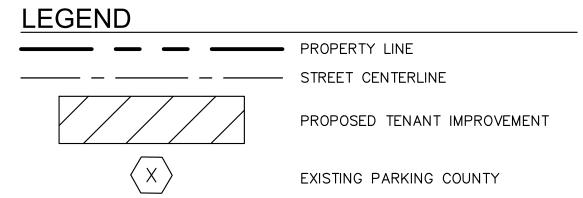
		DRB Recommendation:		
Quorum: Abstained Absent:	X Yes No	□ Approved as Submitted□ Disapproved□ Continued	Moved: Second Ayes:	Grant Mirdamadi Fong, Wuo
Recused:	O'Mara	□ Approved with Conditions	Nays:	Thorp, Welch-Howe
	That the rooftop mecha	anical equipment screen utilize		al, as depicted in
2.	That the back-of-house to match material P-10	e singular door on the Broxton A	Avenue eleva	ation be painted black
Jan	nesGrant	С	ecember 26	, 2024
Chair, V	Vestwood Community DR	 KB	Date	

PLOT PLAN

RAISING CANE'S C925 WESTWOOD (BROXTON & WEYBURN)







ABBREVIATIONS

N.A.P - PROPOSED IMPROVEMENT

SITE ADDRESS: 1008 BROXTON AVENUE, 10942, 10944, 10946 WEYBURN AVENUE, LOS ANGELES, CALIFORNIA 90024

ZONE: C4-2D-0 (COMMERCIAL ZONE)

LEGAL DESCRIPTION:
- TRACK = 10600

- BLOCK = 5

- LOT = 12 - ARB = N/A

APN #: 4363-018-020

SQUARE FOOTAGE = 4,745 SF# SEATS INDOOR = 134

- # SEATS OUTDOOR = N/A

 THERE ARE NO STAND ALONE SIGNS OR BLADE SIGNS

FLOOR AREA RATIO (FAR): NO

- TOTAL PARCEL AREA: 0.66 AC

HEIGHT OF BUILDING:

- B.O. CEILING (FROM F.F.) = 27'-4"

- T.O. ROOF (FROM F.F.) $= \pm 29$

LANDSCAPING: - N/A - INTERIOR TENANT IMPROVEMENT ONLY WITH

FACADE AND SIGNAGE WORK.

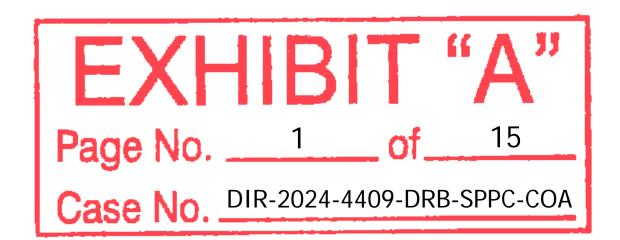
OF USE.

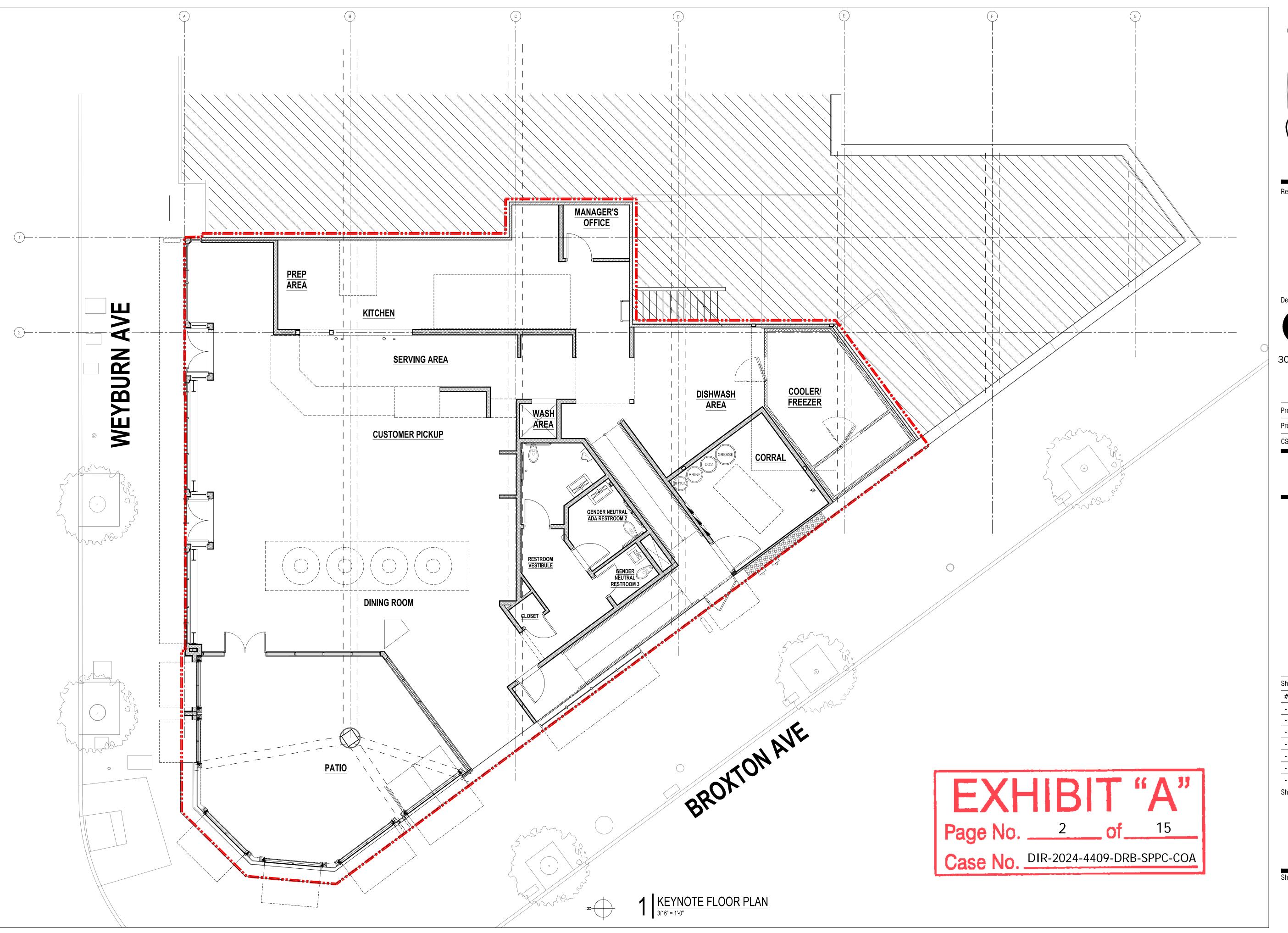
OPEN SPACE: - N/A - INTERIOR TENANT IMPROVEMENT ONLY WITH

FÁCADE AND SIGNAGE WORK.

- EXISTING PARKING TO REMAIN PER WESTWOOD VILLAGE SPECIFIC PLAN. NO CHANGE IN PARKING FOR A CHANGE

EXISTING NUMBER OF UNIT: 5 PROPOSED NUMBER OF UNIT: 1 (TENANT IMPROVEMENT TO AN EXISTING UNIT)





Restaurant Support Office 6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3101

Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

CSRS

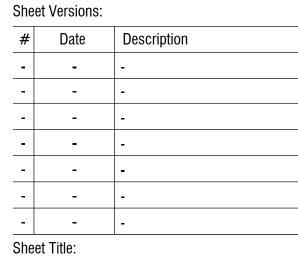
301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV

Project Issue Date: 00-00-0000

CSRS Project Manager: KF

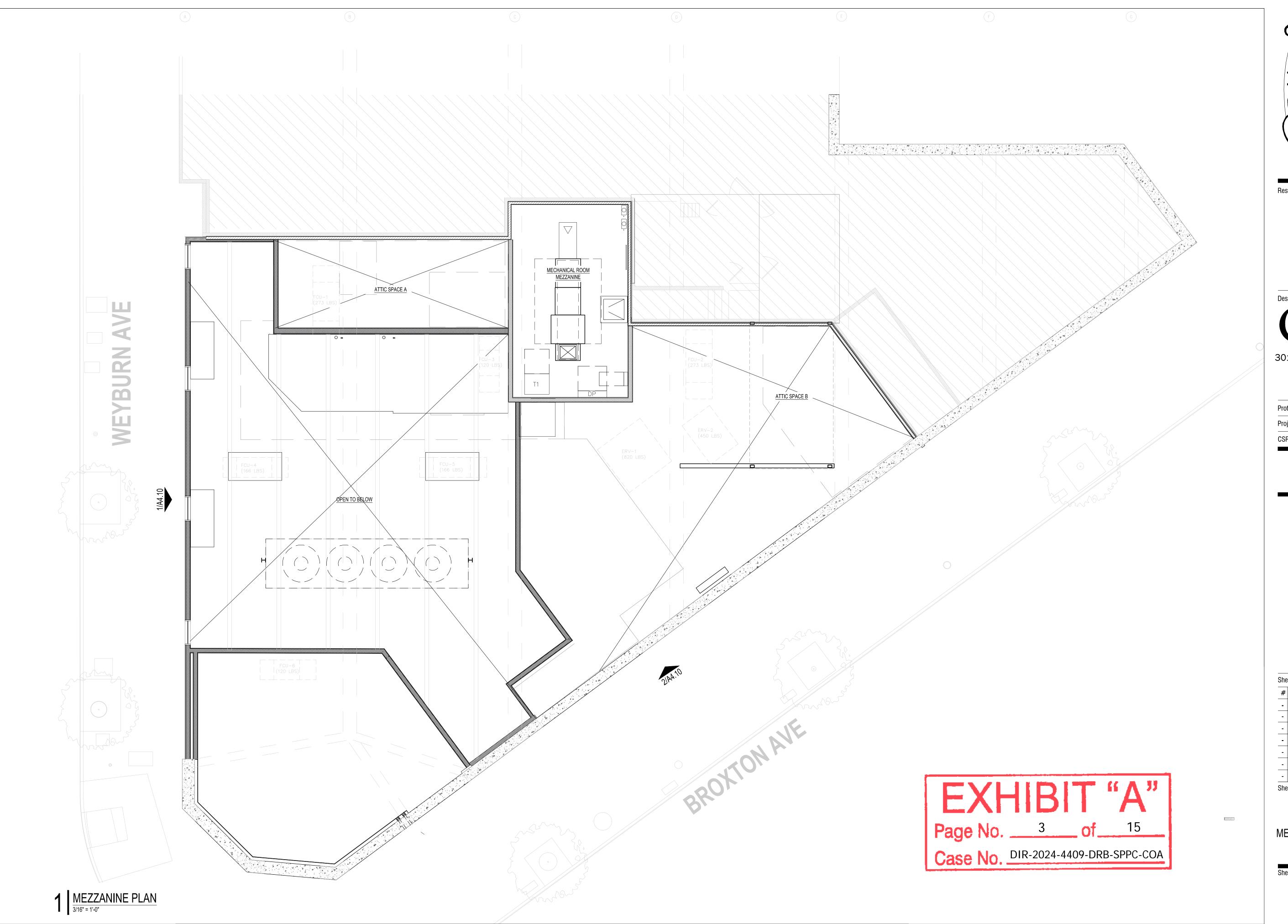
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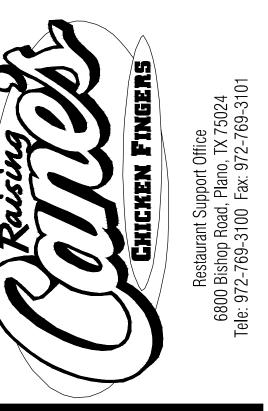


KEYNOTE FLOOR PLAN

Sheet Numl

A1.10





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

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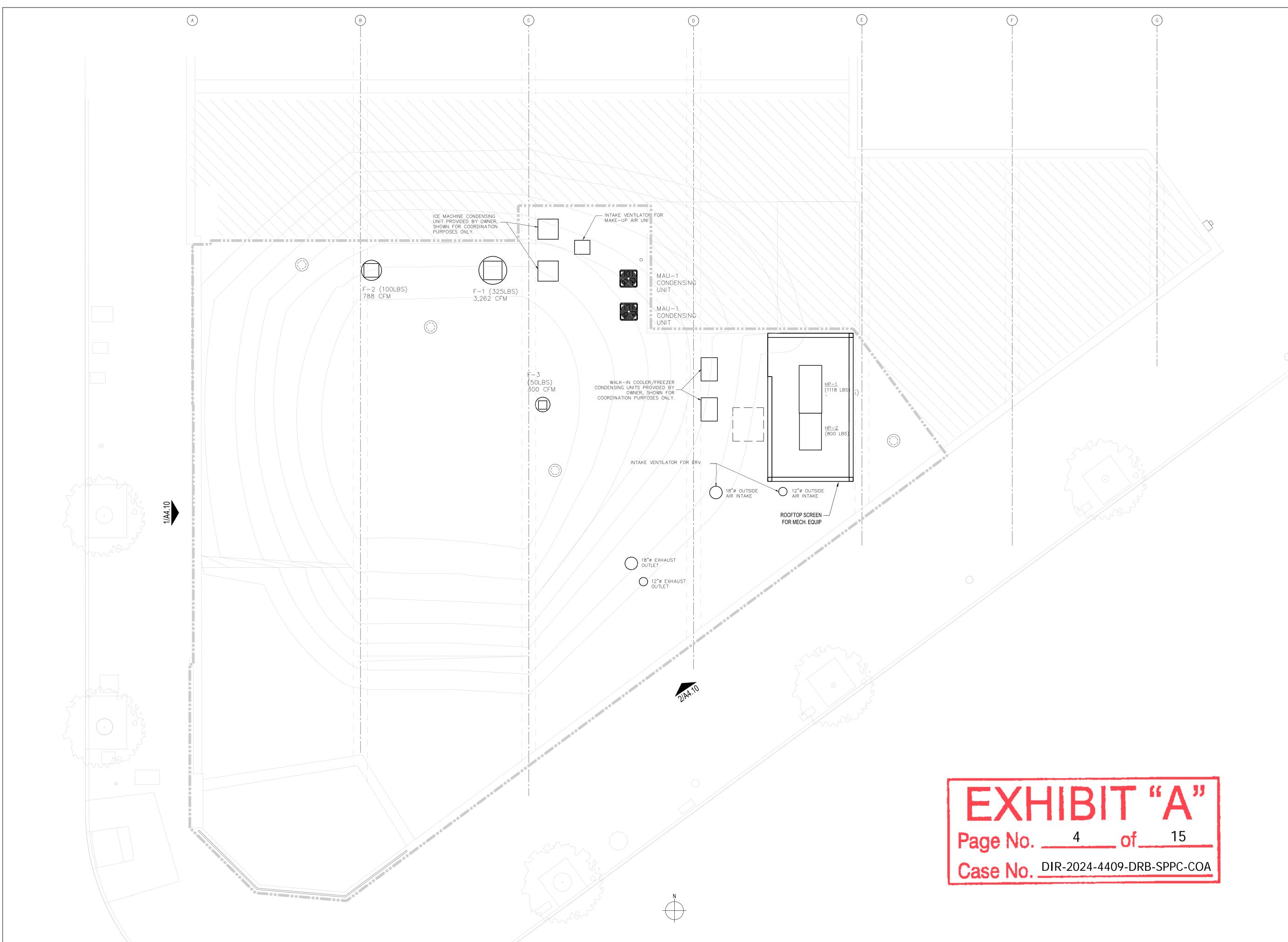
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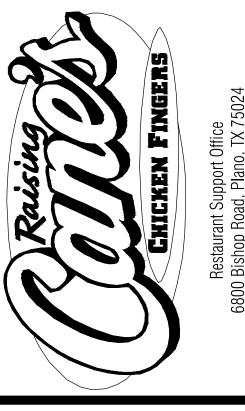
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KEYNOTE AND FRAMING MECH. ROOM MEZZANINE PLAN

Sheet Numl

A1.11





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

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Prototype Phase: NTV
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CSRS Project Manager: KF

DRB REVIEW

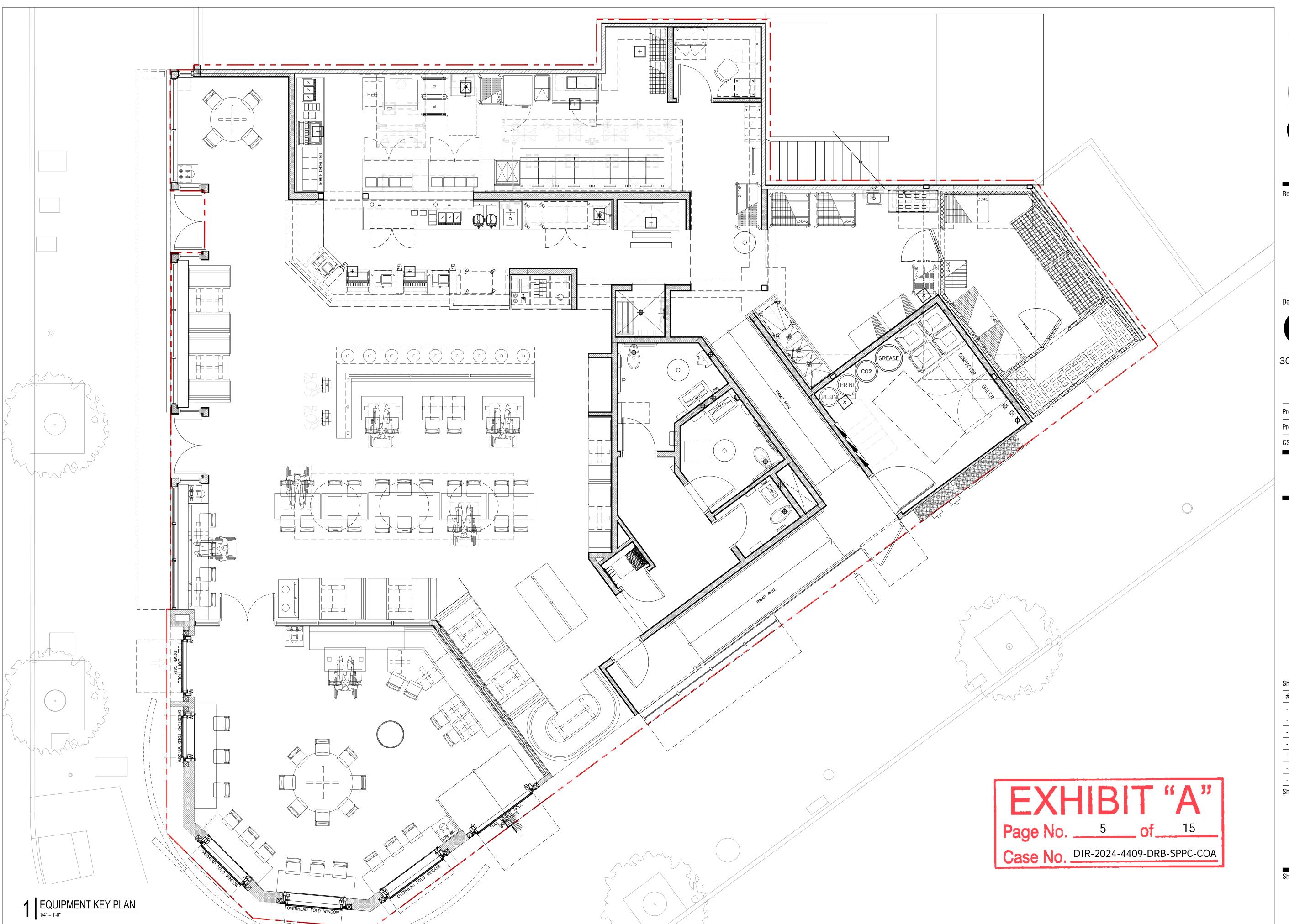
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ROOF PLAN

Sheet Numb

A1.50



CKICKEN FINGERS

Restaurant Support Office

Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

CSRS

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

DRB REVIEW 11/20/2024

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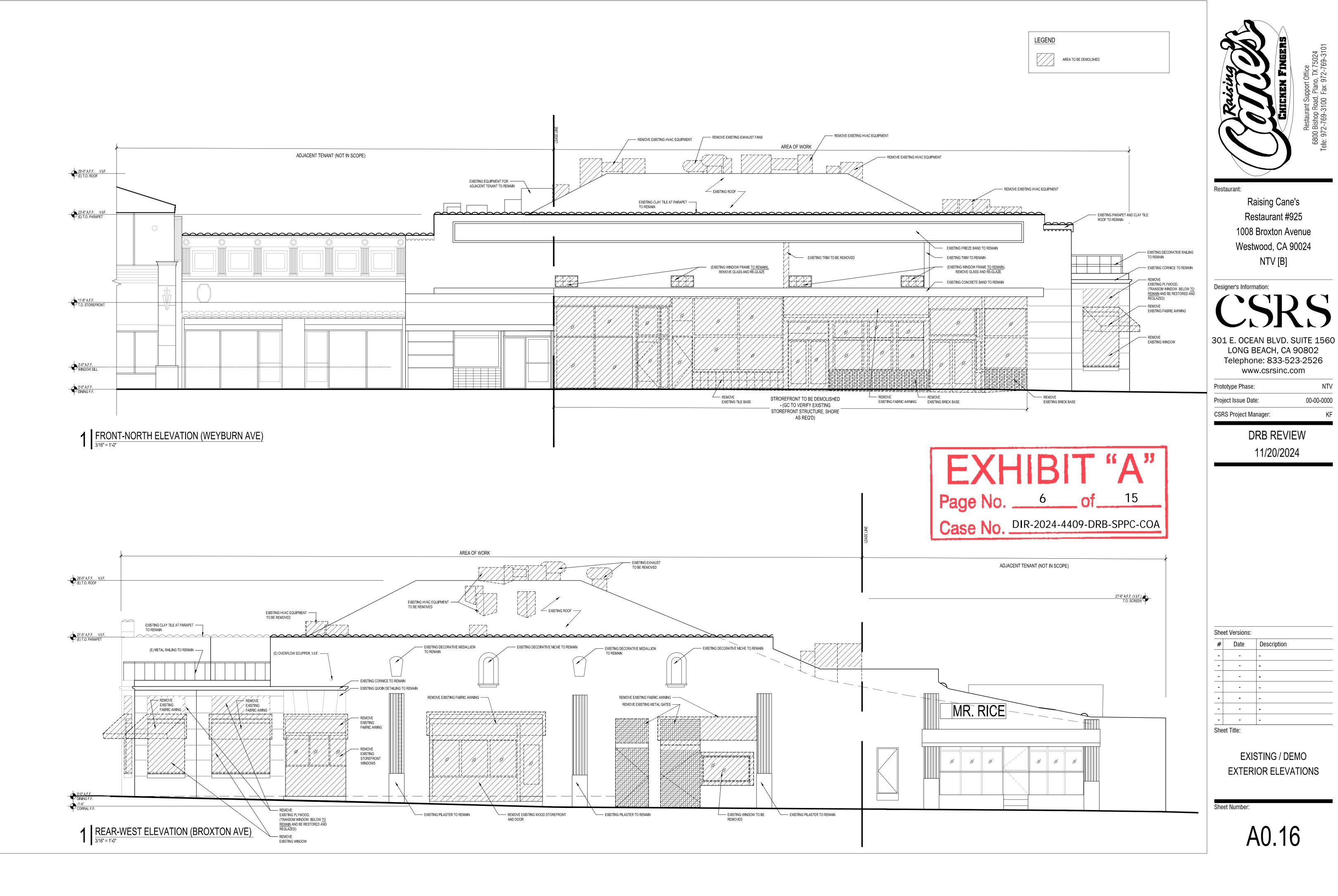
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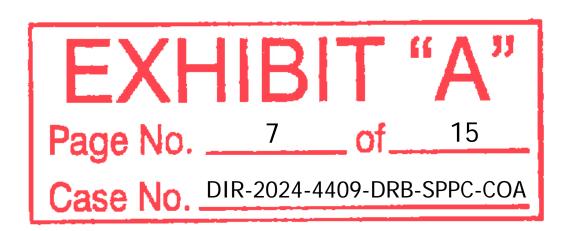
Equipment Key Plan

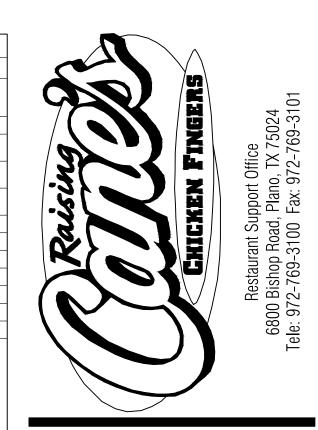
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FS3.10



			SCHE	TERIALS	
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

CSRS
301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802
Telephone: 833-523-2526
www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

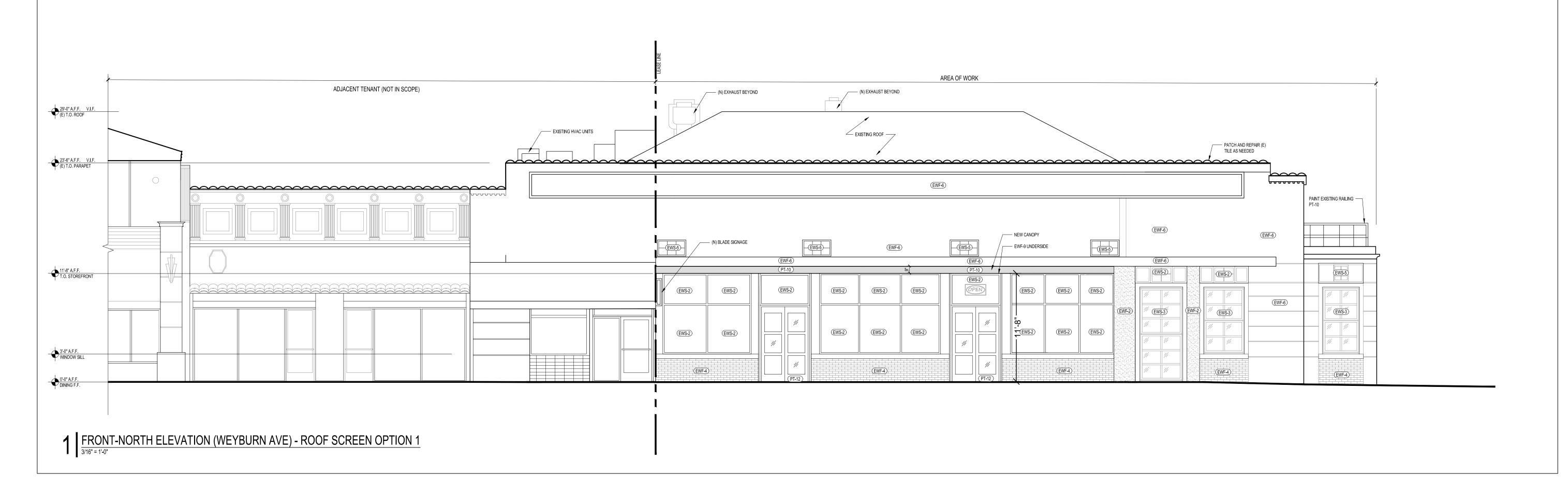
CSRS Project Manager: KF

DRB REVIEW 12/02/2024

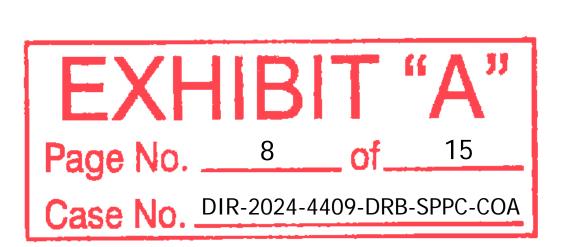
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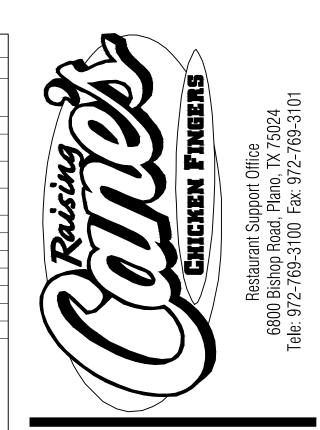
PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Number:



			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	•	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

CSRS

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

DRB REVIEW 12/02/2024

•		AREA OF	F WORK (N) EXHAUST BEYOND (N) EXHAUST B	BEYOND		ADJACENT TENANT (NOT IN SCOPE)	
<u>:</u>				(N) EXHAUST BEYOND	l l	ADDAGENT TENANT (NOT IN GOOFE)	
<u>.</u>				AN CONDENCED DEVOND	1		
				(N) CONDENSER BEYOND			27'-6" A.F.F. (V.I.F.) T.O. SCREEN
			EXISTING ROOF —		(EWG 2)		
					EW5-2		
F							
	EWF-6)						
	PAINT EXISTING RAILING PT-10						
	<u>, </u>		EWF-7				
Ţ			EWF-9 UNDERSIDE CANOPY	EWF-9 UNDERSIDE CANOPY			
	(EWS-5) (EWS-5)	(EWF-6)	(PT-10)			RICE	
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			P-12				
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: A D 1	MEST ELEMATION (DDOVTON AME) - E	DOOE CODEEN ODTION 1	EXISTING	MITH NEW BRICK TO MATCH NG ADJACENT AND FI JRE AND FINISH, & PAINT TO MATCH ADJAC	INISH, & PAINT TO MATCH		
<u>-/\\\-</u>	WEST ELEVATION (BROXTON AVE) - R	AUUF SUREEN UF HUN I	ADJACE	ENT)	ONCRETE BASE TO MATCH		

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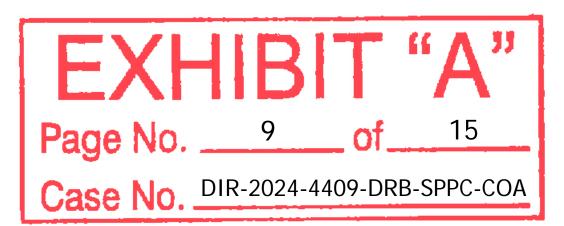
PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Number:

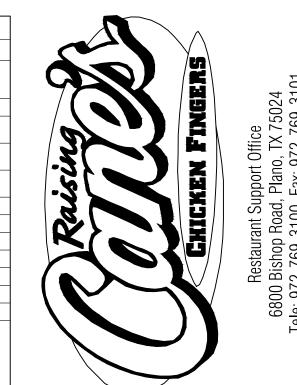
OPTION 1(EIFS SCREEN)

29'-0" A.F.F. V.I.F. (E) T.O. ROOF

27'-6" A.F.F. (V.I.F.) T.O. SCREEN



			TERIALS		
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	ē	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

Raising Cane's

Restaurant #925

1008 Broxton Avenue

Los Angeles, CA 90024

NTV [B]

Designer's Information:

301 F. OCEAN BLVD, SUITE 156

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

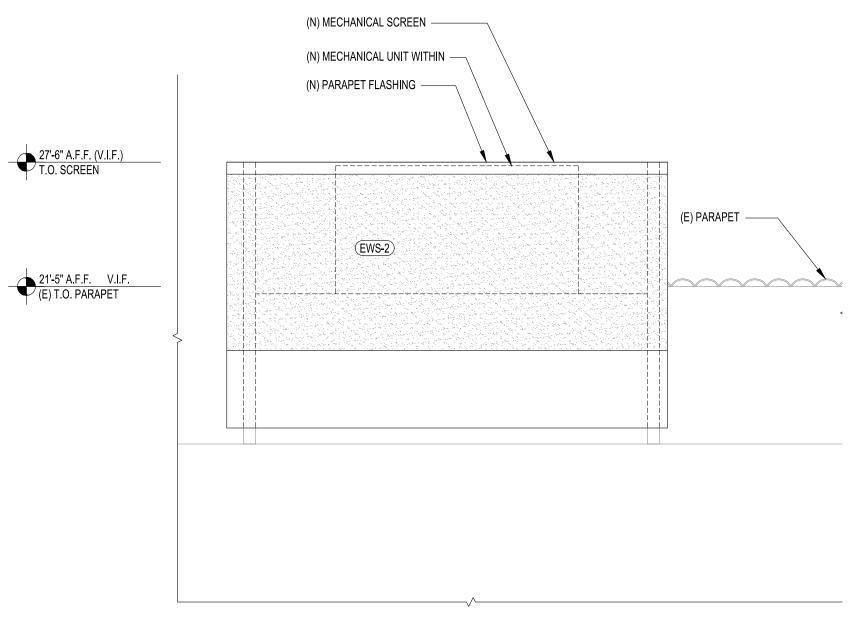
CSRS Project Manager: KF

DRB REVIEW 12/02/2024

(E) T.O. PARAPET

(N) MECHANICAL SCREEN -

2 MECHANICAL PLATFORM - SOUTH ELEVATION



5 ROOFTOP EQUIPMENT SCREEN

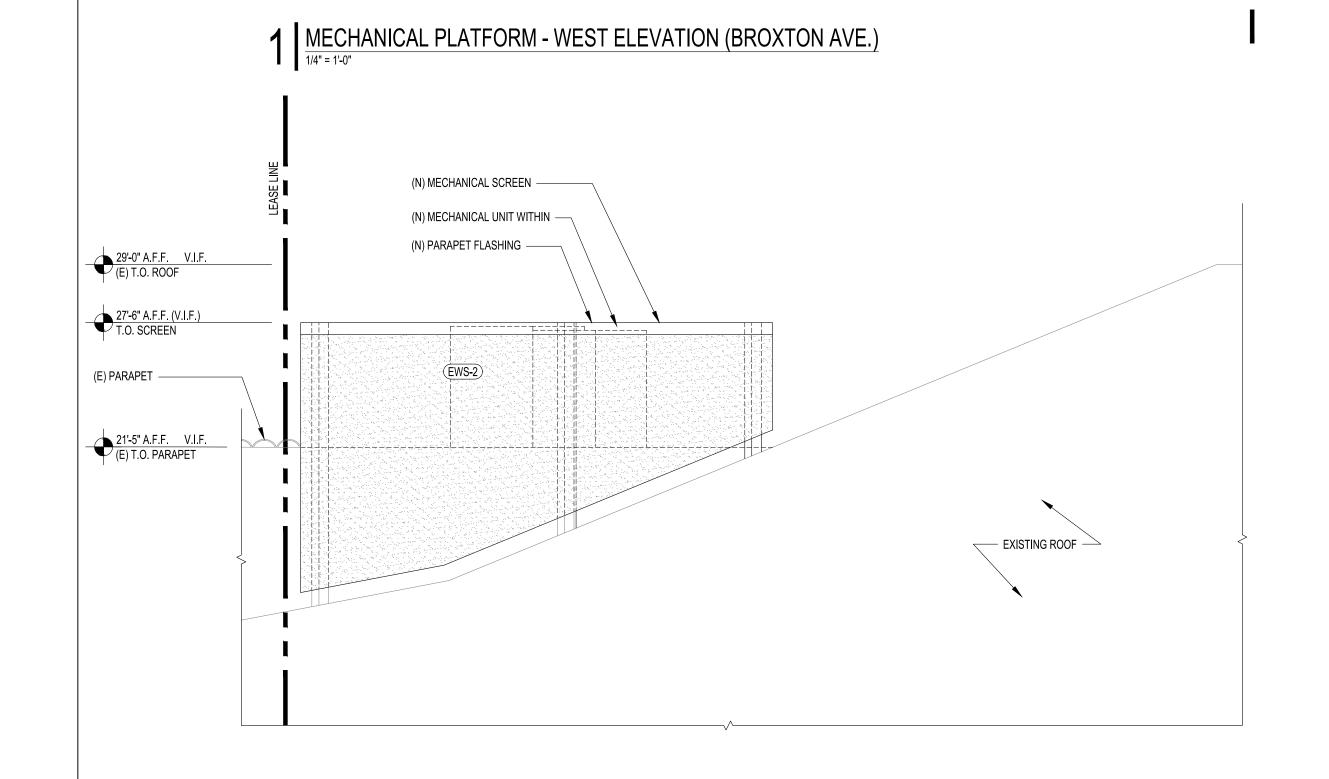
- (NEW ROOF PLATFORM

(EWF-2)

- EXISTING ROOF

NEW MECHANICAL EQUIPMENT —

4 MECHANICAL PLATFORM - NORTH ELEVATION



3 MECHANICAL PLATFORM - EAST ELEVATION

(N) MECHANICAL SCREEN -

(N) PARAPET FLASHING -

(N) MECHANICAL UNIT WITHIN -

27'-6" A.F.F. (V.I.F.) T.O. SCREEN

 Sheet Versions:

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 Date
 Description

PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Numb

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
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EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

CSRS
301 E. OCEAN BLVD. SUITE 1560

Telephone: 833-523-2526
www.csrsinc.com

Prototype Phase: NTV

LONG BEACH, CA 90802

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

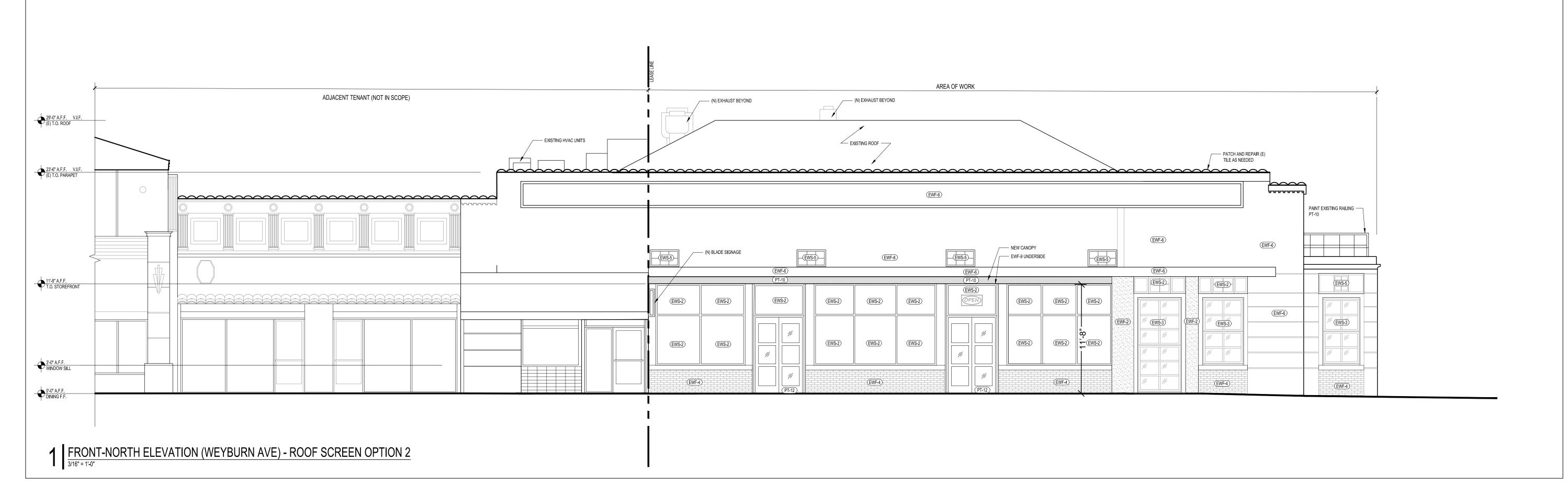
DRB REVIEW 12/02/2024

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 Description

PROPOSED EXTERIOR ELEVATIONS OPT. 2

Sheet Number:



			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

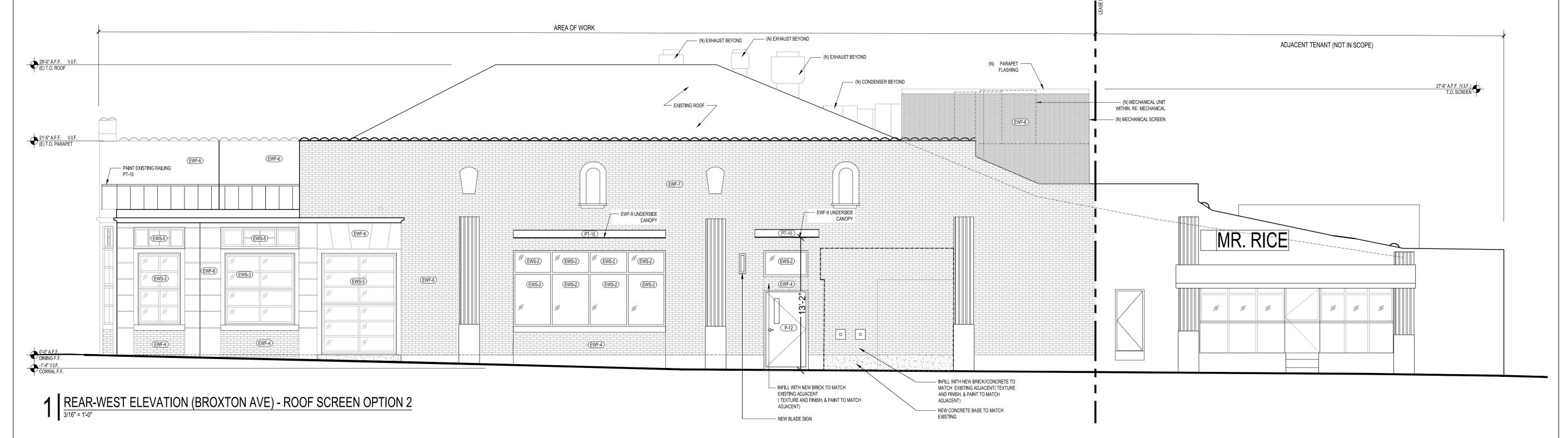
CSRS
301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

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K

12/02/2024

DRB REVIEW

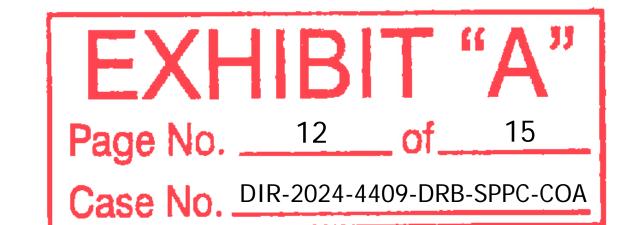


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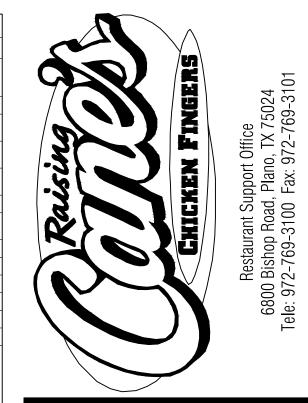
PROPOSED EXTERIOR ELEVATIONS OPT. 2

Sheet Number:

OPTION 2: PEFORATED METAL SCREEN



SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
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EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
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EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

Raising Cane's

Restaurant #925

1008 Broxton Avenue

Los Angeles, CA 90024

NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

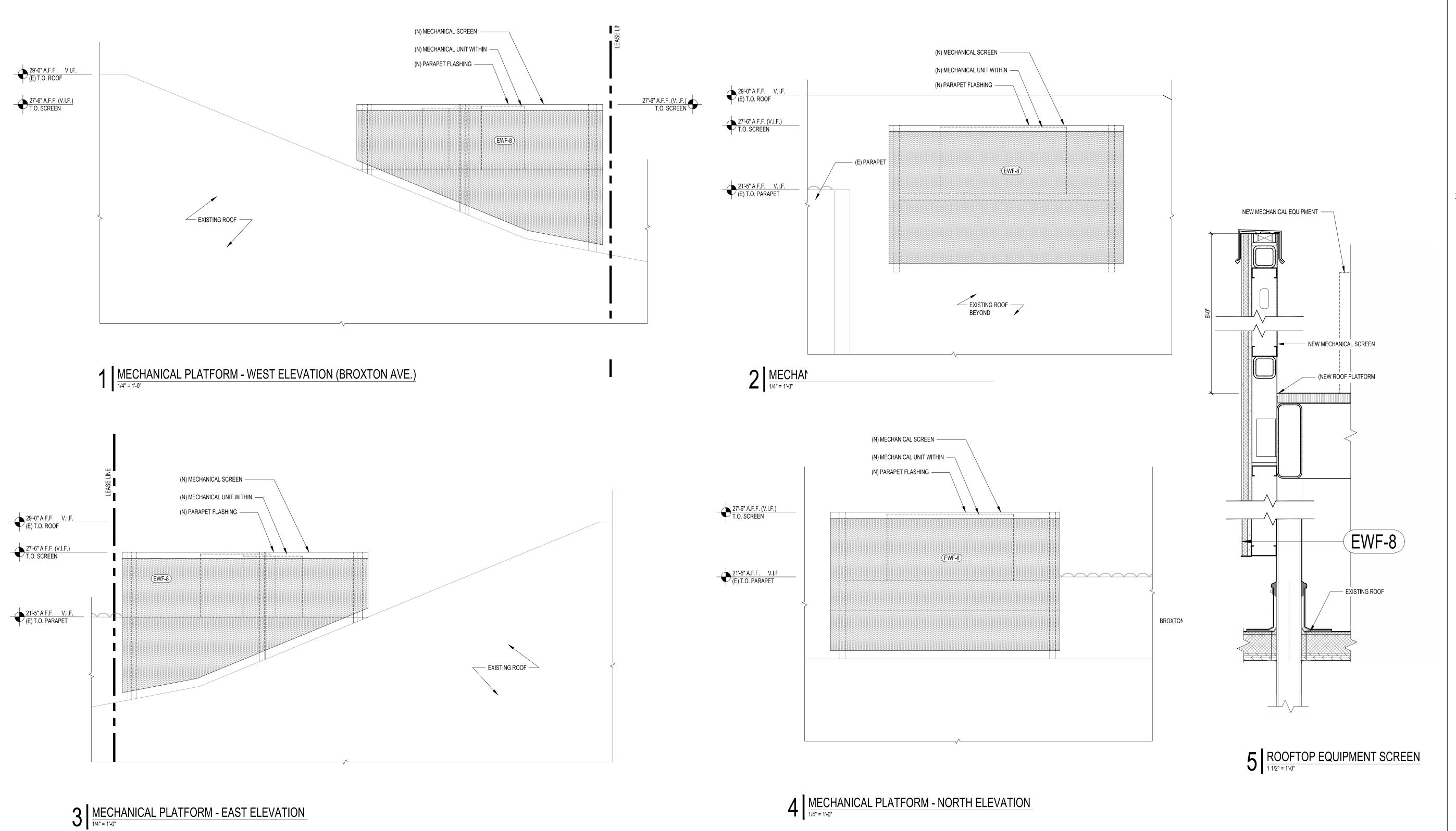
301 E. OCEAN BLVD. SUITE 156 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV

Project Issue Date: 00-00-0000

CSRS Project Manager: KF

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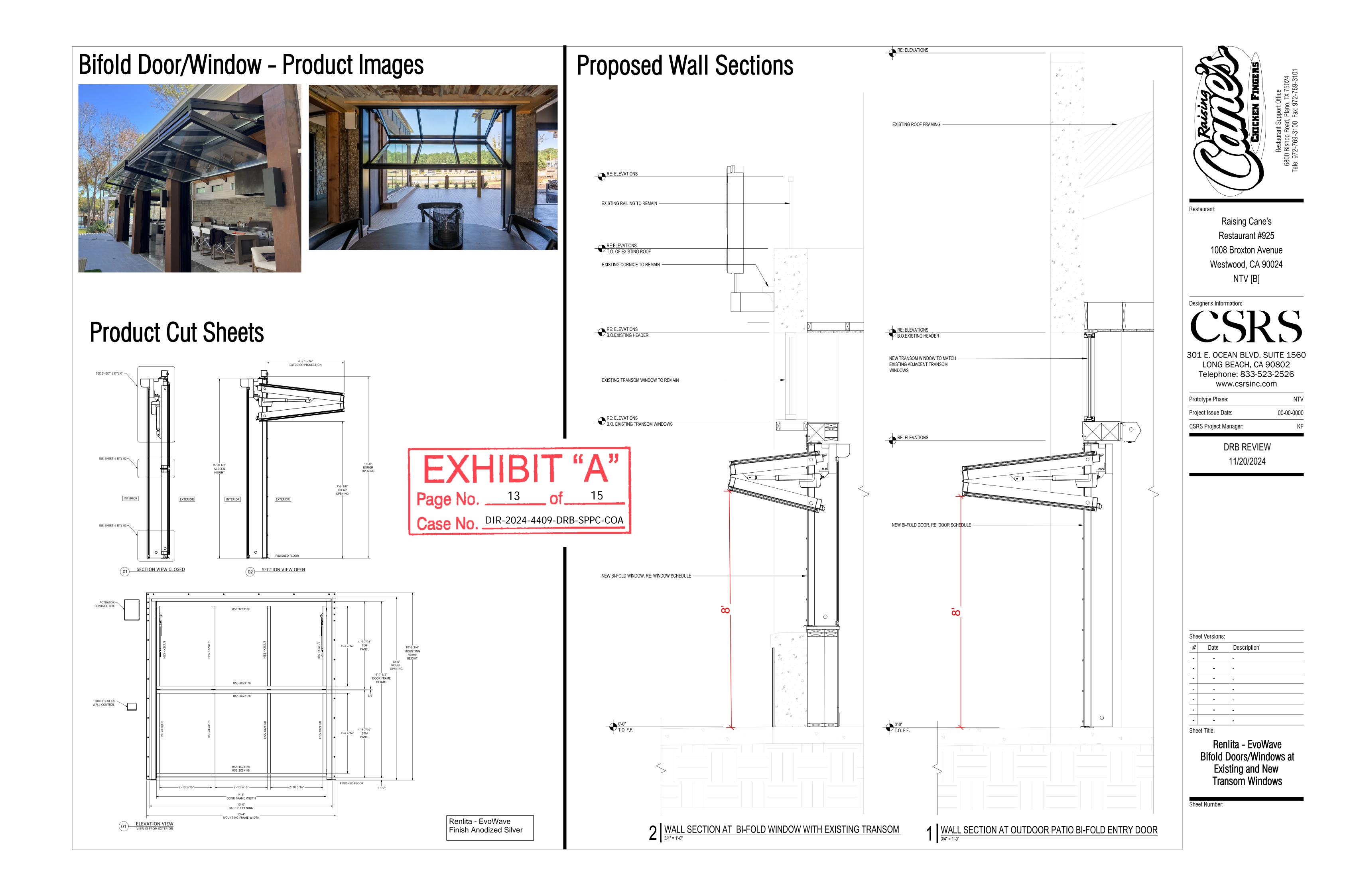
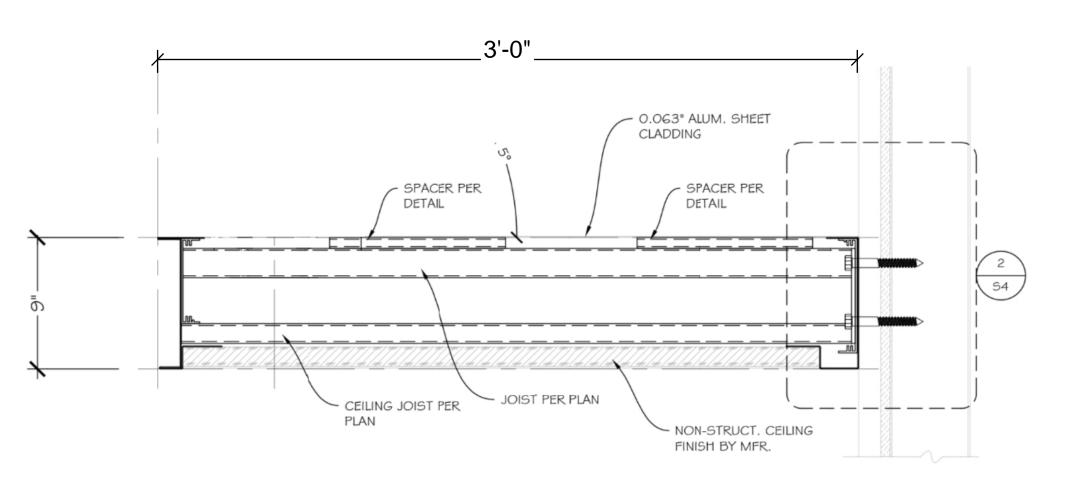


EXHIBIT "A" Page No. 14 of 15

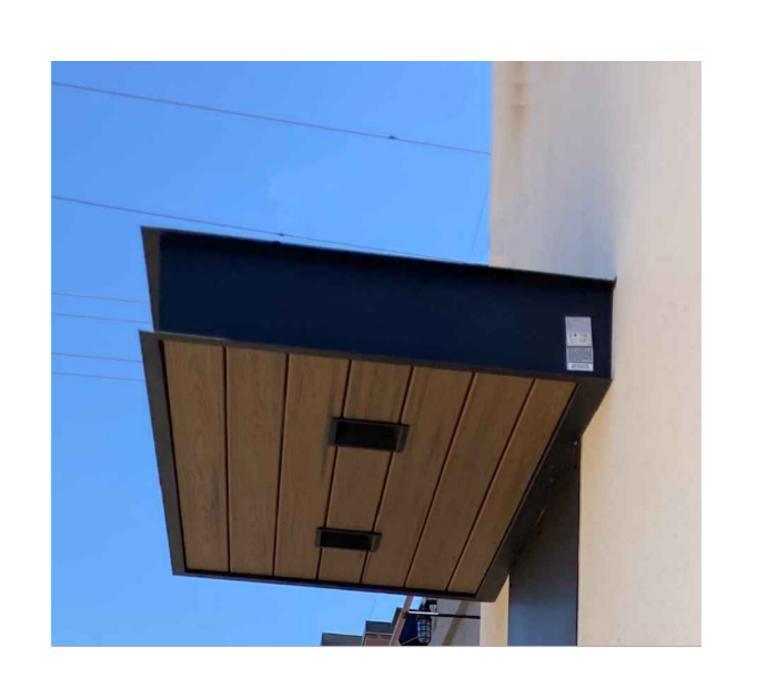
Case No. DIR-2024-4409-DRB-SPPC-COA



2 | SECTION DETAIL

PHOTOS OF AWNINGS FOR REFERENCE







Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000
CSRS Project Manager: KF

DRB REVIEW

11/20/2024

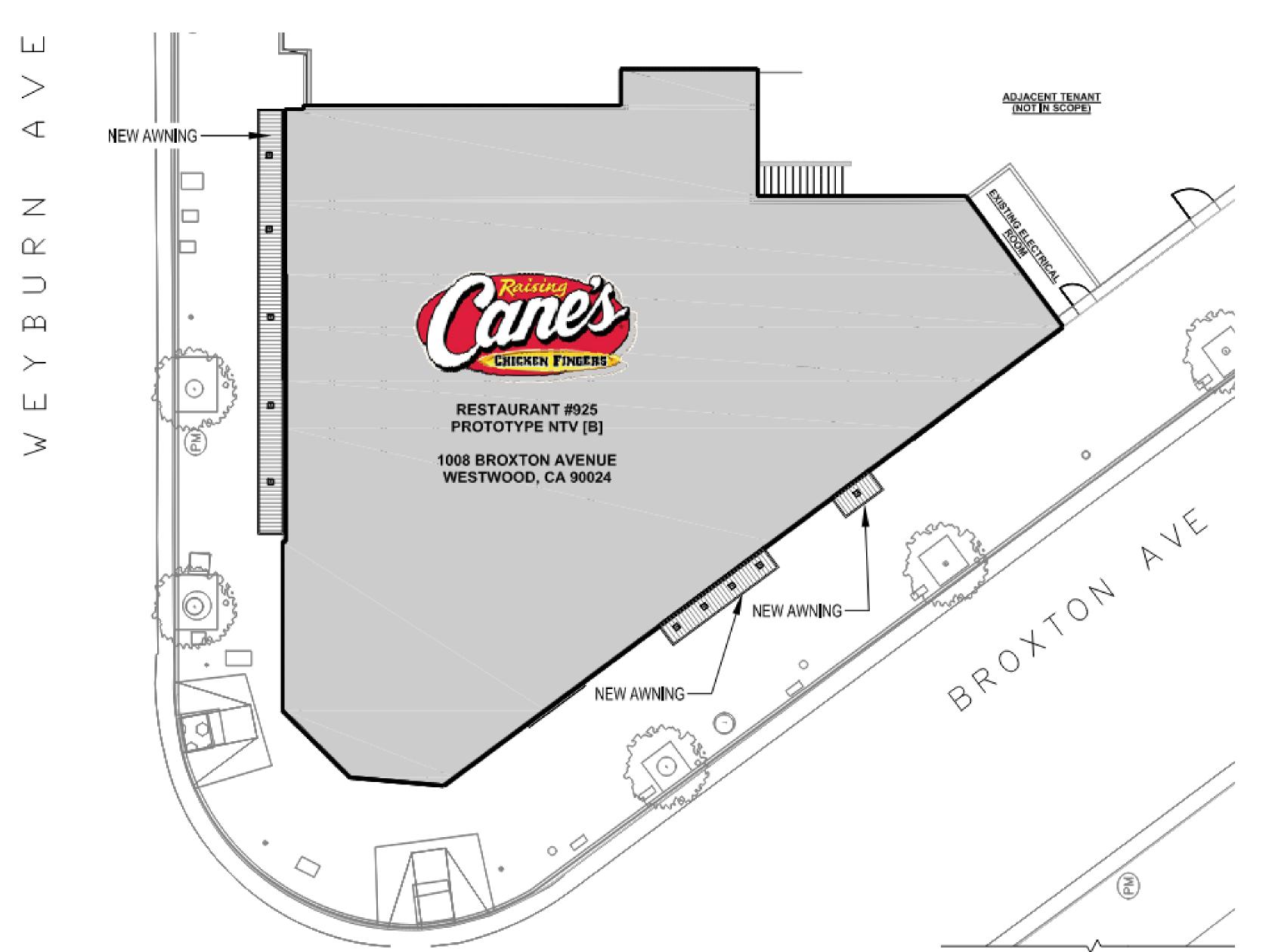
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 Sheet Title:

AWNING PHOTOS & DETAILS

Sheet Number:





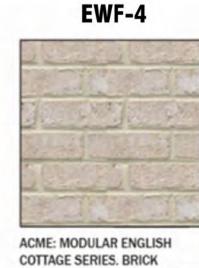
P-10

STEEL W/ POWDER COATED

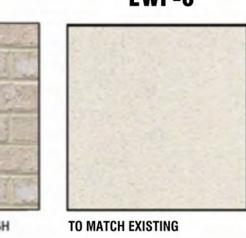
MATTE BLACK FINISH

FINISH: RAL 450-6 TEXTURE





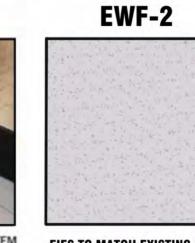
VENEER. PAINT AS NEEDED.





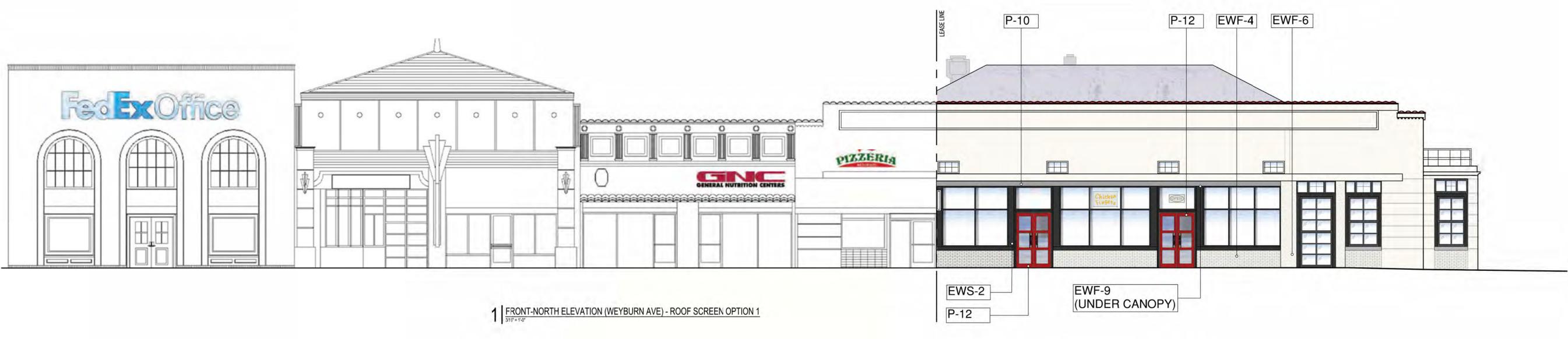
HAVANA GOLD

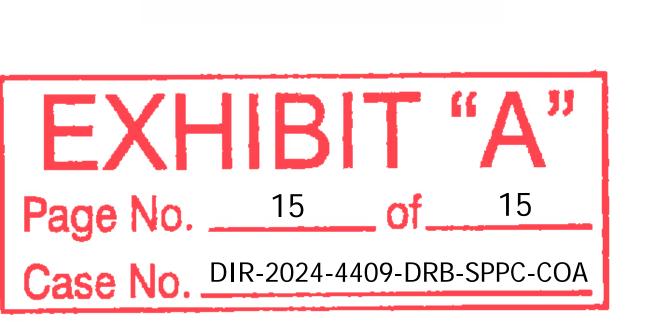




EIFS TO MATCH EXISTING ROOF

SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTFIAL WATER BASED ALKYDURETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERICR FINISH	DRYVIT	WEATHEFLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERICR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
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EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.









Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

DRB REVIEW 12/02/2024

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PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Number:

Exhibit C

Environmental Clearance

COUNTY CLERK'S USE

CITY OF LOS ANGELES

OFFICE OF THE CITY CLERK 200 NORTH SPRING STREET, ROOM 395 LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS DIR-2024-4409-DRB-SPPC-COA; Project Compliance (Design Review E	Soard), Certificate of Appro	ppriateness	
LEAD CITY AGENCY		CASE NUMBER	
City of Los Angeles (Department of City Planning)		ENV-2024-4410-CE	
PROJECT TITLE		COUNCIL DISTRICT	
Raising Cane's Westwood Village		5 – Yaroslavsky	
PROJECT LOCATION (Street Address and Cross Streets and/or Attack	ned Map)	☐ Map attached.	
10942 – 10946 W Weyburn Avenue & 1008 S Broxton Av	renue		
PROJECT DESCRIPTION:		☐ Additional page(s) attached.	
A façade remodel and rehabilitation resulting in a consolidated retail corr an open-air patio and the change of use from retail to restaurant.	er suite with new windows	s, entryways, awnings, lighting, an	d
NAME OF APPLICANT / OWNER:			
Kristen Roberts, Raising Cane's			
CONTACT PERSON (If different from Applicant/Owner above) Sara Houghton, Three6ixty	(AREA CODE) TELEPH (310) 204-3500	HONE NUMBER EXT. 312	
EXEMPT STATUS: (Check all boxes, and include all exemptions, that a	` '		
		Citations.)	
STATE CEQA STATUTE &	GUIDELINES		
☐ STATUTORY EXEMPTION(S)			
Public Resources Code Section(s)			
☑ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Set	ec. 15301-15333 / Class 1-	-Class 33)	
CEQA Guideline Section(s) / Class(es) Sections 15301 (Class	1) & 15331 (Class 31)		
☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Se	ction 15061(b)(3) or (b)(4)	or Section 15378(b))	
JUSTIFICATION FOR PROJECT EXEMPTION:		Additional page(s) attached	
The City of Los Angeles determined based on the whole of the administra	ative record, that the Proje	ct is exempt from CEQA pursuant	to

The City of Los Angeles determined based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Sections 15301 Class 1 (Existing Facilities) and 15331 Class 31 (Historic Resource Restoration/Rehabilitation) and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The Class 1 Categorical Exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The proposed project involves a façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant in an existing commercial building. It is limited to the four current tenant spaces and does not propose the expansion of an existing use.

The Class 31 Categorical Exemption allows projects limited to the maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. The subject building is a designated Locally Significant Cultural Resource within the Westwood Village Specific Plan. A Cultural Resources Report, dated October 2024, was prepared by Historic Resources Group. The proposed project has been reviewed for consistency with the Secretary of the Interior standards by both a third-party historic preservation consultant and the Office of Historic Resources. Whereas the project scope involves the rehabilitation of multiple character-defining historic features of the original building such as transom windows and iron-wrought railings, the project is eligible for an exemption of this class.

Furthermore, the Exceptions outlined in Section 15300.2 of the CEQA Guidelines do not apply to the proposed project:

- Location. The project is not located in a sensitive environment. It is in the commercial district of a developed, urban neighborhood and is consistent with the scale and uses proximate to the area.
- Cumulative Impact. The project is consistent with the type of development permitted for the area zoned C4-2D-O and designated for Community Commercial land uses. The proposed project will not exceed thresholds identified for impacts to the area (i.e. traffic, noise, etc.) and will not result in significant cumulative impacts.
- Significant Effect. A Categorical Exemption shall not be used for an activity where there is a reasonable possibility that the (c) activity will have a significant effect on the environment due to unusual circumstances. The proposed project consists of work typical to a developed commercial district. Thus, there are no unusual circumstances that will lead to a significant impact on the environment.
- (d) Scenic Highways. The only State-designated Scenic Highway in the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of the Topanga State Park. The subject property is located approximately 8 miles from Topanga Canyon State Scenic Highway. Therefore, the proposed project will not create any impacts to scenic resources within a State-designated Scenic Highway.
- Hazardous Waste Sites. According to the EnviroStor, the State of California's database of hazardous waste sites, neither the subject property nor any property in the vicinity, is identified as a hazardous waste site. Furthermore, the building permit history for the project site does not indicate the site may be hazardous or otherwise contaminated. Therefore, this exception does not apply.
- Historical Resources. A Categorical Exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource. The existing structure has been identified as a Locally Significant Cultural Resource in the Westwood Village Specific Plan. A Cultural Resources Report, dated October 2024, was prepared by Historic Resources Group. The Specific Plan requires a Certificate of Appropriateness for significant alterations to a Cultural Resource and requires compliance with the Secretary of the Interior's Standards for Rehabilitation in order to issue a Certificate of Appropriateness. The project has been evaluated by staff, technical experts, and the Westwood Design Review Board against the Standards for Rehabilitation. As outlined in the Cultural Resources Report, the project complies with the applicable Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan. Furthermore, the Office of Historic Resources reviewed the proposed project and Report, and determined that it did not alter significant defining features of the building that could result in a substantial change to the significance of the historic resource. The project will comply with the Secretary of Interior's Standards for Rehabilitation. The project will not result in a substantial adverse change in the significance of the Locally Significant Cultural Resource and the Exceptions outlined in Section 15300.2 of the CEQA Guidelines do not apply.

Therefore, the proposed project is determined to be categorically exempt and does not require mitigation or monitoring measures.

☑ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.

☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY: CITY STAFF NAME AND SIGNATURE STAFF TITLE Jackson Olson Q Planning Assistant ENTITLEMENTS APPROVED Project Compliance (Design Review Board), Certificate of Appropriateness

DISTRIBUTION: County Clerk, Agency Record

Rev. 6-22-2021

HISTORIC RESOURCES GROUP

CULTURAL RESOURCE REPORT 10940-10948 WEYBURN AVENUE AND 1008 S. BROXTON AVENUE OCTOBER 2024



12 S. Fair Oaks Avenue, Suite 200 Pasadena, CA 91105

Tel 626-793-2400

historicresourcesgroup.com

Raising Cane's Chicken Fingers

c/o Sara Houghton, AIA three6ixty 11287 W. Washington Boulevard Culver City, CA 90230

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1.0 EXECUTIVE SUMMARY

Raising Cane's Chicken Fingers (the Applicant) is proposing tenant improvements (the Project) to the retail spaces located at 10940-10948 Weyburn Avenue and 1008 South Broxton Avenue in the Westwood Village Specific Plan Area of the City of Los Angeles. The retail spaces are located in one of the two abutting commercial buildings located on the parcel (APN 4363-018-020, the Project Site) which encompasses the addresses 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue.

The Project Site was historically occupied by the Villa Mart market and is identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The purpose of this report is to evaluate the Project for eligibility for a Certificate of Appropriateness in compliance with the Specific Plan. This evaluation included review of existing information on the history and development of the Project Site; observation of existing conditions on the parcel; and analysis of the proposed tenant improvements. Research, observation, and analysis were performed by John LoCascio, AIA, Principal Architect, a qualified professional who meets the Secretary of the Interior's Professional Qualification Standards (36 CFR 61) in Architecture and Historic Architecture. A resume is included in Appendix C.

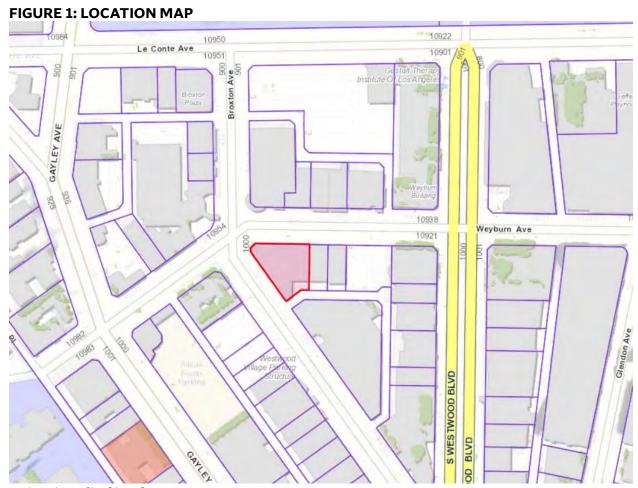
The Project proposes to combine existing tenant spaces into a single new restaurant space. The related exterior scope of work includes installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen.

This evaluation has determined that the Project complies with the Secretary of the Interior's Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

2.0 PROJECT SUMMARY

Project Location

The Project Site is located at the southeast corner of the intersection of Weyburn Avenue and South Broxton Avenue in Westwood Village. A location map is included in Figure 1, below.



Project Site outlined in red

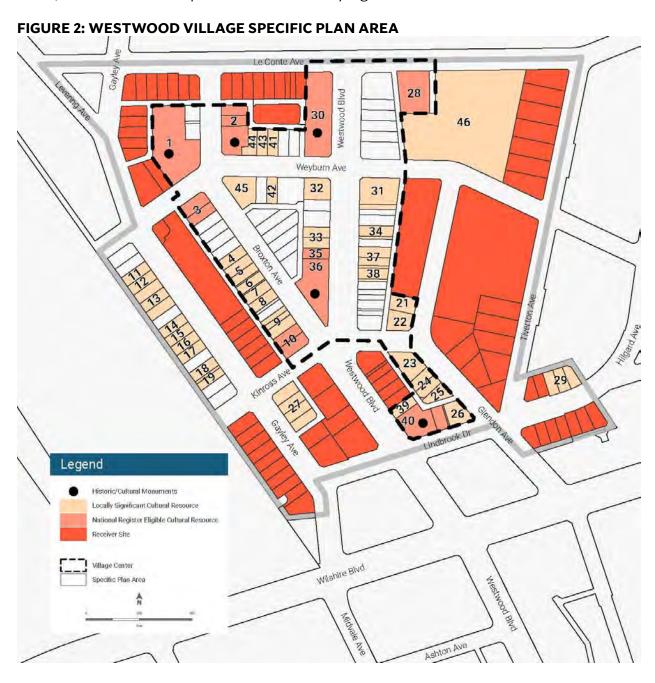
Project Description

The Project proposes to combine existing tenant spaces (10940-10948 Weyburn Avenue and 1008 South Broxton Avenue) into a single new restaurant space for Raising Cane's Chicken Fingers Restaurant #925. The interior of the tenant space will be reconfigured with new pick-up and dining areas, kitchen, and restrooms. The exterior scope of work includes installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen. See Appendix A for Project information.

3.0 SUMMARY OF PREVIOUS EVALUATIONS

Westwood Village Specific Plan

Westwood Village is currently regulated by the Westwood Village Specific Plan, originally adopted in 1989, with the most recent amendments effective December 1, 2022. The Specific Plan identifies a number of properties as "locally significant cultural resources" or "National Register eligible cultural resources," based upon the criteria for Los Angeles Historic Preservation Overlay Zones. While not officially designated, these properties are subject to review by the Westwood Community Design Review Board. The Project Site (#45 in the map below) is identified in the Specific Plan as a "Locally Significant Cultural Resource."



SurveyLA

SurveyLA is the City of Los Angeles' citywide survey of historic resources, conducted in accordance with the standards and guidelines set forth by the National Park Service and the California State Office of Historic Preservation, and overseen by the City's Office of Historic Resources. Properties surveyed as part of SurveyLA were evaluated for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments and Historic Preservation Overlay Zones.

The Westwood Village Commercial Planning District was identified by SurveyLA as an important example of early-20th century neighborhood commercial planning and development. Westwood Village is a planned commercial district located at the southern entrance to the campus of UCLA. It was developed by the Janss Investment Company beginning in 1929. The Janss brothers envisioned a business district that would serve the student population and adjacent neighborhoods, but would also become a shopping destination for the growing population of western Los Angeles. Guidelines established for building exteriors allowed architects to work within a loosely defined range of Mediterranean styles which would complement the Italian and Romanesque architecture of the adjacent university campus. Today, Westwood Village retains a number of its original buildings, several of which are designated Historic-Cultural Monuments. While the area as a whole does not retain sufficient integrity or cohesion to qualify as a historic district, over a dozen properties were identified individually as excellent examples of early commercial development associated with the original vision of Westwood by the Janss Corporation. About half of these were also evaluated for their architectural merit. The Project Site is located within the Westwood Village Commercial Planning District but was not identified in SurveyLA as individually eligible for historic designation, either for its association with the original vision of Westwood or for its architectural merit.

Built Environment Resources Directory (BERD)

The California Office of Historic Preservation (OHP) maintains the Built Environment Resource Directory (BERD), a database of previously evaluated resources throughout the state. The BERD contains information only for cultural resources that have been processed through OHP. This includes resources reviewed for eligibility for the National Register of Historic Places and the California Historical Landmarks programs through federal and state environmental compliance laws, and resources nominated under federal and state registration programs. The Project Site is not listed in the BERD.¹

¹ California Office of Historic Preservation, "Built Environment Resource Directory: Los Angeles County," 2021.

4.0 DESCRIPTION OF THE PROJECT SITE

The parcel at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue is located at the southeast corner of the intersection of Weyburn Avenue and Broxton Avenue in the Westwood Village neighborhood of Los Angeles. The irregularly shaped parcel is bounded on the west by Broxton Avenue, on the north by Weyburn Avenue, on the east by an adjacent commercial building, and on the south by a service alley. The parcel is occupied by two abutting commercial buildings set flush to the property lines on the west, north, east, and south, save for a narrow parking strip at the south edge of the property along the alley.

The west building (10940-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue) is of concrete frame and brick masonry construction with a roughly triangular plan and complex massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a stepped parapet with a simple cornice and clay barrel tile coping. The parapet angles back at the northeast corner to highlight a lower polygonal pavilion with rusticated plaster piers, a flat roof, and a decorative metal balustrade. The primary (north) façade is asymmetrically composed of continuous aluminum-framed storefronts between rusticated plaster piers, with a smooth cement plaster parapet above. Remnant divided-light vent lights, painted shut, are visible in the parapet. The secondary (west) façade is of painted brick masonry and expressed concrete, with rectangular storefront openings divided by fluted concrete piers. The parapet is articulated with a brick niche centered above each storefront, and a cast escutcheon above each pier. The south (rear) façade is utilitarian.

The east building (10936-10938 West Weyburn Avenue) is of brick masonry construction with a rectangular plan and simple massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a parapet with a simple cornice and clay barrel tile coping on the primary (north) façade. The north façade is finished in smooth cement plaster. It has a shed-roofed projection at the aluminum-framed storefronts, and a parapet frieze of recessed plaster panels between squat, fluted piers, with a row of rondels above. The south (rear) façade is of expressed board-formed concrete with flush doors, horizontal sliding aluminum-sash windows, and security grilles.

Alterations

There have been numerous alterations to the exterior of the west building. The historically open frontage on Weyburn Avenue has been infilled with glazed aluminum storefronts. The windows in the corner pavilion have been replaced, and the transom lights above have been blocked. The plaster and brick base of the corner pavilion has been veneered with ceramic tile. The shed-roofed projection on the north façade of 10936-10938 West Weyburn Avenue was likely added in 1963.

Historic photographs of the Project Site are included in Appendix B. Photographs of existing conditions on the Project Site are included below.

EXISTING CONDITIONS PHOTOGRAPHS OF THE PROJECT SITE

Historic Resources Group



 ${\it Image 1: Overview of north façade, view southwest from Weyburn Avenue}$



Image 2: North façade, view southeast from Weyburn Avenue



Image 3: North façade, view southwest from Weyburn Avenue



Image 4: North façade, view east on Weyburn Avenue



Image 5: Corner pavilion, view southeast from intersection of Weyburn Avenue and Broxton Avenue



Image 6: West façade, view southeast from Broxton Avenue



Image 7: West façade, view northeast from Broxton Avenue

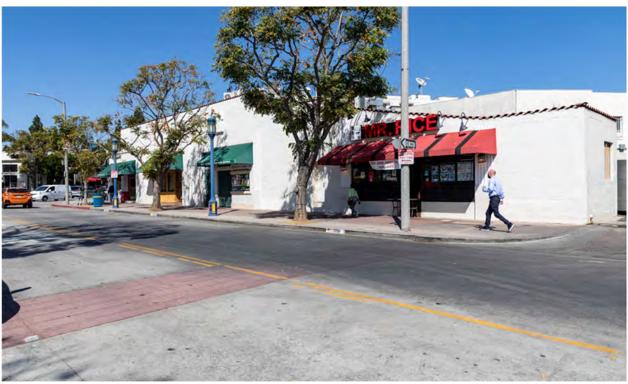


Image 8: West façade, view northeast from Broxton Avenue



Image 9: Southeast façade, view northwest from alley

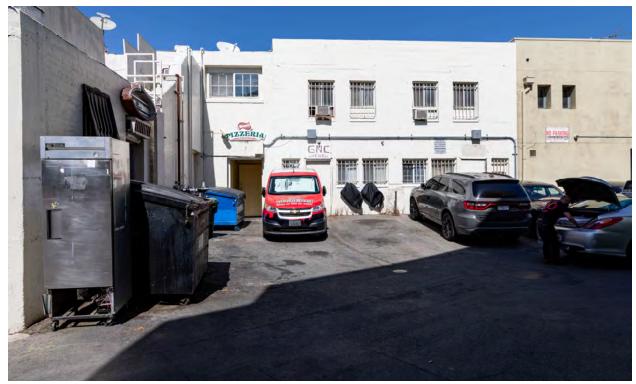


Image 10: South façade, view north from alley

5.0 ANALYSIS OF PROJECT COMPLIANCE

Framework for Analysis

Section 6.C. of the Westwood Village Specific Plan requires approval of a Certificate of Appropriateness for significant alterations to a Cultural Resource. Section 2.E. of the Specific Plan specifies that "Projects requiring a Certificate of Appropriateness shall be subject to the procedures set forth in Section 12.20.3 of the Los Angeles Municipal Code." Section 12.20.3, "HP" Historic Preservation Overlay Zone, requires the Director to base a determination on approval of a Certificate of Appropriateness on the project's compliance with the Secretary of the Interior's Standards for Rehabilitation.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The Secretary of the Interior's Standards for the Treatment of Historic Properties ("the Standards") provides guidance for reviewing proposed projects that may affect historical resources. The Standards and associated guidelines address four distinct historic "treatments," including: (1) preservation; (2) rehabilitation; (3) restoration; and (4) reconstruction. The specific Standards and guidelines associated with each of these possible treatments are provided on the National Park Service's website regarding the treatment of historic resources.2

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation, rehabilitation, and maintenance of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The Standards for Rehabilitation address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment rehabilitation assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character. Historic building materials and character-defining features are

² U. S. Department of the Interior, National Park Service, "Rehabilitation Standards and Guidelines," Technical Preservation Services, https://www.nps.gov/tps/standards/rehabilitation.htm (accessed October 2020), See also The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, by Kay D. Weeks and Anne E. Grimmer (1995), revised by Anne E. Grimmer (Washington, DC: 2017), https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf (accessed September 2023).

protected and maintained; however, greater latitude is given to replace missing or extensively deteriorated or damaged features using compatible substitutes. According to guidance from the National Park Service, the accommodation of change to make possible an efficient use of a historic building is basic to the process of rehabilitation and distinguishes it from restoration. It is the owner's choice as to what or how much work will be undertaken in a project. There is no requirement that missing or damaged historic features be restored.3 The Guidelines for Rehabilitating Historic Buildings recommends accurately reproducing a missing historic feature if adequate historical, pictorial, and physical documentation exists; or replacing the missing feature with a new design that is compatible with the character of the historic building but clearly differentiated so that a false historical appearance is not created.⁴

Standards Compliance Analysis

The Project proposes exterior alterations to the building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue, including installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen. The Project is evaluated below against the Secretary of the Interior's Standards for Rehabilitation to determine its eligibility for a Certificate of Appropriateness.

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

The former Villa Mart building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue will continue in its historic use as a retail commercial building. The exterior alterations proposed by the Project will require minimal change to the distinctive materials, features, spaces, and spatial relationships that characterize the building. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, none of which are historic. The Project will retain the building's complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 1.

Historic Resources Group

³ National Park Service, "Historic Preservation Tax Incentives: Cumulative Effect and Historic Character," https://www.nps.gov/subjects/taxincentives/cumulative-effect-and-historic-character.htm (accessed July 2024). ⁴ National Park Service, Technical Preservation Services, "Guidelines for Rehabilitating Historic Buildings: Introduction to the Guidelines," The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings (nps.gov), (accessed August 2024).

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The Project will retain and preserve the historic character of the former Villa Mart building and will avoid the removal of distinctive materials or the alteration of features, spaces, and spatial relationships that characterize the property. The Project will retain and preserve the building's exterior character-defining features, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, which are not historic. The Project complies with Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The Project does not propose changes that create a false sense of historical development or the addition of conjectural features or architectural elements from other buildings. The proposed new storefronts, bi-fold windows, steel canopies, and sign rail are clearly contemporary in design. The Project complies with Standard 3.

Standard 4: Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No changes to the former Villa Mart building have acquired significance in their own right. The Project complies with Standard 4.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The Project will retain and preserve the distinctive features, finishes, and examples of craftsmanship that characterize the former Villa Mart building, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible,

materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The Project will retain the historic features of the former Villa Mart building, including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will repair the decorative metal balustrade and replace its missing braces; and will restore the blocked transom lights above the windows of the corner pavilion. The Project complies with Standard 6.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The Project does not propose any chemical or physical treatments, such as sandblasting or high-pressure water blasting, that cause damage to historic materials. Any treatments will be undertaken using the gentlest means possible, following guidance provided by the National Park Service in the applicable Preservation Briefs. The Project complies with Standard 7.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The Project does not propose excavation that might reveal unexpected archeological resources. In addition, the Project Site is located in an urbanized area and has been subject to grading, excavation, fill, and construction activities in the past; any archeological resources that may have once existed on the Project Site have likely been previously disturbed. Standard 8 is not applicable to the Project.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The exterior alterations proposed by the Project will not destroy historic materials, features, or spatial relationships that characterize the former Villa Mart building. The Project will retain the building's exterior character-defining features including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will install new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; install new bi-fold windows and restore the historic transom lights in the polygonal corner unit; install a new signage band; and install new rooftop mechanical equipment and equipment screen. The new doors, storefronts, canopies, and bi-fold windows will be simple and contemporary in design, so will be visually unobtrusive and differentiated from the historic character of the building. They will be installed within existing openings, so will not alter the historic scale and proportions of the façade or the existing fenestration pattern. The new mechanical equipment and equipment screen will be located on the rear portion of the roof and will be minimally visible from the street. The Project complies with Standard 9.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Project does not propose new additions or adjacent or related new construction. Therefore, Standard 10 is not applicable to the Project.

6.0 CONCLUSION

The Project proposes tenant improvements to the existing commercial building located at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue, including interior remodel to combine existing tenant spaces (10942-10946 Weyburn Avenue and 1008 North Broxton Avenue) into a single new restaurant space; installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen.

The Project Site was identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The Specific Plan requires a Certificate of Appropriateness for significant alterations to a Cultural Resource and requires compliance with the Secretary of the Interior's Standards for Rehabilitation for approval of a Certificate of Appropriateness. Therefore, this report has evaluated the Project against the Standards for Rehabilitation.

This report has determined that the Project complies with the applicable Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

7.0 REFERENCES

California Office of Historic Preservation. Built Environment Resource Directory, Los Angeles County, 2020.

City of Los Angeles. "Westwood Village Specific Plan." Ordinance No. 187,644, Effective December 1, 2022.

City of Los Angeles Department of City Planning, Office of Historic Resources. Historic Resources Survey Report, Westwood Community Plan Area. Prepared by Historic Resources Group, March 2015.

APPENDIX A

PROJECT INFORMATION





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

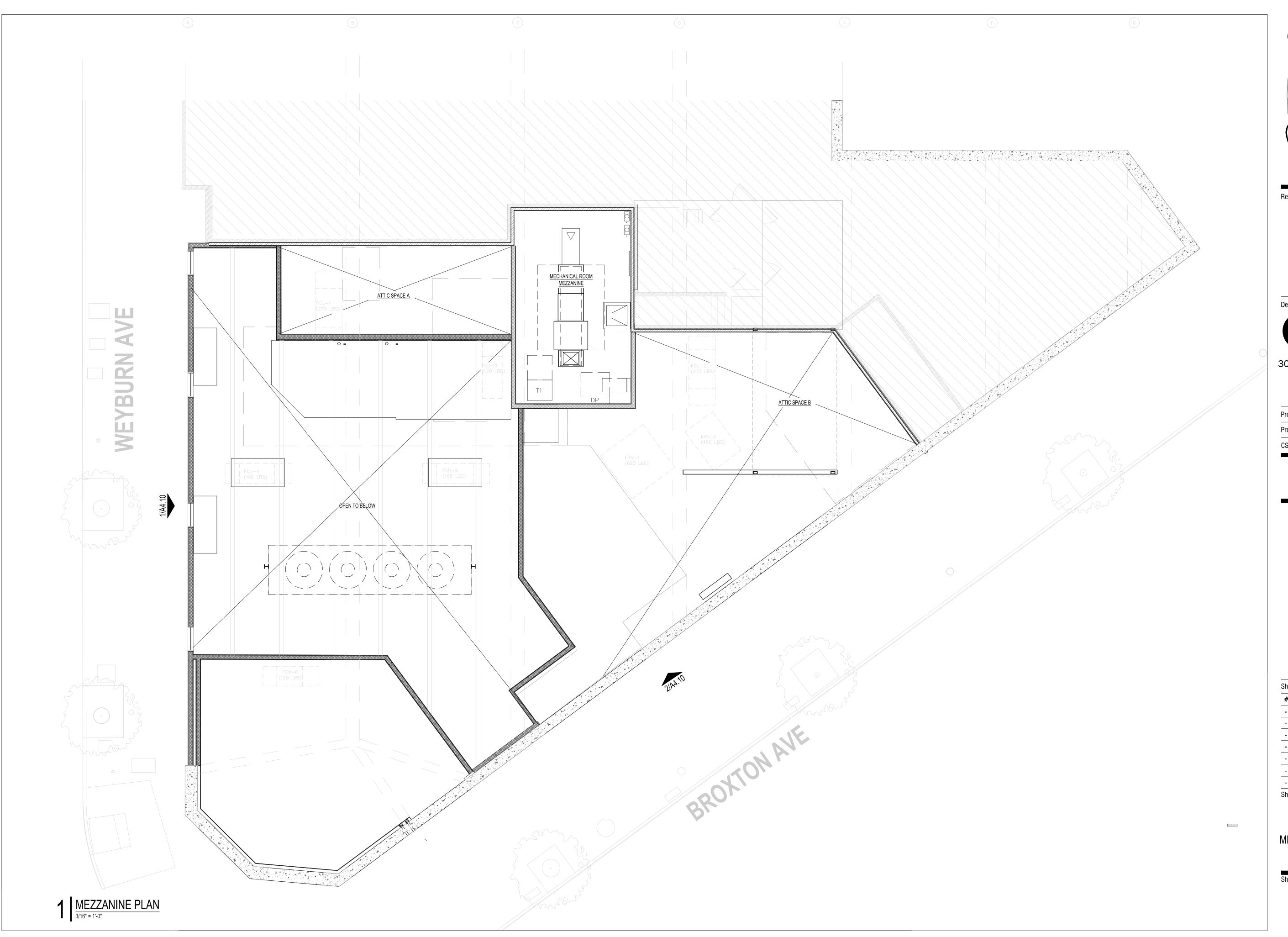
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KEYNOTE FLOOR PLAN

A1.10



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

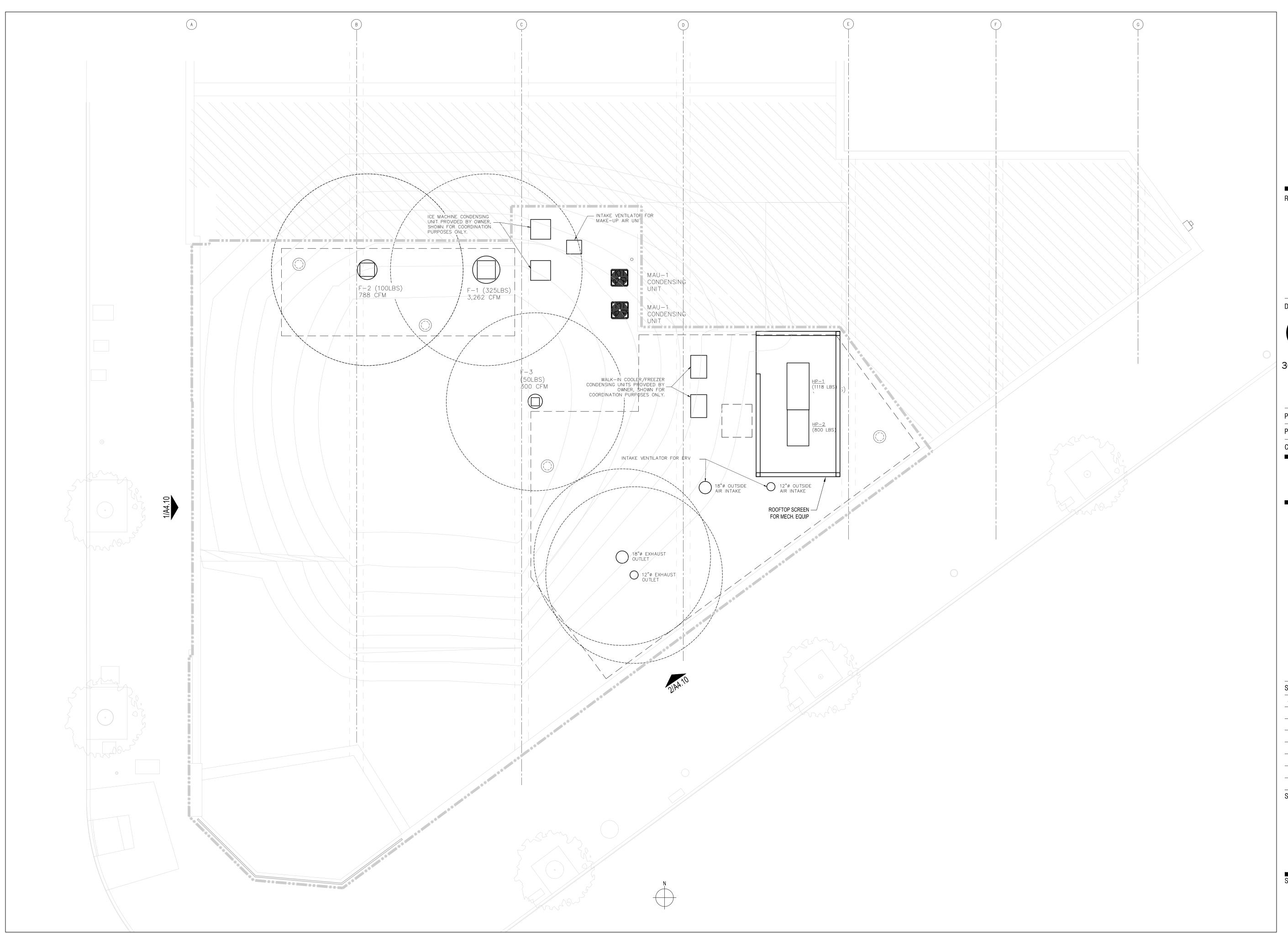
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KEYNOTE AND FRAMING MECH. ROOM MEZZANINE PLAN

A1.11



CHICKEN FINGERS

Restaurant Support Office
6800 Bishop Road, Plano, TX 75024

Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

CSRS

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

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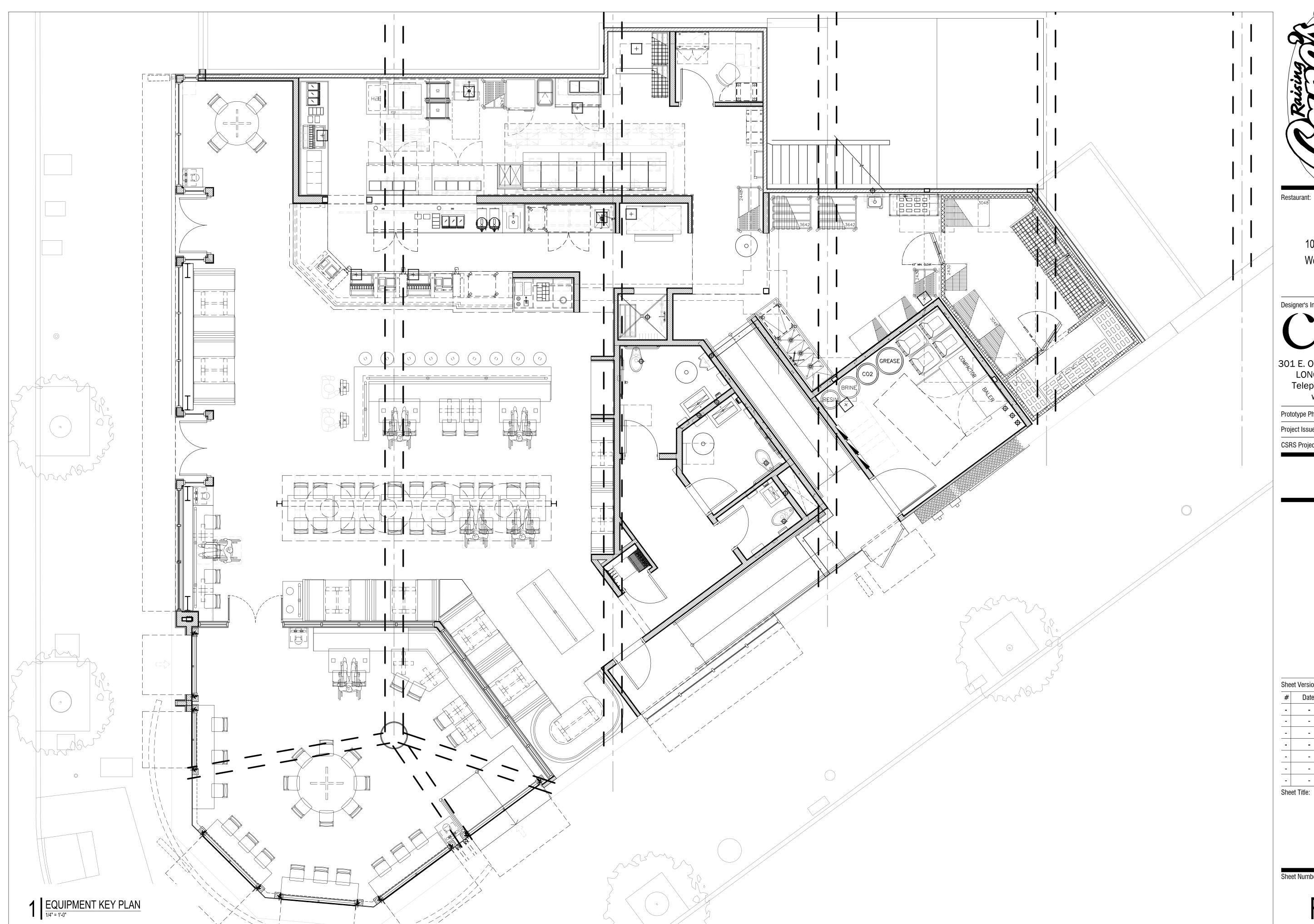
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ROOF PLAN

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Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

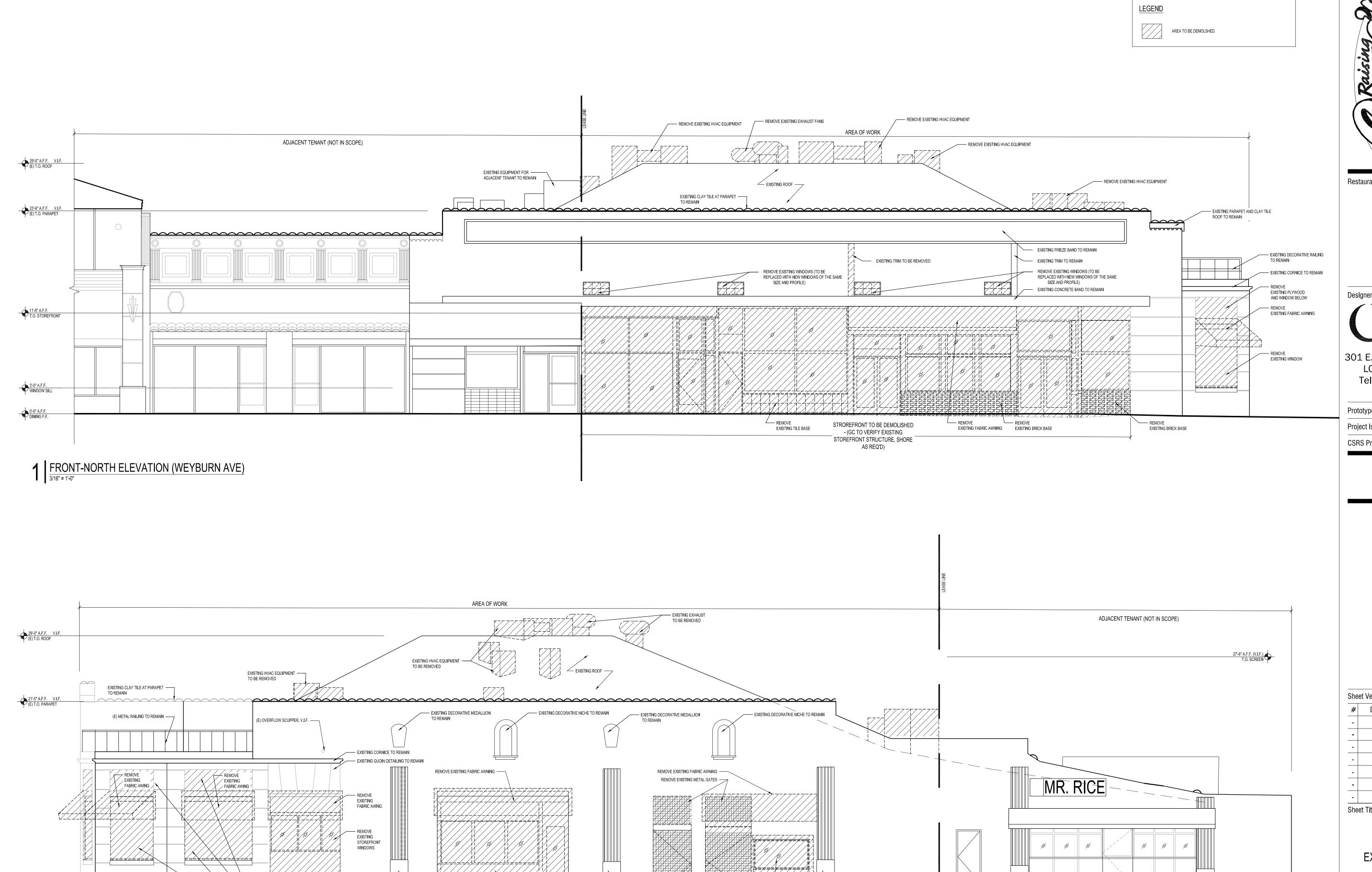
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Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

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Equipment

FS3.10



EXISTING WINDOW TO BE REMOVED

EXISTING PILASTER TO REMAIN

REMOVE
EXISTING PLYWOOD
AND WINDOW BELOW

1 REAR-WEST ELEVATION (BROXTON AVE) $\frac{1}{3/16"} = 1'-0"$

EXISTING PILASTER TO REMAIN

REMOVE EXISTING WOOD STOREFRONT AND DOOR

EXISTING PILASTER TO REMAIN

Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

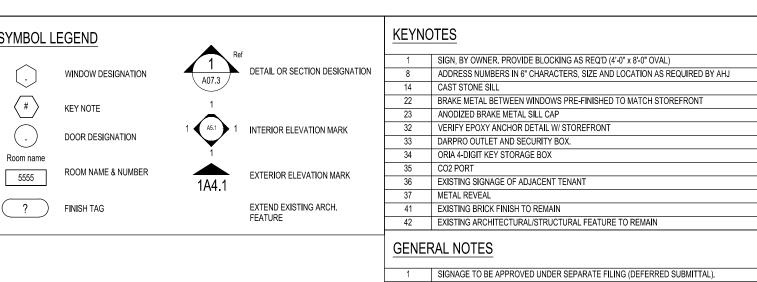
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EXISTING / DEMO **EXTERIOR ELEVATIONS**

Sheet Number:

	SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION	SYMI
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED	
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE		
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO	
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR	Room
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.	55
EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR	
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD		
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE	
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER		
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.	



SEALANT NOTES

1 PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
2 MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802
Telephone: 833-523-2526
www.csrsinc.com
Prototype Phase: NTV

Prototype Phase: NTV
Project Issue Date: 00-00-0000
CSRS Project Manager: KF

DRB SUBMITTAL 11/18/2024

F.F. V.I.F. PARAPET PAINT EXISTING RAILING PT-10 PAINT EXISTING RAILING SIGNAGE BAND (EWF-6) (EWF-6)		EXISTING ROOF —	(N) CONDENSER BEYON	(EIFS)	(N) PARAPET FLASHING (N) MECHANICAL UNIT WITHIN, RE: MECHANICAL (N) MECHANICAL SCREEN		27'-6" A.F.F. (V.I.F.) T.O. SCREEN
PAINT EXISTING RAILING PT-10 ANODIZED SILVER SIGNAGE BAND							
EWS-2) EWS-2) (EWS-2) (EWS-2) (EWS-6) (IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	(E) OVERFLOW SCUPPER, V.I.F. (EWF-6) (EWF-6) (EWF-6) (EWS-2) (EWS-2)	S-2) (EWS-2) (EWS-2)	P-12	INFILL WITH NEW BRICK TO MATCH EXISTING ADJACENT(TEXTURE AND FINISH, & PAINT TO MATCH ADJACENT)		MR. RICE	

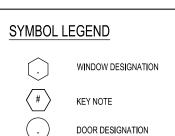
#	Date	Description
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-	-	-

PROPOSED EXTERIOR ELEVATIONS

Sheet Numb

A4.20

				SCHE	DULE OF EXTERIOR MA	TERIALS
	KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
	P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
	P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
	EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO
	EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
	EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
	EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
	EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
	EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
Ī	EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
	EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.



ROOM NAME & NUMBER

Room name

? FINISH TAG

1 DETAIL OR SECTION DESIGNATION 1 (A5.1) 1 INTERIOR ELEVATION MARK

1A4.1

SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION.

CAST STONE SILL

BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT

ANODIZED BRAKE METAL SILL CAP

VERIFY EPOXY ANCHOR DETAIL W/ STOREFRONT

ADARPRO OUTLET AND SECURITY BOX.

ORIA 4-DIGIT KEY STORAGE BOX

EXTERIOR ELEVATION MARK

35 CO2 PORT
36 EXISTING SIGNAGE OF ADJACENT TENANT
37 METAL REVEAL
41 EXISTING BRICK FINISH TO REMAIN
42 EXISTING ARCHITECTURAL/STRUCTURAL FEATURE TO REMAIN

EXTEND EXISTING ARCH. FEATURE

GENERAL NOTES 1 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).

SEALANT NOTES

PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.

MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

NTV Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

> DRB SUBMITTAL 11/18/2024

ADJACENT TENANT (NOT IN SCOPE)		AREA OF WORK (N) EXHAUST BEYOND (N) EXHAUST BEYOND	
F. V.I.F. DOOF	EXISTING HVAC UNITS	EXISTING ROOF	PATCH AND REPAIR (E) TILE AS NEEDED
V.I.F. APET		(EWF-6)	
			EWF-6) EWF-6 ANODIZED SILV
FRONT		(EWS-2) (EWS-2	SIGNAGE BAND
		EWS-2)	(EIFS) (EWS-3) (EIFS) (EWS-3)
		(EWF-4) (PT-12) (FT-12)	[EWF-4]
FRONT-NORTH ELEVATION (WEYBURN AVE)			23

#	Date	Description
-	-	-
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PROPOSED **EXTERIOR ELEVATIONS**

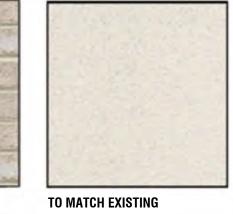


EXPOSED PAINTED STRUCTURAL ALUMINUM FINISH: RAL 450-6 TEXTURE

STEEL W/ POWDER COATED MATTE BLACK FINISH



VENEER. PAINT AS NEEDED.



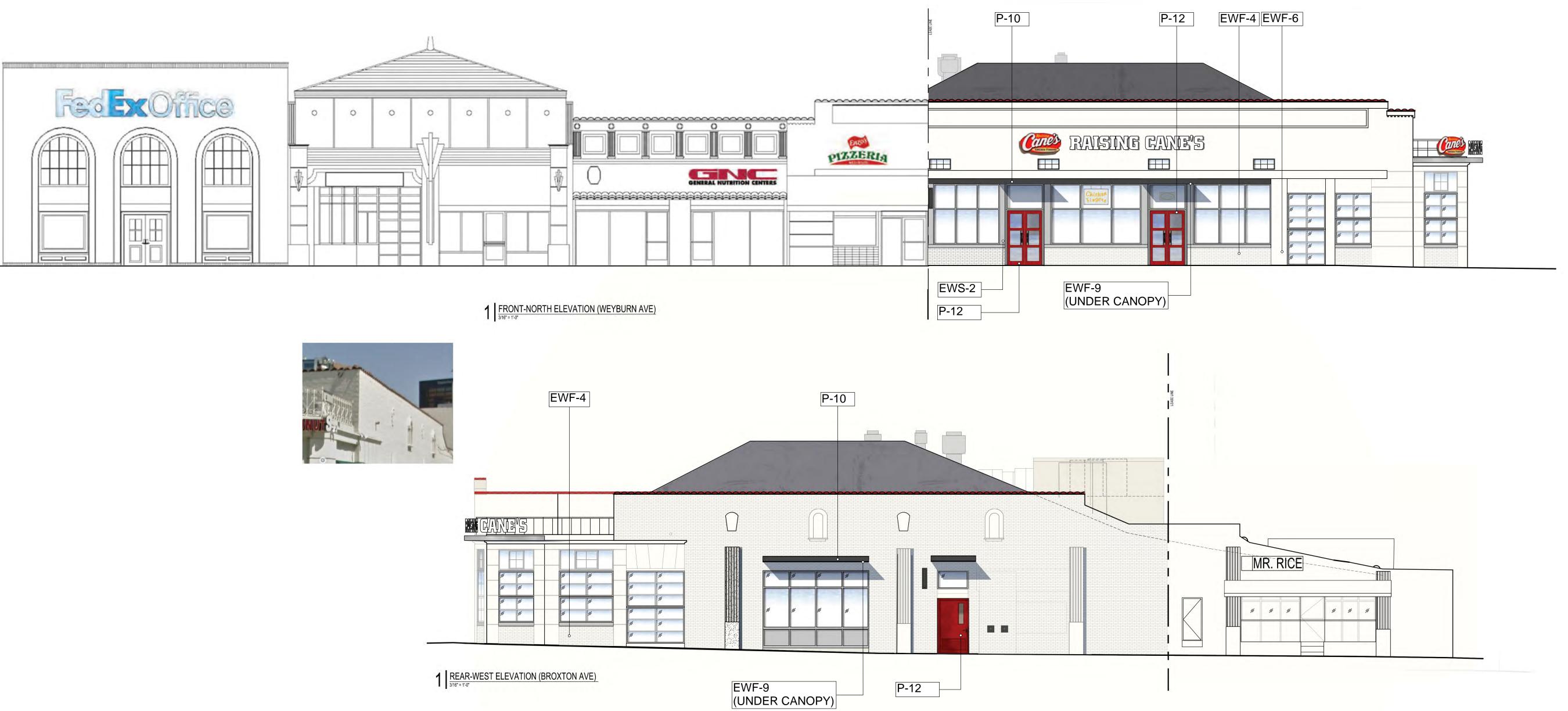


HAVANA GOLD

EWS-2 ALUMINUM STOREFRONT SYSTEM

FINISH: ANODIZED SILVER

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE-E (SPE) 456 OYSTER SHELL	APPLIED OVER STUCCO
EWF-4	BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	456 OYSTER SHELL	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	- 5			PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

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PERMIT SET 8/20/2024

#	Date	Description	
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PROPOSED **EXTERIOR ELEVATIONS**

Sheet Number:

A4.20

APPENDIX B

HISTORIC PHOTOGRAPHS



The Villa Mart market, c. 1940, view southeast from Weyburn Avenue (courtesy of Steve Sann)



The Villa Mart market, corner pavilion, c. 1950, view southeast from Weyburn Avenue and Broxton Avenue (courtesy of Steve Sann)



Stan's Donuts, c. 1980, view east from Broxton Avenue (courtesy of Steve Sann)

APPENDIX C

RESUMES OF AUTHORS/CONTRIBUTORS

HISTORIC RESOURCES GROUP

12 S. Fair Oaks Avenue, Suite 200 Pasadena, CA 91105 - 3816

Tel 626-793-2400 historicresourcesgroup.com



Professional LicenseCalifornia Architect C24223

Education

Master's Degree, Historic Preservation, University of Southern California

Bachelor of Architecture, University of Southern California

Honors and Awards

National Trust for Historic Preservation, Richard H. Driehaus Foundation National Preservation Award

Los Angeles Conservancy Preservation Award

California Preservation
Foundation Preservation Design
Award

City of Pasadena Historic Preservation Award

AIA Institute Honor Award

JOHN LOCASCIO, AIA

Principal Architect

Experience Profile

Years of Experience: 31

John LoCascio has been with HRG since 2011, involved in historic preservation since 2002, and a licensed, practicing architect since 1993.

John's areas of focus at HRG include historic architecture and technology, building conservation, historic structure reports and federal historic rehabilitation tax credit projects. He provides technical assistance for construction documents, advises on compliance with the Secretary of the Interior's Standards and the use of the State Historic Building Code, provides construction monitoring, and paint and materials sampling and analysis services. John has worked on a wide variety of buildings and structures in California as well as in other states. He is currently advising on historic tax credit projects in Los Angeles, the San Francisco Bay area, and Washington State. In addition, John regularly provides historic architecture consultation for numerous LAUSD campus modernization projects.

John LoCascio meets the *Secretary of the Interior's Professional Qualifications Standards* in Architecture and Historic Architecture.

Selected Projects

28th Street YMCA Rehabilitation and Adaptive Reuse, Los Angeles Academy Museum of Motion Pictures Rehabilitation, Hollywood Angelus Funeral Home Historic Tax Credit Project, Los Angeles CBS Columbia Square Rehabilitation and Adaptive Reuse, Hollywood Chapman University VPO Packing House Rehabilitation, Orange Climate Pledge Arena Historic Tax Credit Project, Seattle Constance Hotel Historic Tax Credit Project, Pasadena Grand Central Air Terminal Rehabilitation & Adaptive Reuse, Glendale Los Angeles International Airport Preservation Plan and HSRs Mayfair Hotel Historic Tax Credit Project, Los Angeles Venice High School Comprehensive Modernization, Los Angeles

Professional Affiliations

American Institute of Architects

Exhibit D

Applicant
Memorandum
&
Cultural Resource
Reports

HISTORIC RESOURCES GROUP

556 S Fair Oaks Avenue, Suite 101-514 Pasadena, CA 91105

Tel 626-793-2400

 ${\bf historic resources group.com}$

MEMO

TO: OFFICE OF HISTORIC RESOURCES

ATTN: LAMBERT GIESSINGER, SENIOR ARCHITECT

FROM: JOHN LOCASCIO, AIA, PRINCIPAL ARCHITECT

DATE: MARCH 2025

RE: APPEAL OF DIR-2024-4409-DRB-SPPC-COA; ENV-2024-4410-CE

Introduction

This memorandum is submitted in response to the February 7, 2025 Appeal (attached) of the above-referenced Westwood Village Specific Plan Project Permit Compliance Review and Design Review determination, dated January 23, 2025 (attached), for alterations to the property at 10942-10946 W. Weyburn Avenue and 1008 S. Broxton Avenue. The property was historically occupied by the Villa Mart market and is identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." This memorandum supplements our Cultural Resource Report dated October, 2024 (attached), which determined that the proposed alterations comply with the Secretary of the Interior's Standards for Rehabilitation.

The Appeal claims that the issuance of a Certificate of Appropriateness (COA) for the Raising Cane's improvements (the Project) to the former Villa Mart building at 10942-10946 W. Weyburn Avenue and 1008 S. Broxton Avenue (the Project Site) is "improper" because the Project's proposed installation of bi-folding steel sash windows in the existing window openings of the building's polygonal corner pavilion does not comply with:

- The Secretary of the Interior's Standards for Rehabilitation, specifically Standards 1, 2, 3, and 5, as required under Section 2.E. of the Specific Plan; and
- The Design Review Criteria, specifically Criteria 3, 7, and 9, as required in Section 13.B. of the Specific Plan.

The Appeal makes numerous incorrect claims, as demonstrated below, and has no merit.

Compliance with the Standards for Rehabilitation

The Secretary of the Interior's Standards for the Treatment of Historic Properties ("the Standards") provides guidance for reviewing proposed projects that may affect historical resources. The Standards for Rehabilitation address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." The Secretary of the Interior's Standards for Rehabilitation are:

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4: Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic

property and its environment would be unimpaired.

The Appeal incorrectly claims that "the Historic Resources Survey [sic] report that was submitted was for an entirely DIFFERENT window treatment and design (rolling garage doors and windows), and no supplemental report was ever submitted to reflect the CURRENT design. As such there was no evidence in the record on which either the DRB or the Director of Planning could rely." HRG prepared an updated report in October 2024 that included evaluation of the current design with the proposed bi-folding windows. That report was submitted to Staff on October 23, 2024 and was thus available to the DRB and the Director of Planning to inform their determination.

The Appeal claims without basis that the building's polygonal corner pavilion will be "essentially obliterated" by the installation of bi-folding steel sash windows in the existing window openings and thus the Project does not comply with Standards 1, 2, 3, and 5 of the Secretary of the Interior's Standards for Rehabilitation. This is completely inaccurate. As noted in our October 2024 report, the Project will in fact retain all of the surviving character-defining features of the former Villa Mart building, including the polygonal corner pavilion with its flat roof, metal roof balustrade, window openings, and transoms. The windows in the corner pavilion were originally wood framed fixed windows, each topped by a transom with a central light flanked by vents. By about 1980 the transoms had been blocked on the exterior and the fixed windows had been replaced. The Project proposes to restore the transoms and replace the existing non-historic windows with new bi-folding steel sash windows within the historic window openings. This will provide an indoor-outdoor option for the new restaurant's corner dining room without removing any historic materials or features of the corner pavilion, and without altering the size, shape and proportions of the historic window openings. It must also be noted that the Project proposes to replace the existing non-historic ceramic tile below the windows with brick veneer to simulate the historic condition.

According to guidance from the National Park Service, the accommodation of change to make possible an efficient new use of a historic building is basic to the process of rehabilitation and distinguishes it from *restoration*. It is the owner's choice as to what or how much work will be undertaken in a project. There is no requirement that missing or damaged historic features be restored. The *Guidelines for Rehabilitating Historic Buildings* recommends that missing historic features may be replaced with a new design that is compatible with the character of the historic building but clearly differentiated so that a false historical appearance is not created. The proposed new windows will be compatible with the size, shape, proportion, and pattern of the building's historic windows but will be clearly differentiated by their contemporary bi-folding operation and steel sash.

Standard 1 of the Secretary of the Interior's Standards for Rehabilitation requires that a property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. The Project will adapt the

¹ National Park Service, "Historic Preservation Tax Incentives: Cumulative Effect and Historic Character," https://www.nps.gov/subjects/taxincentives/cumulative-effect-and-historic-character.htm (accessed July 2024).

² National Park Service, Technical Preservation Services, "Guidelines for Rehabilitating Historic Buildings: Introduction to the Guidelines," <u>The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings (nps.gov)</u>, (accessed August 2024).

former Villa Mart market building for new use as a restaurant while retaining all of its distinctive materials, features, spaces and spatial relationships, including the polygonal corner pavilion with its flat roof, metal roof balustrade, window openings, and transoms. Therefore, the Project complies with Standard 1.

Standard 2 requires that the historic character of a property will be retained and preserved and recommends avoiding removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property. The Project will preserve the historic character of the former Villa Mart building by retaining its distinctive materials, features, spaces and spatial relationships, including the polygonal corner pavilion with its flat roof, metal roof balustrade, window openings, and transoms. Therefore, the Project complies with Standard 2.

Standard 3 requires that each property be recognized as a physical record of its time, place and use and prohibits changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties. The Project does not propose adding conjectural features or elements from other historic properties; it will install new, differentiated bi-folding steel sash windows in the historic window openings as recommended by the National Park Service in the *Guidelines for Rehabilitating Historic Buildings*. Therefore, the Project complies with Standard 3.

Standard 5 requires that distinctive features and materials that characterize the historic property be preserved. As described in our October 2024 report, the Project will retain and preserve all the remaining features, finishes, and examples of craftsmanship that characterize the former Villa Mart building, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. Therefore, the Project complies with Standard 5.

As demonstrated in our October 2024 report and detailed above, the Project complies with the Secretary of the Interior's Standards for Rehabilitation as required under Section 2.E. of the Specific Plan. Therefore, the Appeal has no merit.

Compliance with the Design Review Criteria

The Appeal claims that the proposed bi-folding steel sash windows are not "reasonably consistent with the character of cultural resources in the area" as required by Design Review Criterion 3. There are nine "cultural resources" as identified in the Specific Plan in the near vicinity of the Project Site:

- 945 Broxton Avenue (Fox Theatre)
- 926-940 Broxton Avenue (Bruin Theatre)
- 10935-10937 Weyburn Avenue
- 10931-10933 Weyburn Avenue
- 10923-10927 Weyburn Avenue
- 901-951 Westwood Boulevard (Holmby Building)
- 1001 Westwood Boulevard

- 10924 Weyburn Avenue
- 1001-1009 Broxton Avenue (El Paseo Building)

There is no consistency in the types, sizes, shapes, materials, or character of the windows of these nine buildings; and all have had their original windows replaced. Examples include fixed, divided-light aluminum windows, some with tiled bulkheads; fixed aluminum storefronts, some with projecting decorative surrounds; punched, fixed divided-light windows; stacked awning windows; casement windows; aluminum-framed bay windows; wood-framed display windows; and fixed display windows with round-arched transom lights. This complete lack of consistency in the character of the fenestration of the surrounding "cultural resources" renders Design Review Criterion 3 inapplicable to the Project. Further, Design Review Criterion 3 applies only to "color and building materials;" it does not apply to window design.

In addition, Standard 3 of the Secretary of the Interior's Standards for Rehabilitation specifically prohibits "changes that create a false sense of historical development, such as adding conjectural features or elements from other properties." The former Villa Mart building is considered a "cultural resource" under the Specific Plan, which requires compliance with the Standards; therefore, any changes to the former Villa Mart building must be compatible only with the historic character of the former Villa Mart building itself, and not with the character of other cultural resources in the area. It may be that Design Review Criterion 3 was intended to apply only to proposed new construction in the Specific Plan Area, but this is only speculative and is not clarified in the Specific Plan; regardless, it is not possible for the Project to comply with Design Review Criterion 3 and still comply with the Standards.

The Appeal claims that the Project does not apply with Design Review Criterion 7 but does not elaborate. Design Review Criterion 7 states that "The architectural style of the building shall relate to surrounding Cultural Resources." This Criterion appears to have been intended to apply to new construction, like Criterion 3, and not to existing cultural resources. The former Villa Mart building is itself identified in the Specific Plan as a "cultural resource" and the Project will retain the building's Mediterranean Revival architectural style.

Finally, the Appeal claims that the bi-folding steel sash windows do not match the other windows and doors in the Project and therefore do not comply with Design Review Criterion 9, "Any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner." However, the fenestration and exterior treatment of the former Villa Mart building's corner pavilion were historically different from those of the rest of the building. The Weyburn façade was finished in smooth cement plaster and was almost entirely open to the street, whereas the corner pavilion has rusticated piers framing rectangular windows. The Weyburn façade was later enclosed with aluminum storefront and the windows in the corner pavilion were replaced within the original openings. The Project will maintain the historic character of the building by applying different fenestration treatments to the Weyburn frontage and corner pavilion: glazed storefronts on Weyburn, and bi-folding windows in the original window openings of the corner pavilion. The Project will retain all of the surviving character-defining features of the former Villa Mart building, including the polygonal corner pavilion with its flat roof, metal roof balustrade, window openings, and transoms, and will install compatible new windows in the window

openings. It therefore complies with the Standards for Rehabilitation as required under Section 2.E. of the Specific Plan. As with Design Review Criterion 3, discussed above, it is not possible for the Project to comply with Design Review Criterion 9 and still comply with the Standards.

Conclusion

As demonstrated in our October 2024 report and detailed above, the Project will retain all of the surviving character-defining features of 10942-10946 W Weyburn Avenue and will install compatible new storefront and windows that are differentiated from the missing historic windows. When closed, the proposed new bi-folding windows will absolutely be consistent with the existing architectural character of the former Villa Mart building while retaining all of the building's remaining features and materials; when open, the windows will provide protective awnings and allow for an indoor-outdoor dining option that engages the adjacent street. The Project complies with the Secretary of the Interior's Standards for Rehabilitation and with the applicable Westwood Village Specific Plan Design Review Criteria. Therefore, the Appeal has no merit.

Attachments:

Appeal of DIR-2024-4409-DRB-SPPC-COA; ENV-2024-4410-CE, February 7, 2025

Westwood Village Specific Plan Project Permit Compliance Review and Design Review, Case No. DIR-2024-4409-DRB-SPPC-COA, CEQA: ENV-2024-4410-CE, January 23, 2025

Historic Resources Group, "Cultural Resource Report, 10940-10948 Weyburn Avenue and 1008 S. Broxton Avenue," October 2024

APPLICATIONS

APPEAL APPLICATION Instructions and Checklist



PURPOSE

This application is for the appeal of Los Angeles Department of City Planning determinations, as authorized by the LAMC. For California Environmental Quality Act Appeals, use form CP13-7840. For Building and Safety Appeals and Housing Department Appeals, use form CP13-7854.

RELATED CODE SECTION

Refer to the Letter of Determination (LOD) for the subject case to identify the applicable Los Angeles Municipal Code (LAMC) Section for the entitlement and the appeal procedures.

APPELLATE BODY

Check only one. If unsure of submission.	the Appellate Body	, check with City Plar	nning staff before
☐ Area Planning Commission	(APC) ☐ City Pla	nning Commission (CP	PC) ☐ City Council
☐ Zoning Administrator (ZA)			
CASE INFORMATION			
Case Number:			
APN:			
Project Address:			
Final Date to Appeal:			
APPELLANT			
Check all that apply.			
☐ Person, other than the Appl	icant, Owner or Oper	ator claiming to be agg	rieved
☐ Representative ☐ I	Property Owner	□ Applicant	☐ Operator of the Use/Site

APPELLANT INFORMATION

Appellant Name:				
Company/Organization:				
Mailing Address:				
City:	State:	Zip Code:		
Telephone:	E-mail:			
Is the appeal being filed on yo	our behalf or on behalf of another party, or	ganization, or	company?	
□ Self □ Other:				
Is the appeal being filed to su	pport the original applicant's position?	□ Y	ES [□ NO
REPRESENTATIVE /	AGENT INFORMATION			
Name:				
Company/Organization:				
	State:			
Telephone:	E-mail:			
JUSTIFICATION / RE	ASON FOR APPEAL			
Is the decision being appealed	d in its entirety or in part?	□ Entire	□ Part	
Are specific Conditions of App	proval being appealed?	□ YES	□ NO	
If Yes, list the Condition Numb	per(s) here:			
On a separate sheet provide t	he following:			
☐ Reason(s) for the appeal				
☐ Specific points at issue				
☐ How you are aggrieved by	the decision			

APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true. Steven D. Sann _____ Date: _____ Appellant Signature: GENERAL NOTES A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self. The appellate body must act on the appeal within a time period specified in the LAMC Section(s) pertaining to the type of appeal being filed. Los Angeles City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant. THIS SECTION FOR CITY PLANNING STAFF USE ONLY Base Fee: Reviewed & Accepted by (DSC Planner): _____ Receipt No.: ______ Date: _____ ☐ Determination authority notified ☐ Original receipt and BTC receipt (if original applicant) GENERAL APPEAL FILING REQUIREMENTS If dropping off an appeal at a Development Services Center (DSC), the following items are required. See also additional instructions for specific case types. To file online, visit our Online Application System (OAS). APPEAL DOCUMENTS 1. Hard Copy Provide three sets (one original, two duplicates) of the listed documents for each appeal filed. ☐ Appeal Application

☐ Justification/Reason for Appeal

☐ Copy of Letter of Determination (LOD) for the decision being appealed							
2. Electronic Copy							
□ Provide an electronic copy of the appeal documents on a USB flash drive. The following items must be saved as <u>individual PDFs</u> and labeled accordingly (e.g., "Appeal Form", "Justification/Reason Statement", or "Original Determination Letter"). No file should exceed 70 MB in size.							
3. Appeal Fee							
☐ Original Applicant. The fee charged shall be in accordance with <u>LAMC Section 19.01 B.1(a) of Chapter 1</u> or <u>LAMC Section 15.1.1.F.1.a.</u> (Appeal Fees) of Chapter 1A as applicable, or a fee equal to 85% of the original base application fee. Provide a copy of the original application receipt(s) to calculate the fee.							
☐ Aggrieved Party. The fee charged shall be in accordance with LAMC Section 19.01 B.1(b) of Chapter 1 or LAMC Section 15.1.1.F.1.b. (Appeal Fees) of Chapter 1A as applicable							
4. Noticing Requirements (Applicant Appeals Only)							
☐ Copy of Mailing Labels. All appeals require noticing of the appeal hearing per the applicable LAMC Section(s). Original Applicants must provide noticing per the LAMC for all Applicant appeals.							
□ BTC Receipt. Proof of payment by way of a BTC Receipt must be submitted to verify that mailing fees for the appeal hearing notice have been paid by the <u>Applicant</u> to City Planning's mailing contractor (BTC).							
See the Mailing Procedures Instructions (CP13-2074) for applicable requirements.							
SPECIFIC CASE TYPES ADDITIONAL APPEAL FILING REQUIREMENTS AND / OR LIMITATIONS							
DENSITY BONUS (DB) / TRANSIT ORIENTED COMMUNITES (TOC)							

Appeal procedures for DB/TOC cases are pursuant to <u>LAMC Section 13B.2.5.</u> (<u>Director</u> Determination) of Chapter 1A or LAMC Section 13B.2.3. (Class 3 Conditional Use) of Chapter 1A as applicable.

- Off-Menu Incentives or Waiver of Development Standards are not appealable.
- Appeals of On-Menu Density Bonus or Additional Incentives for TOC cases can only be filed by adjacent owners or tenants and is appealable to the City Planning Commission.

☐ Provide documentation confirming adjacent owner or tenant status is required (e.g., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, driver's license, bill statement).

WAIVER OF DEDICATION AND / OR IMPROVEMENT

Procedures for appeals of Waiver of Dedication and/or Improvements (WDIs) are pursuant to <u>LAMC Section 12.37 I of Chapter 1</u> or <u>LAMC Section 10.1.10</u>. (Waiver and Appeals) of Chapter 1A as applicable.

- WDIs for by-right projects can only be appealed by the Property Owner.
- If the WDI is part of a larger discretionary project, the applicant may appeal pursuant to the procedures which govern the main entitlement.

[VESTING] TENTATIVE TRACT MAP

Procedures for appeals of [Vesting] Tentative Tract Maps are pursuant <u>LAMC Section 13B.7.3.G. of</u> Chapter 1A.

 Appeals must be filed within 10 days of the date of the written determination of the decisionmaker.

NUISANCE ABATEMENT / REVOCATIONS

Appeal procedures for Nuisance Abatement/Revocations are pursuant to <u>LAMC Section 13B.6.2.G.</u> of Chapter 1A. Nuisance Abatement/Revocations cases are only appealable to the City Council.

Appeal Fee

Applicant (Owner/Operator). The fee charged shall be in accordance with the LAMC Section
19.01 B.1(a) of Chapter 1 or LAMC Section 15.1.1.F.1.a. (Appeal Fees) of Chapter 1A as
applicable.

For appeals filed by the property owner and/or business owner/operator, or any individuals/agents/representatives/associates affiliated with the property and business, who files the appeal on behalf of the property owner and/or business owner/operator, appeal application fees listed under LAMC Section 19.01 B.1(a) of Chapter 1 shall be paid, at the time the appeal application is submitted, or the appeal application will not be accepted.

☐ Aggrieved Party. The fee charged shall be in accordance with the <u>LAMC Section 19.01 B.1(b)</u> of Chapter 1 or LAMC Section 15.1.1.F.1.b. (Appeal Fees) of Chapter 1A as applicable.

STEVEN D. SANN

907 WESTWOOD BOULEVARD, # 203 LOS ANGELES, CA 90024-2904 WRITER'S DIRECT: (213) 448-8147 • EMAIL: STEVESANN2001@YAHOO.COM

February 7, 2025

West Los Angeles Area Planning Commission c/o Commission Executive Assistant City Hall 200 North Spring Street, Room 272 Los Angeles, CA 90012 April Sandifer, President
Marty Shelton, Vice President
Haley Feng, Commissioner
Esther Marguilies, Commissioner
Lisa Waltz Morocco, Commissioner

Re: Case No. DIR-2024-4409-DRB-SPPC-COA; CEQA: ENV-2024-4410-CE 10942-10946 W. Weyburn Ave. & 1008 S. Broxton Ave.; Los Angeles, CA 90024 Applicant: Raising Cane's

Honorable Commissioners:

This letter is submitted as a supplement to the Appeal of the case number captioned above, stating the reasons for this appeal, the specific points at issue, how I and other members of our Westwood community are aggrieved by the decision, and why I believe the decision-maker erred or abused their discretion in this case.

I am the Chair of the Westwood Community Council, Inc., however I am filing this appeal as individual.

This is an Appeal of the improper issuance of a Certificate of Appropriateness (COA) of one of our 46 Historic-Cultural Resource buildings in our Westwood Village Specific Plan area and the improper issuance of Specific Plan Project Permit Compliance (SPPC).

I am writing in reference to the Raising Cane's project proposed for the 1938 Villa Mart building in Westwood Village, located at the highly significant "Crossroads Corner" of Broxton and Weyburn Avenues. This building faces three of our most architecturally, culturally, and historically landmark buildings in the entire Village: the 1931 Fox Westwood Village Theater, the 1932 El Paseo Building, and the 1937 Bruin Theater. Together, these four historic structures anchor one of the most significant and important corners in the Village, in Los Angeles, and indeed in the entire film entertainment world.

I attended every single public hearing in their entirety, including both preliminary and final hearings, conducted by the Westwood Design Review Board (DRB), including the final meeting held on December 18, 2024, when the Board, by the BARE MINIMUM VOTE of 4 in favor and 2 opposed, ostensibly acted to recommend the project to the Director of Planning for approval.

However, the Board FAILED COMPLETELY to analyze the project, and make the LEGALLY REQUIRED FINDINGS as enumerated in the Los Angeles Municipal Code, the Westwood Village Specific Plan, including the 10 mandatory findings required for the issuance of a COA. A vote was taken, the required findings were not made and ignored, and were only INSERTED into the Letter of Determination by staff, using boilerplate language found in nearly every other LOD.

Further, the legal standard to make the required findings is based on SUBSTANTIAL EVIDENCE IN THE RECORD. In fact, there was NOT substantial evidence in the record, and in certain cases there was NO EVIDENCE IN THE RECORD whatsoever.

I note further that the two NO votes were the TWO leading experts on the DRB with vast knowledge and full understanding of the REQUIREMENTS of the Secretary of the Interior's Standards. One of these two DRB members is the former President of the Los Angeles Conservancy Board of Directors, and a current Board member of the National Trust for Historic Preservation. This Board member stated repeatedly that the project as proposed FAILED utterly to meet the required standards for approval.

The other DRB member who also voted NO on the project is a longtime member of a Historic Preservation Overlay Zone (HPOZ) Board in the city of Los Angeles. As such, she is also highly experienced in CORRECTLY applying the Secretary of the Interior Standards. She also voted no, stating that the project as proposed, especially the treatment of the corner, FAILED to meet the legally required standards.

Underscoring the fatally flawed process in this case, BOTH of the dissenting Board members have formally asked City staff to provide urgently needed "in service training" possibly by the Office of Historic Resources (OHR) staff, to educate the DRB members on the correct process, their role, and duties to properly perform the function of the DRB, particularly when it is performing the function of an HPOZ Board, as required for the 46 enumerated historic-cultural resource buildings listed in the Westwood Village Specific Plan.

Despite these fatal flaws, fabricated "findings" were essentially plucked out of thin air, and boilerplate language was inserted into the LOD by planning staff, not based on any discussion, inquiry, or evaluation, or determination by the DRB, falsely asserting that the project, in fact, met the required findings.

To put it simply, the DRB, by a BARE MAJORITY VOTE of 4-2 simply "approved the project" without making the required findings by the DRB members, and absent substantial evidence in the record.

This is not permitted, and is a violation of the LAMC, the California Environmental Quality Act (CEQA), and established Planning Department policies, practices, and procedures.

Specifically, I wish to bring to your attention (I.) several MANDATORY FINDINGS enumerated below that must be made to approve this project; and (2.) to request that the proposed project be APPROVED WITH THE FOLLOWING CONDITIONS BELOW.

Note that the CORNER portion of this 1938 Villa Mart building at Broxton and Weyburn Avenues is expressly called out as a "Character-defining feature" under the Secretary of the Interior's Standards for Rehabilitation, in the 1985 Historic Resources Report relied upon by the Planning Department and City Council in originally adopting the Westwood Village Specific Plan:

Historic Resources Survey (1985)

Address: 10948 Weyburn Ave. Common Name: Stan's Donuts Historic Name: Villa Mart

Architectural Style: Mediterranean (Revival)

Year of original construction: 1938

"This wedge-shaped building of Mediterranean-influenced design is located at the intersection of Weyburn and Broxton. Apparently built in increments, it is one story and built of reinforced concrete and brick. A mission tile hipped roof tops the west (Broxton) elevation. An angled bay with a simulated rusticated façade acknowledges the corner. Ornamental ironwork surmounts the bay. Altered storefronts face each street. Despite its many changes, the building does suggest the themes which were historically identified with Westwood Village."

The following are the Ten Mandatory "Standards of the Secretary of the Interior" ALL of which are required "findings" (and which findings must be based on substantial evidence in the record) in order to recommend to the Director of Planning that a Certificate of Appropriateness (COA) be granted for this project, under the Westwood Village Specific Plan and the Los Angeles Municipal Code:

- I. A property will be used as it was historically, or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spacial The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, will not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right will be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features will be substantiated by documentary, physical, or pictorial evidence.
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- 8. Significant archeological resources affected by a project will be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, proportion, and massing, to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

By allowing the most significant character-defining feature of the building – the anchor corner element – to be essentially obliterated with missing windows and doors (replaced by inauthentic "folding plate windows and folding plate doors") this is a SIGNFICANT ALTERATION OF A KEY SPACIAL RELATIONSHIP, expressly prohibited by mandatory findings numbered 1, 2, and 3.

Additionally, the following are the MANDATORY FINDINGS that must be made by the DRB to recommend a project for approval to the Director of Planning, for Specific Plan Project Permit Compliance (SPPC) as enumerated in the Westwood Village Specific Plan:

Section 13.B. Design Review Criteria.

Pursuant to LAMC Section 16.50, the DRB shall make a recommendation to the Director of Planning concerning a proposed Project on the basis of the following criteria:

- 1. The Project shall conform to all applicable provisions of the Specific Plan.
- 2. The Project shall be consistent with the Westwood Village Design Guidelines.
- 3. The colors and types of building materials shall be reasonably consistent with the character of Cultural Resources in the area.
- 4. The Project shall not cast shadows onto adjacent residential buildings outside the Specific Plan Area for more than two hours between 10 a.m. and 4 p.m. on December 21 or between 10 a.m. and 4 p.m. on March 21.
- 5. All open areas not used for buildings, walkways, or driveways shall be landscaped.
- 6. The massing of the building shall relate in scale to surrounding Cultural Resources and shall be appropriate to the pedestrian oriented character of Westwood Village.
- 7. The architectural style of the building shall relate to surrounding Cultural Resources.
- 8. All mechanical equipment and other appurtenances shall be screened from public view.
- 9. Any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner.

The addition of historically inaccurate, modern aluminum framed folding-place windows and folding plate doors is absolutely NOT consistent with ANY of the 46 historic-cultural resource buildings listed in the Westwood Village Specific Plan.

The Applicant failed completely to provide ANY evidence in the record that such modern windows are "reasonably consistent" with ANY of the 46 historic-cultural resource buildings. No photos were submitted. Nothing! In fact, NO SUCH EVIDENCE could be provided because NONE of these 46 buildings have modern folding-plate windows and folding plate doors.

I defy the decision maker to point to ANY such evidence in the case file. In fact, NO SUCH evidence exists. Note also that the Historic Resources Survey report that was submitted was for an entirely DIFFERENT window treatment and design (rolling garage doors and windows), and no supplemental report was ever submitted to reflect the CURRENT design. As such there was no evidence in the record on which either the DRB or the Director of Planning could rely.

Additionally, the fact that the windows and doors on the corner element are COMPLETELY DIFFERENT AND OBVIOUSLY do not matching the rest of the windows and doors of the project is a blatant violation of Condition 9 above which requires that "any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner." Windows and doors are both highly significant architectural features, and as such must be applied to ALL exterior walls in a similar manner. The corner windows and doors fail that required finding. Thus the legally required finding CANNOT be made without modifying this condition, requiring that ALL windows and doors must be similar.

I note that Raising Cane's has recently built and opened many restaurants in architecturally and historically significant buildings, including in New York City, Washington, D.C., Boston, Nashville, and Chapel Hill, among other locations. IN NONE OF THESE CASES OF HISTORIC BUILDINGS did Raising Cane's install, nor were they authorized to install, folding plate windows or folding plate doors. That is because folding plate windows and folding plate doors are MODERN style windows and doors that are historically INAPPROPRIATE, inaccurate, and incompatible, under the Secretary of the Interior's Standards, and thus a Certificate of Appropriateness (COA) would not be granted.

Given Raising Cane's track record of RESPECTING the architectural and historical integrity of these historic and architecturally significant buildings in other cities across the United States, Raising Cane's absolutely must be held to the same standard, and respect the historical, architectural, and cultural integrity of Westwood Village and the 1938 Villa Mart building, a Mediterranean Revival structure, especially as the highly significant corner of Broxton and Weyburn Avenues, directly across the street from three highly significant, iconic, and landmark buildings in our Village – the Fox Westwood Village Theater, the El Paseo Building, and the Bruin Theater.

IF YOUR COMMISSION DECIDES TO GRANT THE APPEAL BY AMENDING SOME OF THE CONDITIOND IN THE LOD, I OFFER THE FOLLOWING SUGGESTED MODIFIED CONDITIONS OF APPROVAL FOR RAISING CANE'S PROJECT (IN THE 1938 HISTORIC "VILLA MART" BUILDING, AT THE CORNER OF BROXTON & WEYBURN AVENUES, IDENTIFIED AS A HISTORIC CULTURAL RESOURCE BUILDING UNDER THE WESTWOOD VILLAGE SPECIFIC PLAN:

- I. All windows and mullions on the corner portion of the building at Broxton & Weyburn shall be of the same style, type, design, dimension, and color to match the windows as shown on the plans and renderings of the Weyburn elevation, namely that they shall be **FIXED and INOPERABLE WINDOWS** of large single plate glass, to match the windows shown on page 21 of the Applicant's Historic Resources Group Report (photo dated c. 1950) with matching mullions made out of metal (or anodized aluminum?) painted in black enamel. (Note: need to specify (a.) exact color of glass, whether clear or tinted in different color specification, and (b.) either single paned or doubled paned glass, as required by Code and energy efficiency rules). Also need to specify whether flat or glossy paint finish for the mullions?). (Note: Folding plate windows to be expressly disallowed.)
- 2. All doors on the corner portion of the building at Broxton & Weyburn Avenues shall be of the same style, type, design, dimension, and color of the solid traditional-style doors of red-painted wood (or metal?) and glass to match the doors as shown on the renderings and plans for the Weyburn elevation of the building. (Note: Folding plate doors to be expressly disallowed.)
- 3. The windows and mullions on the Broxton elevation shall be of the same style, type, design, dimension, and color to match the windows as shown on the plans and renderings of the Weyburn elevation, namely that they be **FIXED and INOPERABLE WINDOWS** of large plate glass with matching mullions made out of metal (or anodized aluminum?) painted in black enamel (Note: need to specify (a.) exact color of glass, whether clear or tinted in different color specification, and (b.) either single paned or doubled paned glass, as required by Code and energy efficiency rules; note also that windows may be frosted on the inside to provide an opaque appearance. Also need to specify whether flat or glossy paint finish?).

- 4. Note: Presently, there are large "sheets" of paint peeling off the building, especially at the corner. Please add a condition that all such damaged paint be removed by the least intrusive method possible (careful scraping by hand), and absolutely NO SANDBLASTING OR WATER BLASTING which is forbidden under the Secretary of the Interior Standards.
- 5. All other unapproved elements such as existing flood lights, brackets from long-removed signs, and other extraneous materials currently on the façade should be carefully removed, the surface should be patched, carefully sanded and painted to match the original.

Additional suggested NOTES regarding advising Planning staff on the proposed signage:

- 1. The Village Pedestrian signs (aka "Blade Signs") as shown on the plans and renderings for both the Weyburn and Broxton elevations are UNAPPROVABLE. Note the definition in Section 4 of the Westwood Village Specific Plan: "Village Pedestrian Sign A sign that is attached to a wall or to the underside of an awning or marquee with one or two sign faces perpendicular to the face of the building and that identifies a use or service exclusively or primarily by symbol." The proposed blade signs are 100% text and unapprovable. If the Applicant wishes to change the design to depict their company mascot, "Cane" the Labrador, or perhaps a chicken (or chicken finger?) then perhaps they could be approvable. Note also that the DRB Design Guidelines and Practices and Preferences have routinely disallowed THICK box-like signs that resemble unapprovable CABINET signs hanging off a façade. The Board also has routinely disapproved INTERNALLY LIT blade signs, as these cause the signs to need to be too thick and bulky to accommodate the circuitry and electronics inside the "cabinet." The Board has routinely approved and preferred EXTERNALLY LIT blade signs (using goose neck or tensor lights, etc.).
- 2. Note also the definition of a "Cabinet Sign A wall sign placed on the face of enclosed cabinet/box attached to a building that may display any message allowed on either an off-site or an on-site sign." All such Cabinet signs are UNAPPROVABLE. The three round red "Raising Canes Chicken Fingers" signs shown on the Weyburn elevation, Broxton elevation, and at the corner of Broxton & Weyburn Avenues all appear to be Cabinet Signs, and as such appear to be UNAPPROVABLE.

With these necessary and well considered REVISED Conditions of Approval, your Commission could correct the fatal flaws contained in the current LOD.

Thank you very much for your diligent attention to this very important project, for following the legally mandated standards and findings as required by our Westwood Village Specific Plan, the Secretary of the Interior Standards for Rehabilitation, and the Los Angeles Municipal Code, and for helping bring in this new and eagerly anticipated restaurant into Westwood Village. With these AMENDED conditions your Board will achieve a "Win-Win" – helping Raising Cane's come into Westwood Village without delay,

The project can EASILY be modified, the corner treatment can be brought into proper compliance with the required findings, and the applicant can move forward with a slightly modified project and open for business, all while protecting the architectural and historical integrity at this highly significant corner of Westwood Village.

Therefore, I respectfully ask that the Commission GRANT the appeal, and find that the decision-maker erred or abused their discretion in granting this project approval absent substantial evidence in the record that the legally required findings were neither discussed, nor were the findings made by the DRB, and MODIFY the Conditions as noted above,.

I expressly reserve the right to submit supplemental materials for consideration by the Area Planning Commission, in accordance with the rules of procedure governing the submission of such materials, prior to the public hearing.

Sincerely,

Steven D. Sann

Steven D. Sann

DEPARTMENT OF CITY PLANNING

COMMISSION OFFICE (213) 978-1300

CITY PLANNING COMMISSION

MONIQUE LAWSHE PRESIDENT

MICHAEL R. NEWHOUSE VICE-PRESIDENT

MARIA CARILDO CAROLINE CHOE MARTINA DIAZ PHYLLIS KLEIN KAREN MACK JACOB SAITMAN ELIZABETH ZAMORA

CITY OF LOS ANGELES **CALIFORNIA**



KAREN BASS MAYOR

EXECUTIVE OFFICES

200 N SPRING STREET ROOM 525 LOS ANGELES, CA 90012-4801 (213) 978-1271

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SHANA M.M. BONSTIN

HAYDEE URITA-LOPEZ DEPUTY DIRECTOR

ARTHI L. VARMA, AICP DEPUTY DIRECTOR

LISA M. WEBBER, AICP

WESTWOOD VILLAGE SPECIFIC PLAN PROJECT PERMIT COMPLIANCE REVIEW & **DESIGN REVIEW**

January 23, 2025

Case No. DIR-2024-4409-DRB-SPPC-COA Applicant

Kristen Roberts CEQA: ENV-2024-4410-CE

Raising Cane's

6800 Bishop Road **Location:** 10942 – 10946 W. Plano, TX 75024 Weyburn Avenue & 1008 South Broxton

Avenue

Property Owner

Westwood Village Properties LLC, **Council District**: CD 5 – Katy Yaroslavsky

Attn: Seth Bell Neighborhood Council: North Westwood

1901 Avenue of the Stars #630 Community Plan Area: Westwood Los Angeles, CA 90067

Specific Plan: Westwood Village; Westwood

Community Design Review Board

Representative Land Use Designation: **Community Commercial**

> C4-2D-O Zone:

Three6ixty Legal Description: Lot 12, Block 5, 11287 Washington Boulevard

Tract TR 10600

Last Day to File an

Appeal: February 7, 2025

DETERMINATION

Sara Houghton

Culver City, CA 90230

Determined, based on the whole of the administrative record that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Sections 15301 Class 1 (Existing Facilities) and 15331 (Historical Resource Restoration/Rehabilitation), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

Pursuant to Los Angeles Municipal Code Sections 13B.4.3 and 13B.8.5 of Chapter 1A, and based upon the recommendation of the Westwood Community Design Review Board, I have reviewed the proposed Project and as the designee of the Director of Planning, I hereby:

Approve with Conditions a Project Permit Compliance Review, Design Review, and Certificate of Appropriateness for a façade remodel and rehabilitation resulting in a consolidated retail corner suite with new windows, entryways, awnings, lighting, and an openair patio and the change of use from retail to restaurant.

The approval of the proposed project is based upon the attached Findings and subject to the attached Conditions of Approval.

CONDITIONS OF APPROVAL

- 1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
- 2. All use, height, and area regulations of the LAMC and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the subject property, except as such regulations are herein specifically varied or required.
- 3. **Façade Modifications.** Current entry doors, façade materials, awnings, and storefront windows shall be removed and replaced with new entry doors, façade materials, awnings, and storefront windows as shown in Exhibit A.
- 4. **Roof Equipment.** New rooftop mechanical equipment shall be fully screened from view, as depicted in Exhibit A.

5. **Design Review Criteria**

- a. The rooftop equipment screening shall be perforated metal, color to match EWF-8 as depicted on Sheet MS-1.0 of Exhibit A.
- b. The That the back-of-house singular door on the Broxton Avenue elevation be painted black to match material P-10, on Sheet A4.20 of Exhibit A.
- 6. **Certificate of Appropriateness.** As shown in Exhibit A, the project shall conform with the Secretary of Interior's Standards for Rehabilitation, listed below:
 - a. A property will be used as it was historically or be given a new use that require minimal changes to its distinctive materials, features, spaces, and spatial relationships.
 - b. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
 - c. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
 - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
 - e. Distinctive materials, features, finishes, and construction techniques or examples of craftmanship that characterize a property will be preserved.
 - f. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration required replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.

- Replacement of missing feature will be substantiated by documentary and physical evidence.
- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- i. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.
- j. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Administrative Conditions

- 7. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Final Plans." A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
- 8. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
- 9. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or Verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 10. Revocable Permit. If any portion of the structure is determined to be located within the public right-of-way, the applicant shall obtain an approval of a revocable permit from the Bureau of Engineering.
- 11. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 12. **Department of Building and Safety**. The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised

- plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 13. **Condition Compliance.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
- 14. Prior to the issuance of any permits, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the subject case file.
- 15. **Indemnification and Reimbursement of Litigation Costs.** Applicant shall do all of the following:
 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including <u>but not limited to</u>, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
 - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with <u>any</u> federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

The proposed project, located at 10942 – 10946 West Weyburn Avenue & 1008 South Broxton Avenue, consists of a retail suite consolidation, façade remodel, and the change of use to establish a new take-out and dine-in fast-food restaurant use in the resulting commercial tenant space The exterior scope of work includes the installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen for a new restaurant (Raising Cane's). The project is located within a one-two story, multi-tenant commercial building and will involve the consolidation five (5) separate tenant spaces.

The project site is in a designated Locally Significant Cultural Resource (No. 45, Stan's Donuts) per the Westwood Village Specific Plan, which states that, "no Cultural Resources in the Specific Plan Area shall be demolished, relocated, significantly altered or removed unless a Certificate of Appropriateness has been approved by the designated decision-maker in accordance with the standards and procedures set forth in Sections 12.20.3 K, N, O, P and Q of the Los Angeles Municipal Code. A *Cultural Resource Documentation Report* (November 30, 1985) was prepared by Johnson Heumann Research Associates for Gruen Associates as part of the Westwood Village Specific Plan Study. The study was conducted in preparation for the adoption of the Westwood Village Specific Plan. This report, which predates the adoption of the Specific Plan in 1989, describes the structure's Mediterranean-influenced design as well as the mission tile hipped roof along the Broxton façade and tile edged parapets along the Weyburn frontage. There are previous projects associated with this building, and some have required a Certificate of Appropriateness (COA), while others have not, dependent on the project scope.

The most recent case associated with the portion of the subject site was approved in January of 2024; it was a prior iteration of the current proposal. The property owner has since acquired an additional tenant suite at the corner of the subject property and has elected to pursue additional entitlements for the ensuing façade changes.

<u>DIR-2023-4907-DRB-SPP-COA</u> – On January 3, 2024, the Director of Planning approved with conditions a Design Review, Project Permit Compliance, and Certificate of Appropriateness for a façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant.

The previous case associated with the structure did not require a Certificate of Appropriateness:

<u>DIR-2019-1690-DRB-SPP</u> — On June 12, 2019, the Director of Planning approved with conditions a Design Review and Project Permit Compliance Review for the installation of one illuminated wall sign on an existing fast-food establishment.

The applicant submitted a Cultural Resource Report dated October 2024 prepared by John Locascio, licensed architect, of Historic Resources Group. The report corroborated the proposed project's compliance with the Secretary of the Interior's Standards for Rehabilitation and found that the proposed project would not have any potential impacts on the significance of the resource. The Office of Historic Resources reviewed the proposed project and COA Findings and recommended that the report be adopted, and a Certificate of Appropriateness be granted for the proposed project.

Design Review Finding

1. A recommendation was made by the Westwood Community Design Review Board, pursuant to LAMC Sections 13B.4.3 and 13B.8.5 of Chapter 1A:

The project was first presented to the Design Review Board (DRB) for Preliminary Review at a public hearing on August 21, 2024, where the Board members provided preliminary feedback on the originally proposed design. The project was then redesigned according to feedback received during the Preliminary Review and presented for Final Review at the November 20, 2024, hearing, where a quorum of four (4) Board Members voted to continue the project to the December 4, 2024 meeting. The Board failed to meet quorum on December 4th and the applicant subsequently agreed to reconvene at the regularly scheduled December 18, 2024 meeting; the hearing was re-noticed accordingly. At the second Final Review on December 18, 2024, the project representative made a brief presentation to the Board detailing the changes made in response to comments during the First Final Review. Five (5) members of the public provided comment, and Board Members asked questions. The Board voted four (4) to two (2) to recommend approval of the project with conditions, as the project will substantially comply with LAMC Section 16.50, Subsection E as well as the relevant design guidelines and development provisions of the Specific Plan.

Project Permit Compliance Findings

2. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.

The proposed project involves a change of use and façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant within the Westwood Village Specific Plan (WVSP). No changes to floor area, height, setbacks, or parking are proposed, approved, or authorized. Therefore, Sections 7, 8, and 9 of the WVSP are not applicable. The proposed signs for the new restaurant are eligible for Administrative Review under a separate permit per Section 3.A.1(a) of the WVSP. As such, Section 11 is not applicable to this scope of work. Finally, a Village-Wide Improvements Assessment District has not been established; therefore, Section 12 of the Specific Plan is not applicable.

Section 5 Uses

Section 5.A Permitted Uses limits allowable uses in the WVSP to those permitted in the C4 Zone, except as provided in Section 5.B and 5.C. The proposed project is a new restaurant, which is a permitted use in the C4 Zone. As such, the project is in conformance with Section 5.A of the WVSP.

Section 5.B Limited Uses lists several different uses and specific limitations depending on the use or location of the use in the Specific Plan Area. This section is not applicable to the project because it does not include any limitations on restaurant uses.

Section 5.C Prohibited Uses forbids automobile, motorcycle, recreational vehicle, mobile, home and trailer sales areas as well as drive-in businesses within the Specific Plan Area.

This section is not applicable because the proposed restaurant does not include a drive-in window.

Section 5.D.1 Uses Permitted Along the Ground Floor Building Frontage limits the floor area on the ground floor of a commercial building to a depth of at least 30 feet, along at least 80 percent of the frontage to retail, restaurant, or other food service uses. The entirety of the proposed project is dedicated to restaurant uses, in conformance with the WVSP.

Section 5.D.2 Uses Permitted Along the Ground Floor Building Frontage requires that 20% of the floor area on the ground floor to a depth of 30 feet be devoted to Neighborhood Retail and / or Neighborhood Services if the building has over 100 feet of building frontage and is occupied by more than five (5) businesses. According to ZIMAS, the subject building has ground floor building frontage of 273.54 feet along Weyburn & Broxton Avenue. However, this section is not applicable because the subject building will be occupied by only three (3) tenant spaces following approval of the proposed project.

Section 6 Preservation of Cultural Resources

The proposed project substantially complies with Section 6 Preservation of Cultural Resources of the WVSP. The subject structure is identified on Table 1 and Figure 2 of the Westwood Village Specific Plan as a Locally Significant Historic Resource (No. 45, Stan's Donuts). The building was constructed in 1934 in a Mediterranean-influenced architectural style, featuring brick masonry with fluted piers, transom windows, a lowered corner with decorative wrought-iron fencing, and bow truss roof with rolled roofing and a stepped parapet with a simple cornice and clay barrel tile coping. In conformance with Section 6.C, a Certificate of Appropriateness (COA) must be approved by the designated decisionmaker in accordance with the standards and procedures set forth in Section 12.20.3 K, N, 0, P and Q of the Los Angeles Municipal Code prior to any significant structural alterations taking place. The Specific Plan provides that the Westwood DRB shall perform the functions of the "Board" specified in those Sections. The Westwood DRB provided a recommendation of approval at a duly noticed public hearing on December 18, 2024, as such the proposed project satisfies the findings for approval of a COA, as discussed below under "Certificate of Appropriateness Findings."

Section 10 Development Standards

Section 10.A Development Standards requires that any exterior wall abutting a public right-of-way not extend more than 40 feet horizontally without containing architectural features which will adequately protect against featureless, uninterrupted, large wall planes. The Weyburn and Broxton frontages of the proposed project are 50 feet – 6 inches and 42 feet – 6 inches respectively. Both frontages will feature interruptions in the form of new awnings, doors, windows, and aluminum-framed storefront with brick-veneered stem walls that adequately provide visual contrast, in conformance with Section 10.A of the WVSP.

Section 10.B requires ground floor tenants' primary entrance to be along the public right-of-way and at ground level. All entrances to the proposed restaurant are located along the public right-of-way at ground level in conformance with Section 10.B of the WVSP.

Sections 10.C and 10.D are related to driveways. These sections are not applicable because there are no driveways on the project site.

Section 10.E is only applicable to projects on Tiverton Avenue. This section is not applicable because the project is not along Tiverton Avenue.

Section 13 Design Review Procedures

The proposed project substantially complies with Section 13, Design Review Procedures, which requires that a proposed project be reviewed and approved in accordance with Design Review Board (DRB) procedures of Chapter 1 Section 16.50 and the Specific Plan procedures of Chapter 1A Section 13B.4.3 of the Los Angeles Municipal Code. The proposed project has been reviewed in accordance with the DRB and Specific Plan procedures of the Los Angeles Municipal Code. The review and recommendation of the Westwood Community DRB was based upon conformance with the criteria in Section 13, as described below.

The proposed project involves a change of use and façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant within an existing commercial building. No new floor area is proposed. Therefore, Design Review Criteria in Section 13.B regarding the building's shadow impacts (13.B.4), landscaping of open areas (13.B.5), massing/scale (13.B.6), and architectural style (13.B.7) are not applicable. Additionally, Section 13.B.2 is not applicable because Westwood Village Design Guidelines have not been adopted.

Section 13.B.1 The project shall conform to all of the provisions of the Specific Plan. The proposed project involves a façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant within an existing commercial building. As described above, the proposed project conforms to the relevant provisions of the Westwood Village Specific Plan, with conditions imposed to ensure compliance.

Section 13.B.3 The colors and types of building materials shall be reasonably consistent with the character of the cultural resources in the area. The proposed building materials and colors along the façade will be consistent with the rest of the subject building as well as the cultural resources in the area. For instance, the Weyburn façade will feature a brick masonry veneer that will match the color and texture of the project's Broxton Avenue façade. The Westwood Village Specific Plan's Locally Significant Historic Resource #45 (project site) as well as 2 and 41-44 are located along this block of Weyburn Avenue; the proposed project provides storefront glazing and awnings in a manner that is reasonably consistent with the glazing and awnings of nearby cultural resources.

Section 13.B.8 All mechanical equipment and other appurtenances shall be screened from public view. As shown in Exhibit A, all rooftop mechanical equipment shall be screened from public view with solid EFIS material.

Section 13.B.9 Any exterior treatment including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner. As shown in Exhibit A, the new storefront windows will be installed along the exterior walls in a similar manner where the current windows are located. The windows are finished with anodized silver aluminum storefront, including mullions to the likes of the mullions of the bi-fold doors provided at the corner. Further, the anodized silver creates a black color that matches the black trim finish provided by the proposed Trex Transcend ® awnings with Havana Gold composite decking, as seen in Exhibit A material finish EWF-9. This color is consistent with the restoration of

the ornamental ironwork at the corner bay, which is also black. The existing façade colors will be maintained on a like for like basis and the new awnings will be installed in a similar manner to the current location. As such the proposed exterior treatment is applied in a similar manner and creates a consolidated, congruent storefront as proposed.

Certificate of Appropriateness Findings

3. The project complies with the Standards for Rehabilitation approved by the United States Secretary of the Interior.

The proposed project has been reviewed and approved by the Senior Architect with the Department of City Planning's Office of Historic Resources on behalf of the City of Los Angeles Cultural Heritage Commission. In addition, the project as proposed has been reviewed by a historic architecture and conservation expert and licensed architect with the firm Historic Resources Group in a Cultural Resource Report dated October 2024. The proposed project complies with the US Department of the Interior Secretary of the Interior's Standards for Rehabilitation, as follows:

a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The Project includes a change of use from four existing retail and restaurant tenant spaces, into a singular tenant space for the operation of a 4,745 square foot dine-in restaurant containing 134 seats. The building was previously used as a donut shoppe, bakehouse, and grocery market, among other restaurant and retail uses. The proposed use is in keeping with the existing restaurant and retail uses of the Project Site. The Project will add new signage as part of a separate administrative review process the scope of work under this grant is limited to the façade changes herein. There will be no changes to the defining characteristics of the building frontage. In contrast, the project will restore the historic, character-defining features of the building including transom lights and windows as well as the ornamental ironwork at the lowered corner bay. The scope of work includes minimal changes to the site and environment, as the existing structures will undergo maintenance and rehabilitation.

b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of the Project Site, namely 1008 Broxton Avenue and 10942-46 Weyburn Avenue, will be retained and preserved. The exterior alterations proposed by the project will require minimal change to the distinctive materials, features, spaces, and spatial relationships that characterize the building. The project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, none of which are historic. The project will retain the building's complex massing, stepped plaster parapet with a simple cornice and clay barrel tile coping, rusticated plaster piers, polygonal corner pavilion with flat roof and decorative metal balustrade, vent light openings, painted brick masonry, fluted concrete pilasters, brick niches, and cast escutcheons. The Project will not remove historic materials or alter features or spaces that characterize the property, or the historic features of the neighboring tenant spaces. The proposed work includes a façade change for a new Raising Cane's restaurant, in an existing tenant space that is consistent with this Standard.

c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The Project does not propose any changes that create a false sense of historical development; no conjectural features or architectural elements from other buildings will be added. The proposed new storefronts, bi-fold windows, steel canopies, and sign rail are contemporary in design.

d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

No changes to the exterior of the building on the Project Site have acquired significance in their own right.

e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The Project will rehabilitate the frontage and will retain and repair distinctive features, finishes, and examples of craftsmanship that characterize the building. The frontage will be improved with new brickwork, windows, awnings and signage.

f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The Project will repair deteriorated historic features on the Project Site, including awnings, brick work, window sash and frames, and new paint finish. The Project will repair the decorative metal balustrade and replace its missing braces; and will restore the blocked transom lights above the windows of the corner pavilion. Features that are deteriorated beyond repair will be replaced with new features that match the originals in size, shape, finish, and where possible, materials, based on extant physical examples.

g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The Project does not propose chemical or physical treatments that cause damage to historic materials, such as sandblasting or high-pressure water blasting. Any treatments shall be undertaken using the most gentle means possible in an effort to follow guidance from the National Park Service in the applicable Preservation Briefs.

h. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

The Project Site is not located in an identified archeological zone and the scope of the Project does not include soil disruption; therefore, no significant archeological features will be found.

i. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

As noted previously, the proposed Project includes a façade change on an existing commercial building. The new work will connect three of the existing store fronts together on Weyburn Avenue and refurbish the frontage along Broxton Avenue. The project will retain the building's exterior character-defining features including its stepped plaster parapet with a simple cornice and clay barrel tile coping, rusticated plaster piers, polygonal corner pavilion with flat roof and decorative metal balustrade, vent light openings, painted brick masonry, fluted concrete pilasters, brick niches, and cast escutcheons. The project will also install new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages, install new bi-fold windows and restore the historic transom lights in the polygonal corner unit, install a new signage band, and install new rooftop mechanical equipment and equipment screen. The new doors, storefronts, canopies, and bi-fold windows will be simple and contemporary in design, so will be visually unobtrusive and differentiated from the historic character of the building. They will be installed within existing openings, so will not alter the historic scale and proportions of the façade or the existing fenestration pattern. The new mechanical equipment and equipment screen will be located on the rear portion of the roof and will be minimally visible from the street.. The new work will be differentiated from the old by its design, which will be a simplified interpretation of historic references, but will not copy any design motifs of the neighboring contributing buildings. The footprint of the building is not changing, as there is no new construction. The new work is therefore compatible with the massing, size, scale, and architectural features of the contributing buildings.

j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The project does not propose new additions or adjacent or related new construction. Therefore, this Standard is not applicable to the project.

4. The project protects and preserves the historic and architectural qualities and the physical characteristics which make the building a Contributing Element of the Preservation Zone.

The Westwood Village Specific Plan identifies 45 Historic and/or Cultural Resources within the Specific Plan area; thus, the Specific Plan Area is the equivalent of a Preservation Zone for the purposes of implementing Section 6.C. of the Specific Plan and LAMC Section 13B.8.5 of Chapter 1A. The subject building, built in 1934 with a Mediterranean-influenced architectural style, was a contributor to the Mediterranean ambience of Westwood Village ("Cultural Resource Documentation Report: Westwood Village," prepared by Johnson Heumann, Gruen Associates, 1985). Key architectural characteristics include but are not limited to the mission tile hipped roof along the Broxton façade and tile edged parapets along the Weyburn frontage. The proposed façade remodel, including new awnings, storefront windows, entry doors, and material finishes, as well as the restoration of character-defining features of the corner façade will help reinforce the vision of the original building and activate this extensive frontage in Westwood Village.

Environmental Findings

5. The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.

The City of Los Angeles determined based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Sections 15301 Class 1 (Existing Facilities) and 15331 Class 31 (Historic Resource Restoration/Rehabilitation) and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The Class 1 Categorical Exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The proposed project involves a façade remodel, including new awnings, storefront windows, entry doors, material finishes, and rooftop equipment for a new restaurant in an existing commercial building. It is limited to the four current tenant spaces and does not propose the expansion of an existing use.

The Class 31 Categorical Exemption allows projects limited to the maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. The subject building is a designated Locally Significant Cultural Resource within the Westwood Village Specific Plan. A Cultural Resources Report, dated October 2024, was prepared by Historic Resources Group. The proposed project has been reviewed for consistency with the Secretary of the Interior standards by both a third-party historic preservation consultant and the Office of Historic Resources. Whereas the project scope involves the rehabilitation of multiple character-defining historic features of the original building such as transom windows and iron-wrought railings, the project is eligible for an exemption of this class.

Furthermore, the Exceptions outlined in Section 15300.2 of the CEQA Guidelines do not apply to the proposed project:

- (a) Location. The project is not located in a sensitive environment. It is in the commercial district of a developed, urban neighborhood and is consistent with the scale and uses proximate to the area.
- (b) Cumulative Impact. The project is consistent with the type of development permitted for the area zoned C4-2D-O and designated for Community Commercial land uses. The proposed project will not exceed thresholds identified for impacts to the area (i.e. traffic, noise, etc.) and will not result in significant cumulative impacts.
- (c) Significant Effect. A Categorical Exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. The proposed project consists of work typical to a developed commercial district. Thus, there are no unusual circumstances

that will lead to a significant impact on the environment.

- (d) Scenic Highways. The only State-designated Scenic Highway in the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of the Topanga State Park. The subject property is located approximately 8 miles from Topanga Canyon State Scenic Highway. Therefore, the proposed project will not create any impacts to scenic resources within a Statedesignated Scenic Highway.
- (e) Hazardous Waste Sites. According to the EnviroStor, the State of California's database of hazardous waste sites, neither the subject property nor any property in the vicinity, is identified as a hazardous waste site. Furthermore, the building permit history for the project site does not indicate the site may be hazardous or otherwise contaminated. Therefore, this exception does not apply.
- (f) Historical Resources. A Categorical Exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource. The existing structure has been identified as a Locally Significant Cultural Resource in the Westwood Village Specific Plan. A Cultural Resources Report, dated October 2024, was prepared by Historic Resources Group. The Specific Plan requires a Certificate of Appropriateness for significant alterations to a Cultural Resource and requires compliance with the Secretary of the Interior's Standards for Rehabilitation in order to issue a Certificate of Appropriateness. The project has been evaluated by staff, technical experts, and the Westwood Design Review Board against the Standards for Rehabilitation. As outlined in the Cultural Resources Report, the project complies with the applicable Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan. Furthermore, the Office of Historic Resources reviewed the proposed project and Report, and determined that it did not alter significant defining features of the building that could result in a substantial change to the significance of the historic resource. The project will comply with the Secretary of Interior's Standards for Rehabilitation. The project will not result in a substantial adverse change in the significance of the Locally Significant Cultural Resource and the Exceptions outlined in Section 15300.2 of the CEQA Guidelines do not apply.

Therefore, the proposed project is determined to be categorically exempt and does not require mitigation or monitoring measures.

TIME LIMIT - OBSERVANCE OF CONDITIONS

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. Unless otherwise provided in Chapter 1A, Chapter 1 (General Provisions and Zoning), or in a project's conditions of approval, any approval by the Zoning Administrator, Director of Planning, an Area Planning Commission, or the City Planning Commission as initial decision makers that is not effectuated within three years of its effective date becomes null and void.

Section 12.29 of the Los Angeles Municipal Code provides: "A Quasi-judicial action or any conditional approval granted by the Director, pursuant to the authority of this Chapter or Chapter 1 (General Provisions and Zoning) of this Code shall become effective upon utilization of any portion of the privilege, and the owner and applicant shall immediately comply with its conditions.

The violation of any condition imposed by the Director, Zoning Administrator, Area Planning Commission, City Planning Commission, or City Council in connection with the granting of any action taken pursuant to the authority of this Chapter or Chapter 1 (General Provisions and Zoning), shall constitute a violation of this Chapter or Chapter 1 (General Provisions and Zoning) and shall be subject to the same penalties as any other violation of this Code."

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$2,500 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant.

APPEAL PERIOD - EFFECTIVE DATE

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

Online Application System (OAS): The OAS (https://planning.lacity.org/oas) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning's DSC, and submit fee payment by credit card or e-check.

Drop off at DSC. Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms, and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at http://planning.lacity.org/development-services/forms. Public offices are located at:

Metro DSC	Van Nuys DSC
201 N. Figueroa Street Los Angeles, CA 90012 planning.figcounter@lacity.org (213) 482-7077	6262 Van Nuys Boulevard Van Nuys, CA 91401 planning.mbc2@lacity.org (818) 374-5050
South LA DSC	West LA DSC
(In person appointments available on Tuesdays and Thursdays 8am-4pm only) 8475 S. Vermont Avenue, 1st Floor Los Angeles, CA 90044 planning.southla@lacity.org	(CURRENTLY CLOSED) 1828 Sawtelle Boulevard West Los Angeles, CA 90025 planning.westla@lacity.org (310) 231-2901

City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's <u>BuildLA</u> portal (<u>appointments.lacity.org</u>). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to Online Appeal Filing



QR Code to Forms for In-Person
Appeal Filing



QR Code to BuildLA Appointment Portal for Condition Clearance

VINCENT P. BERTONI, AICP Director of Planning

Approved by:

Prepared by:

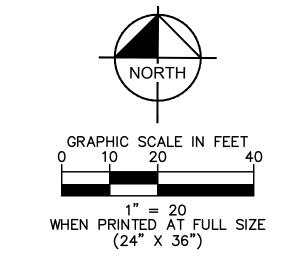
Juliet Or, Senior City Planner

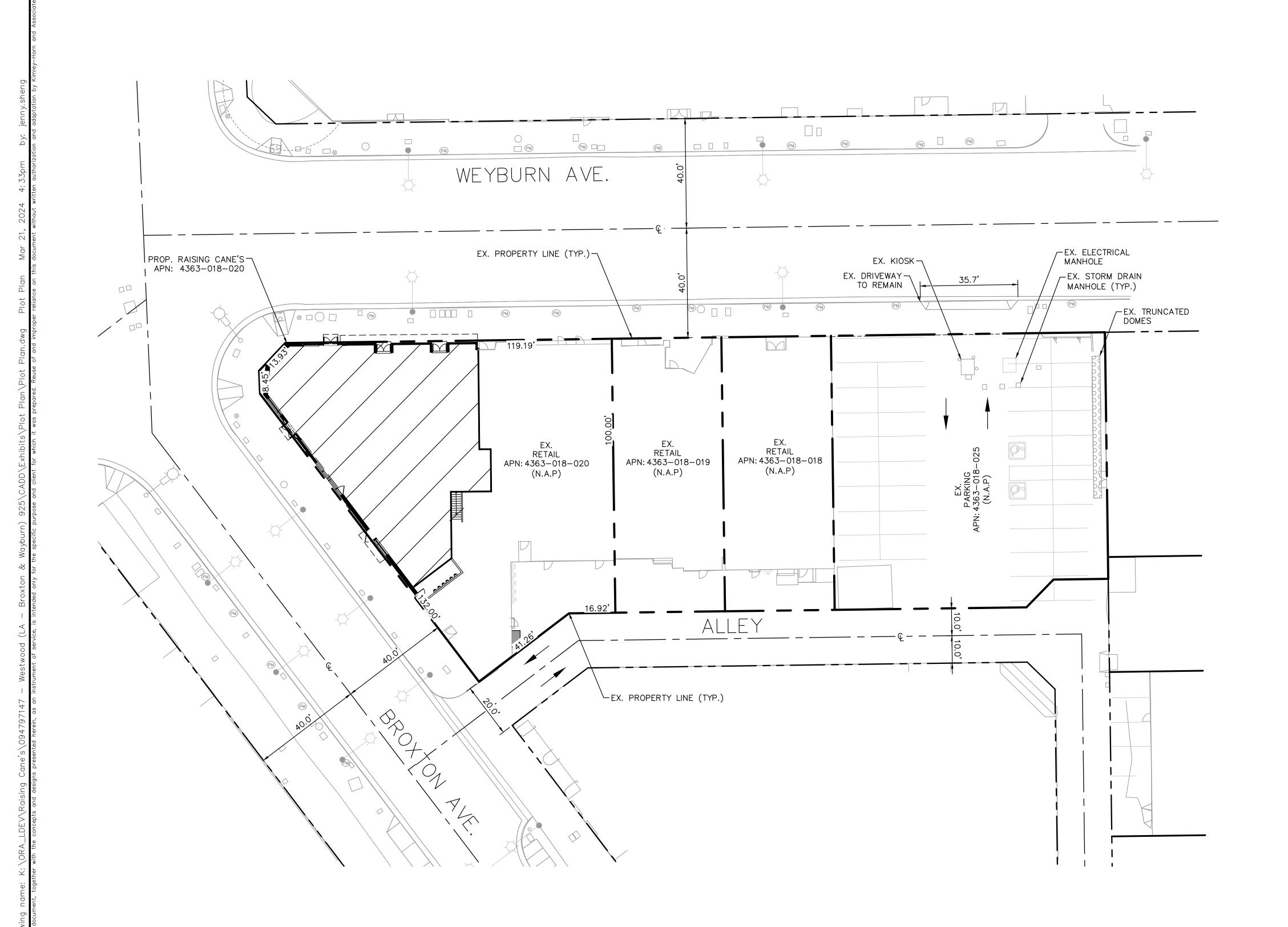
Jackson Olson, Planning Assistant

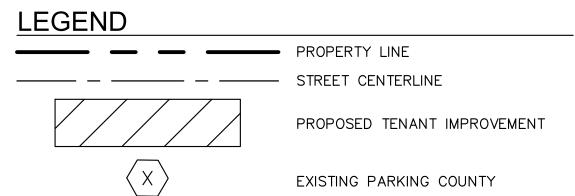
jackson.olson@lacity.org

PLOT PLAN

RAISING CANE'S C925 WESTWOOD (BROXTON & WEYBURN)







ABBREVIATIONS

N.A.P - PROPOSED IMPROVEMENT

SITE ADDRESS: 1008 BROXTON AVENUE, 10942, 10944, 10946 WEYBURN AVENUE, LOS ANGELES, CALIFORNIA 90024

ZONE: C4-2D-0 (COMMERCIAL ZONE)

LEGAL DESCRIPTION:
- TRACK = 10600

- BLOCK = 5

- LOT = 12 - ARB = N/A

APN #: 4363-018-020

SITE INFORMATION:

- SQUARE FOOTAGE = 4,745 SF

- # SEATS INDOOR = 134

- # SEATS OUTDOOR = N/A THERE ARE NO STAND ALONE

SIGNS OR BLADE SIGNS

 FLOOR AREA RATIO (FAR): NO CHANGES

- TOTAL PARCEL AREA: 0.66 AC HEIGHT OF BUILDING:

- B.O. CEILING (FROM F.F.) = 27'-4" - T.O. ROOF (FROM F.F.) = ± 29

OF USE.

LANDSCAPING: - N/A - INTERIOR TENANT IMPROVEMENT ONLY WITH

FACADE AND SIGNAGE WORK.

OPEN SPACE: - N/A - INTERIOR TENANT IMPROVEMENT ONLY WITH

FÁCADE AND SIGNAGE WORK.

- EXISTING PARKING TO REMAIN PER WESTWOOD VILLAGE SPECIFIC PLAN. NO CHANGE IN PARKING FOR A CHANGE

EXISTING NUMBER OF UNIT: 5 PROPOSED NUMBER OF UNIT: 1 (TENANT IMPROVEMENT TO AN EXISTING UNIT)





Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

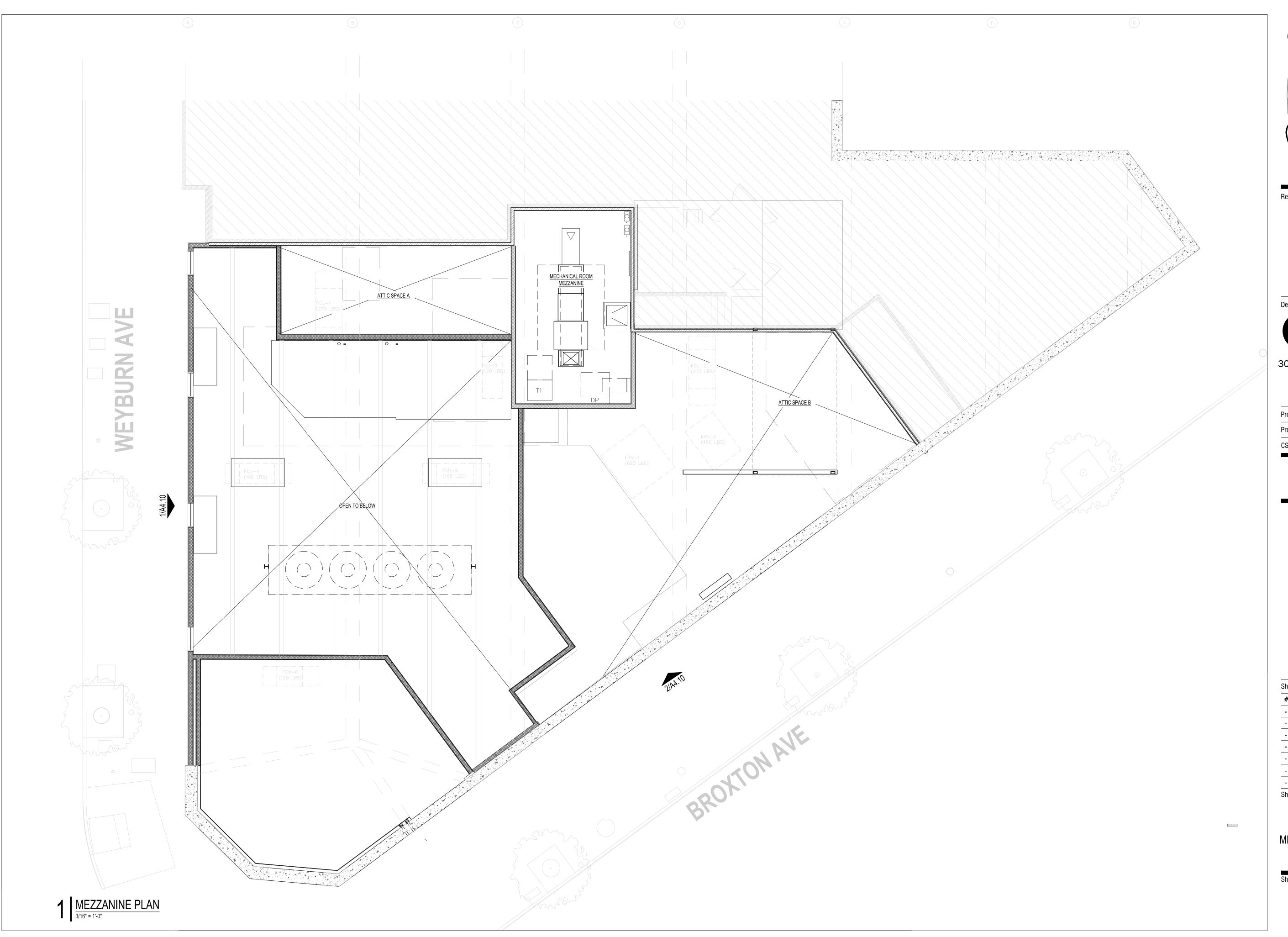
Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

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KEYNOTE FLOOR PLAN

A1.10



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

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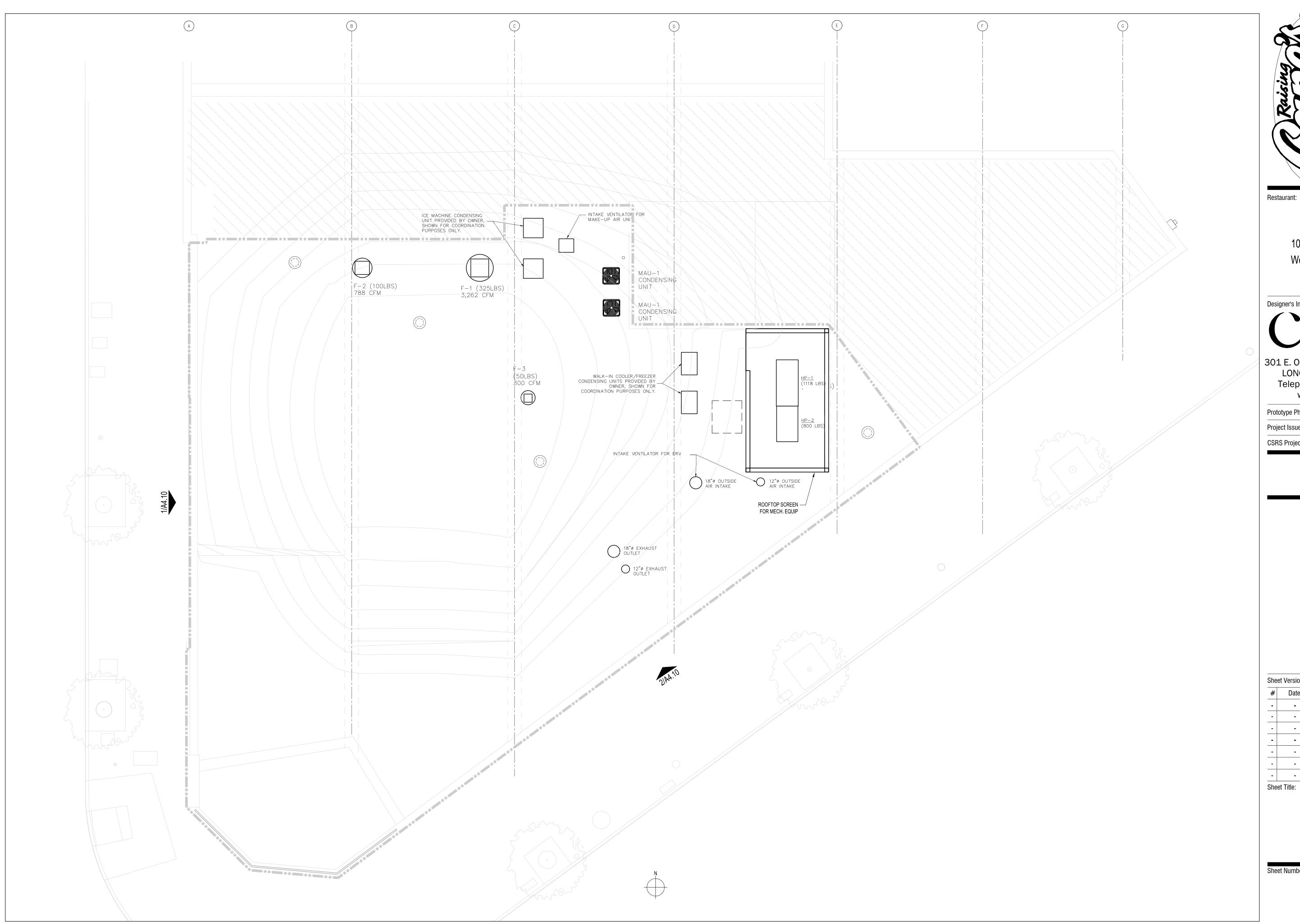
Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

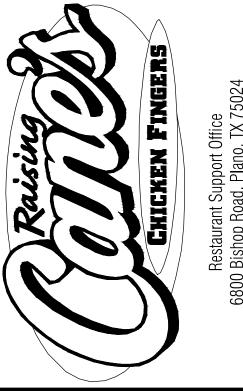
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KEYNOTE AND FRAMING MECH. ROOM MEZZANINE PLAN

A1.11





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

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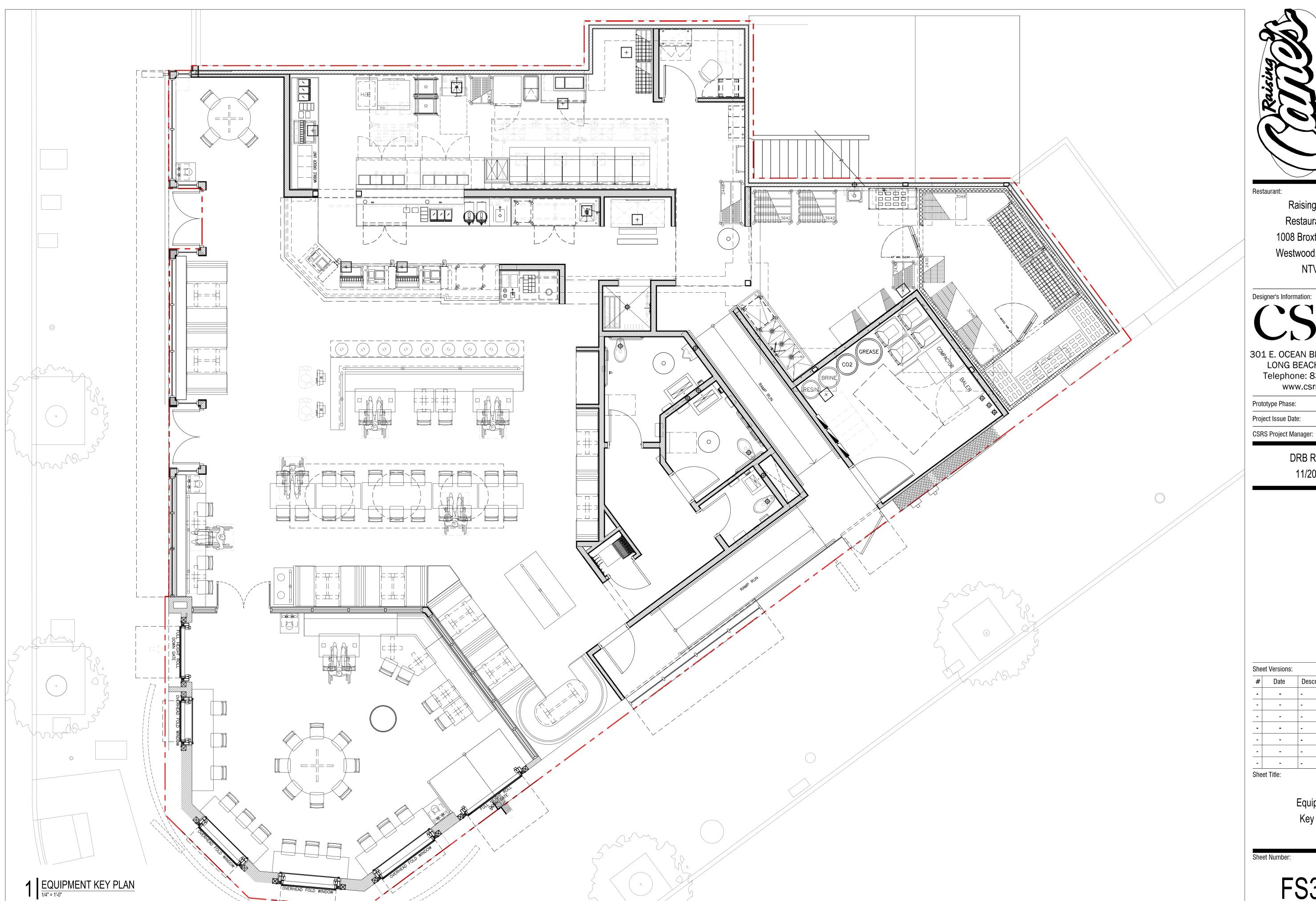
NTV Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

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ROOF PLAN

A1.50



Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

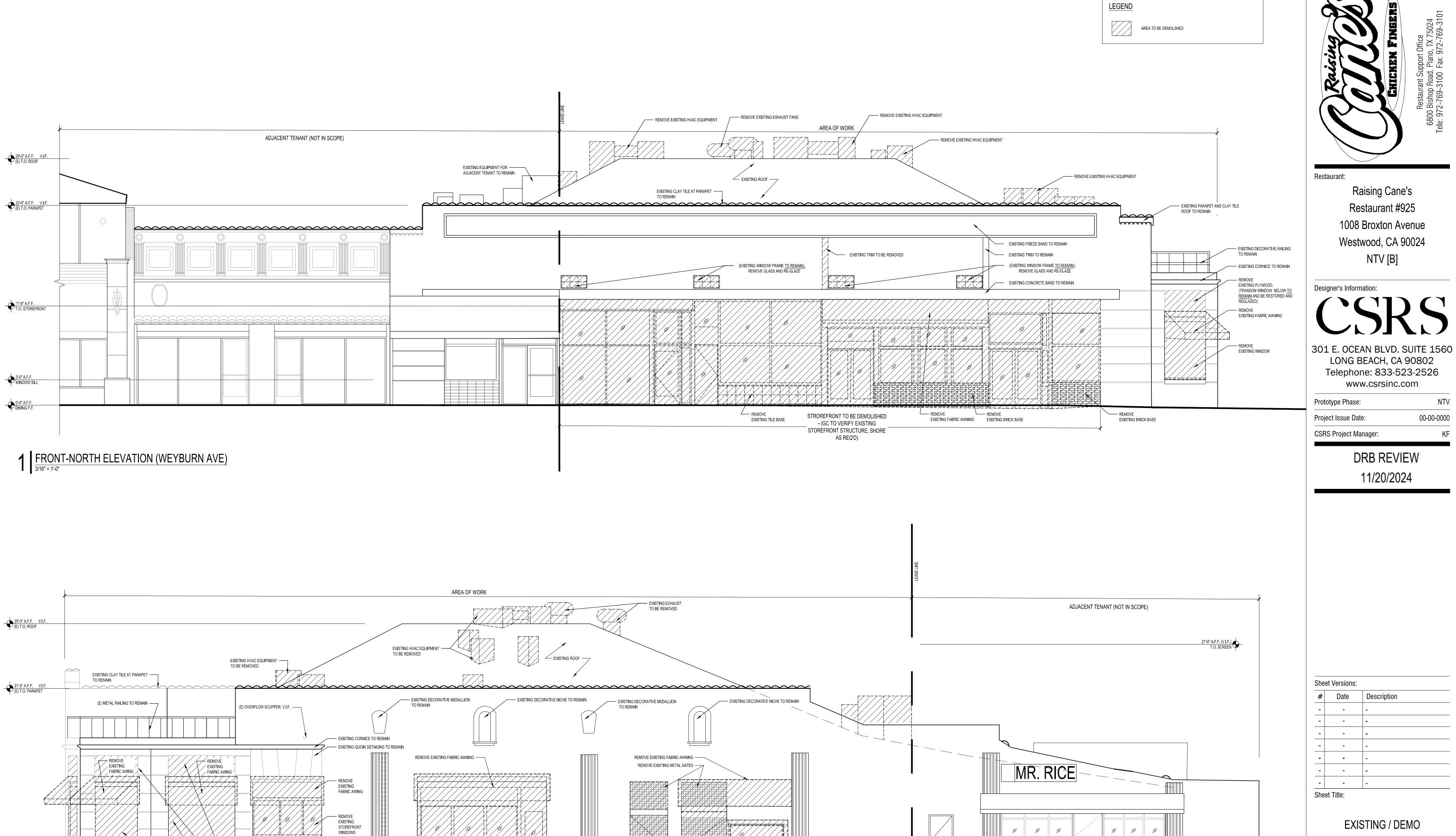
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Prototype Phase:	N
Project Issue Date:	00-00-000
CSRS Project Manager:	ŀ

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Equipment

FS3.10



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REMOVE EXISTING WOOD STOREFRONT AND DOOR

EXISTING PILASTER TO REMAIN

EXISTING PILASTER TO REMAIN

EXISTING WINDOW TO BE REMOVED

EXISTING PILASTER TO REMAIN

REMOVE
EXISTING PLYWOOD.
(TRANSOM WINDOW BELOW TO REMAIN AND BE RESTORED AND REGLAZED)

1 REAR-WEST ELEVATION (BROXTON AVE) $\frac{1}{3/16"}$

Description

NTV

00-00-0000

EXISTING / DEMO **EXTERIOR ELEVATIONS**

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

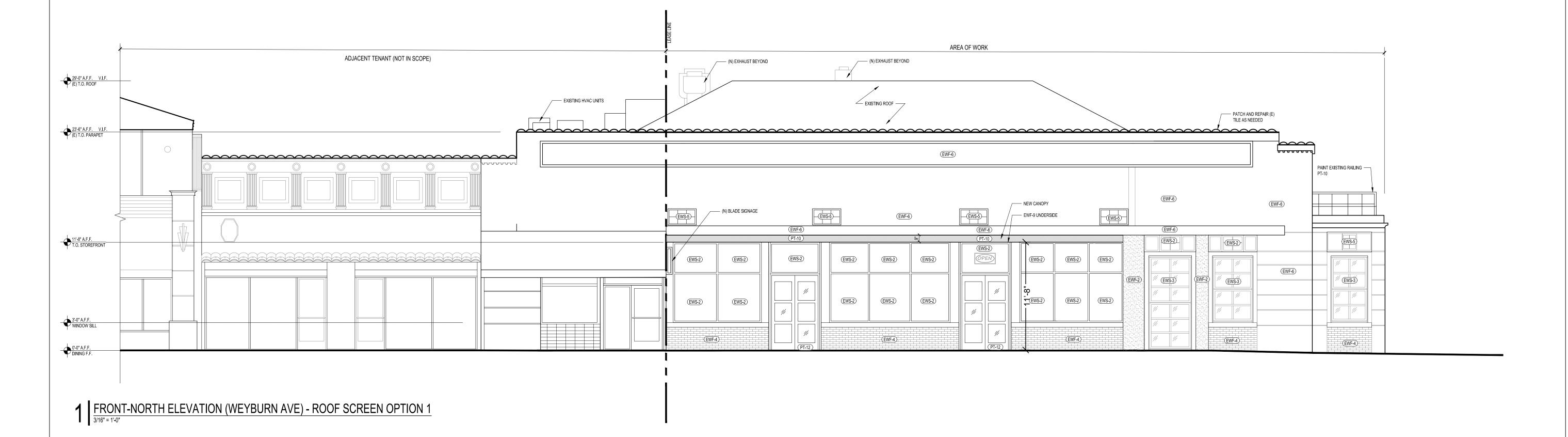
Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000
CSRS Project Manager: KF

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PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Number:

A4.10

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

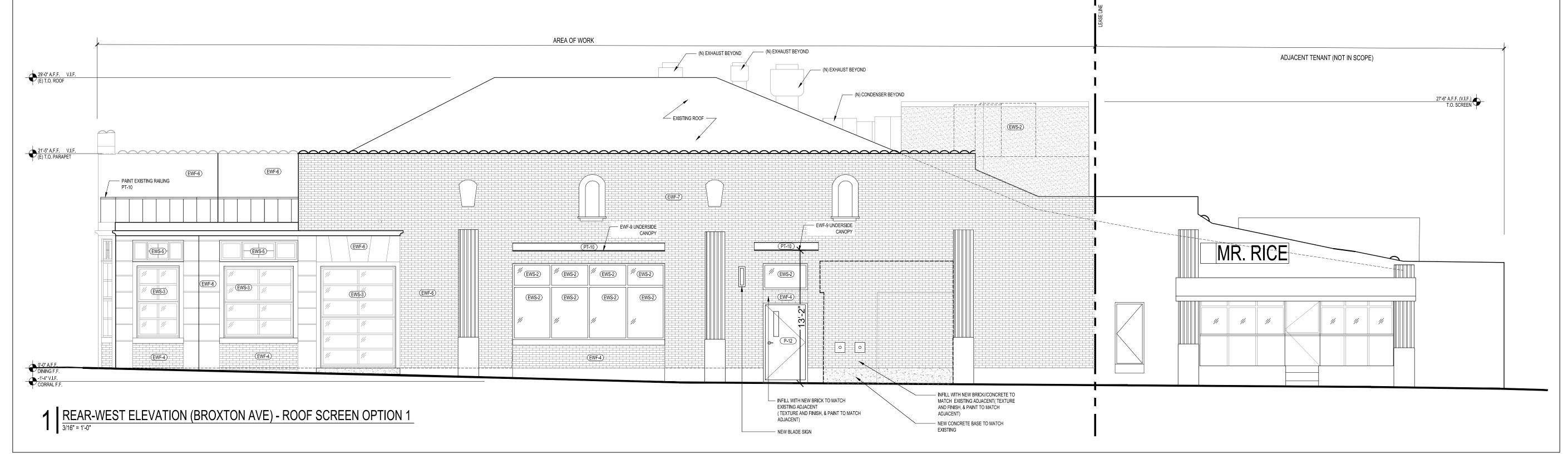
Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

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Prototype Phase: NTV
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CSRS Project Manager: KF

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PROPOSED EXTERIOR ELEVATIONS OPT. 1

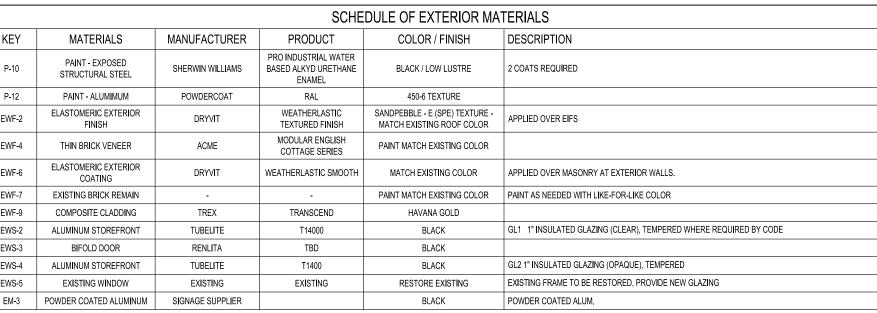
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 $3^{\text{MECHANICAL PLATFORM - EAST ELEVATION}}$

SCHEDULE OF EXTERIOR MATERIALS							
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION		
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED		
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE			
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS		
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR			
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.		
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR		
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD			
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE		
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK			
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED		
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING		
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.		





Restaurant: Raising Cane's Restaurant #925 1008 Broxton Avenue Los Angeles, CA 90024 NTV [B]

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Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

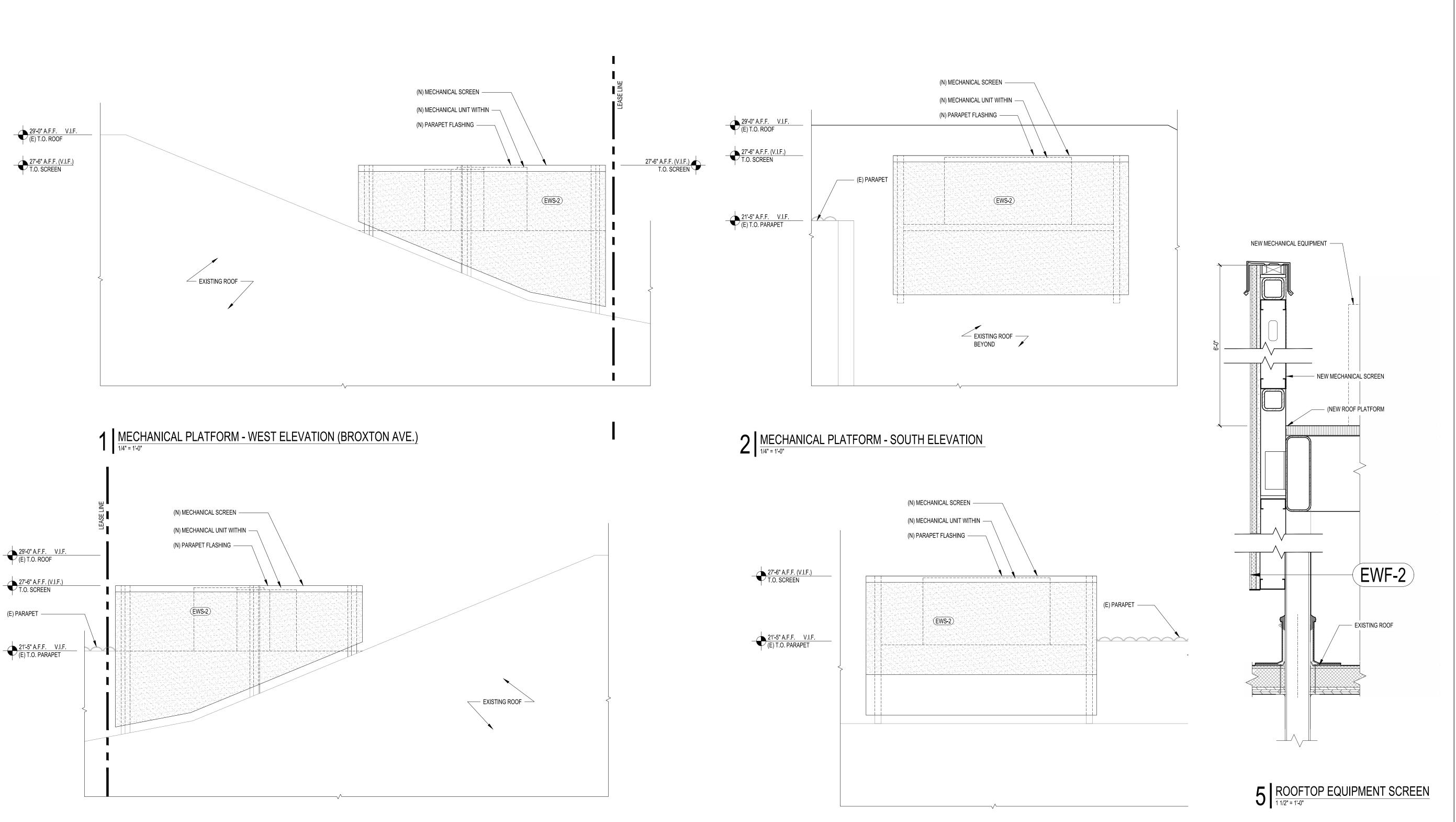
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PROPOSED EXTERIOR ELEVATIONS OPT. 1

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4 MECHANICAL PLATFORM - NORTH ELEVATION

SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

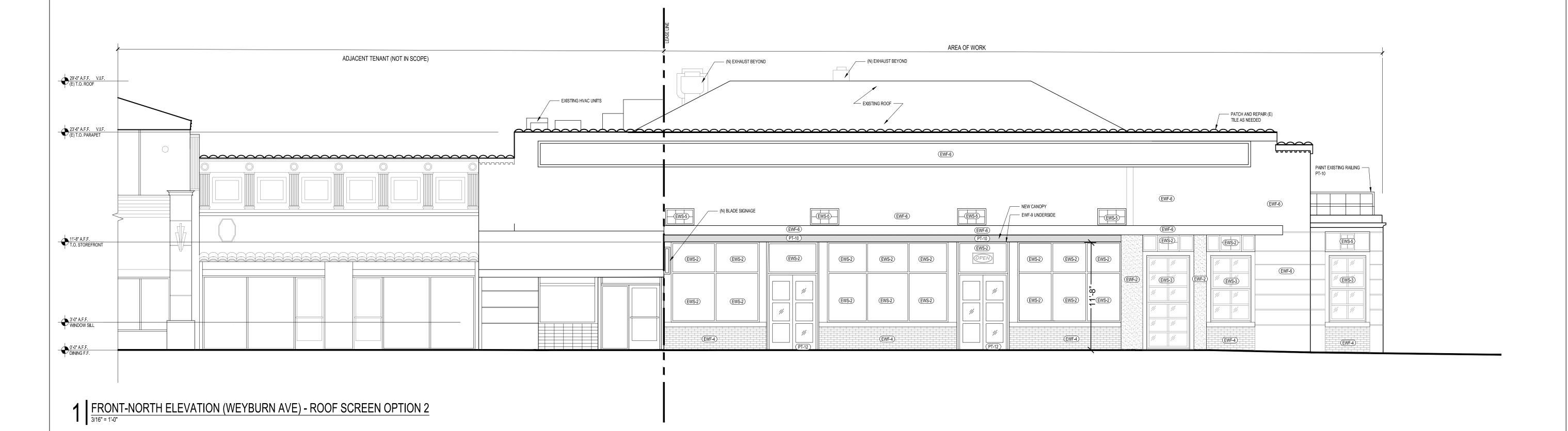
CSRS

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Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

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PROPOSED EXTERIOR ELEVATIONS OPT. 2

Sheet Number:

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SCHEDULE OF EXTERIOR IN					TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

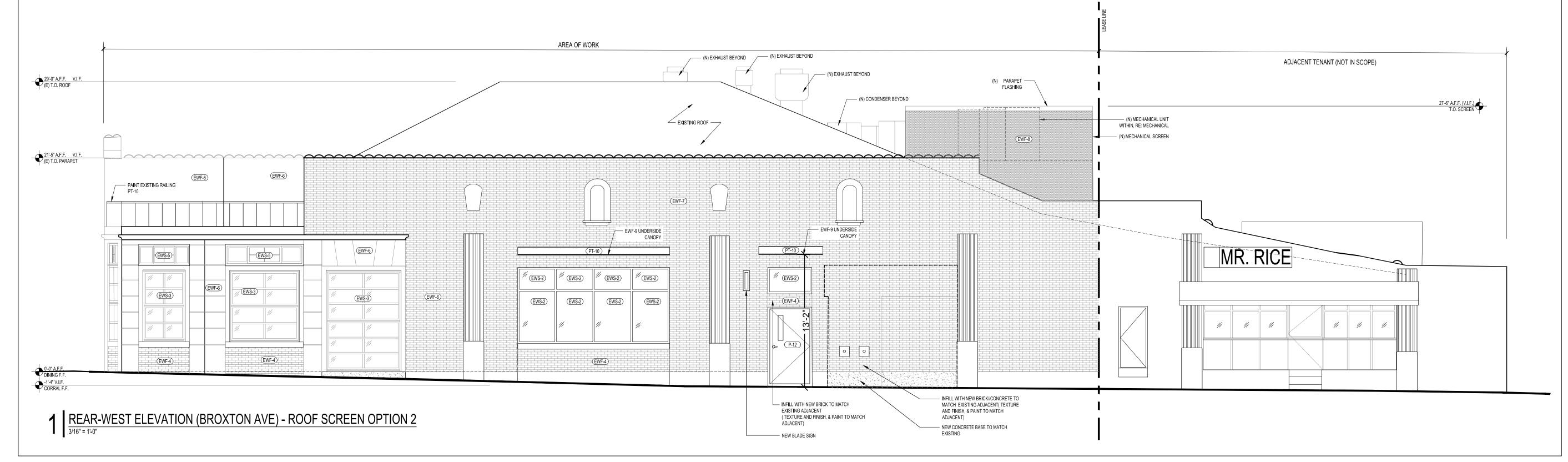
301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802
Telephone: 833-523-2526
www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

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PROPOSED EXTERIOR ELEVATIONS OPT. 2

Sheet Number:

A4.20

OPTION 2: PEFORATED METAL SCREEN

			SCHE	TERIALS	
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING





Raising Cane's Restaurant #925 1008 Broxton Avenue Los Angeles, CA 90024 NTV [B]

Designer's Information: 301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

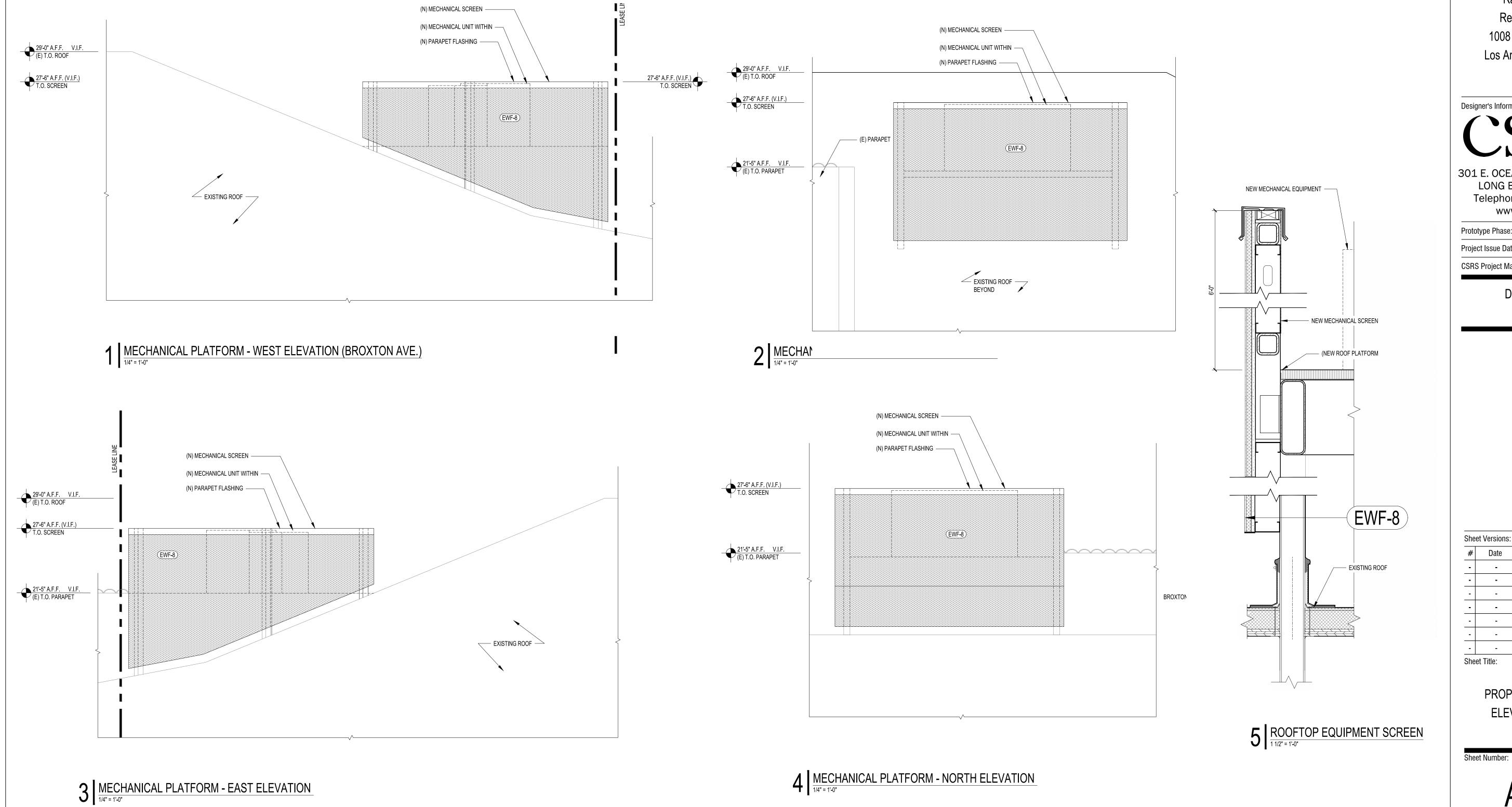
Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

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PROPOSED EXTERIOR

ELEVATIONS OPT. 2

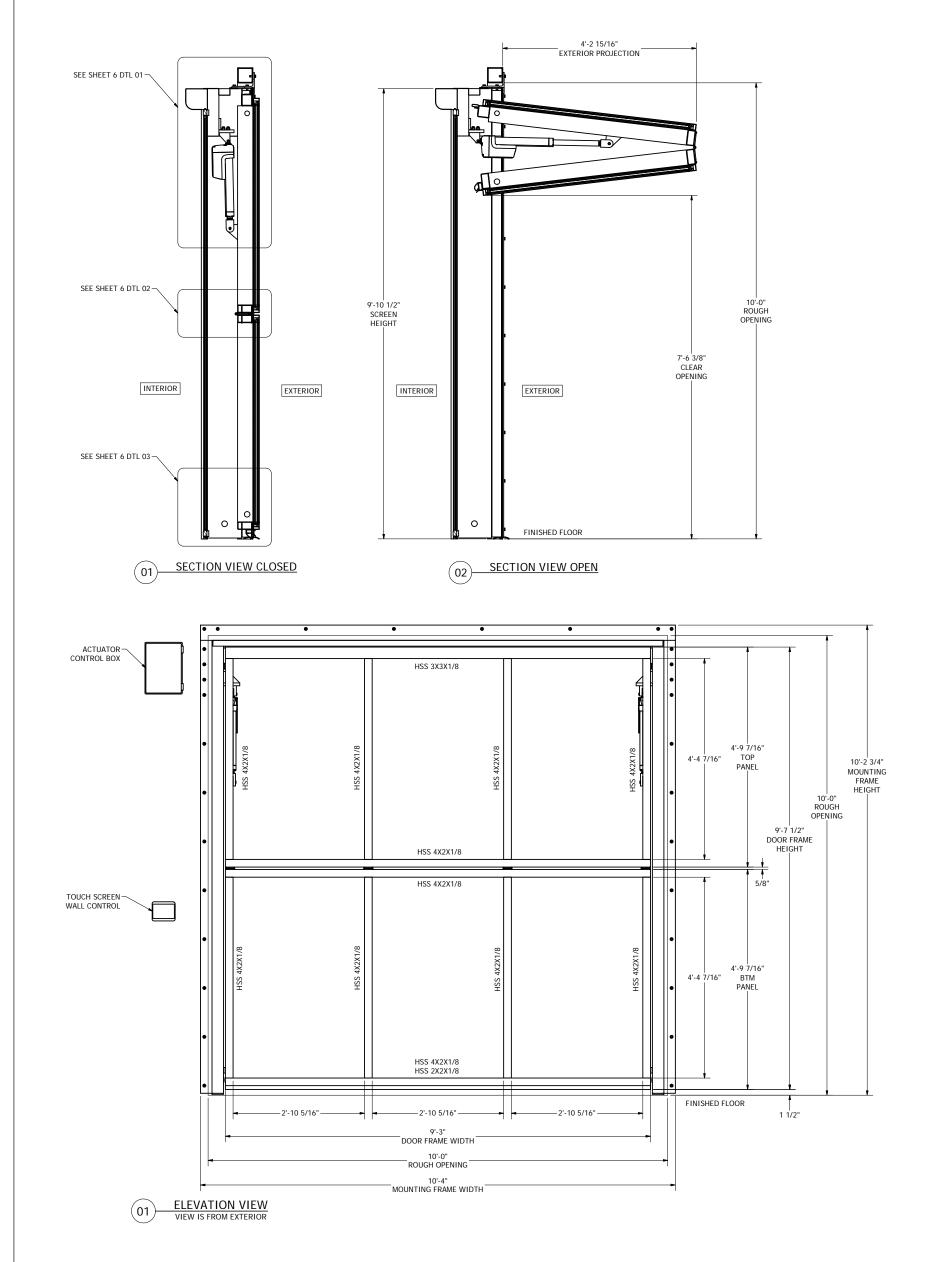


Bifold Door/Window - Product Images

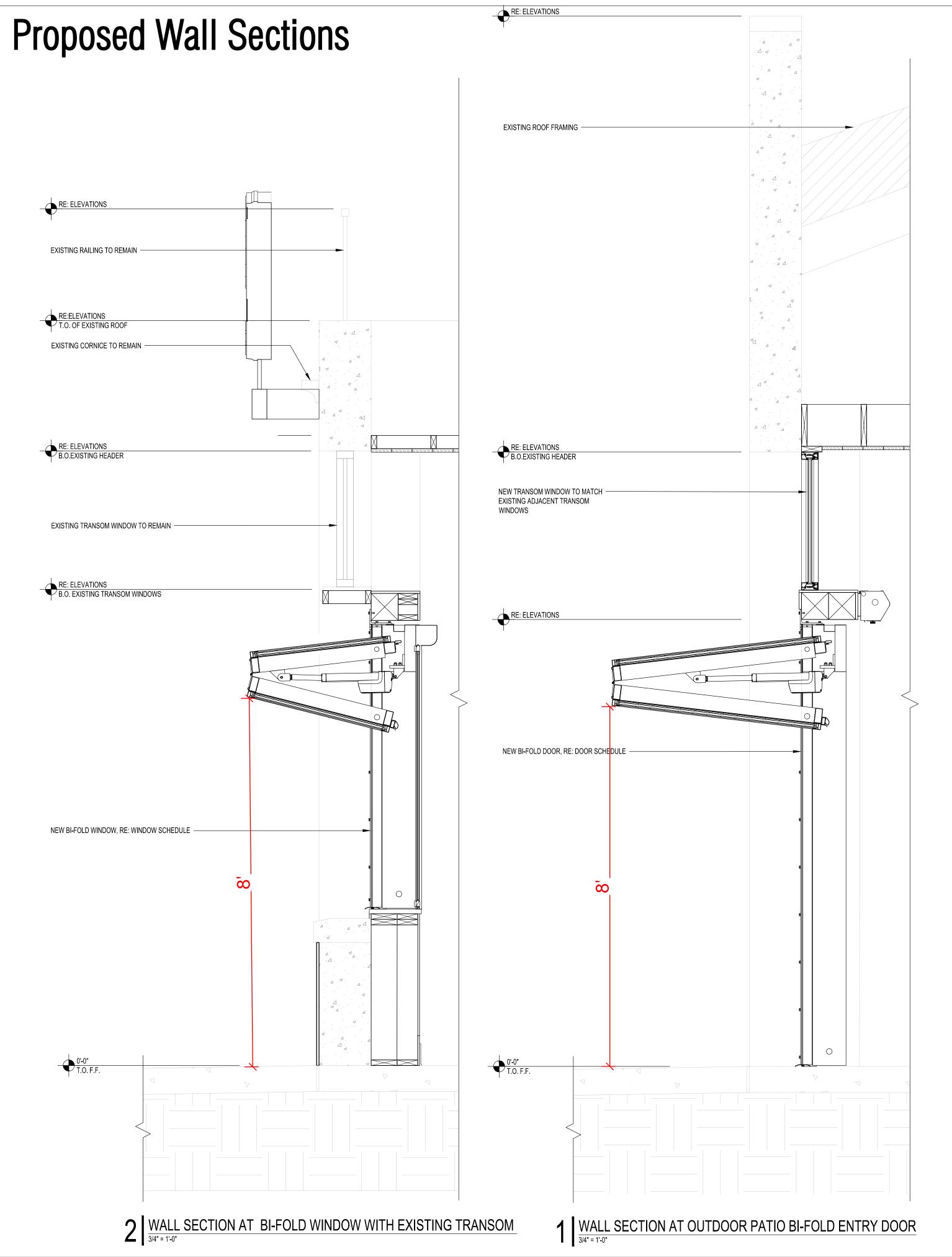




Product Cut Sheets



Renlita - EvoWave Finish Anodized Silver





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

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Project Issue Date:	00-00-000
CSRS Project Manager:	K
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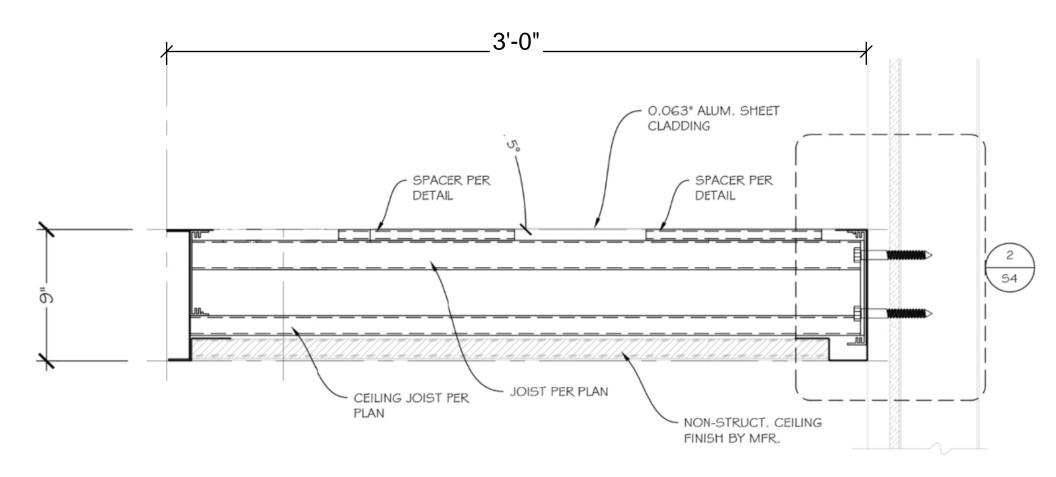
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Renlita - EvoWave Bifold Doors/Windows at Existing and New Transom Windows

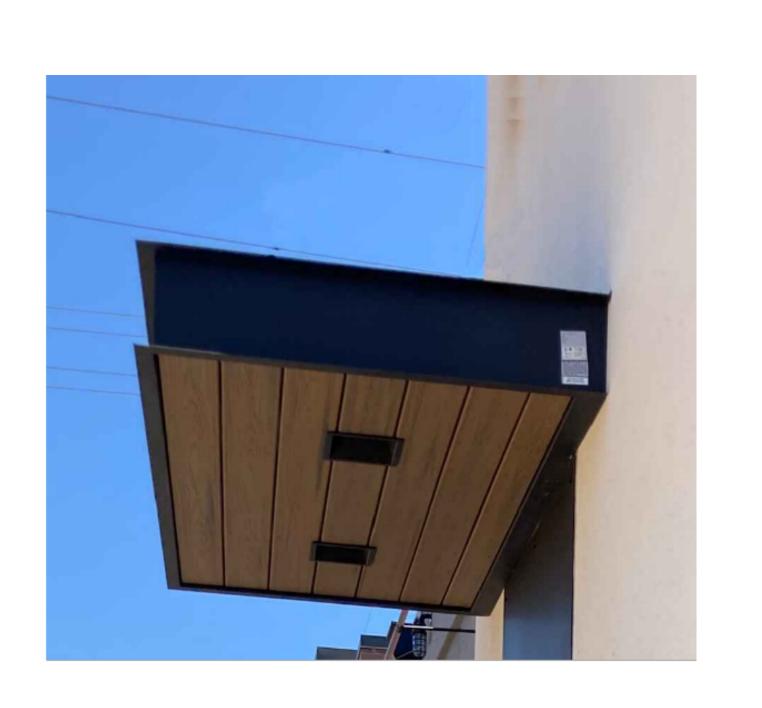
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2 | SECTION DETAIL

PHOTOS OF AWNINGS FOR REFERENCE







Restaurant:

Raising Cane's
Restaurant #925
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Westwood, CA 90024
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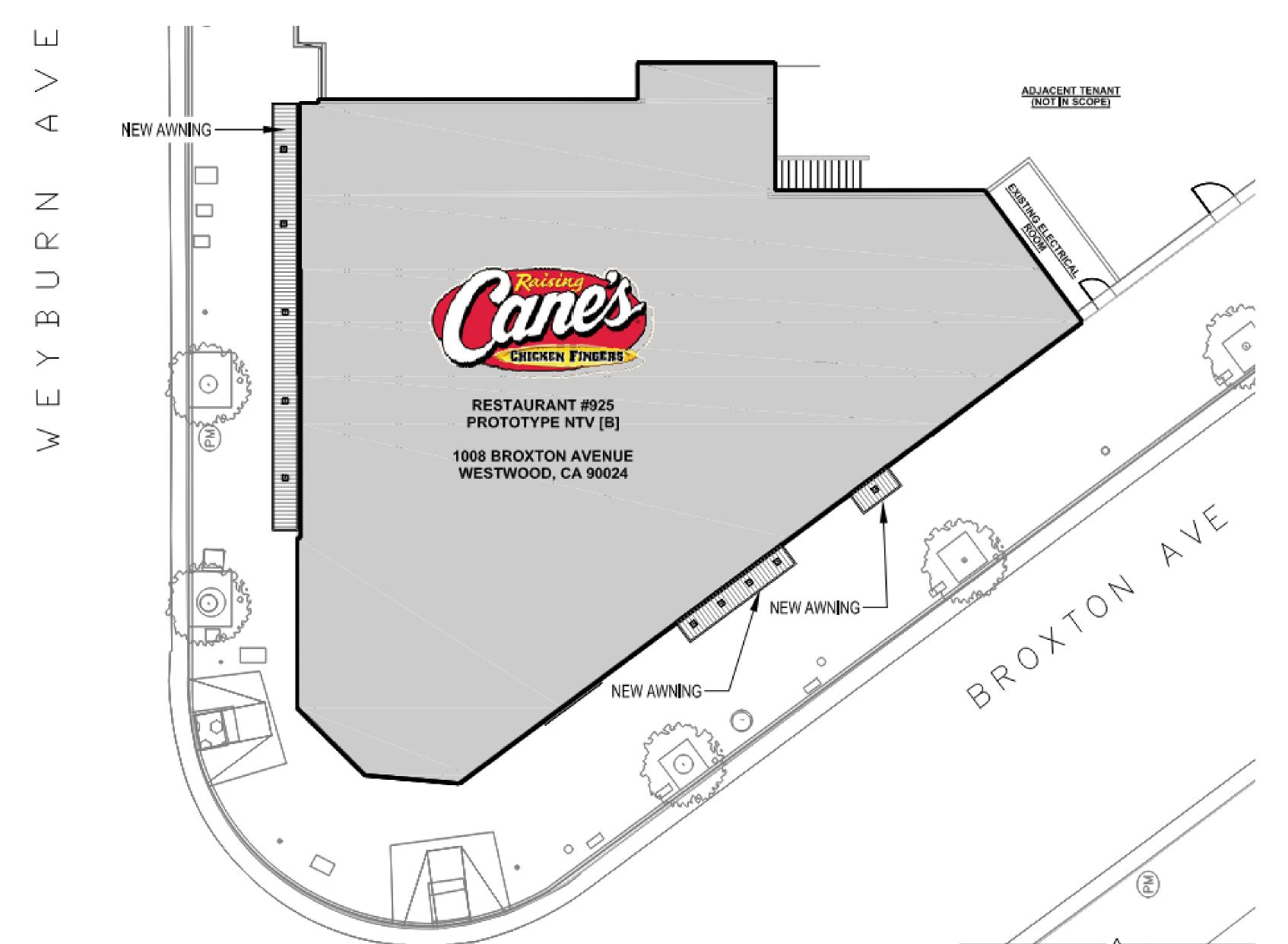
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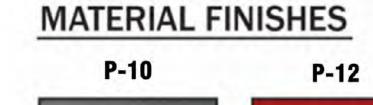
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AWNING PHOTOS & DETAILS

Sheet Number:







STEEL W/ POWDER COATED MATTE BLACK FINISH

EXPOSED PAINTED STRUCTURAL ALUMINUM FINISH: RAL 450-6 TEXTURE



COTTAGE SERIES. BRICK VENEER. PAINT AS NEEDED.



TREX TRANSCEND

COMPOSITE DECKING

REAR-WEST ELEVATION (BROXTON AVE) - ROOF SCREEN OPTION 1

HAVANA GOLD

EWF-9



EWF-2

EIFS TO MATCH EXISTING ROOF

VEV	MATERIALO	MANUEACTURED	DRODUCT	COLOD / FINIOU	DESCRIPTION
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	(+-	190	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.

MR. RICE



EWF-9 (UNDER CANOPY)

P-10



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

DRB REVIEW 12/02/2024

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PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Number:

A4.20

HISTORIC RESOURCES GROUP

CULTURAL RESOURCE REPORT 10940-10948 WEYBURN AVENUE AND 1008 S. BROXTON AVENUE OCTOBER 2024



12 S. Fair Oaks Avenue, Suite 200 Pasadena, CA 91105

Tel 626-793-2400

historicresourcesgroup.com

Raising Cane's Chicken Fingers

c/o Sara Houghton, AIA three6ixty 11287 W. Washington Boulevard Culver City, CA 90230

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1.0 EXECUTIVE SUMMARY

Raising Cane's Chicken Fingers (the Applicant) is proposing tenant improvements (the Project) to the retail spaces located at 10940-10948 Weyburn Avenue and 1008 South Broxton Avenue in the Westwood Village Specific Plan Area of the City of Los Angeles. The retail spaces are located in one of the two abutting commercial buildings located on the parcel (APN 4363-018-020, the Project Site) which encompasses the addresses 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue.

The Project Site was historically occupied by the Villa Mart market and is identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The purpose of this report is to evaluate the Project for eligibility for a Certificate of Appropriateness in compliance with the Specific Plan. This evaluation included review of existing information on the history and development of the Project Site; observation of existing conditions on the parcel; and analysis of the proposed tenant improvements. Research, observation, and analysis were performed by John LoCascio, AIA, Principal Architect, a qualified professional who meets the Secretary of the Interior's Professional Qualification Standards (36 CFR 61) in Architecture and Historic Architecture. A resume is included in Appendix C.

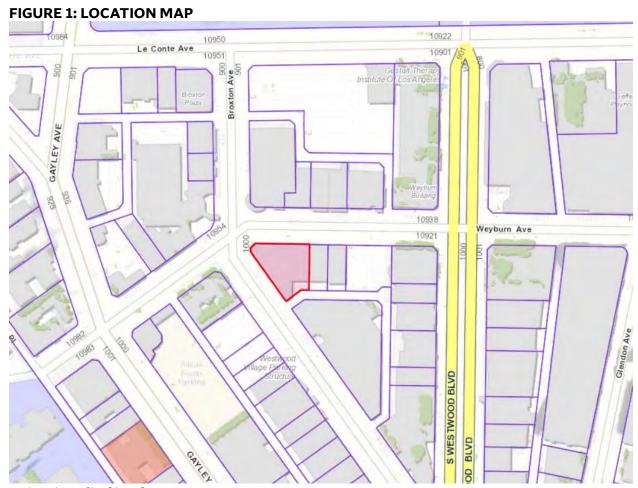
The Project proposes to combine existing tenant spaces into a single new restaurant space. The related exterior scope of work includes installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen.

This evaluation has determined that the Project complies with the Secretary of the Interior's Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

2.0 PROJECT SUMMARY

Project Location

The Project Site is located at the southeast corner of the intersection of Weyburn Avenue and South Broxton Avenue in Westwood Village. A location map is included in Figure 1, below.



Project Site outlined in red

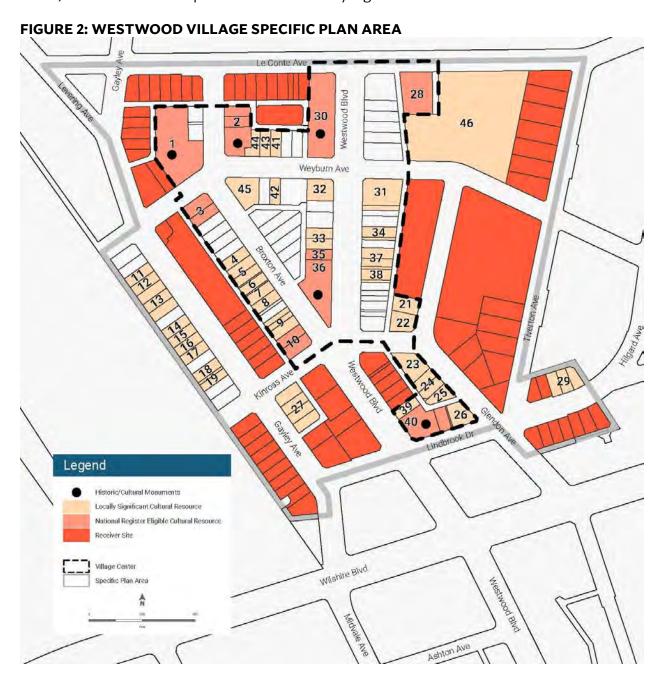
Project Description

The Project proposes to combine existing tenant spaces (10940-10948 Weyburn Avenue and 1008 South Broxton Avenue) into a single new restaurant space for Raising Cane's Chicken Fingers Restaurant #925. The interior of the tenant space will be reconfigured with new pick-up and dining areas, kitchen, and restrooms. The exterior scope of work includes installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen. See Appendix A for Project information.

3.0 SUMMARY OF PREVIOUS EVALUATIONS

Westwood Village Specific Plan

Westwood Village is currently regulated by the Westwood Village Specific Plan, originally adopted in 1989, with the most recent amendments effective December 1, 2022. The Specific Plan identifies a number of properties as "locally significant cultural resources" or "National Register eligible cultural resources," based upon the criteria for Los Angeles Historic Preservation Overlay Zones. While not officially designated, these properties are subject to review by the Westwood Community Design Review Board. The Project Site (#45 in the map below) is identified in the Specific Plan as a "Locally Significant Cultural Resource."



SurveyLA

SurveyLA is the City of Los Angeles' citywide survey of historic resources, conducted in accordance with the standards and guidelines set forth by the National Park Service and the California State Office of Historic Preservation, and overseen by the City's Office of Historic Resources. Properties surveyed as part of SurveyLA were evaluated for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments and Historic Preservation Overlay Zones.

The Westwood Village Commercial Planning District was identified by SurveyLA as an important example of early-20th century neighborhood commercial planning and development. Westwood Village is a planned commercial district located at the southern entrance to the campus of UCLA. It was developed by the Janss Investment Company beginning in 1929. The Janss brothers envisioned a business district that would serve the student population and adjacent neighborhoods, but would also become a shopping destination for the growing population of western Los Angeles. Guidelines established for building exteriors allowed architects to work within a loosely defined range of Mediterranean styles which would complement the Italian and Romanesque architecture of the adjacent university campus. Today, Westwood Village retains a number of its original buildings, several of which are designated Historic-Cultural Monuments. While the area as a whole does not retain sufficient integrity or cohesion to qualify as a historic district, over a dozen properties were identified individually as excellent examples of early commercial development associated with the original vision of Westwood by the Janss Corporation. About half of these were also evaluated for their architectural merit. The Project Site is located within the Westwood Village Commercial Planning District but was not identified in SurveyLA as individually eligible for historic designation, either for its association with the original vision of Westwood or for its architectural merit.

Built Environment Resources Directory (BERD)

The California Office of Historic Preservation (OHP) maintains the Built Environment Resource Directory (BERD), a database of previously evaluated resources throughout the state. The BERD contains information only for cultural resources that have been processed through OHP. This includes resources reviewed for eligibility for the National Register of Historic Places and the California Historical Landmarks programs through federal and state environmental compliance laws, and resources nominated under federal and state registration programs. The Project Site is not listed in the BERD.¹

¹ California Office of Historic Preservation, "Built Environment Resource Directory: Los Angeles County," 2021.

4.0 DESCRIPTION OF THE PROJECT SITE

The parcel at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue is located at the southeast corner of the intersection of Weyburn Avenue and Broxton Avenue in the Westwood Village neighborhood of Los Angeles. The irregularly shaped parcel is bounded on the west by Broxton Avenue, on the north by Weyburn Avenue, on the east by an adjacent commercial building, and on the south by a service alley. The parcel is occupied by two abutting commercial buildings set flush to the property lines on the west, north, east, and south, save for a narrow parking strip at the south edge of the property along the alley.

The west building (10940-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue) is of concrete frame and brick masonry construction with a roughly triangular plan and complex massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a stepped parapet with a simple cornice and clay barrel tile coping. The parapet angles back at the northeast corner to highlight a lower polygonal pavilion with rusticated plaster piers, a flat roof, and a decorative metal balustrade. The primary (north) façade is asymmetrically composed of continuous aluminum-framed storefronts between rusticated plaster piers, with a smooth cement plaster parapet above. Remnant divided-light vent lights, painted shut, are visible in the parapet. The secondary (west) façade is of painted brick masonry and expressed concrete, with rectangular storefront openings divided by fluted concrete piers. The parapet is articulated with a brick niche centered above each storefront, and a cast escutcheon above each pier. The south (rear) façade is utilitarian.

The east building (10936-10938 West Weyburn Avenue) is of brick masonry construction with a rectangular plan and simple massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a parapet with a simple cornice and clay barrel tile coping on the primary (north) façade. The north façade is finished in smooth cement plaster. It has a shed-roofed projection at the aluminum-framed storefronts, and a parapet frieze of recessed plaster panels between squat, fluted piers, with a row of rondels above. The south (rear) façade is of expressed board-formed concrete with flush doors, horizontal sliding aluminum-sash windows, and security grilles.

Alterations

There have been numerous alterations to the exterior of the west building. The historically open frontage on Weyburn Avenue has been infilled with glazed aluminum storefronts. The windows in the corner pavilion have been replaced, and the transom lights above have been blocked. The plaster and brick base of the corner pavilion has been veneered with ceramic tile. The shed-roofed projection on the north façade of 10936-10938 West Weyburn Avenue was likely added in 1963.

Historic photographs of the Project Site are included in Appendix B. Photographs of existing conditions on the Project Site are included below.

EXISTING CONDITIONS PHOTOGRAPHS OF THE PROJECT SITE

Historic Resources Group



 ${\it Image 1: Overview of north façade, view southwest from Weyburn Avenue}$



Image 2: North façade, view southeast from Weyburn Avenue



Image 3: North façade, view southwest from Weyburn Avenue



Image 4: North façade, view east on Weyburn Avenue



Image 5: Corner pavilion, view southeast from intersection of Weyburn Avenue and Broxton Avenue



Image 6: West façade, view southeast from Broxton Avenue



Image 7: West façade, view northeast from Broxton Avenue

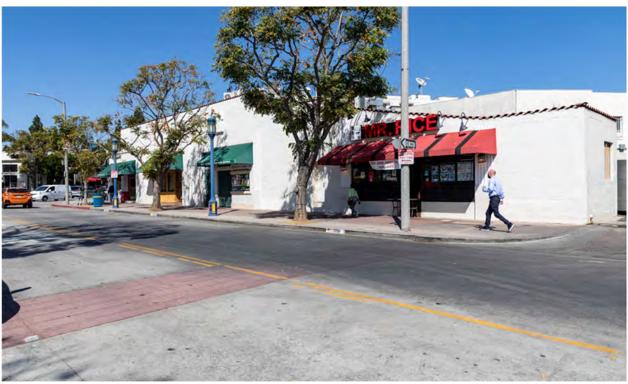


Image 8: West façade, view northeast from Broxton Avenue



Image 9: Southeast façade, view northwest from alley

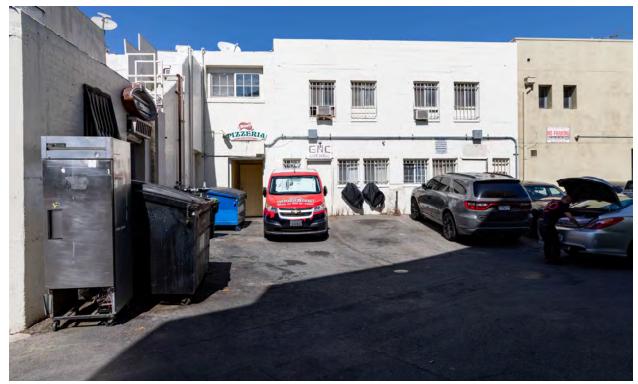


Image 10: South façade, view north from alley

5.0 ANALYSIS OF PROJECT COMPLIANCE

Framework for Analysis

Section 6.C. of the Westwood Village Specific Plan requires approval of a Certificate of Appropriateness for significant alterations to a Cultural Resource. Section 2.E. of the Specific Plan specifies that "Projects requiring a Certificate of Appropriateness shall be subject to the procedures set forth in Section 12.20.3 of the Los Angeles Municipal Code." Section 12.20.3, "HP" Historic Preservation Overlay Zone, requires the Director to base a determination on approval of a Certificate of Appropriateness on the project's compliance with the Secretary of the Interior's Standards for Rehabilitation.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The Secretary of the Interior's Standards for the Treatment of Historic Properties ("the Standards") provides guidance for reviewing proposed projects that may affect historical resources. The Standards and associated guidelines address four distinct historic "treatments," including: (1) preservation; (2) rehabilitation; (3) restoration; and (4) reconstruction. The specific Standards and guidelines associated with each of these possible treatments are provided on the National Park Service's website regarding the treatment of historic resources.2

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation, rehabilitation, and maintenance of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The Standards for Rehabilitation address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment rehabilitation assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character. Historic building materials and character-defining features are

² U. S. Department of the Interior, National Park Service, "Rehabilitation Standards and Guidelines," Technical Preservation Services, https://www.nps.gov/tps/standards/rehabilitation.htm (accessed October 2020), See also The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, by Kay D. Weeks and Anne E. Grimmer (1995), revised by Anne E. Grimmer (Washington, DC: 2017), https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf (accessed September 2023).

protected and maintained; however, greater latitude is given to replace missing or extensively deteriorated or damaged features using compatible substitutes. According to guidance from the National Park Service, the accommodation of change to make possible an efficient use of a historic building is basic to the process of rehabilitation and distinguishes it from restoration. It is the owner's choice as to what or how much work will be undertaken in a project. There is no requirement that missing or damaged historic features be restored.3 The Guidelines for Rehabilitating Historic Buildings recommends accurately reproducing a missing historic feature if adequate historical, pictorial, and physical documentation exists; or replacing the missing feature with a new design that is compatible with the character of the historic building but clearly differentiated so that a false historical appearance is not created.⁴

Standards Compliance Analysis

The Project proposes exterior alterations to the building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue, including installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen. The Project is evaluated below against the Secretary of the Interior's Standards for Rehabilitation to determine its eligibility for a Certificate of Appropriateness.

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

The former Villa Mart building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue will continue in its historic use as a retail commercial building. The exterior alterations proposed by the Project will require minimal change to the distinctive materials, features, spaces, and spatial relationships that characterize the building. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, none of which are historic. The Project will retain the building's complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 1.

Historic Resources Group

³ National Park Service, "Historic Preservation Tax Incentives: Cumulative Effect and Historic Character," https://www.nps.gov/subjects/taxincentives/cumulative-effect-and-historic-character.htm (accessed July 2024). ⁴ National Park Service, Technical Preservation Services, "Guidelines for Rehabilitating Historic Buildings: Introduction to the Guidelines," The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings (nps.gov), (accessed August 2024).

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The Project will retain and preserve the historic character of the former Villa Mart building and will avoid the removal of distinctive materials or the alteration of features, spaces, and spatial relationships that characterize the property. The Project will retain and preserve the building's exterior character-defining features, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, which are not historic. The Project complies with Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The Project does not propose changes that create a false sense of historical development or the addition of conjectural features or architectural elements from other buildings. The proposed new storefronts, bi-fold windows, steel canopies, and sign rail are clearly contemporary in design. The Project complies with Standard 3.

Standard 4: Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No changes to the former Villa Mart building have acquired significance in their own right. The Project complies with Standard 4.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The Project will retain and preserve the distinctive features, finishes, and examples of craftsmanship that characterize the former Villa Mart building, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible,

materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The Project will retain the historic features of the former Villa Mart building, including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will repair the decorative metal balustrade and replace its missing braces; and will restore the blocked transom lights above the windows of the corner pavilion. The Project complies with Standard 6.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The Project does not propose any chemical or physical treatments, such as sandblasting or high-pressure water blasting, that cause damage to historic materials. Any treatments will be undertaken using the gentlest means possible, following guidance provided by the National Park Service in the applicable Preservation Briefs. The Project complies with Standard 7.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The Project does not propose excavation that might reveal unexpected archeological resources. In addition, the Project Site is located in an urbanized area and has been subject to grading, excavation, fill, and construction activities in the past; any archeological resources that may have once existed on the Project Site have likely been previously disturbed. Standard 8 is not applicable to the Project.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The exterior alterations proposed by the Project will not destroy historic materials, features, or spatial relationships that characterize the former Villa Mart building. The Project will retain the building's exterior character-defining features including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will install new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; install new bi-fold windows and restore the historic transom lights in the polygonal corner unit; install a new signage band; and install new rooftop mechanical equipment and equipment screen. The new doors, storefronts, canopies, and bi-fold windows will be simple and contemporary in design, so will be visually unobtrusive and differentiated from the historic character of the building. They will be installed within existing openings, so will not alter the historic scale and proportions of the façade or the existing fenestration pattern. The new mechanical equipment and equipment screen will be located on the rear portion of the roof and will be minimally visible from the street. The Project complies with Standard 9.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Project does not propose new additions or adjacent or related new construction. Therefore, Standard 10 is not applicable to the Project.

6.0 CONCLUSION

The Project proposes tenant improvements to the existing commercial building located at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue, including interior remodel to combine existing tenant spaces (10942-10946 Weyburn Avenue and 1008 North Broxton Avenue) into a single new restaurant space; installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen.

The Project Site was identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The Specific Plan requires a Certificate of Appropriateness for significant alterations to a Cultural Resource and requires compliance with the Secretary of the Interior's Standards for Rehabilitation for approval of a Certificate of Appropriateness. Therefore, this report has evaluated the Project against the Standards for Rehabilitation.

This report has determined that the Project complies with the applicable Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

7.0 REFERENCES

California Office of Historic Preservation. Built Environment Resource Directory, Los Angeles County, 2020.

City of Los Angeles. "Westwood Village Specific Plan." Ordinance No. 187,644, Effective December 1, 2022.

City of Los Angeles Department of City Planning, Office of Historic Resources. Historic Resources Survey Report, Westwood Community Plan Area. Prepared by Historic Resources Group, March 2015.

APPENDIX A

PROJECT INFORMATION





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

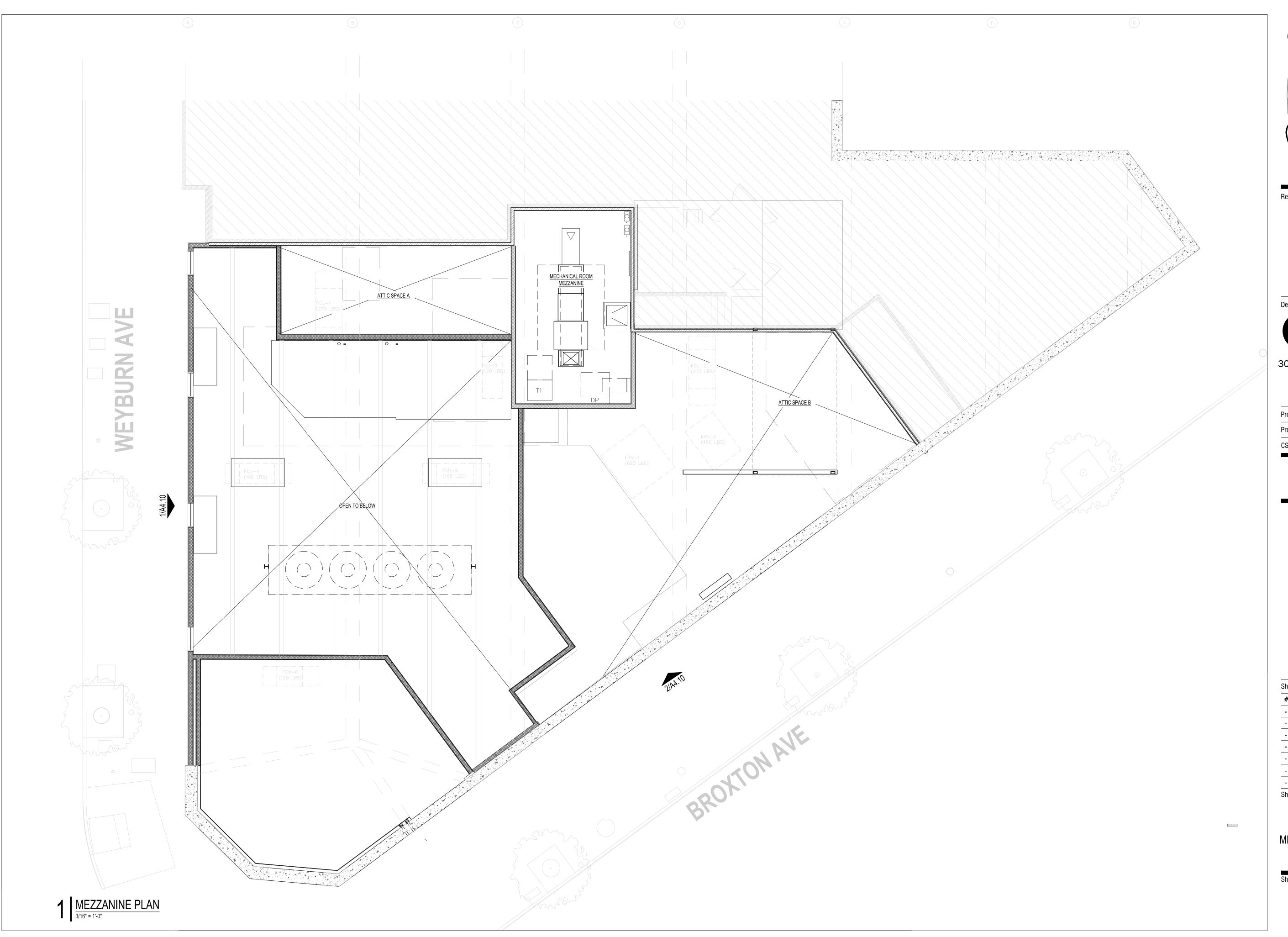
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KEYNOTE FLOOR PLAN

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Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

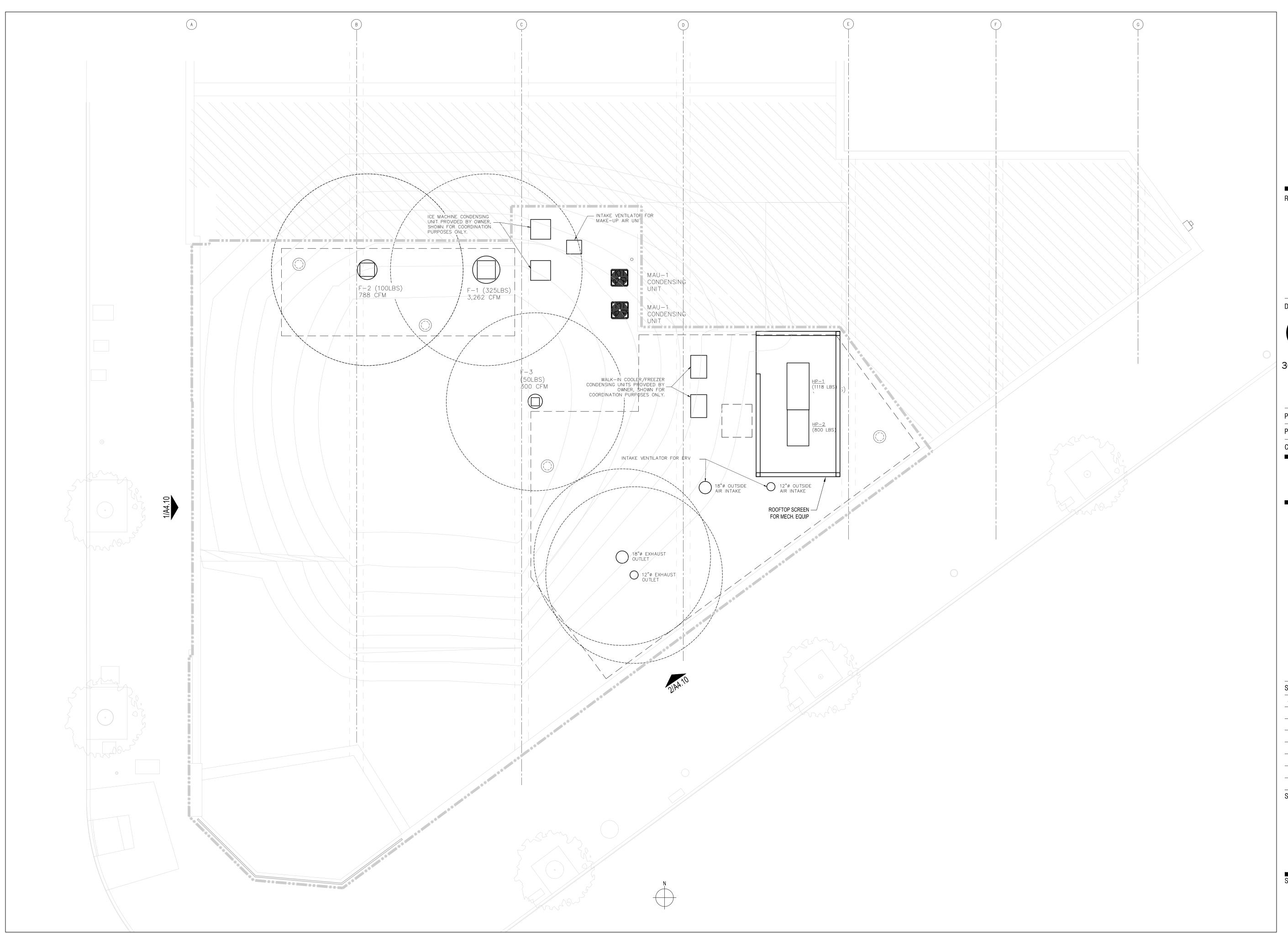
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KEYNOTE AND FRAMING MECH. ROOM MEZZANINE PLAN

A1.11



CHICKEN FINGERS

Restaurant Support Office
6800 Bishop Road, Plano, TX 75024

Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

CSRS

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

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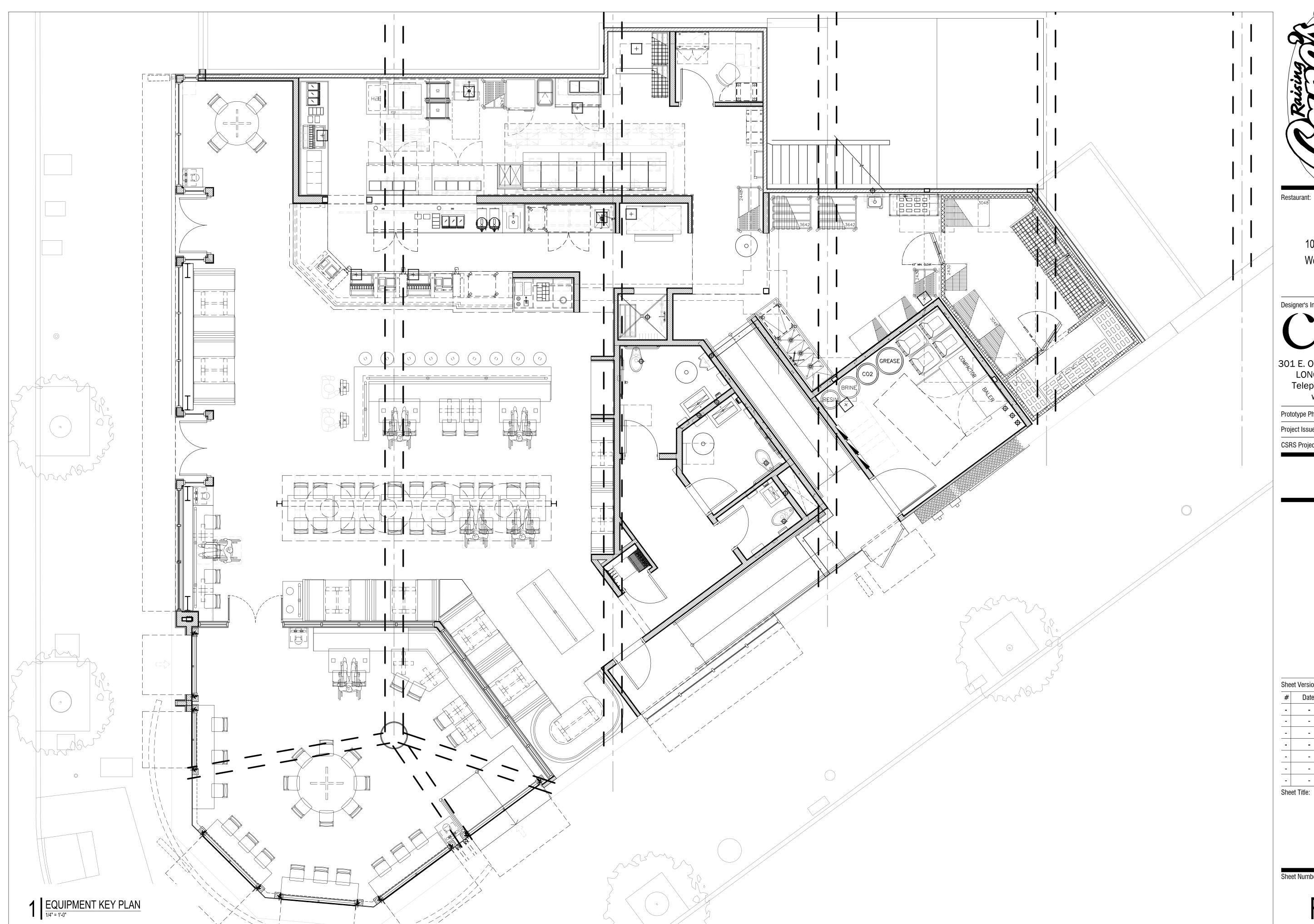
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ROOF PLAN

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Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

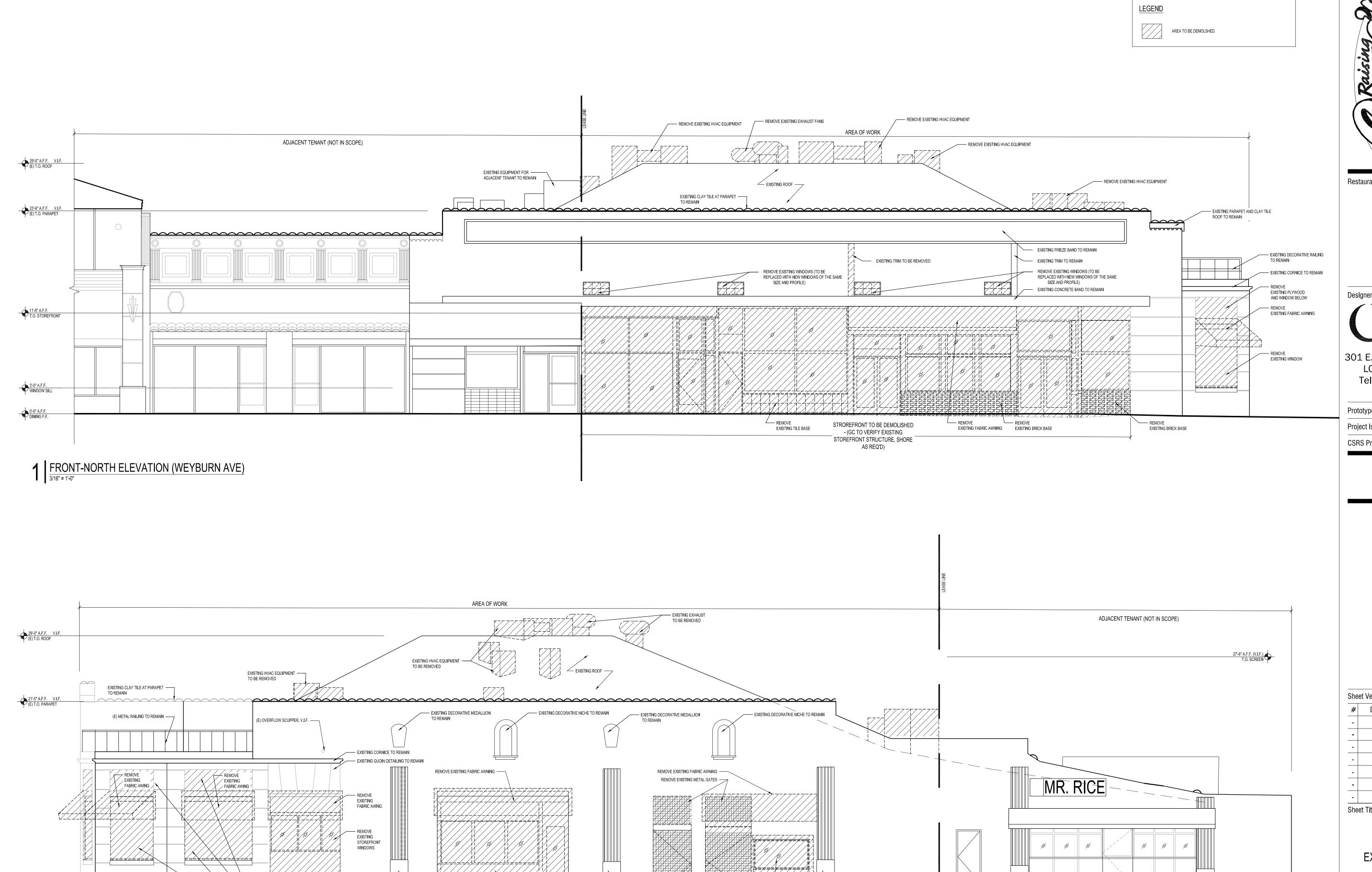
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Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

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Equipment

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EXISTING WINDOW TO BE REMOVED

EXISTING PILASTER TO REMAIN

REMOVE
EXISTING PLYWOOD
AND WINDOW BELOW

1 REAR-WEST ELEVATION (BROXTON AVE) $\frac{1}{3/16"} = 1'-0"$

EXISTING PILASTER TO REMAIN

REMOVE EXISTING WOOD STOREFRONT AND DOOR

EXISTING PILASTER TO REMAIN

Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

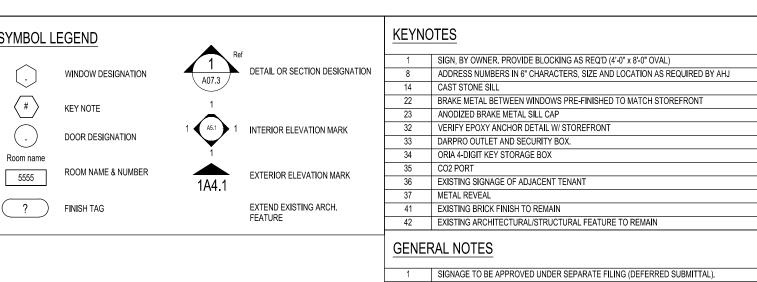
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EXISTING / DEMO **EXTERIOR ELEVATIONS**

Sheet Number:

	SCHEDULE OF EXTERIOR MATERIALS							
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION	SYMI		
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED			
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE				
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO			
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR	Room		
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.	55		
EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR			
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD				
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE			
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER				
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.			



SEALANT NOTES

1 PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
2 MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802
Telephone: 833-523-2526
www.csrsinc.com
Prototype Phase: NTV

Prototype Phase: NTV
Project Issue Date: 00-00-0000
CSRS Project Manager: KF

DRB SUBMITTAL 11/18/2024

F.F. V.I.F. PARAPET PAINT EXISTING RAILING PT-10 PAINT EXISTING RAILING SIGNAGE BAND (EWF-6) (EWF-6)		EXISTING ROOF —	(N) CONDENSER BEYON	(EIFS)	(N) PARAPET FLASHING (N) MECHANICAL UNIT WITHIN, RE: MECHANICAL (N) MECHANICAL SCREEN		27'-6" A.F.F. (V.I.F.) T.O. SCREEN
PAINT EXISTING RAILING PT-10 ANODIZED SILVER SIGNAGE BAND							
EWS-2) EWS-2) (EWS-2) (EWS-2) (EWS-6) (IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	(E) OVERFLOW SCUPPER, V.I.F. (EWF-6) (EWF-6) (EWF-6) (EWS-2) (EWS-2)	S-2) (EWS-2) (EWS-2)	P-12	INFILL WITH NEW BRICK TO MATCH EXISTING ADJACENT(TEXTURE AND FINISH, & PAINT TO MATCH ADJACENT)		MR. RICE	

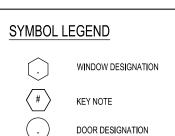
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PROPOSED EXTERIOR ELEVATIONS

Sheet Numb

A4.20

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.



ROOM NAME & NUMBER

Room name

? FINISH TAG

1 DETAIL OR SECTION DESIGNATION 1 (A5.1) 1 INTERIOR ELEVATION MARK

1A4.1

SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION.

CAST STONE SILL

BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT

ANODIZED BRAKE METAL SILL CAP

VERIFY EPOXY ANCHOR DETAIL W/ STOREFRONT

ADARPRO OUTLET AND SECURITY BOX.

ORIA 4-DIGIT KEY STORAGE BOX

EXTERIOR ELEVATION MARK

35 CO2 PORT
36 EXISTING SIGNAGE OF ADJACENT TENANT
37 METAL REVEAL
41 EXISTING BRICK FINISH TO REMAIN
42 EXISTING ARCHITECTURAL/STRUCTURAL FEATURE TO REMAIN

EXTEND EXISTING ARCH. FEATURE

GENERAL NOTES 1 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).

SEALANT NOTES

PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.

MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

NTV Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

> DRB SUBMITTAL 11/18/2024

ADJACENT TENANT (NOT IN SCOPE)		AREA OF WORK (N) EXHAUST BEYOND (N) EXHAUST BEYOND	
F. V.I.F. DOOF	EXISTING HVAC UNITS	EXISTING ROOF	PATCH AND REPAIR (E) TILE AS NEEDED
V.I.F. APET		(EWF-6)	
			EWF-6) EWF-6 ANODIZED SILV
FRONT		(EWS-2) (EWS-2	SIGNAGE BAND
		EWS-2)	(EIFS) (EWS-3) (EIFS) (EWS-3)
		(EWF-4) (PT-12) (FT-12)	[EWF-4]
FRONT-NORTH ELEVATION (WEYBURN AVE)			23

#	Date	Description
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PROPOSED **EXTERIOR ELEVATIONS**

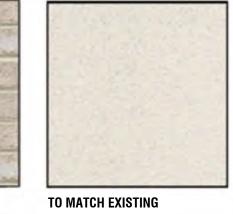


EXPOSED PAINTED STRUCTURAL ALUMINUM FINISH: RAL 450-6 TEXTURE

STEEL W/ POWDER COATED MATTE BLACK FINISH



VENEER. PAINT AS NEEDED.



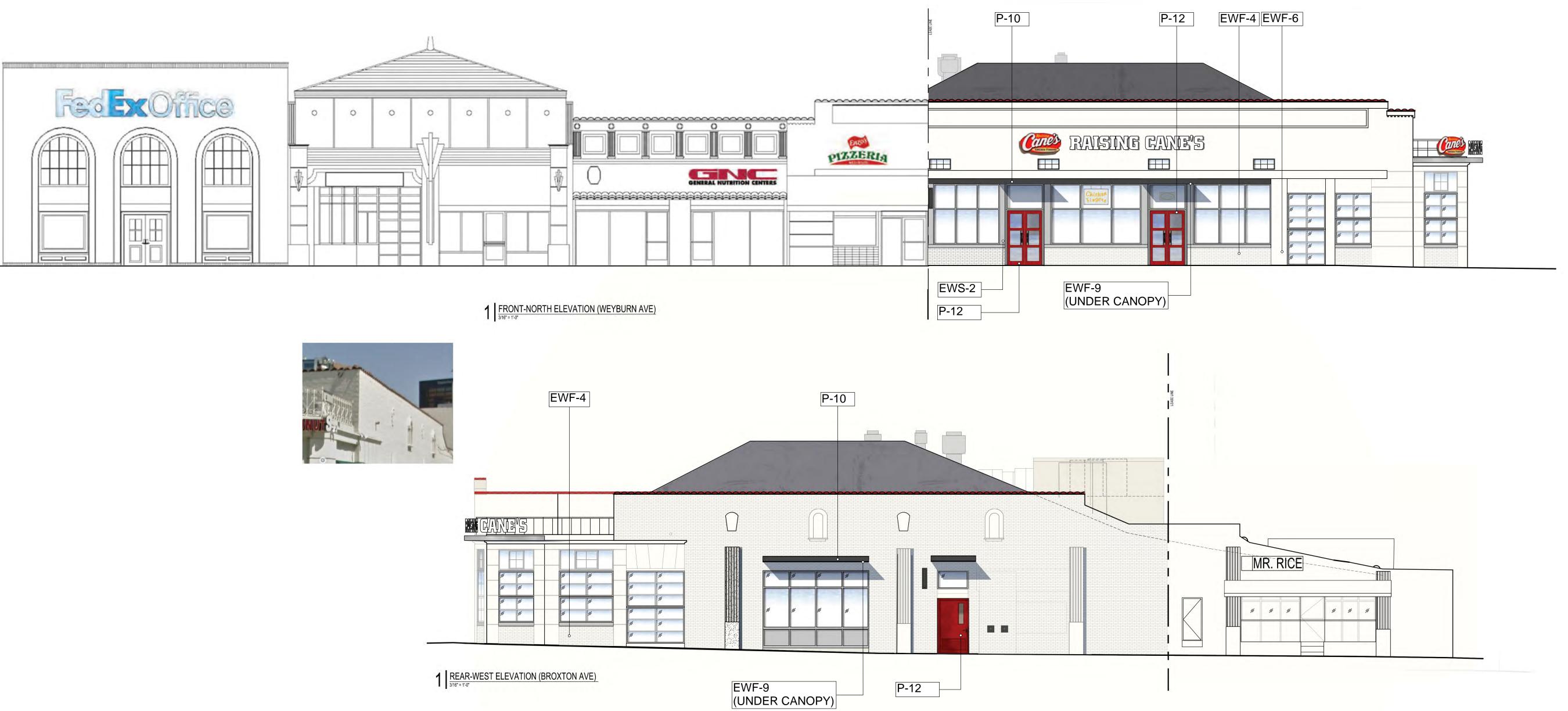


HAVANA GOLD

EWS-2 ALUMINUM STOREFRONT SYSTEM

FINISH: ANODIZED SILVER

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE-E (SPE) 456 OYSTER SHELL	APPLIED OVER STUCCO
EWF-4	BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	456 OYSTER SHELL	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	- 5			PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

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PERMIT SET 8/20/2024

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PROPOSED **EXTERIOR ELEVATIONS**

Sheet Number:

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APPENDIX B

HISTORIC PHOTOGRAPHS



The Villa Mart market, c. 1940, view southeast from Weyburn Avenue (courtesy of Steve Sann)



The Villa Mart market, corner pavilion, c. 1950, view southeast from Weyburn Avenue and Broxton Avenue (courtesy of Steve Sann)



Stan's Donuts, c. 1980, view east from Broxton Avenue (courtesy of Steve Sann)

APPENDIX C

RESUMES OF AUTHORS/CONTRIBUTORS

HISTORIC RESOURCES GROUP

12 S. Fair Oaks Avenue, Suite 200 Pasadena, CA 91105 - 3816

Tel 626-793-2400 historicresourcesgroup.com



Professional LicenseCalifornia Architect C24223

Education

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Bachelor of Architecture, University of Southern California

Honors and Awards

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Los Angeles Conservancy Preservation Award

California Preservation
Foundation Preservation Design
Award

City of Pasadena Historic Preservation Award

AIA Institute Honor Award

JOHN LOCASCIO, AIA

Principal Architect

Experience Profile

Years of Experience: 31

John LoCascio has been with HRG since 2011, involved in historic preservation since 2002, and a licensed, practicing architect since 1993.

John's areas of focus at HRG include historic architecture and technology, building conservation, historic structure reports and federal historic rehabilitation tax credit projects. He provides technical assistance for construction documents, advises on compliance with the Secretary of the Interior's Standards and the use of the State Historic Building Code, provides construction monitoring, and paint and materials sampling and analysis services. John has worked on a wide variety of buildings and structures in California as well as in other states. He is currently advising on historic tax credit projects in Los Angeles, the San Francisco Bay area, and Washington State. In addition, John regularly provides historic architecture consultation for numerous LAUSD campus modernization projects.

John LoCascio meets the *Secretary of the Interior's Professional Qualifications Standards* in Architecture and Historic Architecture.

Selected Projects

28th Street YMCA Rehabilitation and Adaptive Reuse, Los Angeles Academy Museum of Motion Pictures Rehabilitation, Hollywood Angelus Funeral Home Historic Tax Credit Project, Los Angeles CBS Columbia Square Rehabilitation and Adaptive Reuse, Hollywood Chapman University VPO Packing House Rehabilitation, Orange Climate Pledge Arena Historic Tax Credit Project, Seattle Constance Hotel Historic Tax Credit Project, Pasadena Grand Central Air Terminal Rehabilitation & Adaptive Reuse, Glendale Los Angeles International Airport Preservation Plan and HSRs Mayfair Hotel Historic Tax Credit Project, Los Angeles Venice High School Comprehensive Modernization, Los Angeles

Professional Affiliations

American Institute of Architects

HISTORIC RESOURCES GROUP

CULTURAL RESOURCE REPORT 10940-10948 WEYBURN AVENUE AND 1008 S. BROXTON AVENUE OCTOBER 2024



12 S. Fair Oaks Avenue, Suite 200 Pasadena, CA 91105

Tel 626-793-2400

historicresourcesgroup.com

Raising Cane's Chicken Fingers

c/o Sara Houghton, AIA three6ixty 11287 W. Washington Boulevard Culver City, CA 90230

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1.0 EXECUTIVE SUMMARY

Raising Cane's Chicken Fingers (the Applicant) is proposing tenant improvements (the Project) to the retail spaces located at 10940-10948 Weyburn Avenue and 1008 South Broxton Avenue in the Westwood Village Specific Plan Area of the City of Los Angeles. The retail spaces are located in one of the two abutting commercial buildings located on the parcel (APN 4363-018-020, the Project Site) which encompasses the addresses 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue.

The Project Site was historically occupied by the Villa Mart market and is identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The purpose of this report is to evaluate the Project for eligibility for a Certificate of Appropriateness in compliance with the Specific Plan. This evaluation included review of existing information on the history and development of the Project Site; observation of existing conditions on the parcel; and analysis of the proposed tenant improvements. Research, observation, and analysis were performed by John LoCascio, AIA, Principal Architect, a qualified professional who meets the Secretary of the Interior's Professional Qualification Standards (36 CFR 61) in Architecture and Historic Architecture. A resume is included in Appendix C.

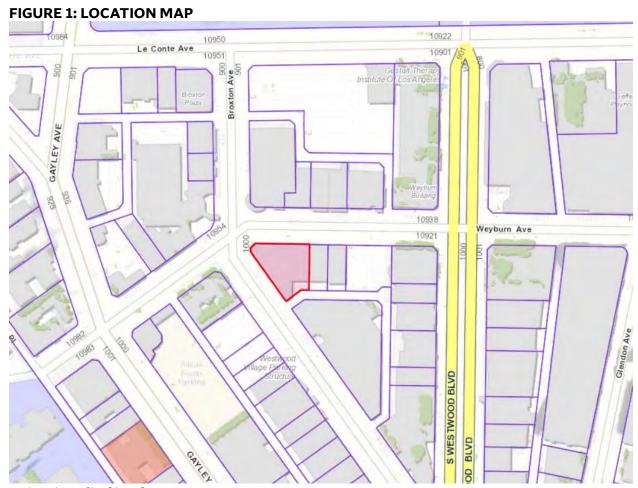
The Project proposes to combine existing tenant spaces into a single new restaurant space. The related exterior scope of work includes installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen.

This evaluation has determined that the Project complies with the Secretary of the Interior's Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

2.0 PROJECT SUMMARY

Project Location

The Project Site is located at the southeast corner of the intersection of Weyburn Avenue and South Broxton Avenue in Westwood Village. A location map is included in Figure 1, below.



Project Site outlined in red

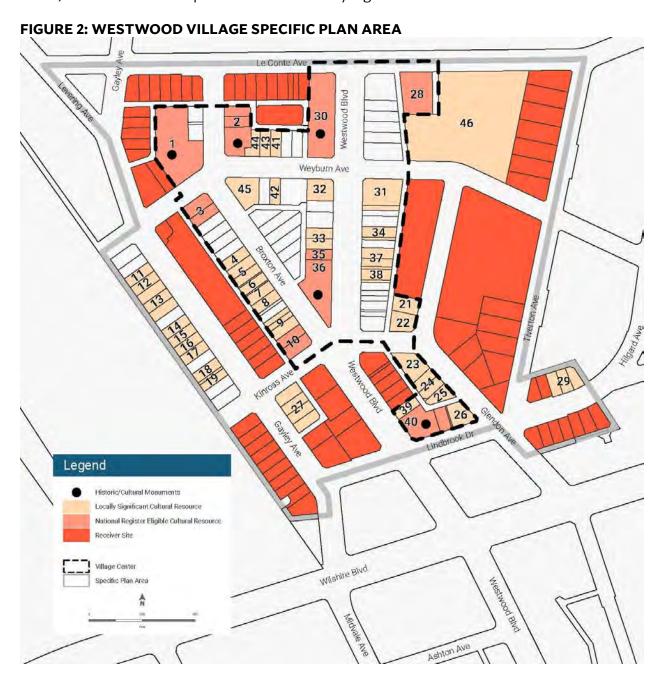
Project Description

The Project proposes to combine existing tenant spaces (10940-10948 Weyburn Avenue and 1008 South Broxton Avenue) into a single new restaurant space for Raising Cane's Chicken Fingers Restaurant #925. The interior of the tenant space will be reconfigured with new pick-up and dining areas, kitchen, and restrooms. The exterior scope of work includes installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen. See Appendix A for Project information.

3.0 SUMMARY OF PREVIOUS EVALUATIONS

Westwood Village Specific Plan

Westwood Village is currently regulated by the Westwood Village Specific Plan, originally adopted in 1989, with the most recent amendments effective December 1, 2022. The Specific Plan identifies a number of properties as "locally significant cultural resources" or "National Register eligible cultural resources," based upon the criteria for Los Angeles Historic Preservation Overlay Zones. While not officially designated, these properties are subject to review by the Westwood Community Design Review Board. The Project Site (#45 in the map below) is identified in the Specific Plan as a "Locally Significant Cultural Resource."



SurveyLA

SurveyLA is the City of Los Angeles' citywide survey of historic resources, conducted in accordance with the standards and guidelines set forth by the National Park Service and the California State Office of Historic Preservation, and overseen by the City's Office of Historic Resources. Properties surveyed as part of SurveyLA were evaluated for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments and Historic Preservation Overlay Zones.

The Westwood Village Commercial Planning District was identified by SurveyLA as an important example of early-20th century neighborhood commercial planning and development. Westwood Village is a planned commercial district located at the southern entrance to the campus of UCLA. It was developed by the Janss Investment Company beginning in 1929. The Janss brothers envisioned a business district that would serve the student population and adjacent neighborhoods, but would also become a shopping destination for the growing population of western Los Angeles. Guidelines established for building exteriors allowed architects to work within a loosely defined range of Mediterranean styles which would complement the Italian and Romanesque architecture of the adjacent university campus. Today, Westwood Village retains a number of its original buildings, several of which are designated Historic-Cultural Monuments. While the area as a whole does not retain sufficient integrity or cohesion to qualify as a historic district, over a dozen properties were identified individually as excellent examples of early commercial development associated with the original vision of Westwood by the Janss Corporation. About half of these were also evaluated for their architectural merit. The Project Site is located within the Westwood Village Commercial Planning District but was not identified in SurveyLA as individually eligible for historic designation, either for its association with the original vision of Westwood or for its architectural merit.

Built Environment Resources Directory (BERD)

The California Office of Historic Preservation (OHP) maintains the Built Environment Resource Directory (BERD), a database of previously evaluated resources throughout the state. The BERD contains information only for cultural resources that have been processed through OHP. This includes resources reviewed for eligibility for the National Register of Historic Places and the California Historical Landmarks programs through federal and state environmental compliance laws, and resources nominated under federal and state registration programs. The Project Site is not listed in the BERD.¹

¹ California Office of Historic Preservation, "Built Environment Resource Directory: Los Angeles County," 2021.

4.0 DESCRIPTION OF THE PROJECT SITE

The parcel at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue is located at the southeast corner of the intersection of Weyburn Avenue and Broxton Avenue in the Westwood Village neighborhood of Los Angeles. The irregularly shaped parcel is bounded on the west by Broxton Avenue, on the north by Weyburn Avenue, on the east by an adjacent commercial building, and on the south by a service alley. The parcel is occupied by two abutting commercial buildings set flush to the property lines on the west, north, east, and south, save for a narrow parking strip at the south edge of the property along the alley.

The west building (10940-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue) is of concrete frame and brick masonry construction with a roughly triangular plan and complex massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a stepped parapet with a simple cornice and clay barrel tile coping. The parapet angles back at the northeast corner to highlight a lower polygonal pavilion with rusticated plaster piers, a flat roof, and a decorative metal balustrade. The primary (north) façade is asymmetrically composed of continuous aluminum-framed storefronts between rusticated plaster piers, with a smooth cement plaster parapet above. Remnant divided-light vent lights, painted shut, are visible in the parapet. The secondary (west) façade is of painted brick masonry and expressed concrete, with rectangular storefront openings divided by fluted concrete piers. The parapet is articulated with a brick niche centered above each storefront, and a cast escutcheon above each pier. The south (rear) façade is utilitarian.

The east building (10936-10938 West Weyburn Avenue) is of brick masonry construction with a rectangular plan and simple massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a parapet with a simple cornice and clay barrel tile coping on the primary (north) façade. The north façade is finished in smooth cement plaster. It has a shed-roofed projection at the aluminum-framed storefronts, and a parapet frieze of recessed plaster panels between squat, fluted piers, with a row of rondels above. The south (rear) façade is of expressed board-formed concrete with flush doors, horizontal sliding aluminum-sash windows, and security grilles.

Alterations

There have been numerous alterations to the exterior of the west building. The historically open frontage on Weyburn Avenue has been infilled with glazed aluminum storefronts. The windows in the corner pavilion have been replaced, and the transom lights above have been blocked. The plaster and brick base of the corner pavilion has been veneered with ceramic tile. The shed-roofed projection on the north façade of 10936-10938 West Weyburn Avenue was likely added in 1963.

Historic photographs of the Project Site are included in Appendix B. Photographs of existing conditions on the Project Site are included below.

EXISTING CONDITIONS PHOTOGRAPHS OF THE PROJECT SITE

Historic Resources Group



 ${\it Image 1: Overview of north façade, view southwest from Weyburn Avenue}$



Image 2: North façade, view southeast from Weyburn Avenue



Image 3: North façade, view southwest from Weyburn Avenue



Image 4: North façade, view east on Weyburn Avenue



Image 5: Corner pavilion, view southeast from intersection of Weyburn Avenue and Broxton Avenue



Image 6: West façade, view southeast from Broxton Avenue



Image 7: West façade, view northeast from Broxton Avenue

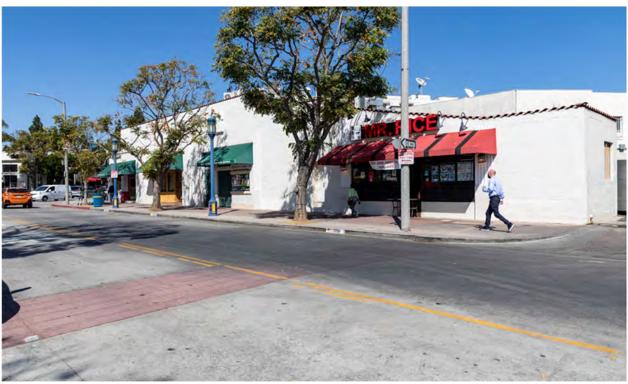


Image 8: West façade, view northeast from Broxton Avenue



Image 9: Southeast façade, view northwest from alley

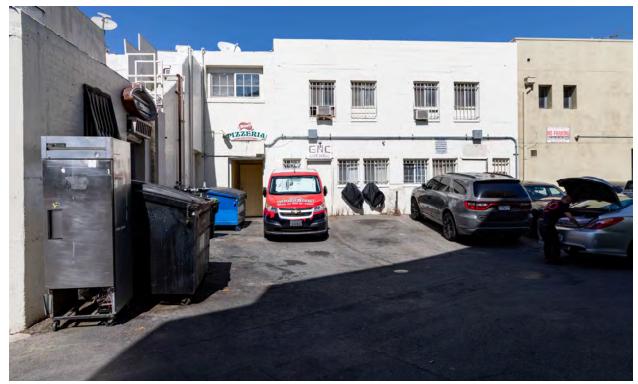


Image 10: South façade, view north from alley

5.0 ANALYSIS OF PROJECT COMPLIANCE

Framework for Analysis

Section 6.C. of the Westwood Village Specific Plan requires approval of a Certificate of Appropriateness for significant alterations to a Cultural Resource. Section 2.E. of the Specific Plan specifies that "Projects requiring a Certificate of Appropriateness shall be subject to the procedures set forth in Section 12.20.3 of the Los Angeles Municipal Code." Section 12.20.3, "HP" Historic Preservation Overlay Zone, requires the Director to base a determination on approval of a Certificate of Appropriateness on the project's compliance with the Secretary of the Interior's Standards for Rehabilitation.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The Secretary of the Interior's Standards for the Treatment of Historic Properties ("the Standards") provides guidance for reviewing proposed projects that may affect historical resources. The Standards and associated guidelines address four distinct historic "treatments," including: (1) preservation; (2) rehabilitation; (3) restoration; and (4) reconstruction. The specific Standards and guidelines associated with each of these possible treatments are provided on the National Park Service's website regarding the treatment of historic resources.2

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation, rehabilitation, and maintenance of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The Standards for Rehabilitation address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment rehabilitation assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character. Historic building materials and character-defining features are

² U. S. Department of the Interior, National Park Service, "Rehabilitation Standards and Guidelines," Technical Preservation Services, https://www.nps.gov/tps/standards/rehabilitation.htm (accessed October 2020), See also The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, by Kay D. Weeks and Anne E. Grimmer (1995), revised by Anne E. Grimmer (Washington, DC: 2017), https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf (accessed September 2023).

protected and maintained; however, greater latitude is given to replace missing or extensively deteriorated or damaged features using compatible substitutes. According to guidance from the National Park Service, the accommodation of change to make possible an efficient use of a historic building is basic to the process of rehabilitation and distinguishes it from restoration. It is the owner's choice as to what or how much work will be undertaken in a project. There is no requirement that missing or damaged historic features be restored.3 The Guidelines for Rehabilitating Historic Buildings recommends accurately reproducing a missing historic feature if adequate historical, pictorial, and physical documentation exists; or replacing the missing feature with a new design that is compatible with the character of the historic building but clearly differentiated so that a false historical appearance is not created.⁴

Standards Compliance Analysis

The Project proposes exterior alterations to the building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue, including installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen. The Project is evaluated below against the Secretary of the Interior's Standards for Rehabilitation to determine its eligibility for a Certificate of Appropriateness.

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

The former Villa Mart building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue will continue in its historic use as a retail commercial building. The exterior alterations proposed by the Project will require minimal change to the distinctive materials, features, spaces, and spatial relationships that characterize the building. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, none of which are historic. The Project will retain the building's complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 1.

Historic Resources Group

³ National Park Service, "Historic Preservation Tax Incentives: Cumulative Effect and Historic Character," https://www.nps.gov/subjects/taxincentives/cumulative-effect-and-historic-character.htm (accessed July 2024). ⁴ National Park Service, Technical Preservation Services, "Guidelines for Rehabilitating Historic Buildings: Introduction to the Guidelines," The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings (nps.gov), (accessed August 2024).

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The Project will retain and preserve the historic character of the former Villa Mart building and will avoid the removal of distinctive materials or the alteration of features, spaces, and spatial relationships that characterize the property. The Project will retain and preserve the building's exterior character-defining features, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, which are not historic. The Project complies with Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The Project does not propose changes that create a false sense of historical development or the addition of conjectural features or architectural elements from other buildings. The proposed new storefronts, bi-fold windows, steel canopies, and sign rail are clearly contemporary in design. The Project complies with Standard 3.

Standard 4: Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No changes to the former Villa Mart building have acquired significance in their own right. The Project complies with Standard 4.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The Project will retain and preserve the distinctive features, finishes, and examples of craftsmanship that characterize the former Villa Mart building, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible,

materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The Project will retain the historic features of the former Villa Mart building, including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will repair the decorative metal balustrade and replace its missing braces; and will restore the blocked transom lights above the windows of the corner pavilion. The Project complies with Standard 6.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The Project does not propose any chemical or physical treatments, such as sandblasting or high-pressure water blasting, that cause damage to historic materials. Any treatments will be undertaken using the gentlest means possible, following guidance provided by the National Park Service in the applicable Preservation Briefs. The Project complies with Standard 7.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The Project does not propose excavation that might reveal unexpected archeological resources. In addition, the Project Site is located in an urbanized area and has been subject to grading, excavation, fill, and construction activities in the past; any archeological resources that may have once existed on the Project Site have likely been previously disturbed. Standard 8 is not applicable to the Project.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The exterior alterations proposed by the Project will not destroy historic materials, features, or spatial relationships that characterize the former Villa Mart building. The Project will retain the building's exterior character-defining features including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will install new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; install new bi-fold windows and restore the historic transom lights in the polygonal corner unit; install a new signage band; and install new rooftop mechanical equipment and equipment screen. The new doors, storefronts, canopies, and bi-fold windows will be simple and contemporary in design, so will be visually unobtrusive and differentiated from the historic character of the building. They will be installed within existing openings, so will not alter the historic scale and proportions of the façade or the existing fenestration pattern. The new mechanical equipment and equipment screen will be located on the rear portion of the roof and will be minimally visible from the street. The Project complies with Standard 9.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Project does not propose new additions or adjacent or related new construction. Therefore, Standard 10 is not applicable to the Project.

6.0 CONCLUSION

The Project proposes tenant improvements to the existing commercial building located at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue, including interior remodel to combine existing tenant spaces (10942-10946 Weyburn Avenue and 1008 North Broxton Avenue) into a single new restaurant space; installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen.

The Project Site was identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The Specific Plan requires a Certificate of Appropriateness for significant alterations to a Cultural Resource and requires compliance with the Secretary of the Interior's Standards for Rehabilitation for approval of a Certificate of Appropriateness. Therefore, this report has evaluated the Project against the Standards for Rehabilitation.

This report has determined that the Project complies with the applicable Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

7.0 REFERENCES

California Office of Historic Preservation. Built Environment Resource Directory, Los Angeles County, 2020.

City of Los Angeles. "Westwood Village Specific Plan." Ordinance No. 187,644, Effective December 1, 2022.

City of Los Angeles Department of City Planning, Office of Historic Resources. Historic Resources Survey Report, Westwood Community Plan Area. Prepared by Historic Resources Group, March 2015.

APPENDIX A

PROJECT INFORMATION





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

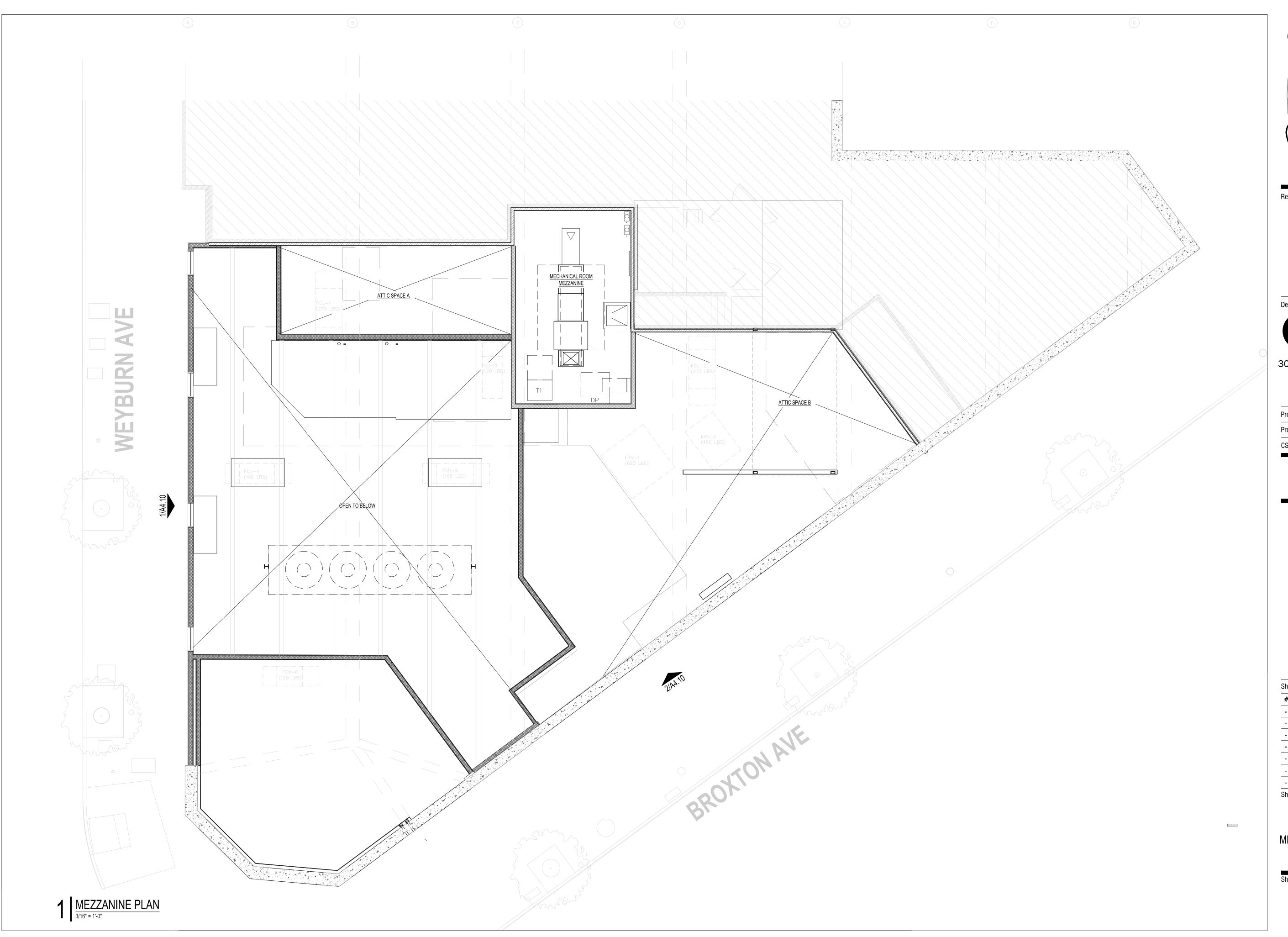
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KEYNOTE FLOOR PLAN

A1.10



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

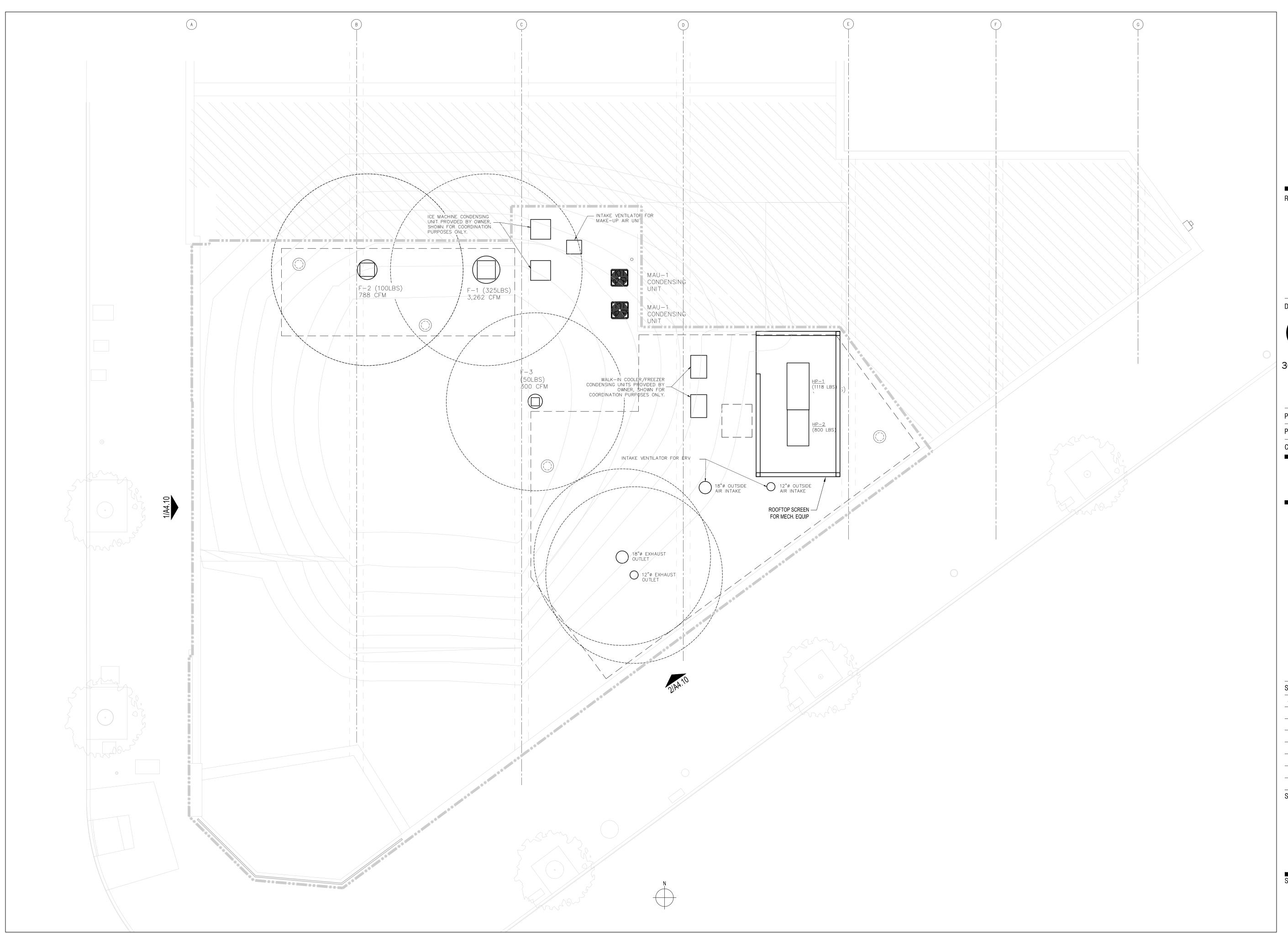
Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

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KEYNOTE AND FRAMING MECH. ROOM MEZZANINE PLAN

A1.11



CHICKEN FINGERS

Restaurant Support Office
6800 Bishop Road, Plano, TX 75024

Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

CSRS

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

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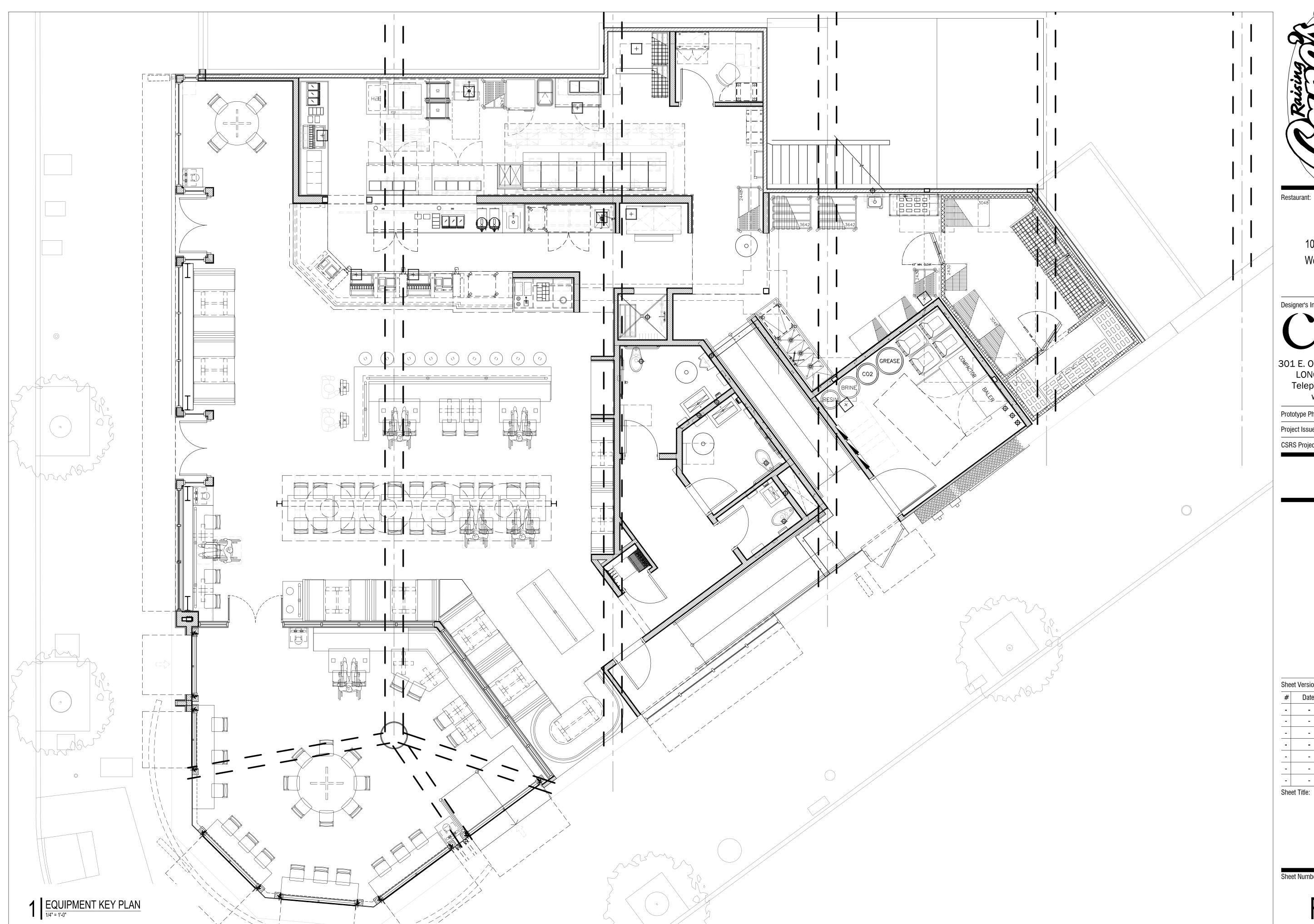
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ROOF PLAN

Sheet Num

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Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

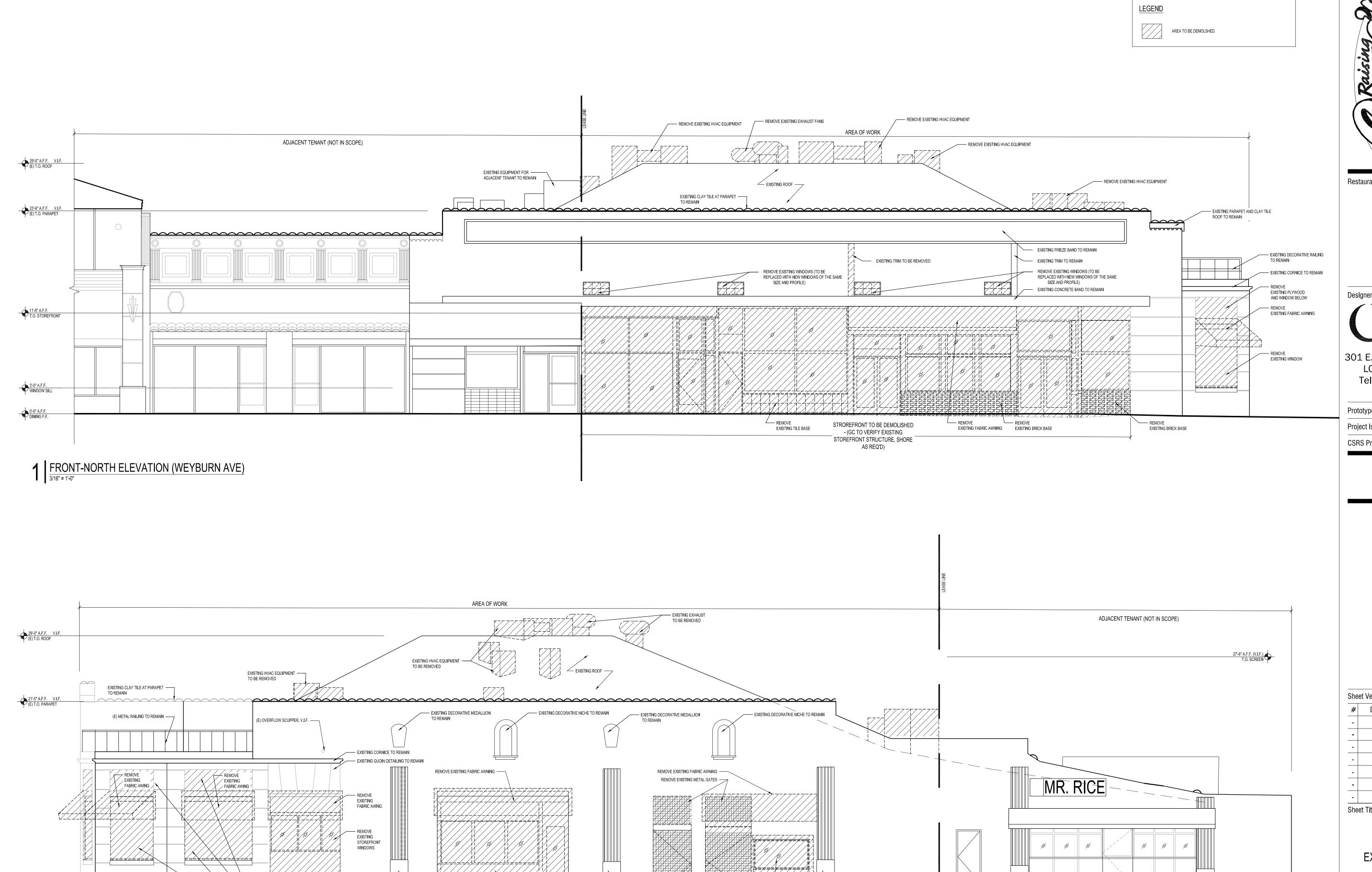
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Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

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Equipment

FS3.10



EXISTING WINDOW TO BE REMOVED

EXISTING PILASTER TO REMAIN

REMOVE
EXISTING PLYWOOD
AND WINDOW BELOW

1 REAR-WEST ELEVATION (BROXTON AVE) $\frac{1}{3/16"} = 1'-0"$

EXISTING PILASTER TO REMAIN

REMOVE EXISTING WOOD STOREFRONT AND DOOR

EXISTING PILASTER TO REMAIN

Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

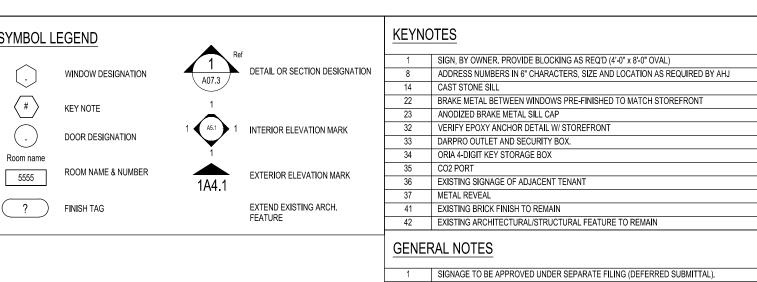
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EXISTING / DEMO **EXTERIOR ELEVATIONS**

Sheet Number:

			SCHE	DULE OF EXTERIOR MA	TERIALS	SYM
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION	51101
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED	
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE		
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO	
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR	Room
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.	55
EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR	
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD		
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE	
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER		
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.	



SEALANT NOTES

1 PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
2 MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802
Telephone: 833-523-2526
www.csrsinc.com
Prototype Phase: NTV

Prototype Phase: NTV
Project Issue Date: 00-00-0000
CSRS Project Manager: KF

DRB SUBMITTAL 11/18/2024

F.F. V.I.F. PARAPET PAINT EXISTING RAILING PT-10 PAINT EXISTING RAILING SIGNAGE BAND (EWF-6) (EWF-6)		EXISTING ROOF —	(N) CONDENSER BEYON	(EIFS)	(N) PARAPET FLASHING (N) MECHANICAL UNIT WITHIN, RE: MECHANICAL (N) MECHANICAL SCREEN		27'-6" A.F.F. (V.I.F.) T.O. SCREEN
PAINT EXISTING RAILING PT-10 ANODIZED SILVER SIGNAGE BAND							
EWS-2) EWS-2) (EWS-2) (EWS-2) (EWS-6) (IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	(E) OVERFLOW SCUPPER, V.I.F. (EWF-6) (EWF-6) (EWF-6) (EWS-2) (EWS-2)	S-2) (EWS-2) (EWS-2)	P-12	INFILL WITH NEW BRICK TO MATCH EXISTING ADJACENT(TEXTURE AND FINISH, & PAINT TO MATCH ADJACENT)		MR. RICE	

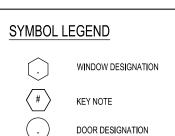
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PROPOSED EXTERIOR ELEVATIONS

Sheet Numb

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	SCHEDULE OF EXTERIOR MATERIALS					
	KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
	P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
	P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
	EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO
	EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
	EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
	EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
	EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
	EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
Ī	EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
	EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.



ROOM NAME & NUMBER

Room name

? FINISH TAG

1 DETAIL OR SECTION DESIGNATION 1 (A5.1) 1 INTERIOR ELEVATION MARK

1A4.1

SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION.

CAST STONE SILL

BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT

ANODIZED BRAKE METAL SILL CAP

VERIFY EPOXY ANCHOR DETAIL W/ STOREFRONT

ADARPRO OUTLET AND SECURITY BOX.

ORIA 4-DIGIT KEY STORAGE BOX

EXTERIOR ELEVATION MARK

35 CO2 PORT
36 EXISTING SIGNAGE OF ADJACENT TENANT
37 METAL REVEAL
41 EXISTING BRICK FINISH TO REMAIN
42 EXISTING ARCHITECTURAL/STRUCTURAL FEATURE TO REMAIN

EXTEND EXISTING ARCH. FEATURE

GENERAL NOTES 1 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).

SEALANT NOTES

PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.

MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

NTV Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

> DRB SUBMITTAL 11/18/2024

ADJACENT TENANT (NOT IN SCOPE)		AREA OF WORK (N) EXHAUST BEYOND (N) EXHAUST BEYOND	
F. V.I.F. DOOF	EXISTING HVAC UNITS	EXISTING ROOF	PATCH AND REPAIR (E) TILE AS NEEDED
V.I.F. APET		(EWF-6)	
			EWF-6) EWF-6 ANODIZED SILV
FRONT		(EWS-2) (EWS-2	SIGNAGE BAND
		EWS-2)	(EIFS) (EWS-3) (EIFS) (EWS-3)
		(EWF-4) (PT-12) (FT-12)	[EWF-4]
FRONT-NORTH ELEVATION (WEYBURN AVE)			23

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PROPOSED **EXTERIOR ELEVATIONS**

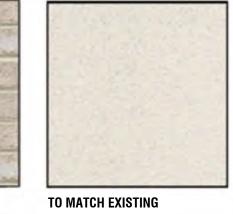


EXPOSED PAINTED STRUCTURAL ALUMINUM FINISH: RAL 450-6 TEXTURE

STEEL W/ POWDER COATED MATTE BLACK FINISH



VENEER. PAINT AS NEEDED.



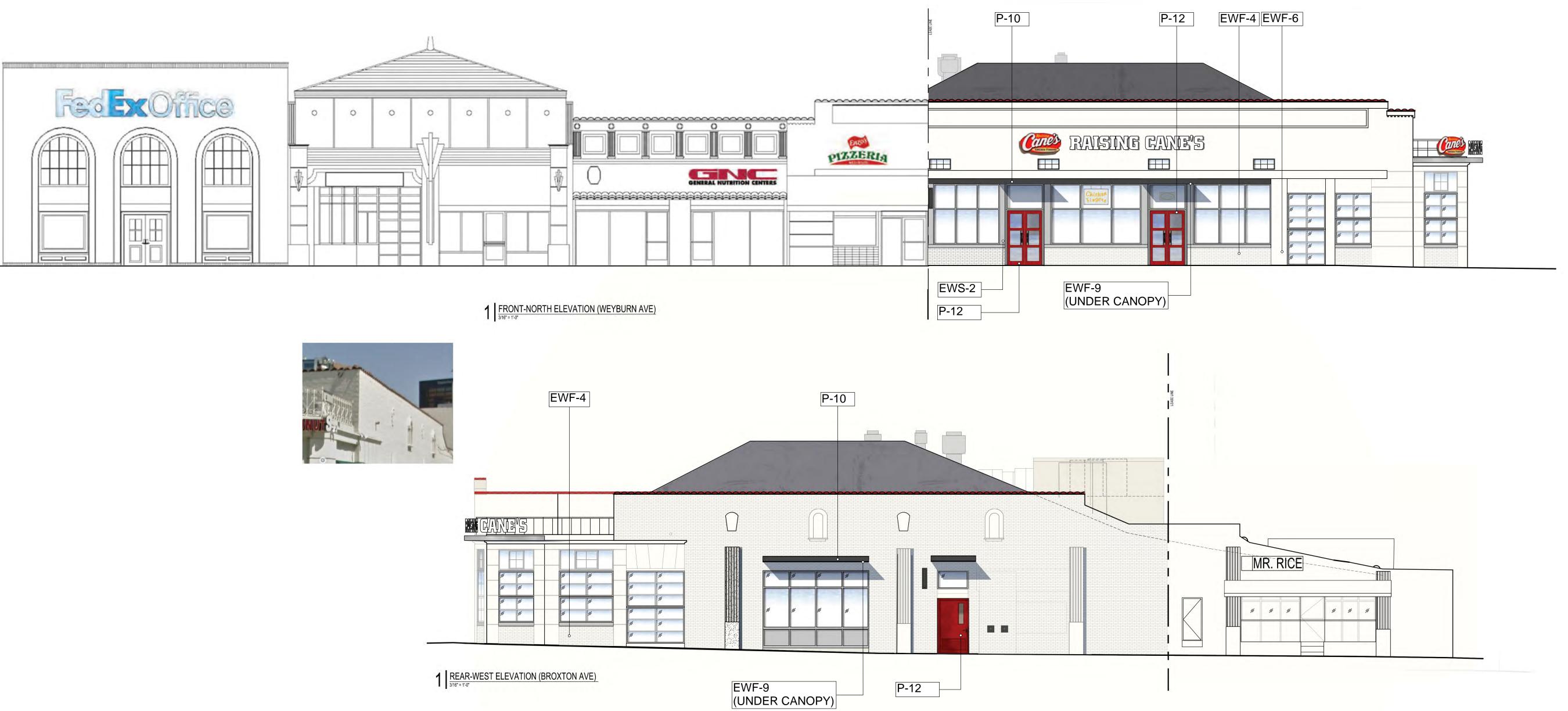


HAVANA GOLD

EWS-2 ALUMINUM STOREFRONT SYSTEM

FINISH: ANODIZED SILVER

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE-E (SPE) 456 OYSTER SHELL	APPLIED OVER STUCCO
EWF-4	BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	456 OYSTER SHELL	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	- 5			PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

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PROPOSED **EXTERIOR ELEVATIONS**

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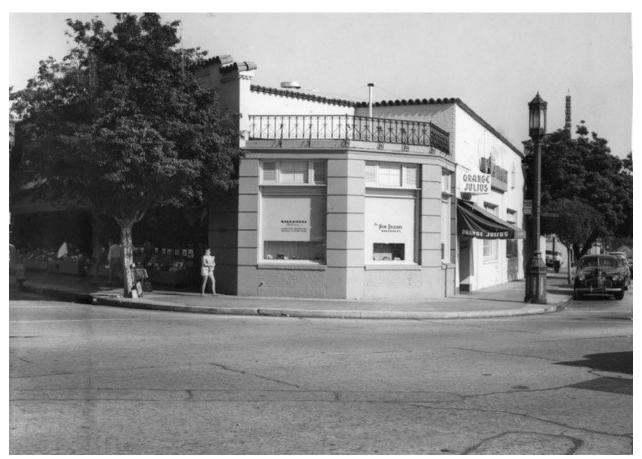
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APPENDIX B

HISTORIC PHOTOGRAPHS



The Villa Mart market, c. 1940, view southeast from Weyburn Avenue (courtesy of Steve Sann)



The Villa Mart market, corner pavilion, c. 1950, view southeast from Weyburn Avenue and Broxton Avenue (courtesy of Steve Sann)



Stan's Donuts, c. 1980, view east from Broxton Avenue (courtesy of Steve Sann)

APPENDIX C

RESUMES OF AUTHORS/CONTRIBUTORS

HISTORIC RESOURCES GROUP

12 S. Fair Oaks Avenue, Suite 200 Pasadena, CA 91105 - 3816

Tel 626-793-2400 historicresourcesgroup.com



Professional LicenseCalifornia Architect C24223

Education

Master's Degree, Historic Preservation, University of Southern California

Bachelor of Architecture, University of Southern California

Honors and Awards

National Trust for Historic Preservation, Richard H. Driehaus Foundation National Preservation Award

Los Angeles Conservancy Preservation Award

California Preservation
Foundation Preservation Design
Award

City of Pasadena Historic Preservation Award

AIA Institute Honor Award

JOHN LOCASCIO, AIA

Principal Architect

Experience Profile

Years of Experience: 31

John LoCascio has been with HRG since 2011, involved in historic preservation since 2002, and a licensed, practicing architect since 1993.

John's areas of focus at HRG include historic architecture and technology, building conservation, historic structure reports and federal historic rehabilitation tax credit projects. He provides technical assistance for construction documents, advises on compliance with the Secretary of the Interior's Standards and the use of the State Historic Building Code, provides construction monitoring, and paint and materials sampling and analysis services. John has worked on a wide variety of buildings and structures in California as well as in other states. He is currently advising on historic tax credit projects in Los Angeles, the San Francisco Bay area, and Washington State. In addition, John regularly provides historic architecture consultation for numerous LAUSD campus modernization projects.

John LoCascio meets the *Secretary of the Interior's Professional Qualifications Standards* in Architecture and Historic Architecture.

Selected Projects

28th Street YMCA Rehabilitation and Adaptive Reuse, Los Angeles Academy Museum of Motion Pictures Rehabilitation, Hollywood Angelus Funeral Home Historic Tax Credit Project, Los Angeles CBS Columbia Square Rehabilitation and Adaptive Reuse, Hollywood Chapman University VPO Packing House Rehabilitation, Orange Climate Pledge Arena Historic Tax Credit Project, Seattle Constance Hotel Historic Tax Credit Project, Pasadena Grand Central Air Terminal Rehabilitation & Adaptive Reuse, Glendale Los Angeles International Airport Preservation Plan and HSRs Mayfair Hotel Historic Tax Credit Project, Los Angeles Venice High School Comprehensive Modernization, Los Angeles

Professional Affiliations

American Institute of Architects

CULTURAL RESOURCE DOCUMENTATION REPORT

WESTWOOD VILLAGE

Prepared by:

Johnson Heumann Research Associates 3103 Lindo Street Los Angeles, California 90068

for:

Gruen Associates 6330 San Vicente Boulevard Los Angeles, California 90048

as part of:

Westwood Village Specific Plan Study for the City of Los Angeles

GRUEN ASSOCIATES

ARCHITECTURE . PLANNING . ENGINEERING

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CULTURAL RESOURCE DOCUMENTATION REPORT

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CULTURAL RESOURCE DOCUMENTATION REPORT

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- I. Statement of Purpose
- II. Methodology
- III. Developmental History
- IV. Cultural Resource Management Alternatives
- V. Inventory Forms
- VI. Bibliography
- VII. Appendices

National Register Eligibility Categories Cultural Heritage Commission Ordinances Maps

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I. STATEMENT OF PURPOSE.

The following analysis was prepared at the request of Gruen Associates, a contractor for the City of Los Angeles as a portion of the research for the Westwood Village Specific Plan as outlined in contract number C-63952. The survey area, known as Westwood Village, is the commercial and entertainment area adjacent to the University of California at Los Angeles (see accompanying maps). The basic boundaries of this study are Le Conte Avenue on the north, Lindbrook Avenue on the south, Tiverton Avenue on the east, and Gayley Avenue on the west. The purpose of this study was to assess the historic, architectural, and cultural significance of buildings within the proposed project area according to criteria determined by the city of Los Angeles in conjunction with the State Office of Historic Preservation.

II. METHODOLOGY.

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2.1: Preliminary Survey.

A survey was conducted by the consultants on foot in the survey area to develop a base list of potential architectural and historic resources within the area. The initial survey identified the historic building stock of the area. A second walk, was combined with the compilation of field descriptions for each site. Buildings of marginal architectural quality or interest, impaired design integrity or severely eroded context may have been re-evaluated at this time. The final version of the preliminary survey contains approximately 70 sites.

The criteria used included:

- Outstanding architectural quality representing a particular style or period.
- Age and/or scarcity of resources from the period.
- Institutional, social, and religious associations.
- Use or building type.
- Method of construction.
- Historic significance.

2.2: Mapping/Photography.

Using footprint, parcel and tract maps provided by Gruen Associates consultants mapped the identified sites in each area. Each property was photographed in black and white from the sidewalk. The best frontal view was chosen for reproduction and attached to the survey form (DPR 523).

2.3: Research of identified sites.

Site specific research was then conducted which utilized the following repositories:

- Los Angeles County Tax Assessor, 1984 Local Roll. Used to determine owner, correct boundaries of site, estimated date of construction.
- Los Angeles City Building and Safety Department, Conservation Bureau. Building permit record cards for sites evaluated as "5" (worthy of note); record card and permit search for sites evaluated as a potentially eligible for National Register or Historic Preservation Overlay Zone inclusion, either individually or a part of a group.
- Los Angeles Public Library.
 General research; records search for potential National Register sites and prominent architects. Security Pacific Photograph Collection used to obtain historic photographs.
- UCLA Special Collections.
 Architectural restrictions, development history.

2.4: Research of general area.

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Consultants analyzed the land development history of the area based on original tract maps on file with the Los Angeles City Bureau of Engineering. Developers and architects of note were researched through the California biography index in the California Room at the Los Angeles Review of construction journals, architectural periodicals, and historic photographs was conducted. A bibliography of specific sources is contained in this report.

2.5: Identification of structures of potential National Register/Cultural Heritage Monument eligibility.

Structures which appeared to be eligible for listing in the National Register of Historic Places or for individual listing as Cultural Heritage Monuments were visually identified during the survey. Following an assessment of architectural integrity, research was conducted to determine the degree of alteration and the historic significance of the site. A records search to locate structures within each area already listed in the National Register or as Cultural Heritage

Monuments was accomplished.

2.6: Preparation of report and survey forms.

At the conclusions of the above tasks, consultants prepared this technical report, which, in addition to the methodology and statements of purpose outlined above, includes:

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- a) A brief developmental history of the general area.
- b) Maps of significant structures and groupings.
- c) A bibliography.
- d) Survey forms (DPR 523) for each structure potentially eligible for the National Register, either individually or as part of a group, for the Cultural Heritage list or worthy of note. Each form contains the address, architectural style, brief description of the property, a statement of significance, and a photograph. Dates of construction are listed as estimated (based on architectural style, tax assessor, or real estate atlas information) or factual (building permit record cards). Inclusion in other surveys or publications is noted (State Historic Resources Inventory, Cultural Heritage Monuments, Gebhard and Winter's A Compleat Guide to Architecture in Los Angeles, or Gleye's The Architecture of Los Angeles.
- e) Lists of structures by street address and level of significance.
- f) National Register of Historic Places Eligibility Categories.
- g) Cultural Heritage Monument Ordinance.
- h) Cultural Heritage Historic Preservation Overlay Zone Ordinance.

III. WESTWOOD VILLAGE: A DEVELOPMENT HISTORY

The first owner of the land now known as Westwood Village was Don Maximo Alanes, who received the "Rancho San Jose de Buenos Aires" as a land grant from Governor Micheltorena in 1843. The vast rancho stretched from what is now Sawtelle Boulevard on the west to the City of Beverly Hills on the east, from Sunset Boulevard on the north to Pico Boulevard on the south. Eventually, it was acquired by Don Benito Wilson, a land baron with extensive holdings in the San Gabriel Valley. who used it for cattle grazing. In 1884, John Wolfskill, a former state senator and rancher who came to California during the Gold Rush, bought the property and several years later built a home on what is now the site of the Mormon Temple on Santa Monica Boulevard. Portions of the 2,000 acre Wolfskill Ranch, as it came to be known, were to be developed as truck farm sites. There was also a plan for a townsite, "Sunset," but the development never materialized. The ranch was intact at the time of Wolfskill's death in 1913, the last of the great ranchos to be so.

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Six years later, wealthy retailer Arthur Letts bought the entire property for \$100 an acre (\$2,000,000). Letts, an Englishman, was the founder of the Broadway Department Store and was an initial invector in a similar enterprise founded by his former employee, John G. Bullock. Letts' interest and involvement in Los Angeles retailing made him very comfortable financially. He owned a large estate in Hollywood, a Tudor mansion surrounded by formal gardens filled with statuary. Always interested in downtown real estate development, he also invested in ranch land and subdivisions in Hollywood as well. He was particularly attracted to the Wolfskill ranch because of its diversity made it

suitable for a variety of uses. Unlike Wolfskill and the Santa Monica Land and Water Company, whose activities had been based around the Beverly Glen/Santa Monica Boulevard area, Letts was primarily interested in developing estate parcels, which he called "Holmby Hills," after his birthplace, on the northwestern edge of the rancho near Beverly Hills. Another member of his family, however, saw the potential of the rest of the rancho as a place for the growing middle class of Los Son-in-law Harold Janss was a vice president of the Janss Investment Company, a successful real estate development enterprise originally formed by his father Peter in 1893. The Janss corporation developed a number of subdivisions in Southern California, including parts of Monterey Park, Boyle Heights, and a significant portion of the San Fernando Valley. Peter's sons, Edwin and Harold, played an active role in the company, and by 1920 were officers of the corporation. They saw in "Westwood Hills" the opportunity to create a premier middle-class subdivision for the Westside. By 1922, they were actively promoting homesites south of Wilshire boulevard. Janss was a fullservice company. It employed its own architects and engineers, did all its own public improvements and grading, and even planned parks and school sites.

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North of Wilshire, however, things were proceeding more slowly. The landed gentry who bought estate sites in Holmby Hills liked the rural character of the area, with its riding trails criss-crossing a multitude of small canyons and arroyos. The hilly terrain was considered unsuitable for large subdivisions. Several of Letts' friends felt that part of the site would be ideal for a university, and Letts, a former trustee of the los Angeles State Normal School, as UCLA was

known until it became part of the university system in 1919, was not adverse to housing a prestigious campus on a portion of his holdings. It was clear that the school was fast outgrowing its quarters on North Vermont Avenue, where it had relocated from the present site of the Public Library at Fifth Street and Grand Avenue in downtown Los Angeles.

In 1925, the Regents formally announced that the search for a new site was underway, although several Regents, including prominent attorney Edward A. Dickson, had been exploring possibilities for years beforehand. Dickson had a particular fondness for the Letts Tract, which reminded him of the Berkeley campus. He had approached Letts with his ideas, but Letts' failing health had precluded any formal arrangement. Upon Letts' death in 1923, the Janss Corporation became the executors of his estate. The stage was set for the development of one of the most interesting planned communities in Southern California.

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UCLA considered seventeen sites for the University, narrowing the choice to five (Burbank, Fullerton, Pasadena, Palos Verdes, and Westwood), finally deciding on the on the "Westwood-Beverly Hills" location on March 20, 1925. Its stated reasons for the choice included an ideal climate with an ocean breeze, the large site (over 375 acres), and its proximity to Los Angeles, which contributed over three quarters of the student body. The site was not free, however. Janss offered the Regents 300 acres at \$2,000 per acre and an additional 75 acres at \$7,500 per acre. Bond issues were passed by the cities of Beverly Hills, Santa Monica, and Los Angeles. The 1.3 million dollar proceeds enabled these municipalities to acquire the land and deed it to the university. Eight additional acres were donated by Alphonso Bell,

developer of Brentwood and Bel-Air. So began a public/private partner-ship which would master-plan the area of the Wolfskill ranch north of Wilshire Boulevard to Sunset.

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As soon as the university's plans had been announced, the Janss Corporation went to work. There were no support services for the campus: no housing, no shops, restaurants, markets, entertainment facilities. Janss began to plan "a town for the gown," a complete business/residential/entertainment district which would be fully integrated into campus life. In addition to business, the concept included both multi-family and single family residences designed to encourage the families of students to settle in the area.

UCLA's first four buildings—the library; Royce Hall, an auditorium and classroom structure; and two science buildings—were constructed of brick (Royce is reinforced concrete with a brick sheathing) in the Italian Romanesque style around a traditional "quad." Completed in May of 1929, the buildings were to be reminiscent of the Lombard region of northern Italy, temples of learning whose models included the San Ambrogio Church of Milan (Royce Hall), the churches of St. Stefano, St. Sepolcro in Bologna, and San Zenove in Verona (library). The town also was to have a specific architectural character, that of the Mediterranean climes of Europe, with an accent on the Spanish. The firm of Allison and Allison, designers of Royce Hall, were chosen to design the domed Janss headquarters building, the focal point of the Village.

Janss took great care to ensure that the character of the Village would guarantee its status as a premier business district. The roughly triangular plan with its intricate pattern of intersections, and its

principal axis culminating at the entrance to the university, was designed by Harlan Bartholomew, City Planner of St. Louis, and L.D. Tilton of Santa Barbara, to include a central parkway with lawn, flowers, and palm trees, and to give each streetscape its own particular interest.

Enhancing this concept were various urban design features, prominently the streetlamps with standards of blue and gold sporting university symbols, and the landscaped "islands" of greenery at the southern entrance to the enclave and adjacent to the Janss Building. Characterized by a variety of towers, the corner buildings were especially intended to be the visual reference points of the retail center. Many of the larger buildings have multiple uses; both the Janss Building and Holmby Hall had student dormitory space on the second Realizing that students would not be their only clientele if story. their plans for the surrounding homesites materialized, corporation made provisions for what they termed "the most discriminating shopper from the estates" close by. It is to this added dimension that Westwood Village owes its unique blend of both pedestrian and automobile-oriented development. Pedestrians were intrigued with the wide sidewalks and pleasant landscaping. Corner buildings were accessible from both streets, and, as the the ultimate pedestrian environment, interior courtyards, often decorated with brightly colored tile. provided a pleasant respite from the busy sidewalks. The district's most distinctive feature, its towers, were a direct response to the automobile. At least a dozen towers, include those on the Holmby Building, Sears, the Fox Theatre, and four gas stations located near the south entrance to the Village, served to orient the motorist as he

proceeded north toward the University.

Jamss recruited Southern California's most acclaimed architects to contribute their talents within the specified "Mediterranean" guide-All designs were approved by an architectural jury, the result lines. The Mediterranean designs being diversity within an overall unity. tended to be Spanish or Classically influenced. The relationship of buildings to one another was carefully orchestrated, as evidenced by the cornices, floor lines, proportions of openings, and juxtaposition of solids and voids throughout each streetscape. Among those whose work appears in the Village are the aforementioned Allison and Allison, who became supervising architects for UCLA from 1935 to 1948; Stiles Clement of Morgan, Walls, and Clement, a Los Angeles firm renowned for its elegant spanish Colonial Revival and Renaissance commercial designs (Masonic Clubhouse); Gordon B. Kaufmann, whose ambitious Holmby Building encompasses an entire block of Westwood Boulevard frontage, and whose work includes the Los Angeles Times Building and the Athenaeum at Cal Tech, as well as four other structures in the Village; Paul R. Williams, Southern California's most famous black architect (Kelly Music Company, 1043 Westwood Boulevard), renowned for his period revival residential designs as well as for Saks Fifth Avenue in Beverly Hills: and the architect for the Janss Corporation, Percy Lewis, whose work is represented by the Fox Westwood Theatre, and apartment buildings and residences adjacent to the Village. The firm of John and Donald Parkinson, known for their Renaissance Revival office buildings in downtown Los Angeles, Art Deco Bullock's Wilshire, and the Spanish/ Moderne Union Passenger Terminal, designed buildings at the southeast and southwest corners of Westwood Boulevard and Weyburn for branches of 0

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the prestigious Bullock's and Desmond's department stores. Other architects whose work is represented in the Village are Roland coate, Allen G. Siple, A.W. Angel, Lawrence Clapp of Santa Barbara, Nordstrom and Anderson, and Ulysses Rible. Several of these firms (Allison and Allison, A.W. Angel, and Rible) had prior experience with educational institutions.

The success of Janss' vision inspired admiring acounts in contemporary journals. For example, California Arts and Architecture wrote in July 1930: "A nice cooperation has been shown by the architects of several buildings-Allison and Alison, Paul Williams, John and donald Parkinson, Gordon Kaufmann...Style and color are in harmony and the masses and the sky line effectively balanced...Walls vary from cream to tan, roofs in light red or blue; occasional notes of green, in scrafitto panel or wooden shutter." The intimate scale of the Village attracted branches of specialty stores as the area became one of Southern California's most successful suburban shopping centers. Several institutions associated with the University were located in the Village as well, including as the Masonic Club and the Daily Bruin newspaper offices. Strict building restrictions stipulated that commercial structures had to cost a minimum of \$10,000 and one story structures had to have a minimum seventeen-foot ceiling. Setbacks and plans were subject lated.

The planning did not end with the commercial core. Carefully arranged to the south, east, and northwest were quality apartment complexes with generous amounts of landscaping, which created a buffer between the Village and the adjacent single family neighborhoods.

These units provided needed off-campus housing. Apartment buildings had to cost at least \$20,000.

The Depression slowed Westwood's development but did not halt it. Design restrictions were loosened to include structures with variations of Moderne and postwar revival styling, but setbacks, size, and scale were retained to keep a certain ambience and cohesion. Major changes in the Village began to occur after 1954, when the Janss Corporation, then run by grandsons of founder Peter Janss, sold their still extensive interest to Arnold Kirkeby. The resulting higher density development in the area has had its impact on traditional uses, as service-oriented businesses have given way to more entertainment, restaurant, and retail establishments.

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IV. CULTURAL RESOURCE MANAGEMENT ALTERNATIVES

Analysis of the built environment of Westwood village has revealed fifty-eight buildings which can be classified according to the California Office of Historic Preservation's categories of National Register of Historic Places eligibility. These categories are:

- Individually listed on the National Register of Historic Places.
- 1D. Listed on the National Register as part of a district.
- 2. Determined individually eligible to the Register by the U.S. Department of the Interior.
- 2D. Determined eligible only as part of a district.
- 3. Appears eligible for individual listing.
- 3D. Appears eligible for listing only as a contributor to a potential National Register district.
- 4. May become eligible for listing when:
 - a) more historic or architectural research is performed.
 - b) the property is restored to an earlier appearance.
 - c) more significant examples of the property's architectural style are demolished.
 - d) the property becomes old enough to meet the Register's 50year requirement.
- 4D. May be come eligible (as above) only as a contributor to a district.
- Is listed or is eligible for listing under a local preservation or landmark ordinance.
- 5D. Is listed or is eligible for listing as a contributor to a locally designated historic district or preservation area.
- 6. None of the above.

Twelve of the original thirty-four buildings constructed during 1929 are still extant and retain varying degrees of architectural integrity.

National Register of Historic Places

The National Register of Historic Places is the official list of

the Nation's historic resources worthy of preservation. In order to be accepted for listing in the National Register, a resource must possess significance in American history, architecture, archeology, or culture. According to the federal government, this quality is "present in districts, sites, building, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

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- A. that are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. that have yielded, or may be likely to yield, information important in prehistory or history."

Six buildings in Westwood Village appear to meet these standards for individual listing in the Register. They are:

Fox Westwood Village Theatre, 945 Broxton Avenue (C)
Fox Bruin Theatre, 926-40 Broxton Avenue (C)
University Professional Building, 1091-1095 Broxton Avenue (C)
Masonic Clubhouse, 10886 Le Conte Avenue (C)
Kelly Music Company, 1043 Westwood Boulevard (C)
Janss Investment Company Building, 1045-99 Westwood Boulevard (A, C)

Four additional buildings may become eligible if rehabilitation or age requirements are met. They are:

Marios, 1001 Broxton Avenue (C) Bullock's, 10861 Weyburn Avenue (C) Holmby Hall, 901-51 Westwood Boulevard (C) Ralph's Market, 1142-54 Westwood Boulevard (C)

· No potential National Register districts based on architectural integrity were found; the possibility of a thematic National Register

district could be explored with the State Office of Historic Preservation.

Listing on the National Register has the following implications for historic properties:

- Eligibility for Federal tax benefits, including the 25% investment tax credit for rehabilitation of certain commercial, industrial, and residential rental buildings, if certain conditions are met;
- Mandatory eligibility for building code flexibility under the State Historic Building Code;
- Consideration in the planning process for federally assisted projects under the provisions of Section 106 of the National Historic Preservation Act;
- Opportunity for Federal, state, or other grants for historic preservation;
- Possible consideration in the planning process under the requirements of the California Environmental Quality Act;
- Possibly eligibility for favored tax status either by arrangement with local assessor or by donation of a qualified easement.

Listing in the National Register does not preclude demolition, nor does it impose any restrictions on alterations, design, or use.

Historical Cultural Monuments

According to Section 22.130 of the Los Angeles Administrative Code (created by Ordinance 153,833 operative on July 1, 1980), an historical or cultural monument is defined as "any site (including significant trees or plant life located thereon), building or structure of particular historic or cultural significance to the City of Los Angeles, such as:

 historic structures or sites in which the broad cultural, political, economic or social history of the nation, state or community is reflected or exemplified, or

- 2. which are identified with historic personages, or
- 3. with important events in the main currents of national, state, or local history, or

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- 4. which embody the distinguishing characteristics of an architectural-type specimen, inherently valuable for a study of a period style or method of construction, or
- 5. a notable work of a master builder, designer, or architect whose individual genius reflected his age."

Several buildings in Westwood appear to individually meet one or more of these criteria. They are:

Fox Bruin Theatre 926-40 Broxton Avenue	1937	S. Charles Lee	3,4,5
Fox Westwood Village Theatre 945 Broxton Avenue	1931	P.P. Lewis	3,4
University Professional Building 1091-93 Broxton Avenue	1929	G.K. Harrison (owner/architect)	4
Masonic Clubhouse 10886 Le Conte	1929	Morgan, Walls, & Clement	3,4,5
Holmby Hall 901-51 Westwood Boulevard	1929	G. Kaufmann	3,4,5
Kelly Music Co. 1043 Westwood Boulevard	1929	P.R. Williams	4,5
Janss Investment Company Building 1045-99 Westwood Boulevard	1929	Allison & Allison	3,4,5
Ralph's Market 1142-54 Westwood Boulevard	1929	Russell Collins	3,4
Bullock's 10861 Weyburn Avenue	1951	Welton Becket	3,4,5

Historic Preservation Overlay Zone

The Municipal Code of Los Angeles, Section 1, Article 2, Chapter 1, was amended by Ordinance 152,422, to include Section 12.20.3, a provision for the creation of Historic Preservation Overlay Zones within the City. The purpose of this section is to:

- Protect and enhance the use of structures, features, sites, and areas that are reminders of the City and its neighborhoods or which are worthy examples of past architectural styles;
- Develop and maintain the appropriate settings and environment to preserve the aforementioned structures, natural features, sites and areas;
- Enhance property values, stabilize neighborhoods and/or community, render property eligible for financial benefits, and promote tourist trade and interest;
- 4. Foster public appreciation of the beauty of the City and the accomplishments of its past as reflected through its structures, natural features, sites and areas;
- 5. Promote education by preserving and encouraging interest in cultural, social, economic, political and architectural phases of its history.

To establish such an overlay zone, an application must be filed with the Department of City Planning upon a form prescribed for that purpose. The Planning Department shall then send a copy of the application to the Cultural Heritage Commission for evaluation. As part of the valuation, the Commission shall review an historic/architectural survey of the area identifying all significant and non-significant structures and all significant natural features or sites. Unless of exceptional importance, no structure shall be considered historic unless it is at least forty years of age.

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The architectural/historical survey shall include a factual statement supporting that structures within the involved area are significant. To be "significant" such structures or the area as a whole should meet one or more of the following nine criteria:

- *- has substantial value as part of the development, heritage or cultural characteristics of, or is associated with the life of a person important in the history of, the City, State or Nation; or
- is associated with an event that has made a substantial contribution to the broad patterns of our history;

*- is constructed in a distinctive architectural style characteristic of an era of history; (")

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- *- embodies those distinguishing characteristics of an architectural type or engineering specimen;
- *- is the work of an architect or designer who has substantially influenced the development of the City;
- contains elements of design, detail, materials or craftsmanship which represent an important innovation;
- is part of or related to a square, park or other distinctive area and should be developed or preserved according to a plan based on historic, cultural, architectural, or aesthetic motif;
- owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or City;
- retaining the structure would help preserve and protect an historic place or area of historic interest in the City.

Criteria which are starred are deemed to be applicable to the Westwood Village area or a portion thereof in assessing the viability of an HPOZ (see development history and accompanying maps). It appears that a portion of the Village may qualify for designation as an HPOZ. Two options are mapped at the end of this report.

Subgroupings of Interest

Two streetscapes which alone do not qualify for individual designation under any previously established program require special consideration in the planning process.

1. The west side of the 1100 block of Glendon contains a grouping of courtyard structures particularly representative of the original Janss development plan. The size, scale, style, and design of these retail shops were designed to cater to the pedestrian shopper. One of the courtyards contained the Talk of the Town restaurant, a meeting place where shoppers could dine in a casual outdoor atmosphere. Courtyards were a significant design element of several buildings and played an important social role. All were designed in Mediterranean styles to conform to the architectural guidelines. Three of the four have brick facades. It is recommended that careful consideration be given to decisions which would impact this

streetscape.

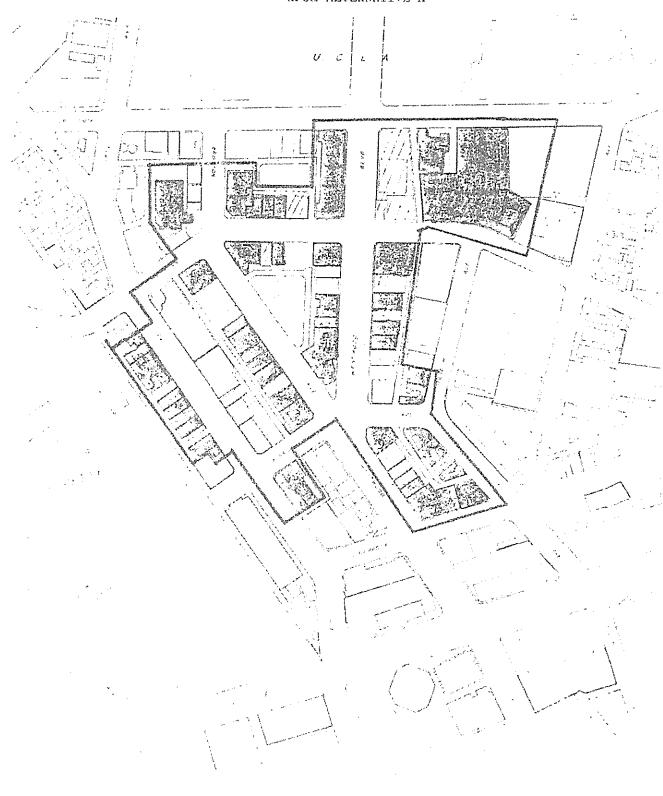
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- 2. In order to enhance and/or maintain the historic character of Westwood Boulevard, care should be taken to:
 - a. maintain the rhythm of the streetscape by keeping compatible new development of the scale of existing structures. While the assembling of parcels is not to be discouraged, developers should be encouraged to use the historic Holmby block as a model in designing new construction with continued pedestrian access and variegated facade treatment.
 - b. maintaining the landscaping of parkways and median strips.

Appropriate management of cultural resources will result in benefits to the community and to the individual property owner. It will create the "unique market niche" defined on page 31 of "Issues, Alternatives, and Evaluation Criteria" (Gruen Associates, November, 1985) by enhancing the pedestrian environment and defining the design characteristics of the area. Integration of proposed street improvements (sidewalks, lighting, landscaping, cafe areas) should be carefully coordinated with historic treatment of facades and with what is known about the original street features which were unique to the Village.

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Westwood Village Specific Plan

*Most inclusive: 68% contributing buildings.
46 structures contributing; 22 noncontributing.





Westwood Village Specific Plan

*Less inclusive in area; 70% contributing buildings, 35 contributing structures; 15 noncontributing structures.

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Gruen Associates

WESTWOOD VILLAGE SPECIFIC PLAN

	NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EVAJ
0	926-40	Broxton Ave.	Bruin Theatre	Moderne	1937	3
	945	Broxton Ave.	Fox Theatre	Spanish Colonial Revival	1931	3
()	1091-93	Broxton Ave.	University Professional Building	Spanish Colonial Revival	1929	3
	10886	Le Conte Ave.	Contempo Center	Mediterranean	1929	3
	1043	Westwood Blvd.	Alice's Restaurant	Mediterranean	1929	3
	1045-99	Westwood Blvd.	Glendale Federal Savings	Spanish Colonial Revival with Classical Rev. influences	1929	3
	1142-54	Westwood Blvd.	Bratskeller/Egyptian Theatre	Mediterranean	1929	3
	1001-09	Broxton Ave.	Mario's	Spanish Colonial Revival	1931	4
	10910-22	Kinross Ave.	Pottery Barn/Baskin Robbins/Popcorn Shoppe/Fame	Spanish Colonial Revival	1930	4
0	901-51	Westwood Blvd.	Holmby Building	Mediterranean	1929	4
	10861	Weyburn Ave.	Bullock's Department Store	Post-war Modern	1951	4
	1037	Broxton Ave.	Stratton's Grill	Spanish Colonial Revival	1940	5
	043-51	Broxton Ave.	Regent Theatre	Period Revival	1946	5
	1055–59	Broxton Ave.	Taco Bell	Moderne	1937	5
Ú	1061	Broxton Ave.	Shanes Jewelry/Bon Appetit Cafe	New Orleans Revival	1937	5
	1069-71	Broxton Ave.	Winchell's Donuts/Jazz'd/Dino	Classical Revival with Moderne influences	1936	5
	1083-87	Broxton Ave.	Aahs	Post-War Modern	1945	5
الملك	931-43	Gayley Ave.	Unknown	Moderne	1047	5
	959	Gayley Ave.	Gayley Terrace	Spanish Colonial Revival	1940	5
	1015	Gayley Ave.	Unknown	American Colonial Revival	1946	5
	1019	Gayley Ave.	Computer Expo/International College	American Colonial Revival	1948	5

WESTWOOD VILLAGE SPECIFIC PLAN

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NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EVA
1033	Gayley Ave.	Westwood Professional Building	American Colonial Revival	1938	5
1049-51	Gayley Ave.	Chase	Moderne	1946	5
1057	Gayley Ave.	Sportshaus	Moderne with Classical Revival influences	1935	5
1059-63	Gayley Ave.	Oakley's Hair Styling	Moderne	1937	5
1065–73	Gayley Ave.	Helen's Cycles/Lumbleau School/Westwood Sporting Goods	Moderne with Classical Revival influences	1940	5
1081	Gayley Ave.	Dillon's Nightclub	Mediterranean	1930	5
1085-91	Gayley Ave.	Exotic/La Fondue Restaurant	Spanish Colonial Revival	1930	5
1070	Glendon Ave.	Glendon Manor	Mediterranean	1939	5
1071–73	Glendon Ave.	Jurgensen Groceries/Moustache Cafe	Mediterranean	1929	5
1097	Glendon Ave.	Charthouse Restaurant	Mediterranean	1938	5
1101-09	Glendon Ave.	Haagen Daz/The Wurst/Westwood Dry Goods	Mediterranean	1931	5
1111-21	Glendon Ave.	Unknown	Mediterranean	1936	5
1129-37	Glendon Ave.	Morgan Company Jewelers	Mediterranean	1933	5
1139-51	Glendon Ave.	Unknown	Mediterranean	1933	5
10824	Lindbrook	Unknown	Spanish Colonial Revival	1938	5
10830	Lindbrook Ave.	Unknown	Spanish Colonial Revival	1936	5
10836-40	Lindbrook Ave.	Unknown	Monterey Revival	1933	5
19845-55	Lindbrook Ave.	Chan's Garden/Paul Bhalla	Mediterranean	1938	5
1000-04	Tiverton Ave.	Unknown	American Colonial Revival	1938	5
1016	Tiverton Ave.	Unknown	Mediterranean	1929	5
1022-26	Tiverton Ave.	Unknown	Mediterranean	1929	5
1044	Tiverton Ave.	Claremont Hotel	Moderne	1940	5

WESTWOOD VILLAGE SPECIFIC PLAN

, en c	NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EVA
	1000-10	Westwood Blvd.	Brite/Hunter's Books	Mediterranean	1932	5
	1001	Westwood Blvd.	At Ease	Mediterranean	1931	5
arts.	1029	Westwood Blvd.	Unknown	Mediterranean	1938	5
	1030	Westwood Blvd.	Unknown	Mediterranean	1931	5
	1046	Westwood Blvd.	Unknown	French Regency	1940	5
	1056	Westwood Blvd.	Unknown	French	1936	5
	1100	Westwood Blvd.	Miller's Outpost	Mediterranean	1934	5
	130-34	Westwood Blvd.	Unknown	Mediterranean	1929	5
	1136-40	Westwood Blvd.	Rezzo Building	Mediterranean	1939	5
	10851	Weyburn Ave.	Unknown	Spanish Colonial Rev.	1934	5
	10923	Weyburn Ave.	Lamonica's NY Pizza	French	1949	5
	10924	Weyburn Ave.		Neo-Mediterranean	1937	5
0	10931	Weyburn Ave.	Chapman Building	Mediterranean with Classical Revival influences	1936	5
\circ	10935	Weyburn Ave.	Hamburger Hamlet	Classical Revival with Moderne influences	1938	5
	.0948	Weyburn Ave.	Stan's Donuts	Mediterranean	Unknown	5

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

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UTM:	Α.	11	366560		В3.	769860	
	С_				D	-	

DENTIF	ICATION Common name:	Bruin Theatre					
2.	Historic name:	Fox Bruin Theatre	3				
3.	Street or rural address: 926-40 Broxton Ave.						
	City Los Ang	eles	Zip _	90024	County	Los Angeles	
4.	Parcel number:	4363-018-008					
5.	Present Owner:	Charles Curti et	al		Address:	P.O. Box 60909	
	City Los Ange	eles	Zip 90060	Ownershi	p is: Public	Private X	
6.	Present Use:	Theatre		riginal use:			, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,

DESCRIPTION

- 7a. Architectural style: Moderne
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

An adept translation of the Streamline Moderne aesthetic into theatre form, the Bruin presents an eye-catching concave facade to the intersection of Broxton and Gayley. An ornate neon marquee incorporating characteristic Art Deco motifs reaches forward in a circular shape to shade the corner. Above it, a rounded concrete slab with a shallowly fluted interior surface functions as a tower and is dramatically lit at night. Below the marquee, multi-colored terrazzo suggests a starburst design. A series of four storefronts extends north along Broxton, hiding the reinforced concrete auditorium. One of the landmarks of Westwood, which, with the elaborate Fox Village Theatre, across the street, makes this intersection one of the most notable in Los Angeles. The Bruin is in very good condition.



8.	Construction date: 1937 Estimated FactualX
9,	ArchitectS. Charles Lee
10.	Builder
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood X Fair Deteriorate	d No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-up X
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	The Bruin Theatre is the second of opened in Westwood Village. Its Morto the Spanish Colonial Revival street. Constructed as part of a mation, the building was designed Charles Lee. Lee's showy designs whive patron out of his automobile neon marquees were placed to attract only portion of the structure than ight. Lee combined Moderne styling the theatrical experience. His exected in various forms and patter (see continuation sheet)	the Fox West Coast theatres to be derne styling was a marked contrast Fox Westwood directly across the ajor expansion by Fox Film corporaby premier theatre architect S. ere guaranteed to lure the prospectand into the auditorium. Flashy the motorist, often becoming the tould be seen from the street at g with decorative detail to enhance tensive use of metal, sculpted and
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH .
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.

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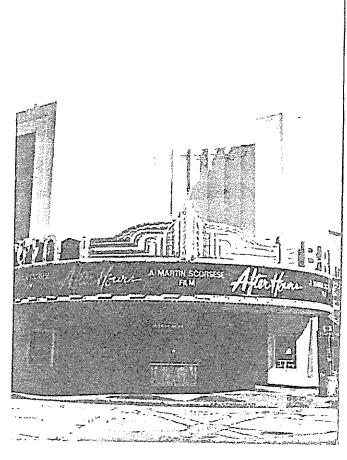
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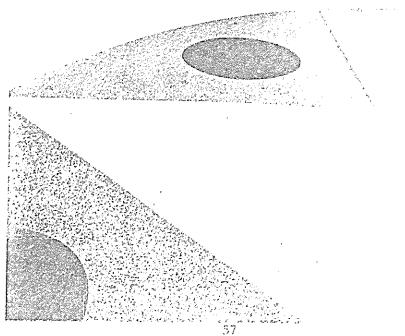
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19. Significance:

and flamboyant neon allowed a virtual corner on the market during the 1930s. Lee designed over 400 theatres before he retired in 1948. The Bruin is one of the most intact. In addition to its association with a noted theatre designer, the Bruin's cultural associations as one of the area's two entertainment facilities gives it a prominent place in the architectural and cultural context of Westwood Village.





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Westwood Village Specific Plan

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WESTWOOD VILLAGE SPECIFIC PLAN

	NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EV.
) ·	926-40	Broxton Ave.	Bruin Theatre	Moderne	1937	3
	945	Broxton Ave.	Fox Theatre	Spanish Colonial Revival	1931	3
	1001-09	Broxton Ave.	Mario's	Spanish Colonial Revival	1931	4
4	1037	Broxton Ave.	Stratton's Grill	Spanish Colonial Revival	1940	5
	1043-51	Broxton Ave.	Regent Theatre	Period Revival	1946	5
	1055-59	Broxton Ave.	Taco Bell	Moderne	1937	5
1	1061	Broxton Ave.	Shanes Jewelry/Bon Appetit Cafe	New Orleans Revival	1937	5
	1069–71	Broxton Ave.	Winchell's Donuts/Jazz'd/Dino	Classical Revival with Moderne influences	1936	5
)	1083-87	Broxton Ave.	Aahs	Post-War Modern	1945	5
	1091–93	Broxton Ave.	University Professional Building	Spanish Colonial Revival	1929	3
	931-43	Gayley Ave.	Unknown	Moderne	1047	5
)	959	Gayley Ave.	Gayley Terrace	Spanish Colonial Revival	1940	5
	1015	Gayley Ave.	Unknown	American Colonial Revival	1946	5
)	1019	Gayley Ave.	Computer Expo/International College	American Colonial Revival	1948	5
	1033	Gayley Ave.	Westwood Professional Building	American Colonial Revival	1938	5
	1049-51	Gayley Ave.	Chase	Moderne	1946	5
	1057	Gayley Ave.	Sportshaus	Moderne with Classical Revival influences	1935	5
	1059-63	Gayley Ave.	Oakley's Hair Styling	Moderne	1937	5
<i>)</i>	1065-73	Gayley Ave.	Helen's Cycles/Lumbleau School/Westwood Sporting Goods	Moderne with Classical Revival influences	1940	5
	1081	Gayley Ave.	Dillon's Nightclub	Mediterranean	1930	5
)	1085-91	Gayley Ave.	Exotic/La Fondue Restaurant	Spanish Colonial Revival	1930	5

WESTWOOD VILLAGE SPECIFIC PLAN

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NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EV.
1070	Glendon Ave.	Glendon Manor	Mediterranean	1939	5
1071-73	Glendon Ave.	Jurgensen Groceries/Moustache Cafe	Mediterranean	1929	5
1097	Glendon Ave.	Charthouse Restaurant	Mediterranean	1938	5
1101-09	Glendon Ave.	Haagen Daz/The Wurst/Westwood Dry Goods	Mediterranean	1931	5
1111-21	Glendon Ave.	Unknown	Mediterranean	1936	5
1129–37	Glendon Ave.	Morgan Company Jewelers	Mediterranean	1933	5
1139-51	Glendon Ave.	Unknown	Mediterranean	1933	.
10910-22	Kinross Ave.	Pottery Barn/Baskin Robbins/Popcorn Shoppe/Fame	Spanish Colonial Revival	1930	4
10886	Le Conte Ave.	Contempo Center	Mediterranean	1929	3
10824	Lindbrook	Unknown	Spanish Colonial Revival	1938	5
10830	Lindbrook Ave.	Unknown	Spanish Colonial Revival	1936	5
10836-40	Lindbrook Ave.	Unknown	Monterey Revival	1933	5
19845-55	Lindbrook Ave.	Chan's Garden/Paul Bhalla	Mediterranean	1938	5
1000-04	Tiverton Ave.	Unknown	American Colonial Revival	1938	5
1016	Tiverton Ave.	Unknown	Mediterranean	1929	٤
1022-26	Tiverton Ave.	Unknown	Mediterranean	1929	5
1044	Tiverton Ave.	Claremont Hotel	Moderne	1940	٠ 5
901–51	Westwood Blvd.	Holmby Building	Mediterranean	1929	4
1000-10	Westwood Blvd.	Brite/Hunter's Books	Mediterranean	1932	5
1001	Westwood Blvd.	At Ease	Mediterranean	1931	5
1029	Westwood Blvd.	Unknown	Mediterranean	1938	5
1030	Westwood Blvd.	Unknown	Mediterranean	1931	5
1043	Westwood Blvd.	Alice's Restaurant	Mediterrancan	1929	3

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WESTWOOD VILLAGE SPECIFIC PLAN

NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EV.
1046	Westwood Blvd.	Unknown	French Regency	1940	5
1056	Westwood Blvd.	Unknown	French	1936	5
1045-99	Westwood Blvd.	Glendale Federal Savings	Spanish Colonial Revival with Classical Rev. influences	1929	3
1100	Westwood Blvd.	Miller's Outpost	Mediterranean	1934	5
1130-34	Westwood Blvd.	Unknown	Mediterranean	1929	5
1136-40	Westwood Blvd.	Rezzo Building	Mediterranean	1939	5
1142-54	Westwood Blvd.	Bratskeller/Egyptian Theatre	Mediterranean	1929	3
10851	Weyburn Ave.	Apartment	Spanish Colonial Rev.	1934	5
10861	Weyburn Ave.	Bullock's Department Store	Post-war Modern	1951	4
10923	Weyburn Ave.	Lamonica's NY Pizza	French	1949	5
10924	Weyburn Ave.		Neo-Mediterranean	1937	5
10931	Weyburn Ave.	Chapman Building	Mediterranean with Classical Revival influences	1936	5
109 3 5	Weyburn Ave.	Hamburger Hamlet	Classical Revival with Moderne influences	1938	5
10948	Weyburn Ave.	Stan's Donuts	Mediterranean	Unknown	5

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

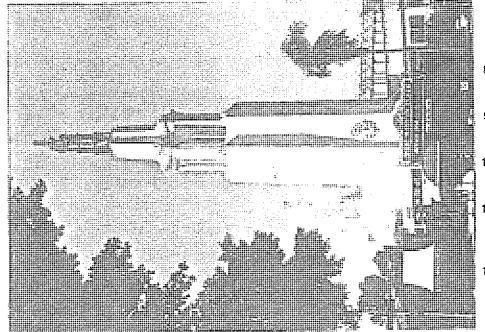
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UTM:	Α	_ HAER_ 11_366520		-3	769840	
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DENTIF	ICATION Common name:	Fox Theatre			
2.	Historic name:	Fox Village Theatre			
3.	Street or rural ad	dress: 945 Broxton Ave.			
	City Los Ang	cles	Zip 90024		
4.		4363-017-010	•		,
5.	Present Owner: _	Charles Curti et al		_ Address:	•
	City Los Ang	eles Zip			_
6.			Original use:		

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

A soaring tower, Westwood's tallest, and a heacon to moviegoers in the community, dominates the design of the Fox Village Theatre. Located on the northwest corner of Weyburn and Broxton, the fox is a reinforced concrete structure which draws upon Spanish and Classical sources for its design. The auditorium, a rectangular structure in the interior of the block, is ringed by an elaborate frieze patterned with Churrigueresque intensity. Its undulating edge is punctuated by orbs which top slightly raised pilasters. Chimera mark each corner. An open arcade links the upper section of the auditorium to the base of the tower. Plain piers modify the slightly tapered cylindrical shape of the shaft of the tower. This in turn is topped by a structure suggestive of an extruded choragic monument. More chimera guard (see continuation sheet)



8.	Construction date: 1931 Estimated Factual X
9.	Architect P.P. Lewis
10.	BuilderUnknown
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood X Fair Deteriorate	ed No longer in existence									
14.	Alterations:										
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up X Residential X Industrial Commercial X Other:										
16.	Threats to site: None knownPrivate developmentX Zoning Vandalism Public Works project Other:										
17.	Is the structure: On its original site? X Moved?	Unknown?									
18.	Related features:										
19.	became one of the most important fl restrictions actually precluded th area. Fox Film corporation had a and maintained close control of di 1940s. The Fox was part of a major	twood Village, the flamboyant Fox inment facility of the area during ive tower, courtyard entrance, and ocal point in the north Village.									
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH									
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor										
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.									
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7b. Description:

the base of the columns. The tower then steps back and culminates in an illuminated sign. Spreading out below the tower, the marquee is decorated with neon and shades the entry. Both the exterior and the interior of the theatre are largely intact. The shops which extend in one and two stories along each block have been substantially altered.

19. Significance:

\$300,000. The auditorium was originally designed to seat 2,000, although it was modified to 1,500 before construction commenced. The reinforced concrete structure was to have copper storefronts, art stone exterior trim, and marble interiors. Ground was broken in November of 1930; construction was completed the following fall. As the first entertainment facility in the Village, the theatre played an integral part in the community's recreational activities. Part of the initial Janss building program, it continues to maintain its significance both architecturally and culturally today.

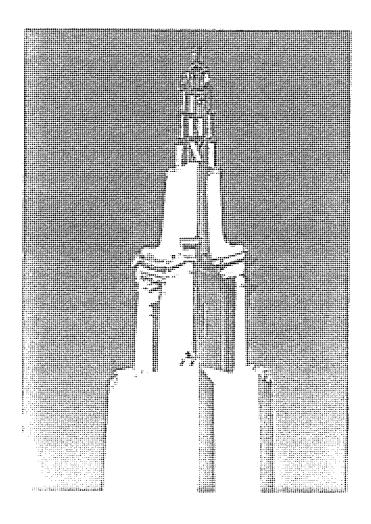


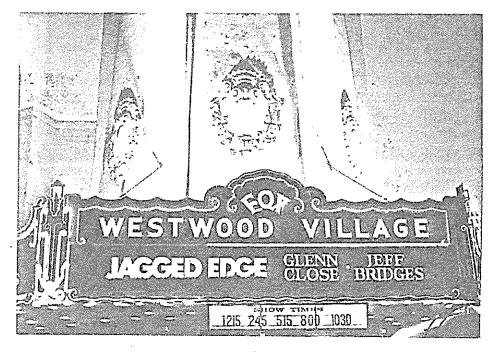


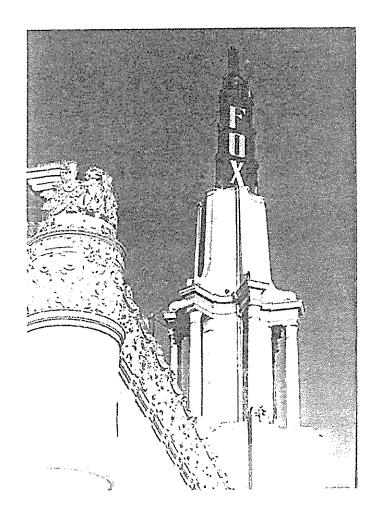
Westwood Village Specific Plan

Gruen Associates

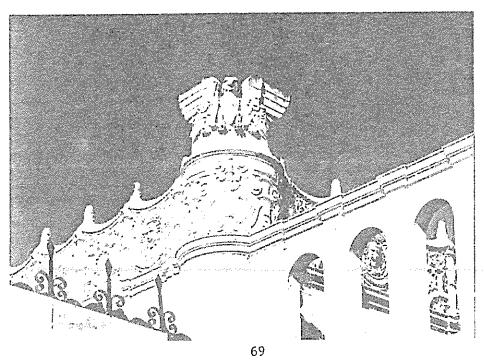
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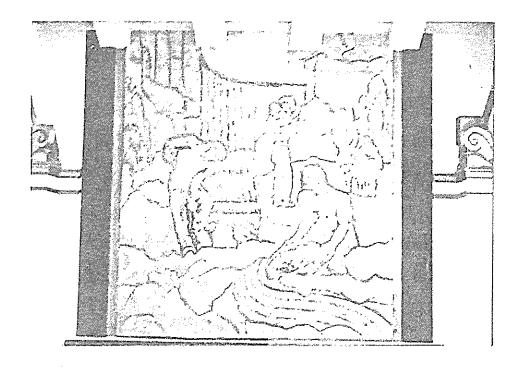


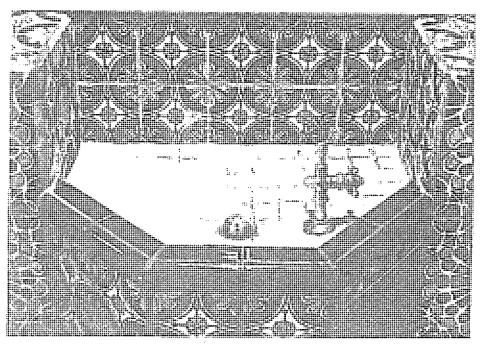




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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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UTM:	Α	11 366540)	В,	SHL 769820	
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IDENTIF	FICATION Common name: .	Marios						
2.	Historic name:	Unknown			···········			
3.	Street or rural address: 1001-09 Broxton Av			2.				
	City Los Ange	eles		Z ip 90024		_County	Los Angeles	+
4.	Parcel number:	4363-024-012						
5.	Present Owner:	Felsenthal Inv	estment	Co Ltd.		Address:_	8330 Melrose	#304
	City Los An	geles	Zip	90046 ow	nership is	: Public	Private _	X
6.	Present Use: R	estaurant		Original u	ıse:	Retail sh	nops	The second se

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

This two story, Spanish Colonial Revival commercial building acts as an architectural counterpart to the University Professional Building at the other end of the block. Like the other building, this is a stucco over brick structure, capped with gabled and hipped red tile roofs, and organized in a rectangular plan around an interior court. Another point of concurrence is the notable use of colored tile, especially for the risers of staircases leading to second floor offices. Located at the corner of Broxton and Kinross, the building features asymmetrically ordered facades that give the impression of being a series of individual designs. Variations in floor levels, roof heights and forms, and detailing heighten this effect. Characteristic Spanish Colonial Revival features include arched openings, (see continuation sheet)



8.	Construction date: 1931 Estimated FactualX
9.	Architect Nordstrom & Anderson
10.	Builder
11.	Approx. property size (in feet) Frontage 90 Depth 110 or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: Excellent Good X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Únknown?
18.	Related features:	
	Mack and Woods Ltd. purchased this the firm of Nordstrom and Anderson ing in keeping with the architectu Investment Corporation to ensure co Village. The firm was new in Los practiced in San Francisco before 1928. The resulting design was a completed in 1931. Like most othe building had certain characterist	corner lot in 1930 and commissioned to design a two story retail build-ral guidelines set up by the Janss mpatible development throughout the Angeles, Alvan Nordstrom having moving to Southern California in Spanish Colonial Revival structure, rs of its type in the Village, the ics. There was access from both
	Broxton and Weyburn, with an addit tile in the roof and colorful pat features. A prominent corner b (see continuation sheet)	terned glazed tile were principal
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.
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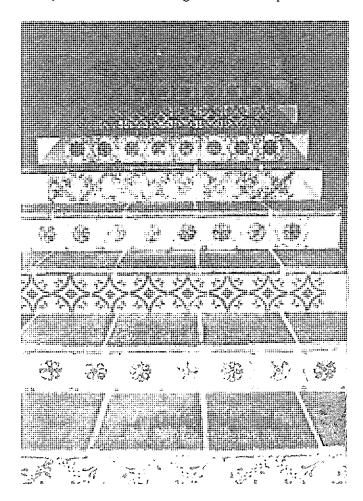
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7b. Description:

balconies, decorative ironwork, corbelled second stories, and casement windows. As is typical of the Village in general, the building acknowledges the corner with an entrance angled to face the intersection. Substantially intact, the building has been altered in the ground floor storefronts and the patio may have been enclosed.

19. Significance:

cosmopolitan air to the street. The building was a major contributor to the Mediterranean ambience of its section of the Village. Although altered, it is compatible in size, scale, and style with the first group of structures built in the Village, a representative of the retail/office component of the original Janss plan.





Westwood Village Specific Plan

Gruen Associates

State of California — The Resources Agency

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4	HISTORIC RESOURCES INVENTORY	HABS HAER NR <u>≶P</u> SHLLoc UTM: A B C D
IDENTI 1.	FICATION Common name: West side of Bi	roxton Avenue
2.	Historic name:	
3.	Street or rural address: Multiple	
	City Los Angeles	Zip 90024 County Los Angeles
4.	Parcel number: Multiple	
5.	Present Owner: Multiple	Address:
		Ownership is: Public Private X
6.	Present Use:	Original use:
DESCRIE	PTION	
7a.	Architectural style: See continuation she	ets
7b.	Briefly describe the present physical description of t	he site or structure and describe any major alterations from its
	original condition:	
	Developed during the ten years	that preceded and followed World War
	II, the west side of the 1000 blo	ck of Broxton Avenue contains commer-
	ciai bulldings of which eight ret	ain various degrees of architectural
	Spanish Colonial Poursel commis-	he corners are anchored by elaborate
	Moderne and stringed Pariod Paul	weakhich are documented separately. val styling characterizes the six one

and two story buildings which line the interior of the block. Two intrusions, a parking lot and an altered structure near the south end of the block, occur within the boundaries of the grouping. The east side of Broxton, which is predominantly used for parking, is excluded from the grouping. A prominent street because it continues the axis

Attach Photo(s) Here	8. Construction date: 1936-46 EstimatedFactualX
	9. ArchitectSee continuation sheet.
	10. Builder
	11. Approx. property size (in feet) Frontage Depth
,	or approx. acreage
	12. Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGood X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None known Private development X Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
19.	The west side of the 1000 block of loped by the officers of the Janss 1946 following the end of World Wadeveloped strict architectural guidevelopment, but sites to "Mediterrimmediately preceding and after t 1061, and 1069) were all designed cers. The approximate cost of \$16,000, over the minimum require mann, an Englishman, established h becoming associated with Reginald J	Broxton Avenue was primarily deve- Investment Company in 1937 and in r II. The Janss corporation had delines at the inception of Village anean" motifs lessened in the years he war. Three structures (1055, by Gordon Kaufmann for Janss offi- each of the two story stores was d by the deed restrictions. Kauf-
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH See attached
22.	Date form prepared	

(...)

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CONTINUATION SHEET: West side of Broxton Avenue

19. Significance:

Times building in downtown Los Angeles (1931-35), the Doheny Residence (1925-28), Scripps College (1927), and the Athenaeum at California Institute of Technology (1930). Other commissions in Westwood include Holmby Hall (1929) and 10935 Weyburn (1938). Kaufmann's designs for the smaller commercial buildings of the Village tended to be Moderne with Classical Revival elements. The block was enlarged in 1945 with a one story store designed by Allison Rible at 1083 and in 1946 by a two story Period Revival structure owned by the Janss Company. Corner structures at 1091 and 1001 are designed in the Spanish Colonial Revival style and predate the interior of the block (see separate forms). The block is uniform in size and scale, and is representative of Village retail establishments in the late 1930s and after World War II.



Westwood Village Specific Plan

Gruen Associates

NR:

UTM: 11 366600 3769740

ADDRESS:

1037 Broxton Ave.

COMMON NAME:

Strattons Grill

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-024-008

PRESENT OWNER:

Daphne M. Lewis

803 N. Alpine Dr.

Beverly Hills CA 90212

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1940

ARCHITECT:

Unknown

BUILDER:

 $(\)$

Unknown

DESCRIPTION:

Recalling similarly styled American Colonial Revival buildings on Gayley, Stratton's Grill is a one story, brick structure. A shingled brick roof caps the four bay facade while a flat roof tops the rear section of the building. Plainly conceived stucco pilasters define the bays. The north three bays contain full-size re-glazed windows set within plain surrounds surmounted by keystones and broken pediments. The entry occupies the south bay. A trompe l'oeuil mural, depicting a more elaborate scheme of Composite pilasters and lunette crowned openings, adds an unexpected dimension to the plain brick north elevation. In good condition, the building has been adorned with appropriately scaled and placed signage.



NR:

UTM: 11 366620 3769740

ADDRESS:

1043-51 Broxton Ave.

COMMON NAME:

Regent Theatre

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-024-007

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Period Revival

CONSTRUCTION DATE: 1946

ARCHITECT:

P.H. Crawford

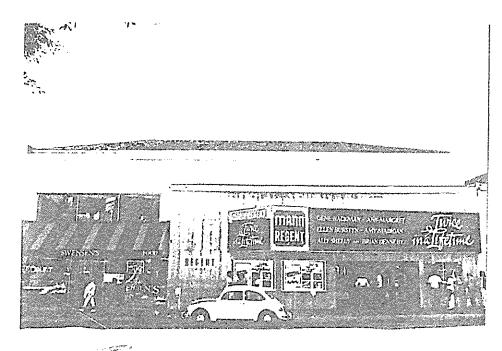
BUILDER:

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S.M. Benjamin

DESCRIPTION:

Little remains of the original facade design of this two story concrete structure. It now houses a raised, marble-faced theatre in the north two-thirds and a restaurant in the re-glazed south storefront. A shingled, shallow hipped roof and plainly molded entablature suggest a simple Period Revival scheme may have characterized the building in its original state. It is in good condition.



NR:

UTM: 11 366620 3769720

0

ADDRESS:

1055-59 Broxton Ave.

COMMON NAME:

Taco Bell

HISTORIC NAME: Unknown

PARCEL NUMBER: 4636-024-006

PRESENT OWNER: John L. & Jane W. Goff

11600 Wilshire Blvd.

West Los Angeles CA 90025

ARCHITECTURAL STYLE: Moderne

CONSTRUCTION DATE: 1937

ARCHITECT:

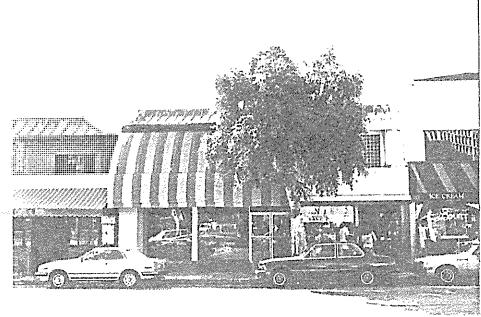
Gordon B. Kaufman

BUILDER:

A.W. Zimmerle

DESCRIPTION:

Only a fragment of the original Streamline Moderne design is currently visible in this two story commercial building. Built of concrete, the building contains two altered storefronts on the lower story and offices on the upper floor. The north office is recessed behind a stout, reeded column and fully glazed with small, square panes that suggest glass brick. Although the south office may also retain this scheme, it is hidden by a large awning that shades the lower story. Between curved side parapets, a bellcast, battened, metal shed roof tops the facade. The structure is in fairly good condition.



NR: 5D

UTM: 11 366640 3769700

ADDRESS:

1061 Broxton Ave.

COMMON NAME:

Shanes Jewelry/Bon Appetit Cafe

HISTORIC NAME: None

PARCEL NUMBER: 4363-024-005

PRESENT OWNER: H. Wilkins Trust

· wirking finar

762 Hamilton Lane

Fallbrook CA

ARCHITECTURAL STYLE: New Orleans Revival

CONSTRUCTION DATE: 1937

ARCHITECT:

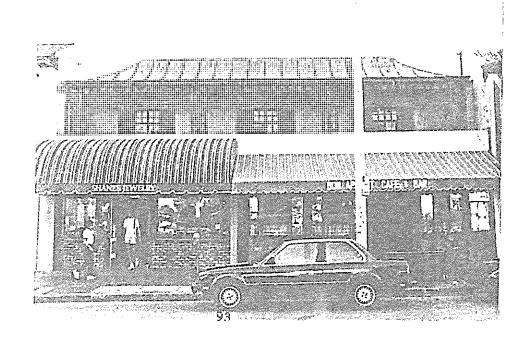
Gordon B. Kaufmann

BUILDER:

Unknown

DESCRIPTION:

A two story commercial building, this concrete structure has been embellished with New Orleans style metal work. Although the two unequally-sized storefronts have been re-sided and re-glazed, the upper story is substantially intact. It contains three bays, recessed behind a shallow balcony. Ornamental iron supports and a frieze support the overhanging of the pent, bellcast metal hip roof, attached to a stepped parapet. Each bay contains a multi-paned window flanked by shutters. The building is in fairly good condition.



NR: 5D

UTM: 11 366640 3769680

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ADDRESS:

1069-71 Broxton Ave.

COMMON NAME:

Winchells Donuts/Jazzd/Dino

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-024-004

PRESENT OWNER: H. Wilkins Trust

762 Hamilton Lane Fallbrook CA

ARCHITECTURAL STYLE: Classical Revival with Moderne influences

CONSTRUCTION DATE: 1936

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Like several other buildings on the block, this two story commercial structure of concrete or masonry construction allows a glimpse of its original design on the upper story. Three altered storefronts now occupy the street level frontage. On the second floor the building has been bisected, leaving the south half relatively intact. It has been divided into two bays by broad, fluted pilasters. Each bay contains a large window surround of abstract Classical Revival design. The windows are multi-paned sash. A shallow side gable roof with a small overhang surmounts this "Classical Moderne" composition. The building is in fairly good condition.



NR:

UTM: 11 366660 3769660

ADDRESS:

1083-87 Broxton Ave.

COMMON NAME:

Aahs

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-024-002

PRESENT OWNER:

Jakowsky Trust

898 W. 18th St. Costa Mesa CA

ARCHITECTURAL STYLE: Post-war Modern

CONSTRUCTION DATE: 1945

ARCHITECT:

Allison V. Rible

BUILDER:

Unknown

DESCRIPTION:

Although the street level storefront has been re-glazed, this two story commercial structure presents a representative picture of postwar Moderne styling. The reinforced concrete structure is sheathed in tile. Vestigal reeded pilasters frame the upper story, which is glazed in opaque industrial glass across its entire expanse. low hip roof with no overhang caps the facade. The building is in good condition.



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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

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DENTIF	ICATION Common name:	University Professio	nal Building			
2.	Historic name:	University Professio	nal Building		November of the state of the st	
3.	3. Street or rural address: 1091-93 Broxton Ave. Retail shops/office					
	City Los Angeles Zip 90024			_County	Los Angeles	
4.	Parcel number:	4363-024-001	· · · · · · · · · · · · · · · · · · ·			
5.	Present Owner:	Viliam & Maria Hersk	ovic	Address:	15745 Sutton St.	,
	City Encino	Zip	91316 Ownership is	: Public	PrivateX	
6.	Present Use:	Retail shops/offices	Original use:	Retai1	shops/Offices	

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Extensively embellished with colorful tile, this two story Spanish Colonial Revival store and office building is built around an interior court. Of brick construction, the rectangular structure is sheathed in stucco and capped by a hipped tile roof. Extremely large arches detailed with archivolts and tiled surrounds provide access from the center of both the Broxton and Gayley facades to the interior court. Bay windows, arched niches, and tiled dados characterize the patio. A central octagonal fountain has been converted to a planter. Staircases are particularly lavishly embellished, with each riser as well as the stair walls covered with a different tile pattern. A similarly enthusiastic use of tile appears on the exterior and includes an angled corner store entrance completely surrounded by tile. Above the (see continuation sheet)



Construction date: 1929

1985

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence					
14.	Alterations:					
15.	Surroundings: (Check more than one if necessary). Open land Scattered buildings Densely built-up $\frac{X}{X}$ Residential Commercial $\frac{X}{X}$ Other:					
16.	Threats to site: None knownPrivate development X Zoning Vandalism Public Works project Other:					
17.	Is the structure: On its original site? X Moved? Unknown?					
18.	Related features:					
SIGN 19.	NFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)					
	One of the twelve buildings constructed during the first year of Westwood Village development, this corner structure exhibits most of the design characteristics which collectively became known as the "Village style." The two story Spanish Colonial Revival building was designed by James Conway for G.K. Harrison, a prominent Los Angeles real estate developer who specialized in professional office space in areas such as Beverly Hills and Westwood. Harrison's \$75,000 investment created a courtyard structure with exceptional detailing, a quiet oasis protected from the street. Accessible from both Kinross and Broxton, the interior shopping court and second floor offices were the kind of mixed uses that the Janss Investment Company encouraged in the planning of the Village. G.K. Harrison is also responsible for a (see continuation sheet)					
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure					
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor					
22,	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213): 937-4270					
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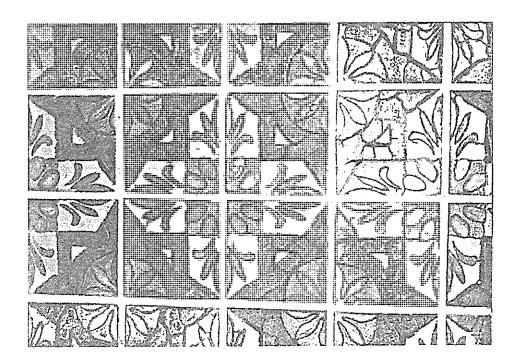
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7b: Description:

entrance, a small balcony with a decoratively pierced stucco wall rests on corbels. Other features culled from the vocabulary of Spanish style, such as iron balconies, arched openings, casement windows, and ornamental plasterwork, are also asymmetrically deployed on the exterior. Alterations appear to be limited to re-glazing and signage. One of the most visually delightful buildings in the Village, the complex is in good condition.

19. Significance:

similar courtyard building at 1149 Glendon. Along with towers, the courtyards of the Village are a prime physical feature of the area, and the structures which contain them are extremely important in the overall environmental context.



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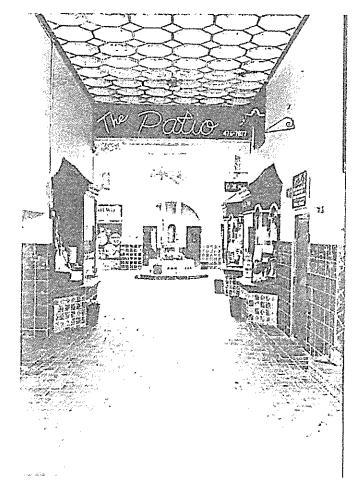


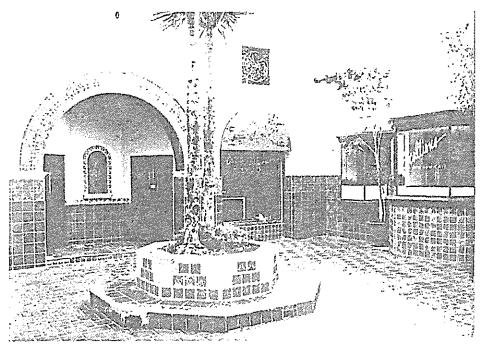
Westwood Village Specific Plan

Gruen Associates

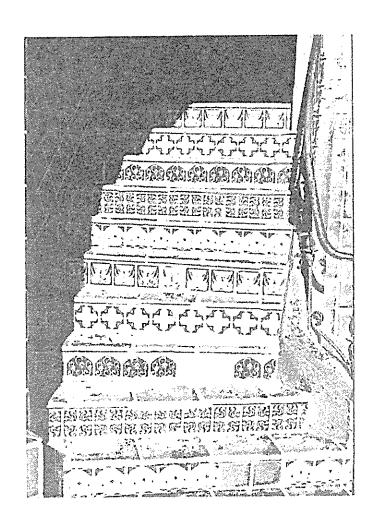
CONTINUATION SHEET: 1091-93 Broxton Avenue

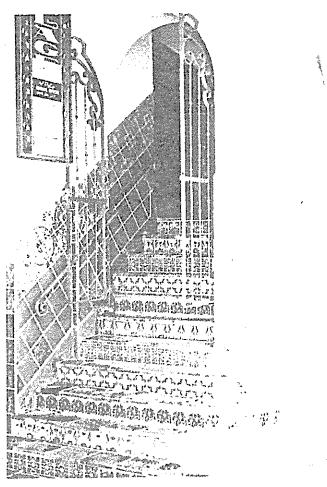
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CONTINUATION SHEET: 1091-93 Broxton Avenue





State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

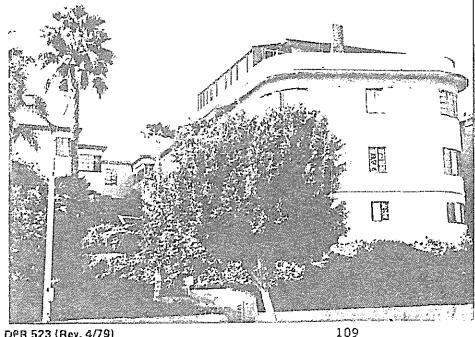
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			L					
IDENTIF	FICATION Common name:	Unknown						
1.	Common name:	OTHEROWIT			· · · · · · · · · · · · · · · · · · ·			
2.	Historic name:	Unknown	***************************************					
3.	Street or rural address:	941-43 Gaylev	Avenue	!				
	City Los Angeles		_ Zip	90024	_County	Los A	ngeles	
4.	Parcel number: 4363-0	16-015			· / · · · · · · · · · · · · · · · · · ·			
5.	Present Owner: Jean B.	Lawrence			Address:	10375	Wilshire	Blvd.
	City Los Anageles	Zip	90024	Ownership is	: Public		_ Private	X
6.	Present Use: Apartm	mante	٥٠	igipal uses	Ånantmani			

DESCRIPTION

- 7a. Architectural style: Moderne
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

The western edge of the Village, between Weyburn and Le Conte, is defined by a hill on the west side of Gayley which continues onto Levering. Several apartment buildings, either tiered or built around a terraced garden, occupy this frontage. The most notable of these developments, which date from the late 40s and 50s, is located at 931-43 Gayley. Representative of the post-war Moderne style, the Lshaped, stuccoed structure is four stories in height, including a penthouse addition on the flat roof. The most distinctive features of the design are the curved corners, marked by bands of aluminum-framed windows on each corner. The streamlined effect is reiterated by a similarly-rounded canopy and parapet above the third floor. trast, the penthouse, which is set back from the west elevation, is (see continuation sheet)



DPR 523 (Rev. 4/79)

8.	Estimated Factual Y
9.	Architect
10.	Builder
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence
14.	Alterations:
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-upX Residential X Industrial Commercial Other:
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:
17.	Is the structure: On its original site? X Moved? Unknown?
18.	Related features:
SI G 1 19.	NIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)
	The apartment complexes on the periphery of Westwood Village were an integral part of the Village plan as originally conceived by the Janss corporation. They were to serve as a transition between the commercial district and the single family homesites nestled in the foothills. The apartment district around Gayley and Levering also served as a buffer to the Veterans complex further to the west. This Moderne complex, while a postwar addition to the area, is evocative of the style placed on a hillside site. Designed by William E. Foster, whose eight story Moderne structure, the Shangri-La Apartments, is a prominent oceanfront landmark in neighboring Santa Monica, the apartment complex takes full advantage of its hillside site to ensure the privacy of its occupants. With its allusions to speed and mobility, the (see continuation sheet)
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor
22.	Date form prepared
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CONTINUATION SHEET: 941-43 Gayley Avenue

7b. Description:

rectangular and largely enclosed by glass. The building appears to be substantially intact, and in fairly good condition.

19. Significance:

Moderne style was a popular component of the Los Angeles $\,$ residential streetscape in the 1930s.



Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

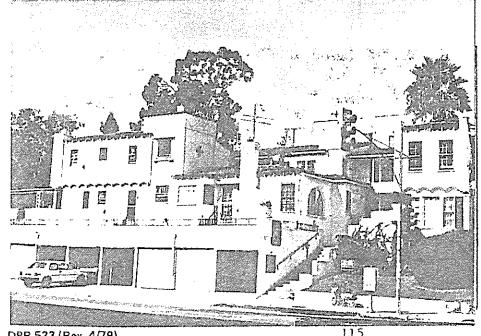
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	С			D		

IDENTIF	ICATION Common name:	Gayley Terrace				
2.	Historic name:	Gayley Terrace				
3.	Street or rural address:	959 Gayley Avenu	е			
	City	Los Angeles	Zip	90024	County	Los Angeles
4.	Parcel number:	4363-016-014				
5.	Present Owner:	Jean B. Taylor			Address:	10375 Wilshire #11B
	City Los Angeles	Zi _F	90024	Ownership	is: Public	Private X
6.	Present Use:	Apartments	Ori	ginal use:		Apartments

DESCRIPTION

- Spanish Colonial Revival 7a. Architectural style:
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Due to its location on a busy intersection and its hillside lot, this three story, Spanish Colonial Revival apartment complex is one of the more prominent and well-known buildings in the Village. The white stucco structure accommodates itself to its site by stepping up the slope in the manner of a Mediterranean hill town. Shallow hipped roofs, covered in red clay tile and detailed with exposed rafters, define the numerous cubic volumes which are combined in the asymmetrically ordered design. Typical stylistic conventions are utilized, including ornamental plasterwork, overhangs marked by arched corbelling, chimneys and a squat tower, decorative ironwork, balconies and terraces, and arched openings. Most windows are multi-paned doublehung sash in type. Access to the complex is provided at the southwest (see continuation sheet)



Construction date: 1940 Estimated Factual X

Architect ___ Laurence B. Clapp

Builder_ Pacific Coast Fin

11. Approx. property size (in feet) Frontage _____ Depth____ or approx. acreage_

12. Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGoodX Fair Deteriorate	ed No longer in existence					
14.	Alterations:						
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial Other:	Scattered buildings Densely built-upX					
16.	Threats to site: None knownPrivate developmentX Public Works project Other:						
17.	Is the structure: On its original site? X Moved?	Unknown?					
18.	Related features:						
	NFICANCE Briefly state historical and/or architectural importance (include	e dates, events, and persons associated with the site.)					
	Although not completed until 1940, this Spanish Colonial Revival apartment structure is the epitome of what the Janss company envisioned as the residential component of its "Mediterranean" village. Laurence Clapp from Santa Barbara designed the \$50,000, nineteen unit complex for Bronson B. Telley of of Hollywood, whose Pacific consolidated Finance Company Ltd. acted as the general contractor. The style of the building is in keeping with the Village's architectural guidelines. The irregular massing of the complex and its siting give it special prominence. Prominent features of the Spanish Colonial Revival style visible in this building are the use of red tile as roofing material, arched windows, scalloped second story overhang, and wrought iron decoration. Such housing was designed to accommodate the faculty (see continuation sheet)						
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.)	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH					
	Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Military Social/Education	See attached					
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor						
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270						

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CONTINUATION SHEET: 959 Gayley Avenue

7b. Description:

corner and marked by an L-shaped staircase edged by a corbiestep wall. Raised, plain medallions adorn the stairwall, and a large urn atop a cylindrical projection accents the stairs. Garages line the Weyburn Avenue elevation. No major alterations were noted, and the building is in good condition.

19. Significance:

and student body of nearby UCLA and to act as a buffer between the commercial area of Westwood Village and the adjacent single family neighborhood.





Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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2.	Historic name: "		······································	······					
3,	Street or rural a	ddress: <u>Multiple</u>			***			· · · · · · · · · · · · · · · · · · ·	
	City	Los Angeles		_Zip	90024	County	Los	Angeles	
4.	Parcel number:	Multiple							
5.	Present Owner:	Multiple	<u></u>			Address:			···
	City		Zip .		Ownersh	ip is: Public		Private	Х
6.	Present Use:			0	riginal use:				

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Occupying the west side of Gayley Avenue between Weyburn and Kinross, this commercial grouping harmoniously combines three distinct architectural tastes. A refined, rather stripped and attentuated American Colonial Revival, principally executed in red brick, characterizes the

north three structures. Moderne characteristics ters, are apparent on the four buildings in the The oldest development on the street, two builds of the block, conform to the Mediterranean rephase of buildings in Westwood Village. Smooth sheathe the Moderne and Mediterranean structurestory block is broken by only two intrusions. the north corner is fairly compatible. The grow (see continuation sheet)	e middle of the block. ings at the south end pertoire of the first h stucco and concrete es. The mostly two A new development at
Attach Photo(s) Here	8. Construction date: 1930–1948 Estimated Factual X
	9. ArchitectSee continuation sheets
	10. BuilderSee continuation sheets
	11. Approx. property size (in feet) Frontage Depth or approx. acreage
	12. Date(s) of enclosed photograph(s) 1985
	•

13.	Condition: ExcellentGood _X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIG1 19.	NIFICANCE Briefly state historical and/or architectural importance (include	e dates, events, and persons associated with the site.)
	Constructed between 1930 and 1948 presents a streetscape which continued the character of the Village during of the buildings are compatible in the block contains two Spanish Color by the Janss Corporation, develop tial neighborhoods surrounding it. was to be Mediterranean and these style. The corner building as 10 necessary component of the area giautomobile and the Janss Corporation suburban business district in South (see continuation sheet)	nues to embody several elements of its first and second decades. All size and scale. The south end of nial Revival structures, one built ers of the Village and the residenthe original character of the area e two are representative of that 185 served as a public garage, a ven Los Angeles' attachment to the ion's desire to design the finest
		Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/IndustrialExploration/Settlement Government Military Religion Social/Education	NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann Research for Organization Gruen Associates Address: 6330 San Vicente Blvd. City Los Angeles Zip 90048 Phone: (213) 937-4270	

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CONTINUATION SHEET: West side of Gayley Avenue

7b: Description:

the east streetface as well as from the blocks to the north and south by virtue of its age, architecture, concentration of office usage, and integrity.

19. Significance:

After the initial two buildings, the block lay undeveloped for five years, when the Westwood Mortgage and Investment Company commissioned Allen G. Siple to design a home for the Westwood Hills Press, publisher of the Westwood Hills News and the Daily Bruin, the University's newspaper. The resulting Moderne structure with Classical Revival elements set the stylistic tone for the rest of the street. Siple also designed the A & P Market for the Village, and was perhaps best known for his residences for well-to-do clients, among them actress Deanna Durbin and Edwin Janss' daughter Mrs. George Gregson. Other extant Siple commissions in the Village are 1100 Westwood Boulevard (1934) and 10924 Weyburn (1937). One of the few industrial buildings in the Village, the facade is in keeping with the professional offices and shops around it. 1059-63 was built in a similar style in 1936.

In 1938, the first American Colonial Revival brick structure appeared on the street. While the style differs from the Mediterranean approach, the building is very much in keeping with its intended use as professional offices. The Westwood Medical Center, as it is known, was designed by William B. Coffey of Hollywood, who is also credited with several Fox West Coast theatre designs of the mid-1940s. second American Colonial Revival brick medical building, this one designed by Janss-employed architect Percy Lewis, who is also responsible for the Fox Westwood Theatre, was erected at a cost of \$65,000 in 1946. That same year, C.E. Howell built a one story Moderne structure. In 1940, architect Ulysses Rible designed a second Moderne structure with Classical Revival influence as stores and offices at Rible later designed buildings at several universities and colleges, among them Cal Poly Pomona and San Luis Obispo, and Pasadena City College.



Westwood Village Specific Plan

Gruen Associates

NR: 5D

UTM: 11 366480 3769740

ADDRESS:

1015 Gayley Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Westwood Village Medical Arts Building

PARCEL NUMBER:

4363-025-011

PRESENT OWNER:

Westwood Village Ltd.

1015 Gayley

Rm. 100 CA Los Angeles

ARCHITECTURAL STYLE: 90024

CONSTRUCTION DATE: American Colonial Revival

ARCHITECT:

1946

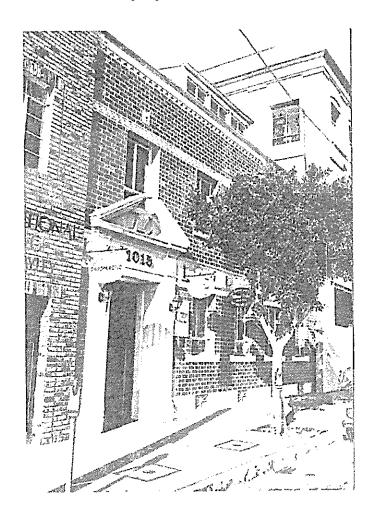
BUILDER:

P.P. Lewis

DESCRIPTION:

Built as a medical building in 1946, this two story structure employs an articulated American Colonial Revival style. The brick facade is capped by a shingled, hipped roof with tiled ridges. A rather large dormer, containing a band of three square, six-light windows is centered over the facade. Five equally-sized and spaced bays are defined by the fenestration. Each upper story bay consists of a re-glazed window recessed the width of a single brick and accented by a raised, A continuous molding of running Greek fretwork design acts as a lintel and marks the lower edge of a plain brick frieze. Plain and sawtooth moldings appears at the cornice line. The north four bays of the ground floor are treated similarly to those above, differing only in the addition of stretcher brick surrounds. frieze, punctuated with panels of shallowly carved design, replaces the lintels and divides the upper and lower levels. A classical entry, which leads to an interior court, fills the south bay. Fluted pilasters, paneled reveals, a shield ornamented frieze, and a broken pediment dotted by a scrolled corbel enrich the opening. Other than the replacement of the original windows, no major alterations to this well-maintained building were noted.

CONTINUATION SHEET: 1015 Gayley Avenue





NR:

UTM: 11 366500 3769720

ADDRESS:

1019 Gayley Ave.

COMMON NAME:

Computer Expo/International College

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-010

PRESENT OWNER:

1019 Gayley Associates 10920 Wilshire #750

Los Angeles CA 90024

ARCHITECTURAL STYLE: American Colonial Revival

CONSTRUCTION DATE: 1948

ARCHITECT:

Unknown

BUILDER:

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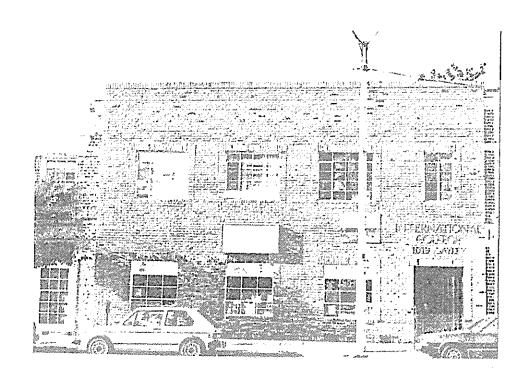
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Unknown

DESCRIPTION:

The least emphatic of the American Colonial Revival-influenced buildings in the grouping, this is a two story brick structure with a small interior court. Four bays are defined by the fenestration of the Identically realized, the south three bays contain smooth facade. twelve-light, square, industrial sash windows on the lower story, and larger, twenty-light openings on the upper story. Signs occupy the top tier of pans in the ground floor windows. A gated entry and a rectangular window appear in the north bay. Slightly raised courses of stretcher and soldier bricks outline each opening and the edge of the parapet and are the sole source of ornamentation. No major alterations were noted, and the building is in good condition.

CONTINUATION SHEET: 1019 Gayley Avenue



NR:

UTM: 11 366500 3769720

ADDRESS:

1033 Gayley Ave.

COMMON NAME:

Westwood Professional Building

HISTORIC NAME: Westwood Professional Building

PARCEL NUMBER:

4363-025-009

PRESENT OWNER: Allan & Sandra Liebert et al

1033 Gayley Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: American Colonial Revival

CONSTRUCTION DATE: 1938

ARCHITECT:

Unknown

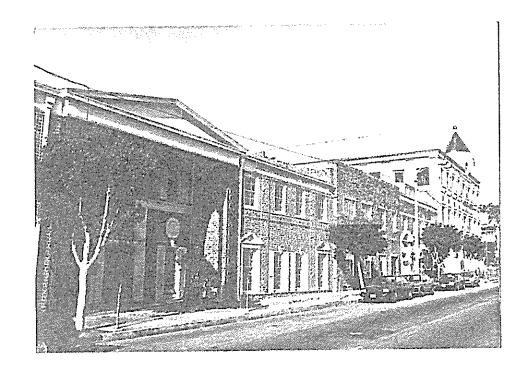
BUILDER:

Unknown

DESCRIPTION:

1033 Gayley is a two story brick, American Colonial Revival office structure, realized as if it were three separate buildings. The north "pavilion" contains four bays. Tall, six-over-nine sash, adorned with shutters and keystones in the middle and pediments on the ends, occupy the lower story bays. Identical six-over-six sash appear in the upper Courses of raised bricks define a "frieze" between stories. A second frieze, plain and white and a molded cornice terminate this portion of the facade, which is topped by a shallow side gable framed by stepped gable ends. Next to it, a three bay, pedimented pavilion contains the entry. Paired supports of New Orleans inspired metalwork, behind which this portion of the facade is recessed, carry the entablature. Framed by pilasters, the central bay contains double Nine-over-nine sash, detailed with shutdoors beneath a fanlight. ters, keystones, and topped by blind octagons, flank the entry. Between a simply molded frieze, the second story contains shuttered four-over-four double-hung sash windows. The south and largest pavilion is six bays across and surmounted by a small, centered pediment. The lower story is identical in its bay definition, and treatment to the north pavilion. In contrast, the central bays of the second story are stuccoed, recessed, and overlook an iron-railed balcony. Paired pipe columns support the balcony roof. Unified yet varied in design, the buildings appears unaltered and in good condition.

CONTINUATION SHEET: 1033 Gayley Avenue



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NR:

UTM: 11 366520 3769700

ADDRESS:

1049-51 Gayley Ave.

COMMON NAME:

Chase

HISTORIC NAME:

Unknown

PARCEL NUMBER:

4363-025-007

PRESENT OWNER:

Chester E Howell Trust

3101 Coleridge Dr.

Los Alamitos CA 90720

ARCHITECTURAL STYLE: Moderne

CONSTRUCTION DATE: 1946

ARCHITECT:

Lawrence Bull

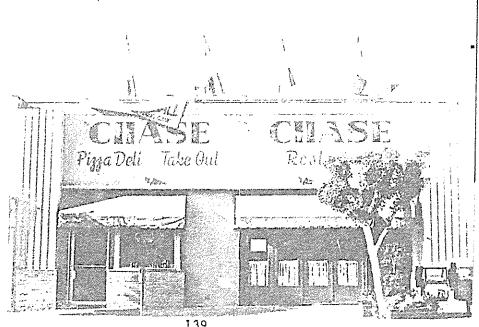
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DESCRIPTION:

The post-war Moderne has been reduced, on this one story concrete and masonry commercial building, to the two massive, reeded piers which frame the facade. Just below the vestigal, stepped parapet, the piers stop abruptly. Recessed between them, a flat marquee expanse and two storefronts, connected on the interior, have been altered. According to the original permit, the store, which is in fairly good condition, was intended to be an office.



NR: 5D

UTM: 11 366540 3769680

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ADDRESS:

1057 Gayley Ave.

COMMON NAME:

Sportshaus

HISTORIC NAME: Westwood Hills Press

PARCEL NUMBER: 4363-025-006

PRESENT OWNER: Westwood Property Management

1057 Gayley Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Moderne with Classical Revival influences

CONSTRUCTION DATE: 1935

ARCHITECT:

Allen G. Siple

BUILDER:

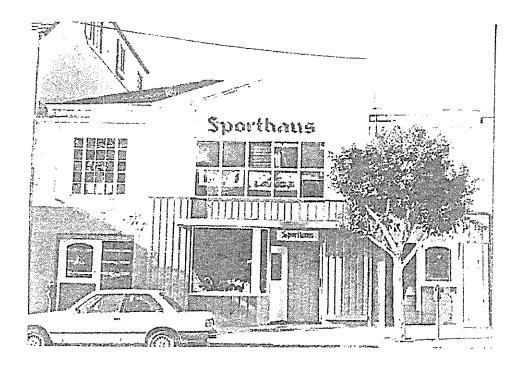
Unknown

DESCRIPTION:

Classicism overlaid with the Moderne characterizes this two story concrete structure. Now housing a retail facility, it was originally intended for office and industrial (printing) purposes. Set back slightly, a moderately pitched hipped roof caps the facade. fronted by a pediment which tops the central and largest of the three Broad, reeded piers carry the pediment which has molded raking cornices and horizontal cornice returns. The piers have been cut-off above the first floor, where the central bay has been re-faced with a corrugated material. A large window, filling the entire upper center bay, may also be altered, as are the side bays on the ground floor. Square, multi-paned, industrial sash remains in the upper end bays. The building is in good condition.

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NR:

UTM: 11 366540 3769660

ADDRESS:

1059-63 Gayley Ave.

COMMON NAME:

Oakleys Hair Styling

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-005

PRESENT OWNER: Jakowsky Trust

898 W. 18th St. Costa Mesa CA CA

ARCHITECTURAL STYLE: 92627

CONSTRUCTION DATE: Moderne

ARCHITECT:

1937

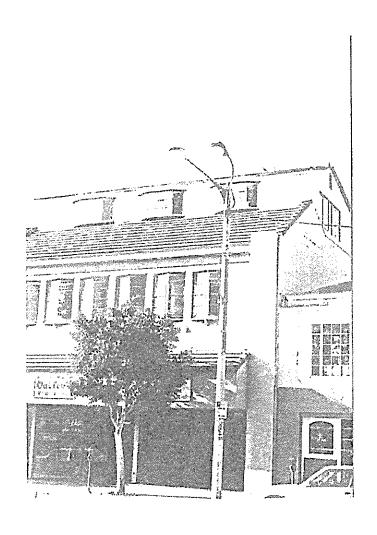
BUILDER:

()

Unknown

DESCRIPTION:

Distinctive window treatments characterize this three story commercial building. Of concrete construction, the structure is topped by a side gable roof. A shingled pent roof also caps the second story; a second, smaller pent roof over the ground floor may be an alteration. The storefronts on the lower story have been re-modeled and re-glazed. Unusual, two-sided bays containing metal casements and resting on corbelled, triangular sills, define six bays on the second floor. The upper story is scaled as if it were an attic, and contains three fluted pilasters. Faintly Moderne in style, the building is in good condition.



NR:

UTM: 11 366560 3769640

ADDRESS:

1065-73 Gayley Ave.

COMMON NAME:

Helens Cycles/Lumbleau School/Westwood Sporting Goods

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-004

PRESENT OWNER: Jakowsky Trust

898 W. 18th St. Costa Mesa CA CA

ARCHITECTURAL STYLE: 92627

CONSTRUCTION DATE: Moderne with Classical Revival influences

ARCHITECT:

1940

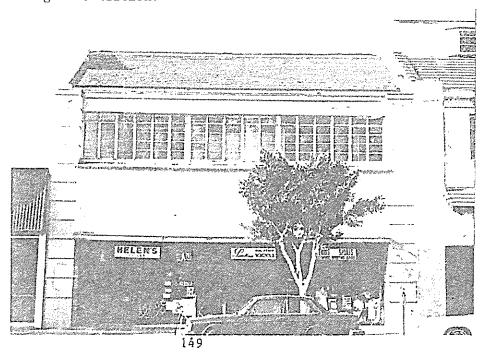
BUILDER:

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Ulysses F. Rible

DESCRIPTION:

Rusticated piers, embellished with swags, frame the facade of this two story concrete and brick commercial building. A side gable roof with molded eaves surmounts the smoothly finished facade. Industrial sash stretches in an unbroken band across the second story. A dentil-like molding ornaments the window sill. The ground floor has been remodeled and re-glazed. Influenced by the Mediterranean Revival, the building is in good condition.



NR: 5D

UTM: 11 366560 3769620

ADDRESS:

1081 Gayley Ave.

COMMON NAME:

Dillons Nightclub

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-002

PRESENT OWNER: Benjamin & Claudette N. Pick

1314 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1930

ARCHITECT:

Unknown

BUILDER:

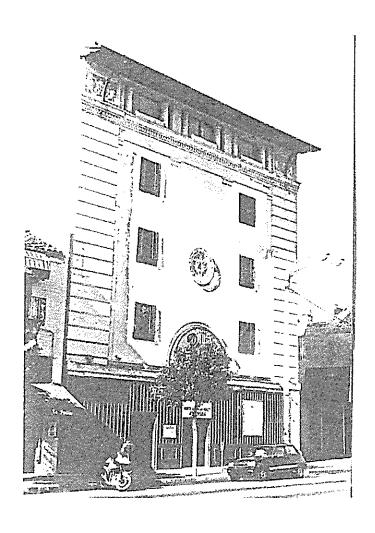
Unknown

DESCRIPTION:

Both its five story height and elegant Mediterranean styling make this building a focal point of the block. Above the ground floor, which has been altered, the three bay, stuccoed facade is framed by broad, rusticated piers. The second through fourth floors are slightly recessed and contain shuttered windows in the end bays. An intricately patterned medallion and an arch over the entry are the sole occupants of the central bay. Vestigal pilasters and capitals and an denticulated cornice separate the fourth and fifth floors. Treated as an attic or capital story, the upper level culminates the characteristics, tripartite, Italian Renaissance composition. It contains decorated end panels and a columned loggia beneath the bracketed overhang of the gable roof. The openings appear to have been temporarily In fairly good condition, the building contributes to the historic identity of Westwood.

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NR: 51

UTM: 11 366580 3769600

ADDRESS:

1085-91 Gayley Ave.

COMMON NAME:

Exotic/La Fondue Restaurant

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-001

PRESENT OWNER: E.C. & B.G. Beck Trust

1095 Gayley Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1930

ARCHITECT:

Frank Bivens

BUILDER:

Unknown

DESCRIPTION:

The Spanish Colonial Revival idiom of this two story structure is conveyed by its white-washed facade and mission-tiled hip roof. Ornamental ironwork balconies which rest on brackets are also symptomatic of the style and adorn the openings in the end bays of the upper story. Two smaller windows appear in the central bay of the three bay facade. These openings as well as the three storefronts on the lower level have been altered and re-glazed. Despite these changes, the building retains a degree of integrity to its materials and its proximity to 1081 Gayley. It is in fairly good condition.



State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

H	IISTO	DRIC	RESOL	JRCES	IMME	NTORY

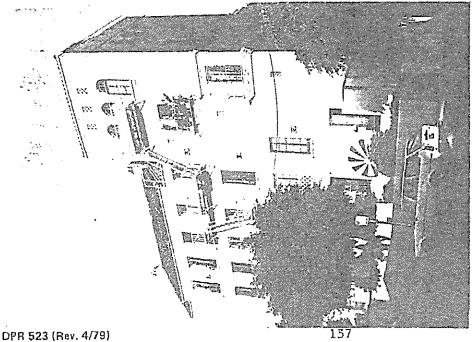
		Ser. No		
HABS_	HAER	NR5	SHL	Loc
UTM:	HAER_ A <u>11 366800</u>	3769700 _B		
	C	D		

IDENTIFICATION 1. Common name:		Glendon Manor						
2.	Historic name:	Glendon Manor	·····					
3.	Street or rural address:	1070 Glendon A	venu	e				
	City	Los.Angeles		Zip	90024	County	Los Angeles	
4.	Parcel number:	4363-021-005						
5.	Present Owner:	S.A. Balder				Address:	10960 Wilshire	#1800
	City	Los Angeles	Zip _	90024	Ownership	is: Public	Private	X
6.	Present Use:	Apartment		Ori	ginal use:		Apartment	

DESCRIPTION

- 7a. Architectural style: Mediterranean
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Glendon Manor is a four story residential building with a five story tower at its southwest corner. It is designed in a restrained Mediterranean style, realized, as is characteristic, in stuccoed walls and red tile hipped and tiled roofs. Decorative features include balconies, asymmetrically placed and individually detailed, stringcourses, arched openings, pierced stucco vents, classical window surrounds, and casement windows. Set back a small distance from the street to accommodate a small garden and entry stairs, the building is substantially unaltered and in good condition.



8.	Construction date: 1939 Estimated Factual X
9.	Architect
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGood _X Fair Deteriorated No longer in existence					
14.	Alterations:					
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up x Residential X Industrial Commercial Other:					
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:					
17.	Is the structure: On its original site? X Moved? Unknown?					
18.	Related features:					
SIGI 19.	NIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)					
	The largest apartment building remaining in the Village itself, Glendon Manor was constructed in 1929. The five story Spanish Colonial Revival structure contained forty-two units. Its designer, Heth Wharton, had been associates with Reginald Johnson, working as a draftsman. Johnson had a partnership with Gordon Kaufmann and Roland Coate, both of whom designed buildings for the Janss Corporation in Westwood Village. It appears likely that this connection was one of the factors that led to Wharton's participation in this project. He had his own office by 1929. The following year, an exhibition of his work was held, which is said to have shown designs for everything from factories to commercial buildings to substantial residences. (see continuation sheet)					
	Locational sketch map (draw and label site and					
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecturex Arts & Leisure Economic/Industrial Exploration/Settlement Government Social/Education Social/Education Social/Education Social/Education Surrounding streets, roads, and prominent landmarks):					
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of Los Angeles Building Permits Southwest Builder & Contractor					
22.	Date form prepered 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270					
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CONTINUATION SHEET: 1070 Glendon Avenue

19. Significance:

Glendon Manor is representative of the multi-family residential component of the Janss plan. Designed as the support community for the University of California at Los Angeles, the Village was to provide services, entertainment, recreation, and additional residential units, because housing was quite limited on campus and the new site was fairly remote from established neighborhoods. The Janss Investment Corporation sought to provide housing for every socio-economic level. Accommodations ranged from dormitory space on the second floor of Holmby Hall and other retail buildings to courtyard apartments and various types of single family residences. The Village became self-sustaining. Glendon Manor is an example of an urban apartment building which probably accommodated faculty or students. The Spanish Colonial Revival style was the most popular style in Los Angeles in the 1920s and 30, and its elements (red tile roof, wrought iron decorations, arched openings, etc.) were heavily used by Janss in its creation of a "Mediterranean" flavor for the Village.



Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF FARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

			Ser. No.			
HABS_		HAER	. NR		SHL	Loc
UTM:	Α			8		
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IDENTIF 1.	COMMON name: 1000 and 1100	0 blocks of Glendon Avenue	
2.	Historic name:		
3.	Street or rural address: Multiple		
	City Los Angeles	Zip 90024 County Los Angeles	
4.	Parcel number: Multiple		
5.	Present Owner: Multiple	Address:	
	City	ZipOwnership is: PublicPrivateX	
6.	Present Use:	Original use:	

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Six buildings comprise the commercial district on Glendon Avenue. The majority of these complexes are of Mediterranean design, built of brick, capped with red clay tile roofs and incorporate a courtyard into an asymmetrical plane. A deliberate irregularity, an element of surprise, and a great deal of charm infuse these pedestrian environments. They are united not only in age, materials, style, design, and detailing, but also in scale, again an accommodation to the pedestrian

and to the ideal of an orientation to bays, and an explotown plan of the	of the "Village." Another comm corners, often acknowledged with pitation of the oddly-shaped lo village. Most buildings wer ants, and still do in a relativ	on ch circ ts re e int	paracteristic is cular towers and esulting from the cended to house
Attach Pho	oto(s) Here	8.	Construction date: 1929–1938 Estimated Factual X
See attached		9.	ArchitectSee continuation sheet
		10.	Builder See continuation sheet
		11.	Approx. property size (in feet) Frontage Depth or approx. acreage
		12.	
R 523 (Rev. 4/79)	163	-	

13.	Condition: ExcellentGood _X Fair Deteriorat	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	One of the first blocks in the Vill of Glendon is representative of the conceived by Edwin Janss. All are ranean" style; four have interior major role in the ambience of the Virespite from the street. Several Glendon, had popular alfresco din Encanto, Talk of the Town) which Other uses on the street were smal developer Guy Harrison was responsified by local architect Ray K	age to be developed, the 1100 block the original plan for the area as designed in the approved "Mediter-courtyards. Courtyards played a fillage, allowing pedestrians quite, including 1101 Glendon and 1129 ting establishments or tea rooms (E1
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/IndustrialExploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):
2 1,	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached
22.	Date form prepared	

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CONTINUATION SHEET: 1000 and 1100 blocks of Glendon Avenue

19. Significance:

who ran small specialty stores in the Village during its formative years. This block, with the two Mediterranean buildings immediately to the north and with the former Ralph's supermarket at Westwood and Lindbrook, are the best remaining examples of the Mediterranean tradition in the Village. The grouping retains a high degree of integrity and has continued its historic uses. The buildings on Glendon are significant as representatives of a special building type and also for their direct association with the initial development of Westwood Village.

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Westwood Village Specific Plan

Gruen Associates

NR: 5D

UTM: 11 366780 3769700

ADDRESS:

1071-73 Glendon Ave.

COMMON NAME:

Jurgensen Groceries/Moustache Cafe

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-020-002

PRESENT OWNER:

Sovereign Securities

1081 Westwood #231 Los Angeles, CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Spanish Colonial Revival design characterizes this one story commercial building. Sheathed in smooth, white stucco, the facade is capped by a gabled red clay tile roof. A small overhang shades the wood beams and stringcourse which delineate a frieze zone. The focal point of the composition is a large, flattened arch, elaborately ornamented, which frames the storefronts. An ornate iron grille fills the transom. Below, the storefronts have been altered. The building is in good condition.



NR: 51

UTM: 11 366780 3769660

ADDRESS:

1097 Glendon Ave.

COMMON NAME:

Charthouse Restaurant

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-020-001

PRESENT OWNER: Paramount Securities Corp.

1081 Westwood #231 Los Angeles, CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1938

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Located at the northwest corner of Glendon and Kinross, this one and two story brick building originally resembled those remaining on the 1100 block of Glendon. Although its brick construction, laid to resemble masonry, and corner orientation are still evident, most of the Mediterranean design has been obscured by wood siding and signage. An interior court has been incorporated into the restaurant now occupying the structure. Despite these changes, the building still hints at its original conformity to the Village ideal.



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NR:

UTM: 11 366780 3769640

ADDRESS:

1101-09 Glendon Ave.

COMMON NAME:

Haagen Daz/The Wurst/Westwood Dry Goods

HISTORIC NAME: El Encanto Restaurant/Fosters Antiques

PARCEL NUMBER:

PRESENT OWNER: Jan R. Chan Tr Chan Trust

880 Malcolm Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1931

ARCHITECT:

Howard H. Wells

BUILDER:

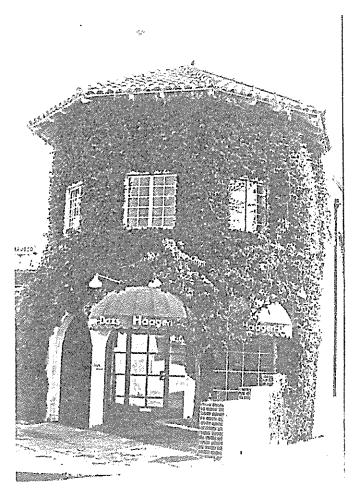
F.L. Froley

DESCRIPTION:

Another circular "tower", the third on the block bounded by Glendon, Kinross, Westwood, and Lindbrook, is the focal point for this one and two story complex of Mediterranean design. Built to house a cafe and stores massed around a courtyard, the brick and stucco structure is surmounted by mission tile hipped and gabled roofs. Heavy wood rafters detail the rooflines, and sturdy wood beams act as lintels for some of the openings. Other notable features include arched entries decorative ironwork and multi-paned display windows. Asymmetrically composed to respond to its site, the building, despite the apparent alteration of the courtyard, retains much of its original charm and anchors a nearly intact block of Old Westwood. Its romantic charm is heightened by the vines which have been allowed to grow over much of the building.

CONTINUATION SHEET: 1101-09 Glendon Avenue





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NR: 5D

UTM: 11 366780 3769620

ADDRESS:

1111-21 Glendon Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER:

4363-022-003

PRESENT OWNER:

chan Trust

880 Malcolm Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1936

ARCHITECT:

Unknown

BUILDER:

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Unknown

DESCRIPTION:

This one and two story stucco complex consists of two one story stores separated by a central path, and a two story structure at the rear of the path. Mission tile gable roofs cap the buildings. Multi-paned display windows flank the central opening. The rear has been remodeled in a compatible neo-Spanish Colonial Revival style.



NR: 5D

UTM: 11 366820 3769580

ADDRESS: 1129-37 Glendon Ave.

COMMON NAME: Morgan Company Jewelers

HISTORIC NAME: Talk of the Town

PARCEL NUMBER: 4363-022-016

PRESENT OWNER: Harrison Proeprties

1100 Glendon, #1407 Los:Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1933

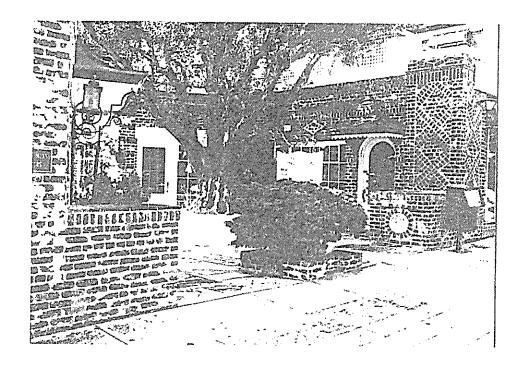
ARCHITECT: Ray Keiffer

BUILDER: Unknown

DESCRIPTION:

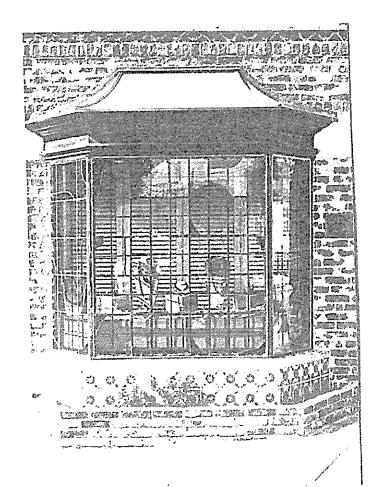
This one story Mediterranean courtyard complex of stores continues the architectural themes established in the 1139-51 Glendon building. Its brick construction is ornamented by cast stone lintels and medallions and by colored tile bases beneath the windows. The brick itself is treated creative to define X-patterned and rusticated piers, ornamental friezes, and decorative panels. A path paved with flagstones, angles its way through the irregular, U-shaped buildings, passing arched doorways, multi-paned display windows, and bays. Trees and shrubs in planters complement the architecture while iron and glass lanterns of various designs illuminate the space. In good condition and relatively unaltered, the building makes a strong contribution to the pedestrian ambience of the Village.

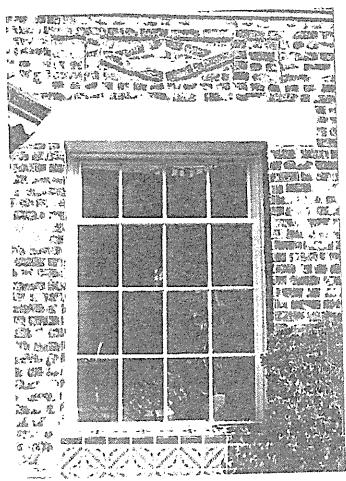
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CONTINUATION SHEET: 1129-37 Glendon Avenue





NR: SD.

11 366860 3769560 UTM:

ADDRESS:

1139-51 Glendon Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER:

4363-022-010

PRESENT OWNER: Harrison Properties

1100 Glendon #1407 Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1933

ARCHITECT:

N.A. Timmerman

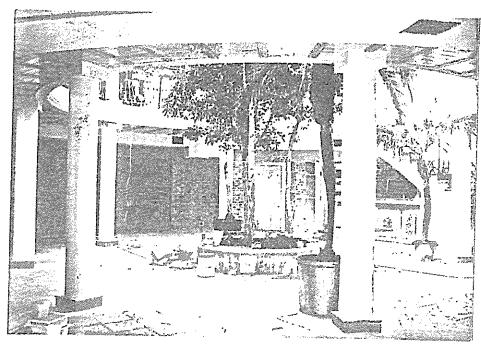
BUILDER:

Unknown

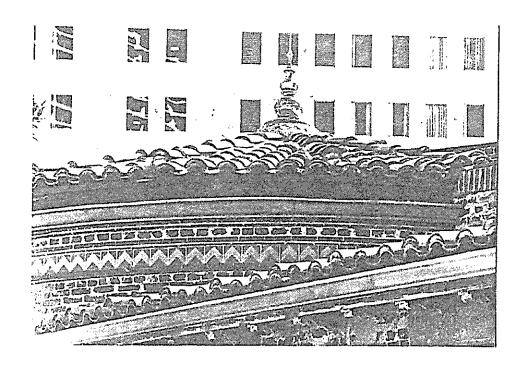
DESCRIPTION:

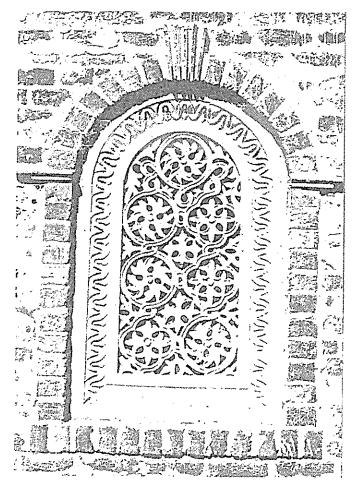
An outstanding example of the Mediterranean design that provided Westwood with its historic identity, this is a one and two story commercial building massed around a central, circular court. trapezoidal plan is a response to an irregular corner site. A broad circular bay anchors the corner and ties this complex visually to the similar bay and tower of the Ralph's building at the other end of the The bay is surmounted by a flattened conical roof of mission tile and an elaborately turned pinnacle. Hipped roofs of tile and shingle cap other portions of the building while the court is protected by a dome. Of brick construction, the building is enlivened by courses of soldier and angled bricks, tile insets, and cast stone Stylized Mediterranean elements derived from the vocabulary of the Italian Renaissance Revival, such as a rusticated and pedimented door surround and a keystoned arched opening filled with an ornately carved screen, are exploited. Other notable features include a small square tower on the south elevation, bay windows, and an interior circular colonnade. Although the building has experienced alterations, many have been integrated into the historic fabric. mains an important and integral component of traditional Westwood.





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State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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IDENTIF 1.	FICATION Common name:	Pottery Barn/Baskin Robbins/Popcorn Shoppe/Fame
2.	Historic name:	Shepard Mitchell Building
3.	Street or rural address:	10910-22 Kinross
	City	Los Angeles Zip 90024 County Los Angeles
4.		
5.	Present Owner:	Gavley Kinross Properties Address: 12233 Olympic #128
	City Los Angeles	Zip 90064 Ownership is: Public Private X
6.	Present Use: Retail	shops/apartments Original use: Retail shops/apartments

DESCRIPTION

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- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Churrigueresque ornamentation and a decorative tower distinguish the design of the one and two story. Spanish style, Shepard Mitchell Building. Of brick construction, with concrete floors and foundation, the structure occupies approximately one quarter of a square block and is sited at the southeast corner of Kinross and Gayley. Stucco, replaced by a roughly textured variant in 1972, sheathes the exterior, and clay tiles appear on the gable roofs. Retail uses occupy the lower story while residential space is located on the upper level. The principal (north) facade is divided into three, unequally-sized sections which step back progressively towards the corner. Two recessed entries, each topped by a scalloped arch set into a patterned frieze, frame the altered ground floor storefronts of the east and (see continuation sheet)



	8.	Construction date: 1930 Estimated FactualX
۵,	9,	Architect Morgan, Walls & Clement
1	10.	Builder Unknown
	11.	Approx. property size (in feet) Frontage Depth or approx. acreage
***************************************	12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15,	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	retail on the ground floor and apa	the second major building in the ous firm of Morgan, Walls, and high quality retail and entertainstruction. Erected at a cost of tended as a multi-use facility with rtments above. This conformed to
	within the confines of the commerc the periphery. The irregular ma	ssing of the building allowed the eetscape with the block long build-the Village. The firm used the
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270	
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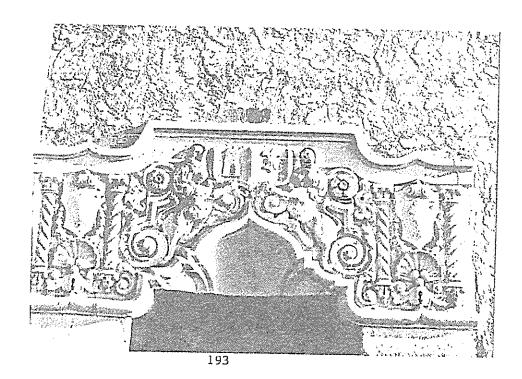
CONTINUATION SHEET: 10910-22 Kinross

7b. Description:

largest section. A band of corrugated material now separates the second story from the first. Two clusters of four casement windows, originally adorned with three balconets, pierce the upper story facade. The central section contains three lower story openings, all altered, beneath a shed roof, and three upper story casement windows, separated by decorated panels. Terminated by a chimney stack, the smallest (west) section consists of a single bay and is one story in A large arched opening which faces west retains its original outline, but other openings have been enclosed or altered. section acts as a transition to the series of one story storefronts which fill the Gayley elevation. Crowning the complex, the tower is set back and articulated with pinnacled pilasters. A focal point of the building, the tower acts as a visual link to other buildings in Westwood and contributes to the distinctive skyline of the area. Although altered, both recently and in the past (second story windows and roof tiles), the building retains enough of its original appearance to be evocative of historic Westwood. It is in good condition.

19. Significance:

quired by the Janss company during the formative years of Westwood's development. Among other examples of the firm's work in what was then the most popular style in Los Angeles are the Masonic Club (1929, see separate form), the El Capitan, Mayan, and Belasco Theatres (1926-29), the Hollywood Chamber of Commerce (1925), the Chapman and Chapman Park Buildings (1928), and Ralph's Supermarket (1927-28). The Shepard Mitchell Building continues to be a representative example of the Village's initial period of development, and retains much of its architectural integrity and its historic association with the area and a significant architectural firm.





Westwood Village Specific Plan

Gruen Associates

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC	RESOURCES	INVENTORY
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		Ser. No.		
HABS	HAER	NR ³	SHI	Loc
UTM: A	<u>HAER</u> 11 366820	· · · · · · · · · · · · · · · · · · ·	<u>-3</u> 769960 −	LOC
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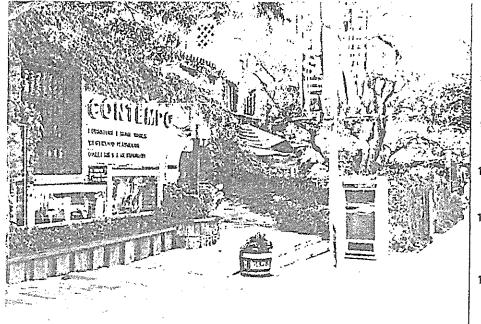
DENTIF 1.	ICATION Common name:	Contempo Center			
		UCLA Masonic Clubhous	e		
3.	Street or rural add	dress: 10886 Le Conte Ave	•		
	City Los Ange	eles	Zip 90024	County	Los Angeles
4.		4363-019-004 & 005			
5.	Present Owner:	Sisu,Inc		Address:	10886 Le Conte Ave.
	City Loso Ang				PrivateX
		wroom/restaurant/theat			

DESCRIPTION

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- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

An unusual and outstanding example of Spanish Colonial Revival design, the old Masonic Clubhouse is one of the landmarks of Westwood. Located on Le Conte facing the UCLA campus, the two story facility included an auditorium with a balcony, lounge, dining room, kitchen, study hall, library, and limited residential accommodations. It was converted into shops, a restaurant, and a theatre from 1973 to 1975. According to a 1929 report, the walls are constructed of gray "stone-tile to imitate stone with no plaster on the exterior or interior." More conventional mission tiles were used for the hipped and gabled roofs. A square tower, hallmark of the architects, dominates the asymmetrically massed building from its location set back on the west elevation. The facade spreads out in a modified U-plan and embraces a walled courtyard. (see continuation sheet)



8.	Construction date: 1929 Estimated Factual X
9.	ArchitectMorgan, Wall & Clements
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage 146 Depth 160 or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: Excellent X Good Fair Deteriorate	ted No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-up X
16.	Threats to site: None known Private developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	•	
	began to prepare working plans for University of California campus. To students and alumni who were part of two story building housed an assem lounge, study hall, library, confacilities. The construction was of and exterior, with a clay tile rothardwoods used through the interior An integral part of both the Univerwas one of the main points of inter	I firm of Morgan, Walls and Clement a Masonic Club adjacent to the new he building was to be used by those f that fraternal organization. The bly hall with stage and balcony, a ference rooms, kitchen and banquet f "stone tile" both on the interior of, glazed tile decoration, and . Cost was estimated at \$125,000. sity and the Village, the building action between the two. It served rty years. The building continues
		Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture Arts & Leisure	NORTH
٠	Economic/Industrial Exploration/Settlement Military Religion Social/Education 2	
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip Phone: (213) 937-4270	See attached.
	(b)	

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CONTINUATION SHEET: 10886 Le Conte Avenue

7b. Description:

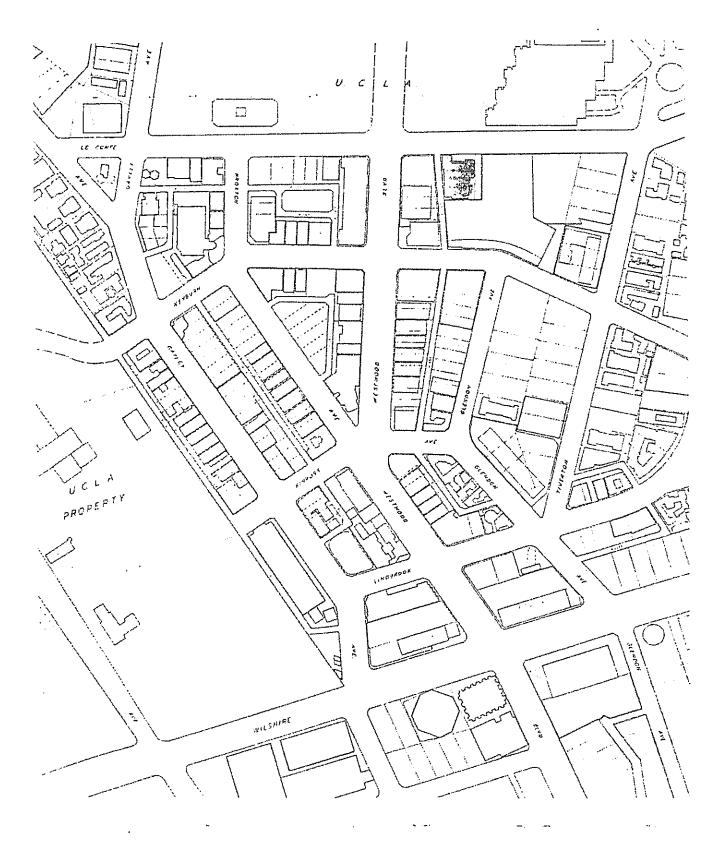
The whole gamut of typical Spanish style architectural devices was employed, restrained to complement the rather dignified design. Ornamental tiles with a rosette pattern band the tower in three tiers, broken on each side by pilaster-framed vents which incorporate a quatrefoil motif. A tripartite window on the south wing is set into an elaborate wood surround. Overlooking the patio, a three bay arcade contains glazed double doors and semi-circular transoms, and is embellished with impost moldings, turned wood columns, and decorative Above them, casement windows are separated by more pilasironwork. The centerpiece of the patio is a fountain in the shape of an eight point star covered in colorful Mexican or Malibu tile. Windows on the side elevations are enhanced by balconets and shutters. few alterations, including an iron crown on the fence, archway to the garden, and display cases, have been carefully harmonized with the original design. In excellent condition, the Contempo Center is enhanced by mature trees and vines such as wisteria which have been allowed to grow on the building, adding a romantic atmosphere in keeping with the architecture. Banners strung from the original flagpole in the forecourt act as a festive vertical accent to the building.

19. Significance:

to be a gather point in the Village due to its entertainment, restaurant, and gallery space, performing a function similar to the original use for an even wider audience.

The Masonic Club is the oldest and most intact example of "Village architecture" today. Careful landscaping and renovation have preserved the ambience of the courtyard structure, designed in the Spanish Colonial Revival style, an approved derivative of the original architectural guidelines instituted by the Janss Corporation, which necessitated a Mediterranean theme. It is significant due to its association with a noted architectural firm, its high degree of architectural integrity, and its historic cultural associations with university and the community.

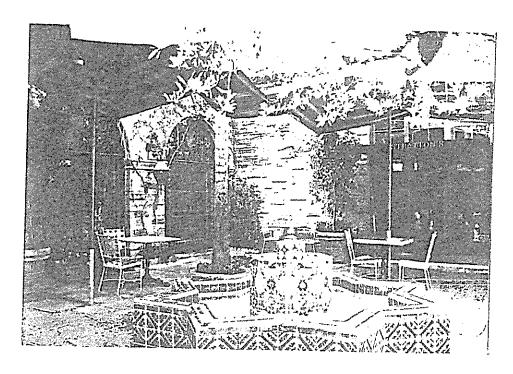
Octavius Morgan, J.A. Walls, and Stiles O. Clement were the principals of one of the most prestigious commercial architecture firms in Southern California. The firm's long history and its reputation for quality design and careful craftsmanship have made it one of the most honored in Los Angeles in the first forty years of the twentieth century. Stiles Clement is generally credited with much of the firm's design work of the 1920s and 30s. Educated at MIT, he worked with the Frank Meline Company before joining the firm of Morgan and Walls in 1923. Among the firm's most noted commissions are the Richfield Oil Building (1928-29), the Pelissicr Building (1930-31), and the Samson Tyre and Rubber Company (1929). The firm's fanciful and elaborate designs made it among the most popular in an age already given to flamboyance.

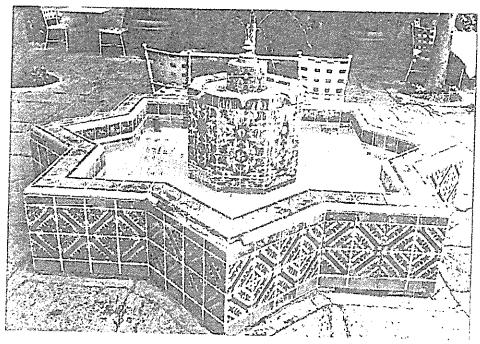


Westwood Village Specific Plan

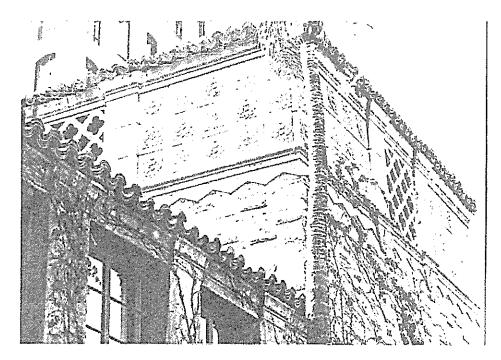
Gruen Associates

CONTINUATION SHEET: 10886 Le Conte Avenue

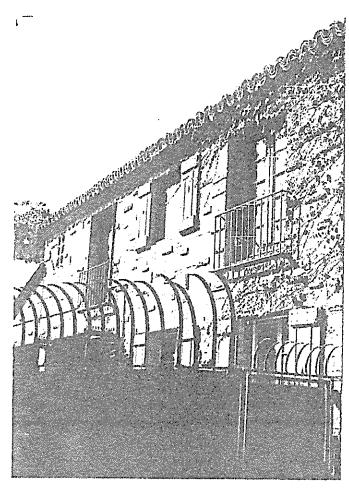




CONTINUATION SHEET: 10886 Le Conte Avenue



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State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

			Ser. No.		·	
HABS_		_ HAER	NR 51	2	. SHL	Loc
UTM:	Α	·		В		

6.	Present Use:			0	riginal use: _			
	City		Zip	·	Ownersh	ip is: Public	Private	X
5.	Present Owner:	Multiple			···········	Address:		
4.	Parcel number:	Multiple						-
	CityLos	Angeles		Zip_	90024	County	Los Angeles	· · · · · · · · · · · · · · · · · · ·
3.	Street or rural addr	ess: <u>Multiple</u>						
2.	Historic name:		······································					
1.	FICATION Common name:	South side o	f Lindbr	ook	Avenue			

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

This cluster of three apartment complexes acts as transition between the commercial Village, the single family neighborhoods to the east, and busy Wilshire Boulevard to the south. Its boundaries are determined by usage, age, and architectural character. A predominant use of stucco, red clay tile roofs, two story heights, and Hispanic styling provides a certain unity to the streetscape. This impression is reinforced by the adherence to a brief setback, marked by low garden walls of brick and stucco. Like many of the commercial buildings in the Village, courts are an important component of the plans of these buildings. Descriptions of individual buildings follow on continuation sheets.

9. Architect Facture See continuation	ai <u> </u>
See continuation	
10 Builder	n she
See continuation	n shee
11. Approx. property size (in:	feet)
Frontage Dept	
See continuation 11. Approx. property size (in	fee

13.	Condition: ExcellentGood _X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial Other:	Scattered buildings Densely built-up X
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
	NIFICANCE Briefly state historical and/or architectural importance (include	e dates, events, and persons associated with the site.)
	A grouping of three Spanish Colonia side of Lindbrook carry the Villag adjacent residential neighborhood. and 1938, all three may have serve body at UCLA. The units are an eas of the Village, and continue its landscaping and courtyard space, ar nal Janss concept for the Village. 10836-40, was built in two segments-1933, and an additional five units Angel, noted primarily for his deschools, two Methodist churches, (see continuation sheet)	ge's Mediterranean theme into the Designed and built between 1935 and to house the faculty or student by walk from the shopping district is thematic design in their use of a important component of the original. The first of the three, located at the original six unit building in in 1935. The architect was A.W. esigns of several local elementary
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached
22.	Date form prepared By (name) Organization Organization Office State Address: City Los Angeles Phone: City 11/27/85 Johnson Heumann for Gruen Associates C330 San Vicente Los Angeles Zip 90048 Phone:	
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CONTINUATION SHEET: South side of Lindbrook Avenue

19. Significance:

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The eight unit building at 10830 was designed by Fred Clark in 1936. Clark later built the multi-use complex at 10845-55 Lindbrook (see separate form). The \$90,000, 58 unit structure was designed by Max Maltzman, a southern California architect who built approximately one hundred Period Revival apartment houses in the Los Angeles area in the 1920s and 30s, as well as several synagogues.

NR: 5D

UTM: 11 367100 3769620

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ADDRESS:

10824 Lindbrook

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-003-003

PRESENT OWNER: Ronald J. Smerling et al

10950 Chalon Rd.

Los Angeles CA 90077

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1938

ARCHITECT:

Max Maltzman

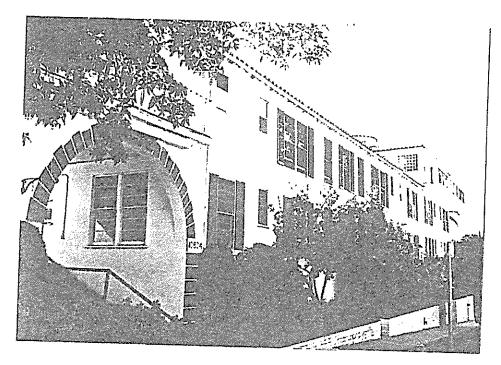
BUILDER:

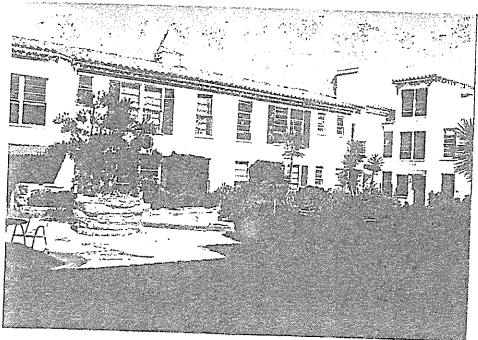
Unknown - - - -

DESCRIPTION:

A large two and three story apartment complex, this stucco over frame structure employs a version of Spanish Colonial Revival that is characteristic of the 1930s. The building, asymmetrically ordered, is organized around a central courtyard entered via a large archway. Hipped roofs of red clay tile surmount each section. Windows are primarily three-over-three double-hung sash, placed singly or in pairs, and often ornamented with shutters. Other distinctive features include a squat circular tower. Corbelled balconies and balconets with iron railings and a bracketed eaveline. No major alterations are apparent. Anchoring the west end of a sequence of multi-family revival styled dwellings, 10824 Lindbrook is a strong presence on the street. It is in fairly good condition.

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NR: 5D

UTM: 11 367040 3769600

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ADDRESS:

10830 Lindbrook Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-003-004

PRESENT OWNER: Ken Niles Co.

811 Devon Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1936

ARCHITECT:

Frederick N. Clark

BUILDER:

Ben N. Schiewe

DESCRIPTION:

Typical Spanish Colonial Revival elements determine the design of this two story, eight unit apartment building. Smooth stucco sheathes the frame structure, and a hipped roof of red clay tile caps the U-shaped composition. Dark wood rafters appear in the shallow eaves. Wooden brackets also punctuate small second story overhangs. Windows are mostly casement in type, asymmetrically placed, and occasionally adorned with shutters. Two brick chimneys, banded near the top by decorative panels with an "X" motif, accent the facade. They provide a visual link to the low brick retaining wall which surrounds the property. Complemented by foliage, the building remains largely unaltered and in good condition.



NR: 5D

UTM: 11 367020 3769580

ADDRESS:

10836-40 Lindbrook Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-003-006

PRESENT OWNER: Ken & Nadia Niles

811 Devon Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: Monterey Revival

CONSTRUCTION DATE: 1933

ARCHITECT:

A.W. Angel

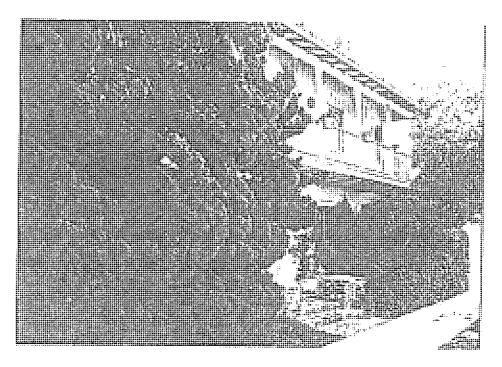
BUILDER:

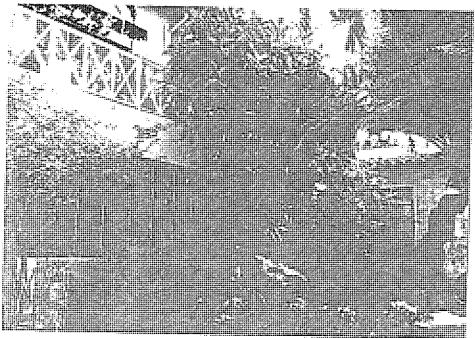
Ben N. Schiewe

DESCRIPTION:

Of the revival architectural imagery employed in the 1930s, the Monterey Revival was perhaps the most popular and thus most symptomatic of This meandering apartment building, loosely massed in an "L" shape around a central court, is a good and representative illustration of the idiom. Two stories in height, the Lindbrook facade is banded by a wood balcony, the trademark of the style. Shaped brackets support the balcony, which as a stick railing, punctuated by plain posts tied together by a beam. A bracketed tile roof overhangs the Board and batten siding, broken by large casement windows, sheathes this portion of the upper floor while most of the building is covered in stucco. A notable deviation occurs within the court where a one story brick wing encloses one side. Brick is also used for pathways, planter walls, and some walls below sill level. balcony, with an "X" patterned railing and large expanses of square paned sash are also featured in the court. Trees and shrubs enhance the building, which appears unaltered and in good condition.

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

		Ser. No.			
HABS	_ HAER	NR N	5	SHL	100
UTM: A	11 366980	3769600)B	. 0.,	LOC
C			D		

1551	
10EN [] 1.	FICATION Common name: Chans Garden/Paul Bhalla
2.	Historic name: <u>Unknown</u>
3.	Street or rural address: 19845-55 Lindbrook Ave.
	City Los Angeles Zip 90024 County Los Angeles
4.	Parcel number: 4360-002-015
5.	Present Owner: Werner & Alexandra Scharff Address: 8680 Hayden Pl.
	City Culver City Zip 90230 Ownership is: Public Private X
6.	Present Use: Retail shops/offices Original use: Retail shops/offices
DESCRI	PTION

7a. Architectural style: Mediterranean

7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Somewhat isolated on the north side of Lindbrook Avenue, this one and two story brick Mediterranean commercial structure incorporates a courtyard characteristic of many of the Village buildings. The taller, eastern section of the structure is capped by a hipped and gabled red clay tilc roof. Shaped brackets punctuate the eaves. Stringcourses separate the taller ground floor from the second story. Casement windows, loosely grouped in ones, twos, and threes, rest on the stringcourse. The street level frontage has been altered to accommodate the entrance to an Indian restaurant, an onion-domed corbelled arch. Crested by an orb, a glazed, three-sided bay is original. An iron balcony surmounts the flattermarch opening which leads to the court where a rear staircase leads to additional balconies on either (see continuation sheet)

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8.	Construction date: 1938 Estimated Factual X
9.	Architect Frederick N. Clark
10.	Builder George M, Holstein
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGoodX Fair Deteriorat	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	***************************************
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	<u></u>
	Situated in the southeast section of structure is the only remnant of the ing on its block. Displaying the leterized most of the low scale community the building was intended for store. The interior courtyard is intact, moved from the street. The const \$40,000. It was designed by Fre Spanish Colonial Revival apartment employed the same detailing on the signature. The use of brick as a becohesion and highlights its proximit (see continuation sheet)	f the Village, this brick courtyard e original Village concept remain-Mediterranean styling which characercial establishments prior to 940, s, offices, and residential use. providing second floor access reruction of the complex in 1938 was derick N. Clark, architect of a at 10830 Lindbrook Avenue. Clark chimneys of both buildings as his
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of Los Angeles Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270	

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CONTINUATION SHEET: 10945-55 Lindbrook

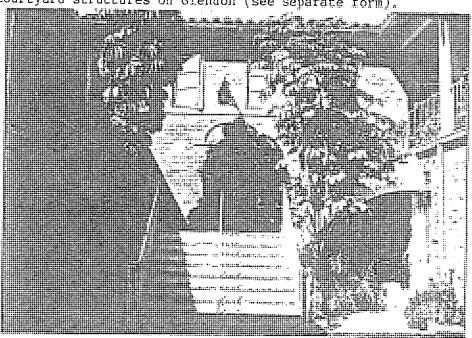
7b. Description:

side. Accenting the building, a miniature tower at the west end is banded by X-patterned plaques, a signature of the architect, and surmounted by an orb. The one story, western section echoes the hipped and gabled tile roof treatment, and is also ornamented with shaped brackets and has brick bond on the side elevation. Now divided into two storefronts, the facade contains a large, fifteen-light sash and two recessed doorways. Other than minor alterations, the building is intact and in good condition.

19. Significance:

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Ralph's market at Lindbrook and Westwood Boulevard, and the grouping of brick courtyard structures on Glendon (see separate form).







Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

			Ser. No.			
HABS_	Н	AER	NR =	5D	SHI	loc
UTM:	Α			В	J	
	c			D_		

IDENTI	FICATION		L				
1.	Common name:	1000 Block of	Tivert	on Avenue			
2.	Historic name:						
3.	Street or rural address:	Multiple	····				
	City	Los Angeles	Zip	90024	County	Los Angeles	
4.	Parcel number:	Multiple					
5.	Present Owner:	Multiple			Address:		·
	City						
6.	Present Use:			_Original use:			
SECORIE							

DESCRIPTION

- See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

The 1000 block of Tiverton, including the northeast corner of Tiverton and Weyburn, is composed of five apartment buildings designed in complementary styles and materials. Most are two stories in height,

with the three story Clare the buildings are located o lots filling the west wide Tiverton is now broken by apartments, where a condom quiet shady street, with part of a buffer zone betw family neighborhoods to the the block provides a visual	n the east side of the sof the block. Once a to two empty lots on the si inium development will so parkway and landscaped een the commercial Villa east. In terms of arc	stre tal te soon lo ge shit	et with parking ly intact block, of the El Greco be underway. A ts, Tiverton is and the single ecture, as well
Attach Photo(s) Here		8.9.10.	Construction date: 1929–1940 Estimated Factual X Architect See continuation sheets Builder See continuation sheets
·		11. 12.	Approx. property size (in feet) Frontage Depth or approx. acreage Date(s) of enclosed photograph(s) 1985
PR 523 (Rev. 4/79)	229		1.700

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence	
14.	Alterations:	
15,	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-upX Residential X Industrial Commercial Other:	
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:	
17.	Is the structure: On its original site? X Moved? Unknown?	
18.	Related features:	
SIGI 19.	IFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)	
	The original plan for Westwood Village included a multi-family residential component designed to house students and faculty for the nearby University of California at Los Angeles. The plan was to create neighborhoods of apartments which would serve as a transition from the commercial district to the single family residences to the east. The winding streets followed configurations previously established by shallow canyons or arroyos. Design guidelines included cost minimums and general stylistic requirements. The five apartment buildings on Tiverton represent the type of housing and streetscape that resulted from those guidelines. The oldest of the group are two Spanish Colonial Revival apartment complexes located at 1016 of 1022. Both use the Mediterranean stylistic components required during the (see continuation sheet)	
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	6-1m-1
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name)	
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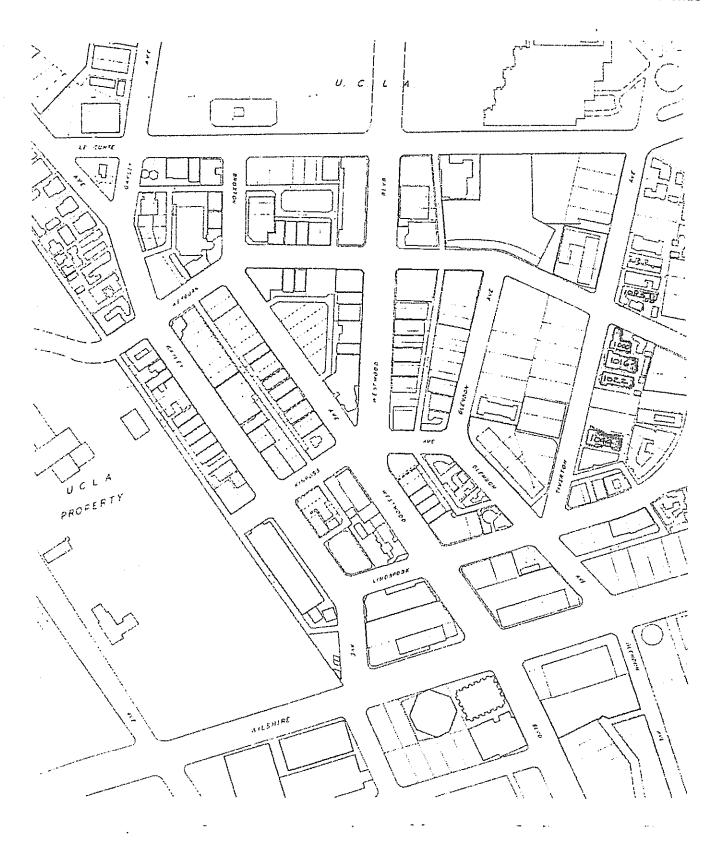
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CONTINUATION SHEET: 1000 block of Tiverton Avenue

19. Significance:

initial years of Village development: red tile, plain stucco walls, wrought iron ornament, arched openings, and glazed tile. Both were constructed in 1929 at a cost of \$33,000. 1016 contains 12 units; 1022 was designed by P.P. Lewis, resident architect for the Janss corporation, developers of Westwood Village and the surrounding residential area. Other Lewis commissions in the area include the Fox Westwood Village Theatre and a retail establishment at 1015 Gayley. The original Spanish Colonial Revival grouping also included the El Greco apartments by Pierpont Davis, since removed from its site. Another Spanish Colonial Revival structure was built on a corner site at 10851 Weyburn (on the northeast corner of Tiverton) in This one story structure uses brick, as do many of the Village's commercial buildings, and is beautifully integrated onto its site. An American Colonial Revival complex was added in 1938, and a three story Moderne apartment/hotel in 1940. Together, they create a pleasant streetscape, nicely landscaped and compatible in size and scale. The Tiverton residential grouping is representative of one component of the Janss plan, retaining a high degree of architectural integrity and association with its original use.



Westwood Village Specific Plan

Gruen Associates

NR:

UTM: 11 366940 3769760

ADDRESS:

1000-04 Tiverton Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-002-001

PRESENT OWNER: Charles B. Olerich

1227 Sierra Alta Wy.

Los Angeles CA 90046

ARCHITECTURAL STYLE: American Colonial Revival

CONSTRUCTION DATE: 1938

ARCHITECT:

Unknown

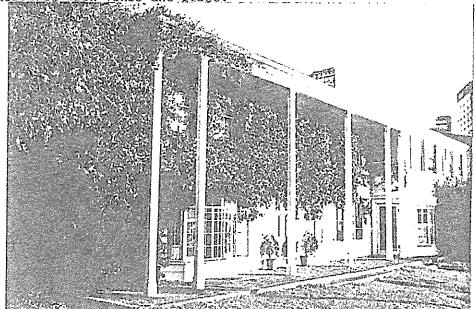
BUILDER:

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Unknown

DESCRIPTION:

The Colonial Revival style of the 1930s, attenuated, flattened, and reduced to certain signature details, appears in this two story apartment building. Clad in overlap siding, the L-shaped structure is capped by a low-hipped roof. Secondary materials include brick, used to pave the veranda, and wood shutters which adorn some of the multipaned windows. Characteristic features are the verandas, recessed across most of the facade and defined by slender, chamfered, two story columns, three-sided bay windows, and the paneled front door. major alterations were noted. In good condition, the building is lushly landscaped with vines and grass.



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NR:

UTM: 11 366940 3769740

ADDRESS:

1016 Tiverton Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-002-002

PRESENT OWNER:

James M & Dorothy K Fox

201 Ocean Ave. 1008P Santa MOnica CA 90402

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

Brokaw & Tufts

BUILDER:

Unknown.

DESCRIPTION:

This two story Mediterranean style apartment is designed by resemble a large single family home. Of frame construction, the building is sheathed in stucco and capped by a tiled, low hip roof. Wooden brackets ornament the overhanging eaves. Arranged alone or in clusters, the numerous openings of different sizes and shapes fill the balanced buy asymmetrical rectangular facade. Five bays are defined on the lower story. In the center, the entry is recessed behind a two bay arcade detailed with archivolts and impost moldings. To the left (north) a group of three unadorned casements fill the penultimate bay, and a single large arched opening spans the driveway to form a porte cochere in the north bay. A single small opening, screened by an ornamental grille flanks the entry on the right, followed by a fullsized, multi-paned window within a Classical surround in the south Four bays are articulated on the upper story. Three double casements occupy the south bay. Over the entry, a second arcade, consisting of seven small arches rising from colonettes, defines a balcony. Another balcony, iron-railed and supported by shaped brackets, fronts the four full-length casements north of the center. A single opening tops the porte cochere. Entered via a short flight of steps leading to an open porch, the building appears unaltered. It is in good condition.

CONTINUATION SHEET: 1016 Tiverton Avenue



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NR:

UTM: 11 366940 3769720

ADDRESS:

1022-26 Tiverton Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4360-002-003

PRESENT OWNER: Eugene & Cecilia Hoffmann

1211 Cortez Dr. Glendale CA 91207

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

P.P. Lewis

BUILDER:

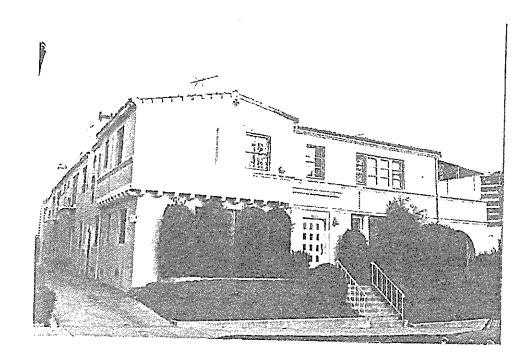
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Unknown

DESCRIPTION:

Sited on a slightly elevated lot behind a small setback, this is a two story, Spanish, apartment building. The fourteen unit structure is asymmetrical in appearance, with stuccoed walls and red clay tile gable roofs. Stringcourses define a wide band between stories, interrupted on the north wing by the corbelled overhang of the second floor. Next to the projecting north wing, the entry is located in the approximate center of the facade. It has a rusticated frame topped by a denticulated entablature. A tripartite window south of the entry is distinguished by attached Tuscan columns which act as muntins. At the south end of the facade, a large arched aperture, adorned with decorative ironwork, is surmounted by a balcony, to which a patio roof has been added. Windows are predominantly casement in type, and either doubled or banded. In good condition, the building has no apparent major alterations.

CONTINUATION SHEET: 1022-26 Tiverton Avenue



NR:

UTM: 11 366920 3769620

ADDRESS:

1044 Tiverton Ave.

COMMON NAME:

Claremont Hotel

HISTORIC NAME: Claremont Hotel

PARCEL NUMBER:

4360-002-006

PRESENT OWNER:

MFQ Investment Inc.

1044 Tiverton Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Moderne

CONSTRUCTION DATE: 1940

ARCHITECT:

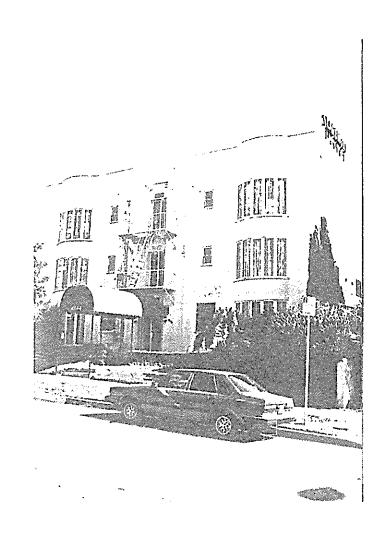
Unknown

BUILDER:

Unknown

DESCRIPTION:

The influences of the Art Deco enlivens the design of this three story, concrete, hotel. Sheathed in stucco, the building has a flat Two three story rounded bays frame the five bay facade. Bands of tall and narrow ten-light casements completely glaze each level of these bays. Also raised, the central bay is squared and contains the re-glazed entry and french doors opening onto ornamental iron fire The doors are set within stepped flat arches. escape balconies. Double-hung sash, extremely small on the upper stories, appear in the interim bays. A small setback planted in lawn and shrubbery is bisected by a cement path, covered by an awing, leading to an open porch. A neon sign proclaiming the name of the hotel in the manner made popular in the 1920s is on the roof. No major alterations were noted, and the building is in good condition.



NR: 5D

UTM: 11 366940 3769800

ADDRESS:

10851 Weyburn Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4360-001-007

PRESENT OWNER:

John M. & Agatha S. Hamner

10851 Weyburn Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1934

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Located at the northeast corner of Weyburn and Tiverton, this story Mediterranean apartment building is related in style and material to the commercial buildings a block away. U-shaped, of brick construction with prominent white pointing, the structure is surmounted by a mission tile roof accented by a tower-like chimney. The entry is located on Weyburn and is elevated above street level by a half-flight of stairs. A brick and stucco wall borders the stairs "Rusticated" brick, formed by recessing and the terraced landing. every fifth course, flank the archway which open from the landing and leads to an interior court. Notable features include raised brick window and floor level sills, shutters, casement windows, and iron and glass lanterns. Attractive and well-maintained, the building appears unaltered.

CONTINUATION SHEET: 10851 Weyburn Avenue



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

			Ser. No.			
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UTM:	А	11 36668	<u> </u>	В	SHL 7369900	CUL
	С			D		

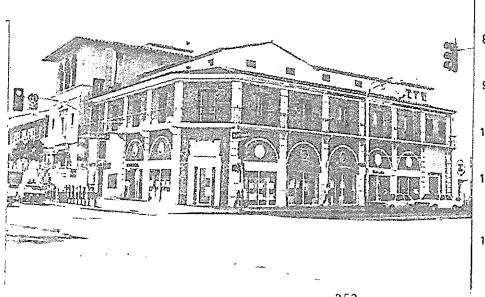
	[
IDENTII 1.	IFICATION . Common name: Holmby Building		
2.	. Historic name: <u>Holmby Hall</u>		
3.	. Street or rural address: 901-51 Westwood Blvd.		
	City Los Angeles Zip	90024 County I	ossAngeles
4.	. Parcel number: <u>4363-018-001</u>		
5.	Present Owner: Mary A. Bing Trust	Address: <u>97</u>	'00 Pico Blvd.
	City Los Angeles Zip 9002	Ownership is: Public	Private X
6.	Present Use: <u>Retail shops/offices</u> Or	ginal use: <u>Retail shops</u> /	dormitory

DESCRIPTION

- 7a. Architectural style: Mediterranean
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Holmby Hall occupies the entire west side of Westwood Boulevard between Le Conte and Weyburn Avenues. Although constructed as one building, it was designed to look like five separate buildings, different but in complementary Mediterranean Revival styles. Slight variations in setback and cornice lines and alternating two and three story heights contribute to the illusion. Anchoring the south end of the block, a clock tower rises approximately five stories into the air.

At the north end of the block, 901-909 Westwood/10904-10914 Le Conte is two stories with a penthouse set back behind a tiled pent roof. (see continuation sheet)



8.	Construction date: 1929 Estimated Factual _X
9.	Architect
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage 300 Depth 90 or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood _X Fair Deteriorat	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land ResidentialIndustrialCommercial X Other:	
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19,	RFICANCE Briefly state historical and/or architectural importance (include	e dates, events, and persons associated with the site.)
	complex with its elegant corner c the look of a series of small disti six buildings constructed after pla Holmby Hall, as it was known, serve ty. First was its use as a retail attracting a series of high quality office and dormitory space for st	t Gordon Kaufmann, the block long lock tower is designed to simulate nctive shops. One of the initial ns for the Village were determined, d several functions in the communicenter, with its ground floor shops retailers. In addition, there was udents on the second floor. The to the university campus made it a
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21,	Sources (List books, documents, surveys, personal interviews and their dates). Los:Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente Blvd. City Los Angeles Zip 90048 Phone: (213) 937-4270	

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CONTINUATION SHEET: 901-51 Westwood Boulevard

7b. Description:

Originally stuccoed, the building (except the penthouse) is now exposed brick. Rusticated pilasters divide the north (Le Conte) elevation into six equally-sized bays while the east (Westwood) facade contains four identical bays. Like most of the older buildings in Westwood, Holmby Hall makes a gesture towards the corner, but in this case position an additional bay at an angle. Although altered, the street level retains a strong sense of the original design of shallow arches over glazed entries land display windows. Blind roundels punctuate the arches, replacing small, shuttered windows. Above the ground floors, shaped brackets support a small, iron-railed overhang. Behind it, paired full-size casement windows are centered in each bay. At one time, both these openings and the small windows in the penthouse bays were adorned with shutters, the pent roof punctuated with large urns. A gabled tile roof surmounts the penthouse. The west bay on the north elevation received a different treatment, with a pedimented entry on the ground floor and a pair of small windows on the second floor and probably let to the dormitory accommodations on the upper levels.

913-21 Westwood is an elegant, three story, Mediterranean composition with strong Italian Renaissance influences. Stucco sheathes the structure, which has a hipped tile roof with bracketed overhangs. Now under renovation, the street level originally contained three bays, divided by pinnacle-capped pilasters. Broken pediments adorned the display windows in the side bays, and a recessed entry occupied the central bay. Above a cornice (now removed), the second story remains largely as it was designed (with the exception of re-glazed windows). It is dominated by a central openings with a classical surround and entablature. Small square windows, once decoratively screened, are equally spaced to each side. Two stringcourses separate the third from the second floor, where a vaulted balcony fronted by a three-bay arcade supported on delicate Ionic Columns crowns the facade.

923-35 Westwood presents a two story, stucco facade of six storefronts to the street. The original flat-headed openings with small windows above them have been replaced by tall arched and glazed apertures on the ground floor. Beneath the overhang of a gabled tile roof, the second story contains a loggia which stretches across the entire facade. Divided by slender columns into bays, the space has been enclosed by glass.

937-41 Westwood echoes the vertical proportions of 913-21. Its two story facade was divided into a tall, strongly rusticated "base" and a smaller, more delicately finished "attic," suggesting an Italian palazzo. Although the details of the lower story design have vanished, its tripartite organization with a dominant central opening has been retained. A denticulated cornice bands the facade over the lower floor and acts as a sill for the recessed windows above it. Pilasters articulate the bay divisions. A plain frieze and bracketed leaves terminate the design.

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The clock tower building at 943-51 Westwood/10901-09 Weyburn culminates Holmby Hall. Hexagonal in shape and striped by pilasters, the tower tapers as it rises to its cone-shaped cap. Above the base, in which three ground floor openings have been altered, the shaft contains windows at the second floor level, two of which have corbelled sills and pediments. Stringcourses, intricately patterned screens, and a balustrade on corbels ring the tower, below a first setback. Clocks on four faces appear just below a denticulated cornice. nacles and a second set back announce the crown of the tower, which has been a landmark in the Village since it was completed. Two story, stucco-sheathed wings extend from the tower along each street. tiled pent roof once dotted with urns caps the ground floor projection, and a tiled gable tops the upper story. The original four bay division of the Westwood frontage has been repeated on Weyburn. of the storefronts are altered, and the upper story casements have been replaced and their shutters and balconets removed.

Despite the changes that have occurred, Holmby Hall preserves most of its architectural integrity. Its most prominent element, the tower, remains almost unchanged, as do much of the second and third floors of the remainder of the block. The architects vision of a multi-use, relatively massed and complexly designed building is still apparent fifty-five years after construction.

19. Significance:

Kaufmann's elaborate design was carefully scaled to preserve the "village" atmosphere. Each storefront was individual, yet the unity of the aggregate was retained. It is Kaufmann's most prestigious commission in the Village, although he did design several other buildings (1061 and 1059 Broxton, 10935 Weyburn) for the Janss Corporation. Kaufmann's interpretation of the design guidelines set the standard for development during the community's formative years. The complex, and its distinctive tower became an instant landmark.

The architect's other work includes the Athenaeum and dormitories at the California Institute of Technology (1930), Denison Library at Scripps College (1930), and the Los Angeles Times-Mirror Building (1931-35). The Holmby Building retains most of its overall massing and architectural integrity. It is one of the oldest and most historically significant buildings in the Village and continues to play a prominent role in the character of the street. In addition, it is one of Kaufmann's most significant commissions.

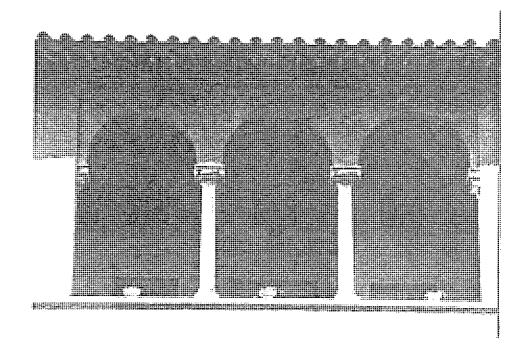


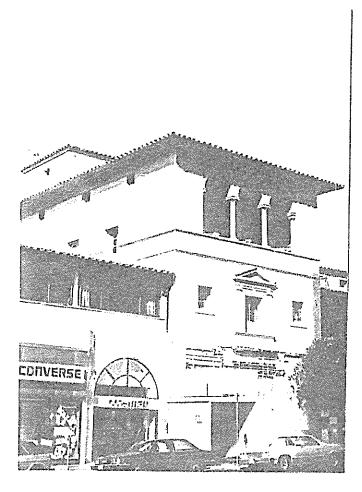
Westwood Village Specific Plan

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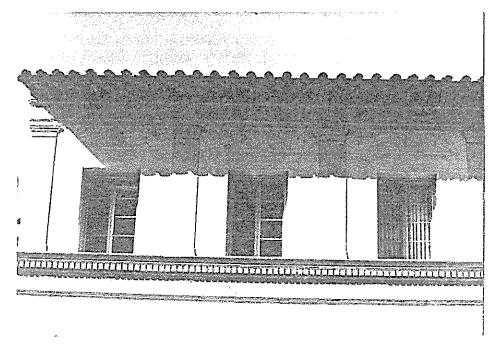




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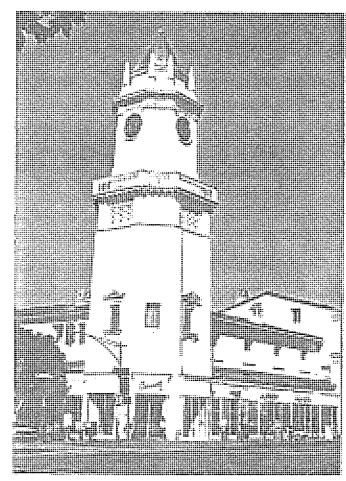
CONTINUATION SHEET: 901-51 Westwood Boulevard

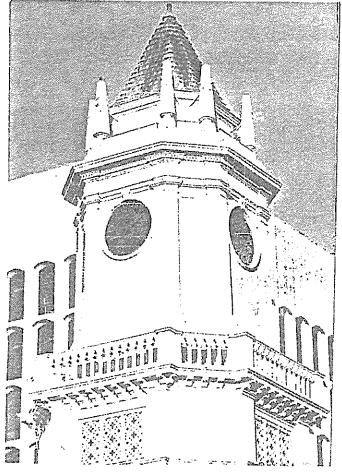






CONTINUATION SHEET: 901-51 Westwood Boulevard





State of Colifornia — The Resources in surey DEPARTMENT OF PARKS AND FECHE ALLON

HISTORIC RESOURCES INVENTORY

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DENTIF	ICATION	1000 and 1100 blo	ocks of	Westwood Bo	ulevard		
2.	Historic name:						
3.	Street or rural addre	ss: <u>Multiple</u>					
	City	Los Angeles	Zip	90024	County	Los Angeles	
4.	Parcel number:	Multiple			·		
5.	Present Owner:	Multiple	·····		Address:_		
6.	Present Use:			_Original use:			

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

The main street of the Village, Mestwood Boulevard from Lindbrook to the UCLA at Le Conte, retains a strong sense of its historic appearance despite recent intrusions and street level alterations. In the course of these three blocks, thirteen buildings contribute to the street's historic and architectural character. Four of these buildings are particularly distinguished in their architecture and integrity and act as landmarks on the street; these are documented separately. The remaining nine buildings, anchored at the north end by the original Westwood Bullock's and Desmond's stores at either side of the Weyburn intersection, are generally designed in the approved Mediterranean Revival styles. Most are two stories and sheathed in stucco, and several tile roofs remain as well. Although street level alterations (see continuation sheet)



DPR 523 (Rev. 4/79)

8.	Construction date: 1929–1940 Estimated Factual X
9.	ArchitectSee continuation sheets
10.	BuilderSee continuation sheets
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGoodX_Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial X Other:	
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
Westwood Boulevard has historically functioned as the major artery linking Wilshire Boulevard and the UCLA campus. Its development by the Janss Corporation as a specialty retail center was most critical to the developer's plans for the ancillary avenues. Anchored on the north by Holmby Hall and on the south by Ralph's supermarket (see 901-51 and 1142-54 Westwood Boulevard, respectively, the shopping district was to be the best suburban retail area in Los Angeles. To that end, Janss set out to recruit branches of quality retail establishments such as Desmond's Mens Wear and Bullock's Department Store. The development company retained the land and hired major architects to design the structures. The southeast and southwest corners of Westwood Boulevard and Weyburn were both designed by the firm of John (see continuation sheet)		
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of Los Angeles Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared	-

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7. Description:

are universal, many upper stories retain elements of their original designs. The most substantial intrusions to the district occupies the entire streetface between Lindbrook and Kinross and is not within the district boundaries.

In addition to its architectural character, Westwood Boulevard is notable for its distinctive urban features. Two blocks north of Wilshire, Westwood angles to the east, providing a vista of the domed Janss Building and the tower of the Fox Theatre. Then the Holmby Building clock tower comes into view heralding the transition from Village to University. A broad street, Westwood has a landscaped island along its entire distance within the Village. The island was made smaller when additional traffic lanes were laid out. Nonetheless, palms still accent the island. Another casualty has been the original post top street lights, now replaced with cobra lamps. Street trees on the side walks, and a "pocket park" at the Janss Building also contribute to the quality of the street.

19. Significance:

and Donald Parkinson for Desmond's (1101) and Bullock's (1100). After successful completion of Bullock's Wilshire (1928), Parkinsons were much in demand. They designed the corner structures in the Spanish Colonial Revival style, as anchors to a row of "Mediterranean" specialty stores. This choice adhered to the design guidelines instituted by Janss at the inception of the Village. Desmond's was among the first half-dozen buildings to be completed in the area, at a cost of \$50,000. The second story balcony served as platform for ceremonies marking the first anniversary of the Village. Bullock's store was completed in 1932 at a cost of \$45,000. was extensively remodelled by R.H. Crawford in 1940, its styling becoming Georgian and its floor area doubled. The Parkinsons remodelled the Bullock's facility in 1940 also, but it retained a modified version of its original Mediterranean styling. 1030, a two story brick store designed by Nordstrom and Anderson, was added in 1931. The rest of the block was developed with a mixture of small Mediterranean and French Regency Revival stores after 1935. Gordon Kaufmann, architect of Holmby Hall, designed the stores at 1056 in 1936.

In the 1100 block, gateway to the Village, the eastern side of the street was constructed to complement Ralph's. Allen Siple designed a rather plain Mediterranean structure for the north corner in 1934. Like most other corners in the Village, it has pedestrian entrance on both streets, designed to accommodate the shopper. Two smaller structures, contiguous to Ralph's at the southern end of the block were constructed in 1929. Both were stores with four unit apartments on the second level. This concept was designed to give the Village twenty-four hour usage. H.E. Weaver designed 1130 at a cost of \$18,000. Roland Coate, a prominent architect known primarily for his stylish residential work and a former associate of Gordon Kaufmann

designed 1136. This building became an extension of Ralph's, housing a Van de Kamp's Bakery and the Village Fruit Company.

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While many of the structures have been altered, the main street of Westwood Village retains its unity in size and scale. As the epicenter of the era, it continues to serve the community in much the same way that Janss envisioned. The landscaping lends prominence to the streetscape.



Westwood Village Specific Plan

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Gruen Associates

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NR: 5D

UTM: 11 366720 3769840

ADDRESS: 1000-10 Westwood Blvd.

COMMON NAME: Brite/Hunters Books

HISTORIC NAME: Bullocks Department Store

PARCEL NUMBER: 4363-018-025

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1932

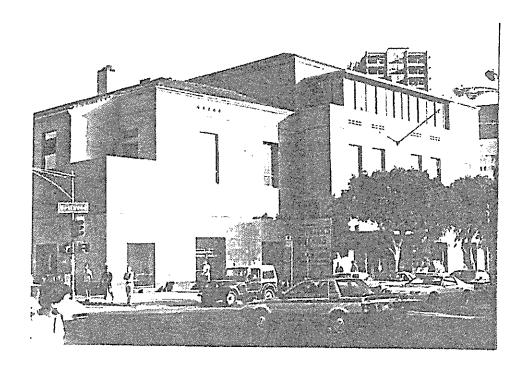
ARCHITECT: J. & D. Parkinson

BUILDER: Unknown

DESCRIPTION:

The historic Bullock's Westwood building is located at the southeast corner of Westwood and Weyburn, across the street from the present Composed of a series of cubic volumes capped by tiled, shallowly hipped roofs, the building is of stucco over brick construction. When viewed from Westwood Blvd., the building steps back in three The largest section is at the south end, and is three increments. stories tall. Beneath a stringcourse, the ground floor contains a recessed entry and two display windows; above it the second floor features four windows. All of the openings have been re-glazed, and balconies removed from those on the second floor. Stringcourses and decorative vents band the building above the second floor. roof once extended over a balcony on the third floor; the roof has been cut off and the balcony enclosed with glass. Two story and one story sections containing two and one window per level respectively are recessed to the north. Originally, the one story wing angled across the corner and extended across this portion of the facade. was capped by a small garden. The building is in fairly good--if altered--condition.

CONTINUATION SHEET: 1000-10 Westwood Boulevard



NR: 5D

UTM: 11 366680 3769840

ADDRESS:

1001 Westwood Blvd.

COMMON NAME:

At Ease

HISTORIC NAME: Desmonds

PARCEL NUMBER: 4363-018-026

PRESENT OWNER:

Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1931

ARCHITECT:

J & D Parkinson

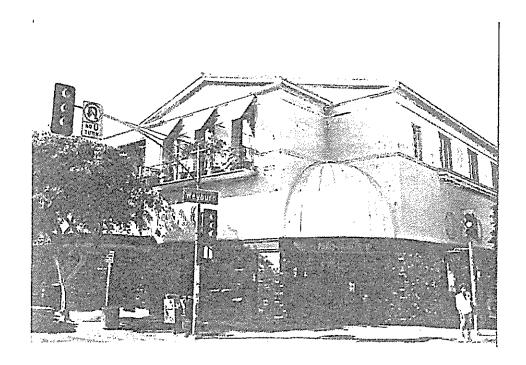
BUILDER:

Unknown

DESCRIPTION:

The former Desmond's Store building began its life as a two story, Spanish Colonial Revival building with three bays on Westwood and seven bays on Weyburn. In 1940, the stucco sheathed brick structure was strengthened, enlarged with a three bay, reinforced concrete addition to the south, and re-designed into a smart, neo-Georgian Subsequent renovations have resulted in alterations in materials, entrances, and detailing, principally on the lower floor. The major architectural features, including tiled, low-pitched gables, molded pediment, frieze board and stringcourse, double casement windows and balconies realized with iron railings and supports, are still intact. Like other stores in Los Angeles, Desmonds had a second major entry, off a rear parking lot. This is still protected by a streamlined canopy dating from 1940. And typically of Westwood, an angled one story bay (to which a concrete awning has been added) acknowledges the corner.

CONTINUATION SHEET: 1001 Westwood Boulevard



NR: 5D

UTM: 11 366680 3769760

ADDRESS:

1029 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-018-029

PRESENT OWNER: Paramount Securities

1081 Westwood #231

Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1938 A. T. 1938

ARCHITECT:

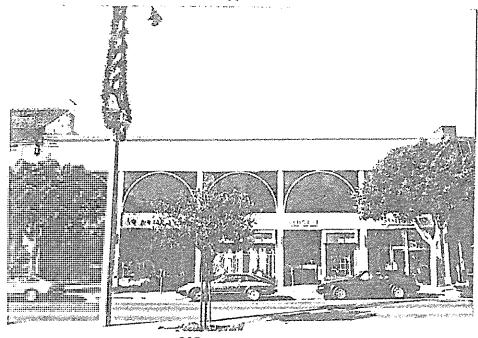
Unknown

BUILDER:

Unknown

DESCRIPTION:

Although little remains of the original design of this one story commercial building, it is compatible in material and form with the Mediterranean theme of Westwood. The facade of the building is almost entirely glazed and consists of five storefronts with arches indicated on the large transoms over them. Slender piers articulate the bays and rise to a plain architrave and frieze and a molded cornice. roof of the stucco finished structure appears to be flat.



NR:

UTM: 11 366720 3769760

ADDRESS:

1030 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-020-008

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1931

ARCHITECT:

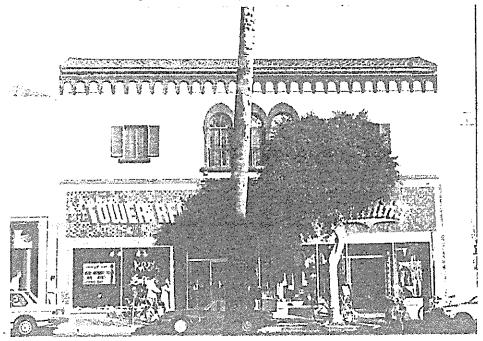
Nordstrom & Anderson

BUILDER:

H.U. Baum Co.

DESCRIPTION:

A slightly Moorish variation on the Mediterranean theme is introduced by the detailing of this two story commercial building. Built of brick, the structure's stucco facade is intact over the re-glazed and re-sided street level. Three arched windows, with linked pointed arch surrouands, a continuous corbelled sill, and iron balconets are the centerpiece of the second story. They are flanked by small casement windows framed by shutters. A course of arched corbelling marks the cornice above which a side gable roof caps the facade.



NR:

UTM: 11 366720 3769720

ADDRESS:

1046 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4363-020-009

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: French Regency

CONSTRUCTION DATE: 1940

ARCHITECT:

Unknown

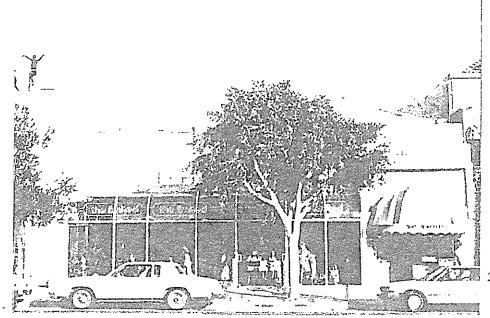
BUILDER:

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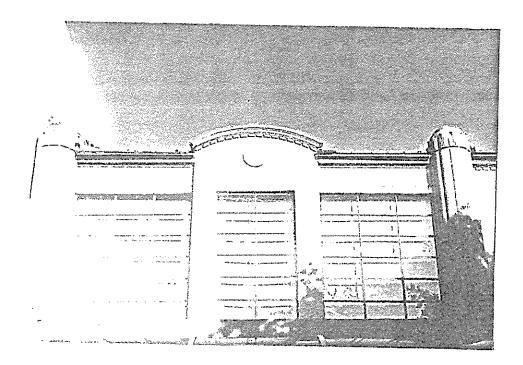
Unknown

DESCRIPTION:

Most of this two story commercial building has been remodeled, but a portion of the upper story retains a curious French Moderne design. Below a moderately pitched roof composed to suggest a hipped configuration, the upper north bay is framed by reeded engaged columns with dome-like capitals. Multi-paned sash fills the entire bay, the central portion being framed by plain stucco pilasters which rise to an arched parapet flush with the edge of the roof. Dentils and a plain medallion decorate the parapet-cum-dormer. The remainder of the stucco sheathed facade is substantially altered.



CONTINUATION SHEET: 1046 Westwood Boulevard



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NR: 5D

UTM: 11 366720 3769700

ADDRESS:

1056 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-020-010

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: French

CONSTRUCTION DATE: 1936

ARCHITECT:

Unknown

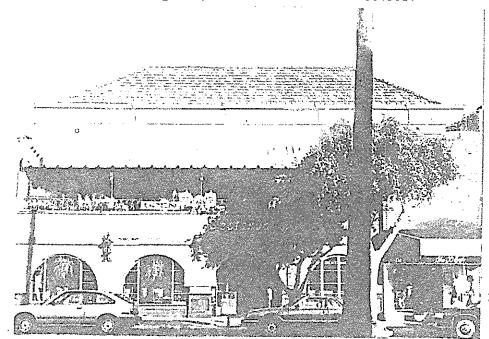
BUILDER:

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Unknown

DESCRIPTION:

A moderately pitched, hipped roof surmounts this two story, stucco over brick commercial building, indicating a French flair to the original design. The roofline is banded by a frieze, in which panels of plain medallions and reeding alternate, suggesting a Moderne influence as well. Apparently the remainder of the facade has been substantially changed and now contains a balcony over a four bay street level arcade. A mural on the rear of the building, visible from Glendon through a parking lot, is well-known in Westwood.



NR:

UTM: 11 366700 3769620

ADDRESS:

1100 Westwood Blvd.

COMMON NAME:

Millers Outpost

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4363-022-004

PRESENT OWNER: Paramount Securities

1081 Westwood ,#231 Los Angeles CA 90024

ARCHITECTURAL STYLE:

Mediterranean

CONSTRUCTION DATE:

1934

ARCHITECT:

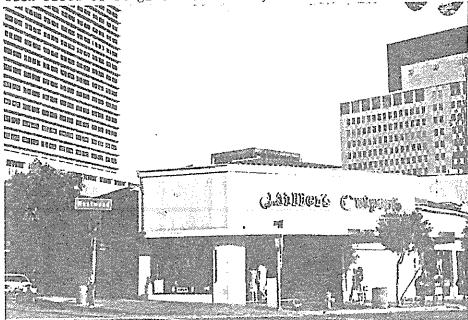
Allen G. Siple

BUILDER:

Unknown :

DESCRIPTION:

Located at the southeast corner of Westwood and Kinross, this is a one story, reinforced concrete commercial building. Its original Mediterranean styling can be deduced from the red clay tile roof, just visible above an elevated parapet used for signage. An angled corner bay and the configuration of the roof above it suggest that this building, like all the others on this irregularly shaped block, may have acknowledged the corner with a cut off, tower-like construction. Little else remains of the original design, except the bay divisions, which have been sided or re-glazed over the years.



NR:

UTM: 11 366740 3769560

ADDRESS:

1130-34 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-022-007

PRESENT OWNER: Michael & Elliot Lewis Trust

1081 Westwood #231 Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

H.E. Weaver

BUILDER:

Unknown

DESCRIPTION:

A four bay arcaded recessed balcony on the upper story of this two story Mediterranean commercial building lingers from its 1929 design. Simply detailed with impost moldings, the arcade establishes a rhythm that carries the eye to the similarly positioned loggia on the building adjacent to the south. A fifth bay on the north contains a window which has been enclosed. The street level has also been substantially altered. Built of stucco and sheathed with brick, the building is capped by an overhanging gable roof which was originally tiled.



NR:

UTM: 11 366760 3769560

ADDRESS:

1136-40 Westwood Blvd.

COMMON NAME:

Rezzo Building

HISTORIC NAME: Rezzo Building

PARCEL NUMBER: 4363-022-008

PRESENT OWNER: Thomas & Rose L. Rezzo

7001 Shoshone Van Nuvs CA 91406

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1939

ARCHITECT:

Roland E. Coate

BUILDER:

Unknown

DESCRIPTION:

An elegant Mediterranean Revival design, still partially intact, distinguished this two story commercial and reisdential building. Its upper facade is entirely spanned by a five-bay loggia, punctuated by Equally spaced French doors open onto the space. A Tuscan columns. low-pitched clay tile roof overhangs the balcony, and its eaves are detailed with brackets. Most of the street level portion of the stucco-finished facade has been altered. However, the entry leading to the second floor is still flanked by a rusticated pilaster with a bracketed capital.



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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UTM:	Α			В	***************************************	
	С		······································	D		

1.	Common name:	_Alices	Restaurani

2. Historic name: <u>Kelly Music Co.</u>

3. Street or rural address: 1043 Westwood Blvd.

City Los Angeles Zip 90024 County Los Angeles

4. Parcel number: 4363-018-015

5. Present Owner: Hero Restaurant Address: 1043 Westwood Blvd.

City Los Angeles Zip 90024 Ownership is: Public Private X

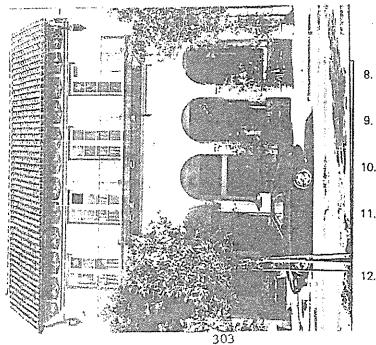
6. Present Use: Restaurant Original use: Music store

DESCRIPTION

7a. Architectural style: Mediterranean

7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

An Italian Renaissance design dignifies this two story commercial building. Its brick construction is sheathed with stucco treated to give the impression of shallow rustication. A gabled red tile roof with exposed rafters overhangs the facade. Five bays, defined by an arcade, fill the generous height of the lower story. The arches are articulated with coffered intrados and are supported by free-standing piers, with engaged Composite columns. Above a decorated frieze, an iron-railed balcony stretches across the four bays in the top floor. Each bay contains paired, full-size casements flanked by shutters. Another decorated frieze bands the upper edge of the facade. Recently restored, the building is altered only in the glazing of the recessed lower story openings.



в.	Construction date:	1929	
	Estimated	Factual X	٠.

Archite	ct _	
Paul	R.	Williams

10.	Builder				
	Westwood	Mtge	&	Inv.	

1,	Approx. property siz	ze (in feet)		
	Frontage	Depth		
	or approx, acreage			

,	Date(s) of	enclosed	photograph(s)
		1985	

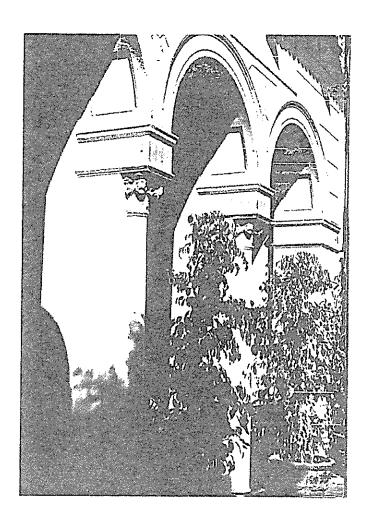
13.	Condition: ExcellentGoodX Fair Deteriorated No longer in existence	
14.	Alterations:	-
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up _X Residential Industrial Commercial _X Other:	
16.	Threats to site: None knownPrivate development X Zoning Vandalism Public Works project Other:	
17.	Is the structure: On its original site? X Moved? Unknown?	
18.	Related features;	
	IIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)	
	Originally the Kelly Music Company, the two story Italian Renaissance retail establishment at 1043 Westwood Boulevard is the only example of Paul Revere Williams' work in Westwood Village. Williams designed the building in 1929 at a cost of \$28,000. Adjacent to Janss Investment Corporation itself, the small building attracted a great deal of attention in the architectural periodicals of the day. It was one of Williams' first commercial commissions, the black architect's reputation resting primarily on his elegant period revival residences in such prestigious suburbs as Hancock Park, Flintridge, and Beverly Hills. Subsequently, Williams designed Saks Fifth Avenue in Beverly Hills, the Los Angeles County Courthouse, and Perino's Restaurant, and has become known as one of the most prominent local architects of the 30s and 40s.	
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture _X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente Blvd. City Los Angeles Zip 90048 Phone: (213) 937-4270	Principal Communication of the

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Westwood Village Specific Plan

Gruen Associates

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

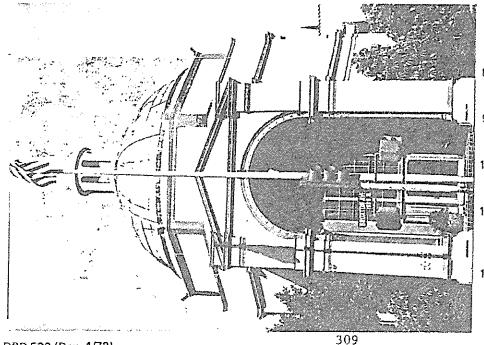
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HABS_		HA	FR	NR3		SHI	[00
UTM:	Α	_11	366680)	Ŗ,	769680	 Loc
	С				Ď		

IDENT 1	ICATION Common name: Glendale Federal Savings	
2	Historic name: Janss Investment Company Building	
3.	Street or rural address: 1045-99 Westwood Blvd.	****
	City Los Angeles Zip 90024 County Los Angeles	
4.	Parcel number: 4363-018-014	
5.	Present Owner: Paramount Securities Address: 1081 Westwood Blvd. #2	31
	City <u>Los Angeles</u> Zip <u>90024</u> Ownership is: Public <u>Private X</u>	
6.	Present Use: Bank/offices Original use: Real estate offices	

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival with Classical Revival influences
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Occupying the most prominent site in Westwood, a triangle of land formed by the meeting of Westwood Boulevard and Broxton Avenue, the Janss Investment building is designed in an appropriately impressive neo-Classical mode. A domed rotunda faces the intersection. String-courses accent its octagonal shape, and the base of the dome is panelled. Colorful tile of Moorish inspiration covers the dome to which a lantern has recently been added. A monumental entry fills a pedimented bay which projects from the rotunda. Framed by piers and pilasters which rise to an immense, keystoned arch, the entry is recessed and features a monumental, round-headed window over the doorway. An intricately patterned molding enhances the deep intrados. Circular niches containing helmeted warrior busts are placed high up on the (see continuation sheet)



Construction date: 1929 Estimated FactualX
ArchitectAllison
Builder P.J. Walker Co.
Approx. property size (in feet) Frontage Depth or approxacceage
Date(s) of enclosed photograph(s)

DPR 523 (Rev. 4/79)

13.	Condition: ExcellentGood X Fair Deteriora	sted No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	d Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate development Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
	NFICANCE Briefly state historical and/or architectural importance (includ	de dates, events, and persons associated with the site.)
	lar-shaped lot, the domed structured prominent landmark. Constructed edifice used only the finest mater was decorated with murals by the A. the Janss Company supervised the surrounding residential neighborhood lopment company, capable of providing and construction. A significant developed under its direct control, the structure was the center of Vitoday. By virtue of its age, its	ntrance to the Village on a triangurare has always been the area's most at a cost of \$150,000, the domed rials and craftsman. The interior of the Village and the development of the Village and the des. Janss was a full service develing capital, engineering, design, proportion of Village property was Both symbolically and physically allage life. It continues to be so association with the area's developf prominent local architects, and
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.

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CONTINUATION SHEET: 1045-99 Westwood Boulevard

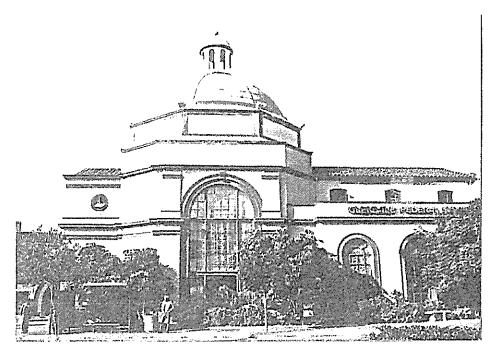
7b: Description:

side elevations of the entry bay. Monumental arched windows, with keystones fill each side of the rotunda; three smaller arched openings also pierce the ground floor elevations of a two story rectangular wing in the rear. The upper story of this wing is set back, contains segmental windows in its bays, and is capped by a gabled tile roof. An irregularly shaped, two story commercial building is linked to the rear of the Janss Building. Sheathed in stucco and topped by a pinnacle accented tile roof, the building adheres to a more conventional Mediterranean style. A plaster ornament embellishes its upper facade. It has been altered on its ground floor, and its windows have been re-In excellent condition, the Janss Building has been a wellseen and much-loved landmark in Westwood since its construction. principal spaces and facades are virtually intact.

19. Significance:

its architectural design, the Janss Building is a significant asset to the community.

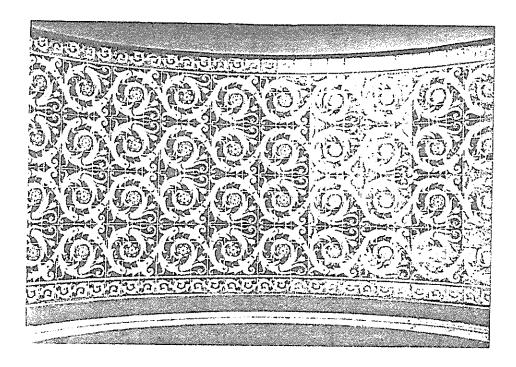
The firm of Allison and Allison were specialists in institutional construction. It was therefore a natural choice for the Janss Investment Company to commission them to design the most important structure in Westwood Village, the Janss headquarters, which the company which to elevate from mere sales office to community center. The selection of this firm further cemented the relationship between the University and the Village, for Allison and Allison were responsible for the design of UCLA's Royce Hall. They later went on to construct the Physics-Biology Building (1928-29) Kerckoff Hall (1930), the Women's Gymnasium (1932), and the Administration Building (1937). Outside the Westwood area, Allison and Allison were responsible for the Friday Morning Club (1923-24), and the Women's Athletic Club (1924) as well as several churches and a sizeable number of elementary and secondary schools through the state.

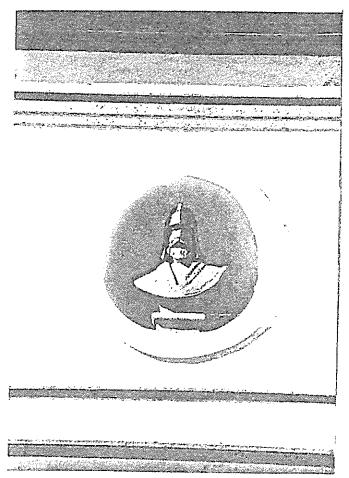




CONTINUATION SHEET: 1045-99 Westwood Boulevard

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7b. Description:

arches, which once framed awnings, are blank. Below them, the windows and doors have experienced some re-glazing. A similar scheme was employed on the longer Lindbrook elevation, but is now somewhat altered by the entrance to the Egyptian Theatre. Small roof overhangs, punctuated by brackets, cap each wing. Its prominence due to a felicitous combination of site and architecture, the Ralph's building is in good condition.

19. Significance:

original Bullock's Westwood (at Westwood and Weyburn). All stores were self-service by the time of the Westwood opening. The store's opening was an event, even though few buildings existed in the planned community, and UCLA had only been open a few months. The new supermarket served as a model for a cluster of brick structures, many with courtyards, that were subsequently built along Lindbrook and Glendon. The area today retains the highest concentration of brick structures in the Village. The building was designed to be responsive to both pedestrian and motorist. The southern anchor of the shopping district, it retains much of its integrity (although the Lindbrook facade has been altered) and its association with the history of the area as one of the first half dozen buildings erected in the area.



Westwood Village Specific Plan

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Gruen Associates

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

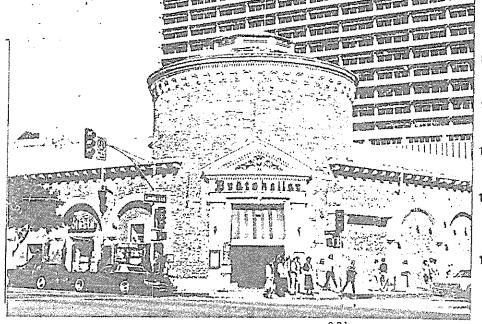
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DENTII 1.	FICATION Common name: Br	atskeller/Egyptia	n Theat	re			
2.	Historic name: Ra	lphs Market				······································	
3.	Street or rural address:	1142-54 Westwood	Blvd.				
	City Los Angeles		Zip	90024	_County	Los Angeles	
4.	Parcel number: 43	63-022-009	· · · · · · · · · · · · · · · · · · ·	······································	7.		
5.	Present Owner: Ja:	x Beverly Hills I	nc.		_Address:	307 N. Beverly	Dr.
	City Beverly Hil	ls Zi	90210	Ownership is:	Public	Private	Х
6.	Present Use: Resta	aurant/Theatre	0ı	iginal use:		Market	

DESCRIPTION

- 7a. Architectural style: Mediterranean
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

A stout cylindrical tower dominates the design of the historic Ralph's supermarket building, located on the northeast corner of Westwood and Lindbrook. Of brick construction, the Mediterranean style structure was originally stuccoed. Now its white cast stone ornament stands out against light brown brick walls. The tower, surmounted by a shallow cupola for ventilation, is ringed by ornate arched corbelling and a denticulated cornice. At the base of the tower, facing the corner, the entry has a classical surround consisting of pilasters topped by a full entablature and a denticulated pediment. One story wings extend from the tower along both Westwood and Weyburn. A five bay arcade articulates the bay divisions on the Westwood elevation. It is composed of stout Tuscan columns from which molded arches spring. The (see continuation sheet)

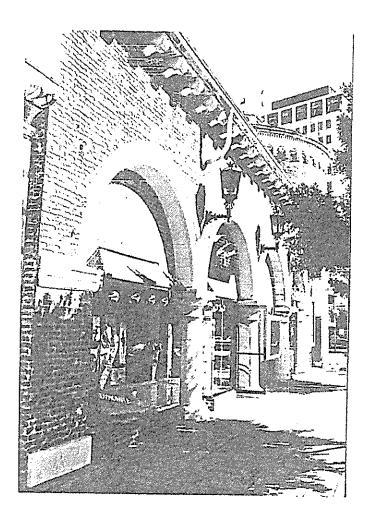


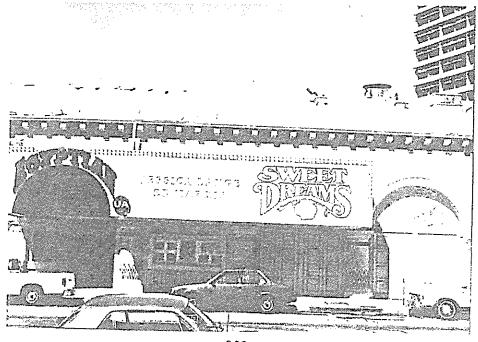
14 31 31	Construction date: 1929 Estimated Factual X
9.	Architect Russell Collins
10.	Builder S.N. Benjamin
11.	Approx. property size (in feet) Frontage 48 Depth 60 or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGood X Fair Deteriora	ted No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGI 19.	Briefly state historical and/or architectural importance (included Located in close proximity to the Village, the brick building with east corner of Westwood and Lindbro ing the area. Originally a Ralph's a necessity by planners determined landscaped park. Its prominent 1	e main southern entrance to the its cylindrical tower at the north-ok is a focal point for all enter-supermarket, the structure, deemed to provide for every needs, faced a ocation and elegant design were the
	brainchild of Russell Collins, a known. Collin's plan conformed to Village, which specified Mediter known for its ornate branches: buiwere designed in a similar style. builder of all sixteen branches. (see continuation sheet)	the architectural guidelines of the ranean architecture. Ralph's was ldings in Hollywood and on Wilshire Contractor S.N. Benjamin was the
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/IndustrialExploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1.	See attached.
	City Los Angeles Zip 90048 Phone: (213) 937-4270	
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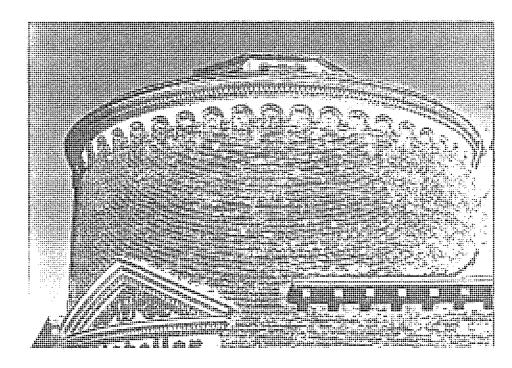
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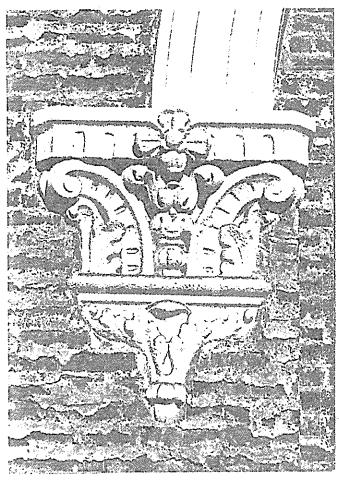
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CONTINUATION SHEET: 1142054 Westwood Boulevard







Westwood Village Specific Plan

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State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

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			U	

DENTIF 1.	FICATION Common name: _	Bullocks	Department	Store	·				
2.	Historic name:	Bullocks	Department	Store			-4		
3.	Street or rural add	lress: 10861	Weyburn Av	е,					
	City Los Ange	les		Zip	90024	County	Los A	ngeles	
4.	Parcel number:								
5.	Present Owner:	Federated	Stores/Bul	llocks	Div	_ Address:_	P.O.	Box 5501	
	City Los Ange	les	Zir	90055	Ownership is:	: Public	·····	Private	X
6.	Present Use:D	epartment	Store	Or	iginal use:			· · · · · · · · · · · · · · · · · · ·	

DESCRIPTION

- 7a. Architectural style: Post-war Modern
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

Bullock's Westwood is representative of the post-World War II style developed by Welton Becket and others for suburban department stores. It accommodates a slightly sloped site and the need for parking by partial excavation and by varying the floor plan of each level. Approximately Y-shaped in overall plan, the reinforced concrete building presents a shallowly concave principal facade to Weyburn Avenue. It is dominated by at sheathed second story, punctuated by L-shaped piers. The windows and entries on the street level are recessed beneath these panels, which seem to hover over the street. Walls of rock frame these lower story openings. The upper story reads as a glazed penthouse, with a horizontal slab roof. Clustered palms provide a suitably suburban and tropical vertical accent to the store. It is unaltered on the exterior, and in good condition.



	Estimated Factual X
9.	Architect Welton Becket
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

Construction date: 1951

DPR 523 (Rev. 4/79)

13.	Condition: ExcellentGood X Fair Deteriorate	ted No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	
16.	Threats to site: None knownPrivate development Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
_	NIFICANCE Briefly state historical and/or architectural importance (includ	e dates, events, and persons associated with the site.)
	one of the first major retail esta John G. Bullock, the store's found retail business by Arthur Letts, for the land on which the Village was Letts' executors, developed the provery progressive retailer, pione branch stores by creating Bullock's the same architects, John and Dona design a new branch in Westwood. Westwood and Weyburn went through to keep up with retailing innovation (see continuation sheet)	er, had been given his start in the ounder of the Broadway and owner of located. The Janss Corporation, operty after his death. Bullock, a ered the idea of quality suburban Wilshire in 1928. A year later, ld Parkinson, were commissioned to The original store at the corner of several remodellings in an attempt
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor Gebhard & Winter. Architecture in L.A., A Compleat Guide	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.
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CONTINUATION SHEET: 10861 Weyburn Avenue

19. Significance:

new facility was needed. The site chosen was half a block from the old store, and the architectural firm, Welton Becket, was considered as prestigious and innovative in 1950 as the Parkinsons had been twenty years before. The result was the current Bullock's Westwood, a large modern complex with plenty of that increasingly important component, parking. Becket had designed other flagship branches for Bullock's, including Bullock's Pasadena in 1947, which was said to "extend the Streamline Moderne into the post-war era." Welton Becket enlarged upon this concept in the prize-winning design for Westwood by creating interior spaces which flowed freely into one another on several different levels. The firm went on to design other Bullock's stores as the chain grew, as well as UCLA's Schoenberg Hall (1955), the Capitol Records Tower (1954), and the Los Angeles Music Center Complex (1964). Although not of the same vintage as most significant structures in the Village, the store provides a definite sense of place and time, and has been an important part of Village life for over thirty-five years. Associates with a noted architectural firm and major retailing establishment, it has become a prominent feature at the northern edge of the Village where the campus meets the business district.



Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

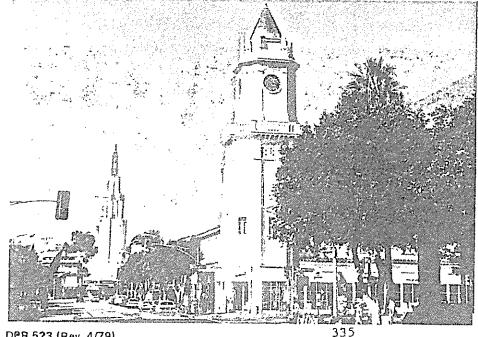
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DENTI	FICATION						
1.	Common name; .	10900 block	of Weyburn	ı Avenue			
3.	Street or rural address: Multiple						
	City Los Angeles		Zip	90024	County	Los Angeles	
4.		Multiple			**************************************		
5.	Present Owner:	Multiple			Address:_		
	City						
6.	Present Use:		(Original use: _			

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Sandwiched between some of the major landmarks of Westwood Village, the 10900 block of Weyburn Avenue contains seven buildings, most of more modest impact, of which five retain some architectural interest. Like other blocks developed during Westwood's second growth phase in the late 30s and 40s, these one and two story commercial buildings are influenced by Moderne and Revival styles. Characterized by common wall construction, the block has recognizable boundaries, determined by the age and quality of buildings and natural divisions such as alleys, parking lots, and streets. A pedestrian environment is fostered by the scale of the buildings, continuity of the streetscape, and presence of street trees.



DPR 523 (Rev. 4/79)

8.	Construction date: $1936-1949$ Estimated Factual X			
9.	ArchitectSee continuation sheets			
10.	BuilderSee continuation sheets			
11.	Approx. property size (in feet) Frontage Depth or approx. acreage			
12.	Date(s) of enclosed photograph(s)			

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence							
14.	Alterations:							
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up _X Residential Industrial Commercial _X Other:							
16.	Threats to site: None knownPrivate development Zoning Vandalism Public Works project Other:							
17.	Is the structure: On its original site? X Moved? Unknown?							
18.	Related features:							
-	NIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)							
	The five modest establishments in the 10900 block of Weyburn are typical of those built in the late 1920s on the interior lots of eastwest streets. While they do not retain a high degree of architectural integrity, they continue to be representative of the scale of development from 1935-40. They illustrate the increasing role of the Moderne style in the Village, and the use of Classical Revival design elements as decoration. 10935 was built in 1938 by the Janss Company at the same time as the adjacent Bruin Theatre. It is one of noted architect Gordon Kaufmann's most modest commissions (see 1055, 1061 Broxton Avenue and 915 Westwood Boulevard for other Westwood designs and citations). Built at a cost of \$34,000, far in excess of the minimum cost requirements stipulated by the deed restrictions, the structure (see continuation sheet)							
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education							
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor See attached.							
22.	Date form prepared By (name)							
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CONTINUATION SHEET: 10900 block of Weyburn Avenue

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was originally used as a hardware store. Preceding the hardware store on the block were 10923 (1935), 10931 (1936), 10948, and the retail clothing establishment at 10924 designed in 1937 by Allen G. Siple. Like Kaufmann, Siple designed other structures in the Village (1100 Westwood Boulevard, 1057 Gayley).



Westwood Village Specific Plan

Gruen Associates

NR: 5D

UTM: 11 366620 3769860

ADDRESS:

10923 Weyburn Ave.

COMMON NAME:

Lamonicas NY Pizza

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-018-011

PRESENT OWNER:

Ed Summer

P.O. Box 241547 Los Angeles, CA

ARCHITECTURAL STYLE: French

CONSTRUCTION DATE: 1949.

ARCHITECT:

Maynard Lyndon

BUILDER:

(

Unknown

DESCRIPTION:

This two story reinforced concrete commercial building retains its integrity on the second floor. It features a continuous band of industrial sash across the facade, outlined by a reeded surround. These Moderne influenced elements are juxtaposed against a roof of vaguely French inspiration. A shingled low hip, it is wrapped by a diamond-patterned frieze and crested with a diamond molding between pinnacles. The street level frontage, as well as the signage zone between stores has been substantially altered. The building is fairly good condition.



341

CONTINUATION SHEET

NR:

UTM: 11 366620 3769840

ADDRESS:

10924 Weyburn Ave.

COMMON NAME:

The Wilger Company

HISTORIC NAME:

Myer Siegal & Co.

PARCEL NUMBER:

4363-018-018

PRESENT OWNER:

Charles Wilger

10924 Weyburn Avenue Los Angeles, CA 90024

ARCHITECTURAL STYLE:

Neo-Mediterranean

CONSTRUCTION DATE: 1937

ARCHITECT:

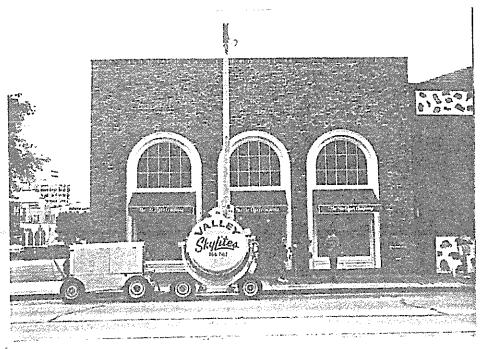
Allen G. Siple

BUILDER:

Unknown

DESCRIPTION:

This one story commercial building, located on the site of the exclusive Myer Siegal women's specialty shop, is compatible with the older Mediterranean designs used in Westwood. Either a substantial remodel of the store, built in 1937, or a new construction, it is now a one story, flat-roofed brick structure. The tall volume is illuminated by three large arched apertures. Unornamented, the building is in good condition.



CONTINUATION SHEET

NR:

UTM: 11 366600 3769860

ADDRESS:

10931 Weyburn Ave.

COMMON NAME:

Chapman Building

HISTORIC NAME: Chapman Building

PARCEL NUMBER:

4363-018-010

PRESENT OWNER:

Lyons Newhall Inc.

14159 Riverside Dr. Sherman Oaks CA 91423

ARCHITECTURAL STYLE:

: Mediterranean with Classical Revival influences

CONSTRUCTION DATE: 1936

ARCHITECT:

Arthur Halves

BUILDER:

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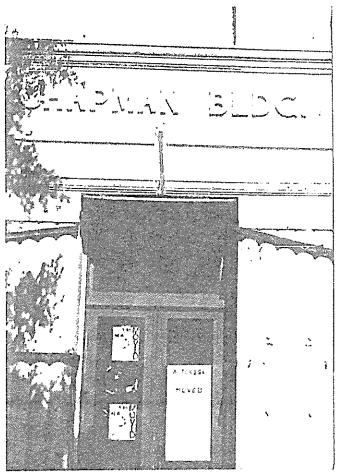
Unknown

DESCRIPTION:

The Chapman Building is representative of the "Mediterranean Moderne" which was one of the favored styles in Westwood in the late 1930s. Reeded piers, broken by a simplified entablature between stories frame the facade of the concrete structure. Although the street level storefronts have been altered, the entry, at the east end, is intact. It is recessed behind reeded piers, and raised letters in the frieze identify the building. A double door and transom provide access to the upper story. Large windows illuminate the offices and are shaded by the bracketed overhang of a gabled roof. The building is currently under renovation.

CONTINUATION SHEET: 10931 Weyburn Avenue





CONTINUATION SHEET

NR: 5D

UTM: 11 366580 3769860

ADDRESS:

10935 Weyburn Ave.

COMMON NAME:

Hamburger Hamlet

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-018-009

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Classical Revival with Moderne influences

CONSTRUCTION DATE: 1938

ARCHITECT:

Gordon B. Kaufman

BUILDER:

Unknown

DESCRIPTION:

Like most commercial buildings in Westwood, the Hamburger Hamlet is altered on its ground story. The two part second floor, whoever, preserves much of its original "Mediterranean Moderne" design. In the west section, the stuccoed facade features a single window, adorned with shutters and capped with broken pediment. An acanthus leave above a triglyph-like ornament, and a molding of Greek fretwork decorate the pediment. The cornice of the flat roof is simply marked with a scalloped molding. In contrast to the west wing, the east wing is Moderne in inspiration. A band of eight windows (now enclosed) beneath a streamlined, beaded canopy, stretches across much of this wing. Another scalloped molding, this time reversed and butted against a fluted molding bands the east cornice. An L-shaped concrete building which abuts the Bruin Theatre, the Hamlet is in fairly good condition.



CONTINUATION SHEET

NR:

UTM: 11 366560 3769860

ADDRESS:

10948 Weyburn Ave.

COMMON NAME:

Stans Donuts

HISTORIC NAME: Unknown

PARCEL NUMBER: Unknown

PRESENT OWNER:

Unknown

Unknown

Unknown CA Ukn

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: Unknown

ARCHITECT:

Unknown

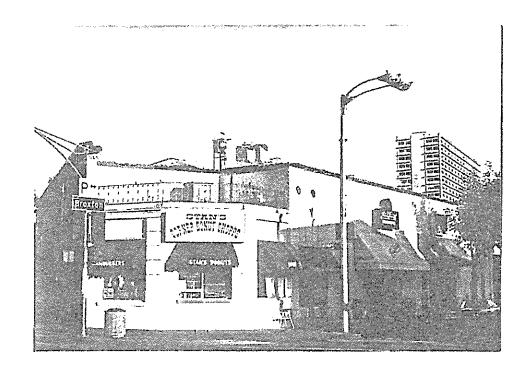
BUILDER:

Unknown

DESCRIPTION:

This wedge-shaped building of Mediterranean-influenced design is located at the intersection of Weyburn and Broxton. Apparently built in increments, it is one story and built of reinforced concrete and brick. A mission tile hipped roof tops the west (Broxton) facade while a parapet edged with tile caps the north (Weyburn) elevation. An angled bay with a simulated rusticated facade acknowledges the Ornamental ironwork surmounts the bay. Altered storefronts face each street. Despite its many changes, the building does suggest the themes which were historically identified with Westwood Village.

CONTINUATION SHEET: 10948 Weyburn Avenue



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September 27, 1931. Part 5, page 1.
August 1, 1937. Part 5, page 2.
March 2, 1949. Part 2, page 1.
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Criteria For Evaluation

The following criteria are designed to guide the States, Federal agencies, and the Secretary of the Interior in evaluating potential entries (other than areas of the National Park System and National Historic Landmarks) for the National Register.

The quality of significance in American history, architecture, archeology, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. that are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that posses high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

D. that have yielded, or may be likely to yield, information important in prehistory or history.

Ordinarily cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past

50 years shall not be considered eligible for the National Register. However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:

- A. a religious property deriving primary significance from architectural or artistic distinction or historical importance: or
- B. a building or structure removed from its original location but which is significant primarily for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or
- C. a birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life; or
- D. a cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or
- E. a reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or
- F. a property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own historical significance; or
- G. a property achieving significance within the past 50 years if it is of exceptional importance.

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c. 22.120. Creation and Bustynation of the Board.

The Roard of Cultural Affairs Comstactuners shall establish an advisory heard to be known as the Cultural Beritage Board.

Sec. 22.121 Composition of the Board.

The Cultural Heritage Board shall be cusposed of five qualified persons, learned in the interioric, cultural and architectural traditions of the community, to be selected and appointed by the Cultural Affairs Commission, subject to the approval of the City Council by majority vote.

Sec. 22, 122, Appointment, Neetings, Compensation.

The members of said Cultural Heritage Board shall be paid \$10.00 per sheeting attended, not to exceed four meetings per calendar month; and shall serve for a period of one year. They say be reappointed in the mase manner as not forth hereinshove for their appointment.

Sec. 22.123. Exemption from Civil Service Provisions.

The exebera of the Cultural Heritupa board shall be exempt from all civil service provisions.

Sec. 22.124, Advisory Capacity.

The Cultural Heritage Board shall acroe in an advisory capacity to the Cultural Affiltrs Consideration. In addition, the Cultural Heritage Board shall perform those duties and obligations becomed upon it by Section 12,20,3 of the Lou Angeles Municipal Code.

Sec. 22.125. Inspection and investigation.

The Cultural Heritage Roard shall inspect and investigate any site, building or atructure in the City of Los Angeles which it has reason to believe is or will to the near future he an historical or cultural bounders.

Sec. 22, 126. List of Potential Sites.

The Cultural Heritage Koard shall compile and maintain a current list of all such witae, buildings or structures which have been determined to be historical or cultural monuments. Such list shall contain a brief description of the site, building or structure, and the reasons for its inclusion in the list.

Prior to any modification of this list, the Cultural Heritage board shall solicit opinions and information regarding any sites for inclusion or desetton from such list from the office of the Council District in which the site is located and from any department or bureau of the City whose operations may be affected by the designation of such site on the list. To modification to the list of historical or cultural monuments shall be affective unless and until such modification has been adopted by the City Council by a majority vote.

The City Council may, on its own initiative, propose sites for inclusion or deletion from such list. The Cultural Heritage Board after reviewing and investigating any such Council initiated exembent to the list, and after soliciting opinions and information regarding such potential site, shall approve or disapprove the proposed inclusion or deletion and subsit a report upon such action to the City Council. In the event the Cultural Heritage fioard does not deprove such Council proposed change to the list, the City Council may nonetheless adopt such change by a vote of two-thirds of the entire Council.

Sec. 27,127, Pubeication List.

The Cultural Heritage Adard shall publish and transmit to all interested parties, the list referred to to Section 22.126, and shall dissuminate any public information concerning the list or any site, building or structure contained therein, consistent with City Council policies and procedures.

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Sec. 22.128. Propervation of Minimumsty

The Cultural Heritage Board shull take all steps necessary to preserve such assuments not in conflict with the public health, wafety and general velfare, powers and duties of the fits of the otto of the fits of the otto of the fits of the catalysts, or its weveral boards, offices or departments. Such aceps may facility axistance in the extablishment of office offices assistance to the extablishment of a private fund for the acquisition of restoration of such assistance to the extablishment of a private fund for the acquisition or restoration of such assistance in the extensional state of account of such assistance and resconsendation that such assistance acquisition is not feasible. All such astions, complastion.

See. 22.129. Recommendations.

The Cultural Heritage Board shall make any recommendation to the Cultural Affaira Commission in connection with the exercise of its said powers and duties which it determines is noccessary. The Cultural Affaira Commission shall take such action thereupon as it determines will implement or carry out the spirit and intent of this article.

ec. 22.135. befinition of Junicepity

For purposes of this article, an bistorical or cultural monument is any site (including significant trees or relet plant life incated thereon), building or structure of particular bistoric or colteral significance to the City of los Angeles, such as historic extractures or after in which the broad cultural, publicial, economic or social history of the nution, state or community is reflected or exemplified, or which are identified with history, or the nution, state with important events in the main currents of nutional, state or focal history, or which endody he distinguishing characteristics of an architectural-type specimen, inherently valuable for a study of a period style or acthod of construction, or a notable work of a master huilder, dealigner, or architect shope individual kenium influenced his age.

22.111. Hot (ce and Appeal,

The Coltoral Heritage Board shall cransmit to and maintain with the Pepartments of Building and Safety, Recreation and Parks, Board of Public Works and the Board of Education, current copies of the list of historical and cultural monacons. The Coltural Heritage Board shall also included in the list, and shall give such person witten notice of any further action which it shall be deemed to be the person appearing as the couper of the social and property to shall be deemed to be the person appearing as the couper of the couper of

. 27,117. Pereits Sequired.

We persit for the densifiton, substantial alteration or removal of any building, structure or alte contained in said list shall be insued, and no such site, infliding or attucture shall be denotished, substantially altered or removed by the City without (list referring the matter to the Cityral Bertrage Board, except where the Superintendent of Building or the City Ingineer determinen that depolition, removal or substantial alteration of any such building, structure or after is incrediately necessary in the interest of the public health, safety or general unitare.

bes. 22,131, Time for Chiection by the hourd,

Hhere any matters subject to Section 22, 112 of this code are referred to the Gultural Heritake Board, it shall have 15 Jaya from the date of such notification within which to object to the proposed demolition, major alteration or removal. It no such objection is filted with the appropriate Department or Board within the said 15 days, all such objections shall be deemed to alteration or removal, it shall file its objection with the appropriate Department or asjur. The filing of such objection shall suspend the issuance of such permit, the demolition or major then filing of such objection shall suspend the issuance of such permit, the demolition or major chan 30 nor made than 180 days, during which these the cultural Heritage Board shall take such tion of the steps of its powers and duties as it determines the beard shall take such tion of the site, building or structure to be demolitical, altered or removed. We much action shall be taken by the Cultural Heritage Board, however, until the same has been first submitted

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sent or Board concerned of its action. From receipt of such notification, the peroit may be issued and the building, otructure by site say be demoisabled, altered or removed, as the case may be. If at the end of the first 100 days of the storesafd 180 day period it is found that for the purpose of completing the name. The Repartment or Based to which such a request is made shall grant such extension, except where it determines that granting nuch an extension is not to the best interest of the public health, anisty or general culture. Fo such request for extension shall be made after the expiration of the original INO day suspension period. day period, and the Cultural Herltage floated determines that such irracreation can "suctifianc-torily completed within an additional period and to exceed 189 days, the Cultoral Herltage Kenrd may recommend to the Cultural Affaita taxonission that a request for extension by made to the appropriate Department or floated. Such recommendation shall set forth the reasons therefor to and approved by the Board of Caltural Affairs Commissioners. At the end of the first in days, the Cultural Heritage Board shall report its progress to the Cultural Affairs Commission which may, upon review of the proposes report, withdraw and cancel the objection to the proposed demonstration, major alteration or removal. If the Commission determines, muon the basis of said request the appropriate depositoral or house to primi an extension of the ant to exceed the days Commission may accept such recommendation for round cause shown, and if it appears that preserves than may be completed within the time requested, and upon approval of the lite Council may and the progress to date of the stops taken to preserve the ensurement. The Cultural Affairs the preservation of the site, building or structure cannot be fully accomplished within the iss progress report, to ultidray and enneed any such objection, it shall promptly notity the hepart-

22.134. 'lo liftht to Acquire Property.

The Cultural Heritage Board shall have no power or right to acquire any property for or on hehalf of itself or the City of Loa Angeloa, nor shall it acquire or hold any money for itself or on behalf of the City.

Sec. 22.135. Rules and Regulations of the Doard.

The Cultural Heritage Board may adopt auch rules and regulations as are necessary to carry out the purpose and intent of this article.

Sec. 27.136. Cooperation with the Board.

All Boards, Commissions, Departments and Officers of the City shall cooperate vith the Cultural Heritoge Board in extrying out the spirit and intent of this article.

DECENTARY OF THE SECTION OF THE SECT

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A REPORT OF SERVICE REPORT OF A REPORT OF A SERVICE AND A Standing of An Ordinance Emending Article Zeofe Chapter It of the Los Angeles Municipal Code to provide for the creation of Historic Preservation Overlay Zones.

wasti a strang forth of the city of LOS ANGELES DO ORDAIN AS FOLLOWS: Attacks for the to the compagnet

and the second of the control of the Section 1. Article 2 of Chapter 1 of the Los Angeles Municipal Code is hereby mended by adding Section 12.20.3 to read as follows:

FIGURE SECTION 12.20.3 - "HP" HISTORIC PRESERVATION OVERLAY ZONE CONTROL OF

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PURPOSE ·

It is hereby declared as a matter of public policy that the recognition, preseration, enhancement, and use of structures, natural features, sites and areas within the City of os Angeles having historic; architectural, cultural or aesthetic significance are required in O the interest of the health, economic prosperity, cultural enrichment and general welfare of the eople. The purpose of this Section is to: the many that the many of the contract of the

- 3.1. Protect and enhance the use of structures, features, sites, and areas that are reminders of the City's history or which are unique and irreplaceable assets to the Gity and its neighborhoods or which are worthy examples of past architectural styles;
- and the control of th 2. Develop and maintain the appropriate settings and environment to preserve the aforementioned structures, natural features, sites and areas;
 - 3. Enhance property values, stabilize neighborhoods and/or communities, render property eligible for financial benefits, and promote tourist trade and interest;
- The protection of the form the final cards of the control of the cards of the control of the con 4. Foster public appreciation of the beauty of the City and the accomplishments. of its past as reflected through its structures, natural features, sites and areas;
 - 100 101 100 Section of Parties 5. Promote education by preserving and encouraging interest in cultural, social, economic, political and architectural phases of its history. tant in water of the second of the case of

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DEFINITION TO THE PARTY OF THE For the purpose of this Section, the following words and phrases are defined:

- "ALTERATION" is any exterior change or modification of a structure, natural feature or site within a Historic Preservation Overlay Zone. the second of th with the second of the second of the second
 - 2. "ARCHITECTURAL" is anything pertaining to the science, art or profession of designing and constructing buildings.
 - "ASSOCIATION" is any Historic Preservation Association as established by this Section.

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- A. "CERTIFICATE OF APPROPRIATENESS" is an approved certificate issued for the change in occupancy, construction, demolition, alteration, removal, or relocation of any publicly or privately owned structure, natural feature or site within a Historic Preservation Overlay Zone.
- 5. "CHANGE IN OCCUPANCY" is a change in the use of a building or land as approve by the Department of Building and Safety through the issuance of a Certifica of Occupancy.
 - 6. "CULTURAL" is anything pertaining to the concepts, skills, habits, arts, instruments or institutions of a given people at a given point in time.
- 7. "HISTORIC" is any structure, natural feature, or site which depicts,

 ydama of proper sents or its associated with persons or phenomena which significantly
 affect or which have significantly affected the functional activities,
 heritage, growth or development of the City, State or Nation.

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- 8. "LANDMARK" is any structure, natural feature or site designated as a Cultura or Historic Monument by the Cultural Heritage Board.
 - 9. "NATURAL FEATURE" is any significant tree, plant life, geographical or geological site or feature.
- 10. "OWNER" is any person, association, partnership, firm, corporation or public entity appearing as the holder of title on any property as shown on the records of the City Clerk or on the last assessment tole of the County of Los Angeles, as applicable.
 - 11. "PRESERVATION ZONE" is any area of the City of Los Angeles containing structures, natural features or sites having historic, architectural, cultural or aesthetic significance and designated as a Historic Preservation Overlay Zone under the provisions of this section.
- 12. "RENTER" is any person in a Preservation Zone who has rented or leased a dwelling unit or other structure within the district for a continuous time period of at least three (3) years.

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T.D. William Co. Park

Whenever the City Council shall establish, add land to, eliminate land from or repeal in its entirety a Preservation Zone, the provisions of this Section shall not be construed as an intent to abrogate any other provision of this Code. When it appears that there is a conflict therewith, the most restrictive requirements of this Code shall apply.

Description ASSOCIATION Francisco Control Cont

- 1. Establishment and Composition There is hereby established within each Preservation Zone a Historic Preservation Association. Each Association shall have, as part of its name, words linking it to its area of administration and distinguishing it from other similar associations. An Association shall be composed of five (5) members. At least three (3) members shall be renters or owners who reside in the Preservation Zone.
 - 2. Term of Membership Members of the Association shall serve for a term of five (5) years, except that initial appointments of members shall be staggered as provided in subsection 3 below.

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ORDINANCE NO. 152422

- 3. Appointment of Members To the maximum extent practicable, members shall be appointed as follows:
 - (a) One (1) member having extensive real estate experience shall be appointed by the Mayor. The initial appointee shall serve a one-year term.
- (b) One (1) member having extensive construction industry experience shall be appointed by the City Council. The initial appointee shall serve a two-year term.
 - (c) Two (2) members, one (1) member being an architect licensed by the State of California, shall be appointed by the Cultural Meritage Board with the concurrence of the Municipal Arts Commission. In the event that neither appointment under (a) nor (b) above is of a renter or owner residing in the Preservation Zone, then both of such appointees shall be renters or owners residing in the Preservation Zone.
 - (d) In the event only one appointment under (a) or (b) above is of a renter or owner residing in the Preservation Zone, then at least one of such appointees shall be a renter or owner residing in the Preservation Zone. The initial architect appointee shall serve a three-year term. The other initial appointee shall serve a four-year term.
 - (e) One (1) member at large selected by a majority vote of the previously listed four (4) members. Such member shall be a renter or owner residing in the Preservation Zone unless at least three of the other four members are renters or owners residing in the Preservation Zone. The initial appointee shall serve a five-year term.

All members shall have demonstrated a knowledge of, and interest in, the culture, structures, sites and features of the area encompassed by the Preservation Zone.

- Vacancies In the event of a vacancy occurring during the term of a member of the Association, the same body or official who appointed such member shall make an interim appointment of a person to fill out the unexpired term of such member. Where such member is required to have specified qualifications, such vacancy shall be filled for the unexpired term of such member by interim appointment of a person having such qualifications.
- 5. Expiration of Term Upon expiration of a term for any member of the Association, the appointment for the next succeeding term shall be made by the same body or official which made the previous appointment.
- 6. Organization Each Association shall hold regular meetings and establish such rules as it may deem necessary to properly exercise its function. The Association shall elect a Chairperson and Vice-Chairperson who shall serve for a one (1) year period. The Association shall designate a Secretary and Treasurer who shall serve at the Association's pleasure. Three (3) members shall constitute a quorum. Decisions shall be determined by majority vote of the Association. Public minutes and records shall be kept of all meetings and proceedings showing the attendance, resolutions, findings, determinations and decisions, including the vote of each member. To the extent possible, the staffs of the Department of City Planning and Municipal Arts Department may assist the Association in performing its duties and functions.

্রা ^{প্রতি}র ক্রান্ত্রিলান্ত্র (১৯৮৮) ১৮৯৮ সম্ভারত রাজ্যাল 7. Power and Dutton - Whon considering any matter under its jurisdiction, the Association shall have the following power and duties: Sympton a

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- Employ an am Phase Land brought coate and (a) To evaluate any proposed changes of the Preservation Zone it administers. and make recommendations thereon to the Planning Commission, Cultural to de the common Heritage Board and City Council.
- en large attacks a strong to the tree and the The little deline will have (b) To evaluate any architectural/historical survey undertaken within the Preservation Zone it administers and make recommendations thereon to the Planning Commission, Cultural Heritage Board and City Council.
- (c) To study, review and evaluate any proposals for the designation of Landmarks within the Preservation Zone it administers and make recommendations thereon, to the Cultural Heritage Board.
 - Transfer to the space of (d) To evaluate all applications for a Certificate of Appropriateness within its Preservation Zone and make recommendations thereon to the Planning Commission, Cultural Heritage Board or City Council on appeal.
 - (e) To encourage understanding of and participation in historic preservation by residents, private business, private organizations and governmental र्वा काम के उने के कि अपना भाग भाग के होता है। agencies.
 - (f) In pursuit of the purposes of this Section, to render guidance and advice to any owner or occupant on a proposed change in occupancy, construction, demolition, alteration, removal or relocation of any Landmark or any structure, natural feature or site within the Preservation Zone it administers. in Belain s
 - (g) To tour the Preservation Zone it represents on a regular basis to promote the purposes of this Section and to report to appropriate City agencies matters which may require enforcement action.
 - (h) In cooperation with the Cultural Héritage Board, to adopt criteria for the timely and comprehensive updating of the Architectural/Historical Survey for the Preservation Zone it administers.
 - (1) To make recommendations to the City Council concerning the transfer of development rights, facade easements, covenants, and the imposition of · other restrictions for the purposes of historic preservation. The second second
 - ्रेड स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स् (j) To make recommendations to the City Council concerning the utilization of grants and budget appropriations to promote historic preservation.
 - (k) To employ staff or hire such consultants as may be required in the performance of its duties using available Association funds.
- (1) To: accept donations from outside sources to be utilized for historic O WANT TO BE STORY preservation efforts.
- E. PROCEDURE FOR ESTABLISHMENT, CHANGE OR REPEAL OF A PRESERVATION ZONE
 - ARCHITECTURAL/HISTORICAL SURVEY

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Proceedings to establish, change boundaries of, or repeal a Preservation Zone may be initiated by the City Council, Planning Commission or Cultural

ORDINANCE NO. 152422

Heritage Board or by the filing of an application by any owner of property located, or renter residing, within the boundaries of said proposed or existing Preservation Zone. Such application shall be filed in the public office of the Department of City Planning upon a form prescribed for that purpose. Upon receipt of such application, a copy will be sent to the Cultural Heritage Board for evaluation. As a part of the evaluation of an application for establishment or change of boundaries of a Preservation Zone, the Cultural Heritage Board shall cause to be prepared an architectural/historical survey of the involved area identifying all significant and non-significant structures and all significant natural features or sites. For purposes of the architectural/historical survey, no structure, natural feature or site, unless of exceptional importance, shall be considered historic unless it is at least 40 years of age.

The Cultural Heritage Board shall consider and comment upon the appropriateness of the boundaries of the proposed or existing Preservation Zone.

2. Finding of Significance

The architectural/historical survey shall also include a factual statement, supporting or opposing a finding that structures, natural features and sites, within the involved area or the area as a whole are significant. To be significant such structures, natural features or sites within the involved area or the area as a whole shall meet one or more of the following criteria:

- (a) has substantial value as part of the development, heritage or cultural characteristics of, or is associated with the life of a person important in the history of, the City, State or Nation; or
- (b) is associated with an event that has made a substantial contribution to the broad patterns of our history;
- -(c) is constructed in a distinctive architectural style characteristic of an era of history;
- (d) embodies those distinguishing characteristics of an architectural type or engineering specimen;
- (e) is the work of an architect or designer who has substantially influenced the development of the City;
 - (f) contains elements of design, detail, materials or craftmanship which represent an important innovation;
- (g) is part of or related to a square, park or other distinctive area and should be developed or preserved according to a plan based on a historic, cultural, architectural or aesthetic motif;
 - (h) owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or City.
 - (i) retaining the structure would help preserve and protect an historic place or area of historic interest in the City.

Cultural Heritage Board Determination

Approve or conditionally approve the establishment of or change in boundaries of a Preservation Zone only (1) upon a majority vote and (2) a written finding that structures, natural features and sites within the involved area or the area as a whole meet one or more of criteria (a) through (1), inclusive, hereinabove.

In the event that the Cultural Herifage Board cannot reasonably complete the architectural/historical survey within the 45 day time period, the Board shall notify the Planning Commission in writing and the time period may be extended for a specified further time period. In the event that the Cultural Heritage Board does not respond within the aforementioned time period, said board will be decard to have forfeited all jurisdiction in the matter.

4. Planning Commission Determination

Heritage Board within the aforementioned, time, the application if any; architectural/historical survey; comments, if any, regarding the proposed Preservation Zone boundary's appropriateness; and any file related thereto shell be transmitted to the Planning Commission for action. The Planning and the Commission shall proceed to approve, approve with changes or disapprove the on the property application as filed. The page of the second of the second of

and that the other states of the control of the con The Planning Commission in its deliberations shall carefully consider the survey and factual statement, if any, of the Cultural Heritage Board.

As the second of the concept Determination of the second o

The processing of an application for, or the initiation of, the establishment, change in boundaries or repeal of a Preservation Zone and its accompanying architectural/historical survey shall conform with all requirements of Section 12.32-C,D and E of this Code.

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way: 12 1 14 Monthly specifing any other provisions of this Code, in the event that the Cultural Haritage Poard has requested and received an extension of time from the Planning Commission in order to complete an architectural/historica survey, the mandatory time 1 mit of 75 days for Planning Commission action under Section 12.32-D,1 of this Code shall be suspended and extended to incorporate such time extension.

F. CERTIFICATE OF APPROPRIATENESS.

Trohibition

5.45

Market grouped to the No person shall change in occupancy, construct, alter, demolish, relocate or remove any structure, natural feature or site within or from a 2 Preservation Zone unless a Certificate of Appropriateness shall have been approved by the Planning Commission for such action pursuant to this Section No Certificate of Appropriateness shall be approved unless the plans for said changes in occupancy, construction, demolition, alteration, relocation, or removal conform with the provisions of this faction. Any approval or denial shall include written findings in support thereof.

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ORDINANCE NO. 152422

Procedures for Obtaining A Certificate of Appropriateness

Excepting demolition of a structure, any plans for a change in occupancy, construction, alteration, relocation or removal of a structure, natural feature or site, or any combination thereof, within a Preservation Zone shall first be submitted, in conjunction with an application, to the public counter of the Department of City Planning upon a form provided for that purpose. Upon receipt of such application, copies of the application and plans shall be sent by the Department of City Planning to the Cultural Heritage Board and the Association for that Preservation Zone for evaluation. Within thirty (30) days of the receipt of such application, the Cultural Heritage Board and Association shall submit to the Planning Commission for final determination their respective recommendations that said Commission approve, conditionally approve or disapprove the certificate. In the event that the Cultural Heritage Board or Association does not submit their recommendations within the subject time period, said board or association will be deemed to have forfeited all jurisdiction in the matter, and the Planning Commission shall proceed to approve conditionally approve or disapprove said certificate as filed. No Certificate of Appropriateness shall be approved, conditionally approved, disapproved or issued until the appeal period, as set forth in Subsection G, has expired or until any appeal has been resolved.

- 3. Standards for Issuance of Certificate of Appropriateness
 - (a) in making a determination on any Certificate of Appropriateness, the Planning Commission shall not approve any such certificate unless it finds the plans consistent with the following:
 - ALL TO THE REST OF THE PARTY OF (1) the Purpose statement of this Section (12.20.3-A), ting the second of the second
 - (2) the protection and preservation of those structures, natural features or sites specified as complying with one or more of the criteria set forth in subsections E-2 (a) through (1) hereof and set forth in the architectural/historical survey.

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- (b) Such determination may include, but not be limited to, a consideration of the following factors: a charles in the contract of
 - (1) Architectural design
- the second of the second of the second (2) Color and texture of surface materials
 - *i* (3) Construction materials $\mathcal{L}_{i} = \{ x_i \in \mathcal{L}_{i} \mid x_i \in \mathcal{L}_{i} \mid x_i \in \mathcal{L}_{i} \}$
 - provided the (4) Development density
 - (5) Grading and site development
 - THE REST OF THE CONTRACTOR OF THE PARTY OF T (6) Height and bulk of buildings

1.51

(7) Landscaping (4.1%) (8) Land use including accessory uses

- (9) Lot area and dimensions
- (10) Lot coverage
- (11) Off-and on-street parking
- (12) Orientation of buildings

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- (15) Landscaping
 - (16) Street furniture
- 25t. (17) Light fixtures
- (19) Fences
 - (20) Steps
 - (21) Yards and setbacks

4. Demolition

6.255

(a) Any person proposing to demolish any structure within a Preservation Zone shall apply for a Certificate of Appropriateness. However, no certificate of appropriateness shall be required with respect to any structure within a Preservation Zone which has not been designated as having significance in the current architectural/historical survey and whose demolition is being undertaken with the prior written approval of the Association.

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- (b) Upon receipt of an application for a Certificate of Appropriateness for demolition, the Planning Commission shall as soon as possible make a determination, supported by written findings, whether one or more of the following criteria are met:
 - The structure is of such interest or quality that it would reasonably meet national, state or local criteria for designation as an historic or architectural landmark.
 - The structure is of such unusual or uncommon design texture or materials that it could not be reproduced or be reproduced only with great difficulty and expense.
 - (3) Retention of the structure would aid substantially in preserving an protecting a structure which meets criteria (1) or (2) hereinabove.

Where the Planning Commission determines that one or more of these criteria are met, no Certificate of Appropriateness shall be issued and the application shall be denied.

ORDINANCE NO. 152422

- to believe (c) alpon a determination by the Planning Commission that one or more of the entry restriction of the criteria, in subsection (b) are not met with respect to a structure, to . The Mile of the Planning of the Application the applicant shall file with the Planning Devision and approximent a recent certification of the fair market value of the sub-Wilself thought of the ject land and improvements by the Bureau of Right of Way and Land. For the the value of the Land and improvements as certified by the Bureau of Right of Way and Land.
 - (d) No Certificate of Appropriateness for such demolition shall be 2 approved by the Planning Commission unless it finds that the applicant has, for a time period prescribed in the schedule below, made a good faith effort to sell or otherwise dispose of such structure at or below fair market value to any public or private person or agency which gives a reasonable assurance of its willingness to preserve and restore such structure and the land perand the two printaining thereto. The time periods in the schedule below shall commence with the date of the filing of the certification of fair market value to subsection Boldsman Bourd Ada (a) sabovey of an order to the process of the same of the same

There is some bases of the secondaries with Section 12.20.3-H of this Code, the time schedule for efforts to sell shall be as follows:

- i. (1) One (1) month when the fair market value is less than twenty-five who are to make the thousand dollars (\$25,000).
 - s degree of $p_1 \in \{2\} \cap i$ Two:(2) months when the fair market value is twenty-five thousand STLTSS? 'FRUIE, S FR dollars (\$25,000) or more but less than fifty-thousand dollars 50.5 To grave year (\$50,000). The state of
- (3) Three (3) months when the fair market value is fifty-thousand dollars (\$50,000) or more but less than seventy-five thousand amphas in which many the dollars (\$75,000).
 - (4) Four (4) months when the fair market value is seventy-five thousand dollars (\$75,000) or more but less than one hundred thousand dollars (\$100,000).
 - Five (5) months when the fair market value is more than one hundred thousand dollars (\$100,000).

- 5. Notice and Public Hearing in making its recommendation to approve, conditionally approve, or disapprove any Certificate of Appropriateness, the Association shall hold a public hearing and shall notify all property owners and occupants within 300 feet of the property involved at least five (5) days prior to the date of the hearing. A copy of the final determination of such proceedings shall be mailed to the applicant and other interested parties.
 - 6. Nothwithstanding any provision of this Section, nothing herein shall be construed as superseding or overriding the Cultural Heritage Board's authority as provided in Section 22.136 and 22.137 of the Los Angeles Administrative SaCode.

G. APPEALS

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For any application for a Certificate of Appropriateness as defined in this ection, the action of the Planning Commission shall be deemed to be final unless appealed.

Barrier Commenced No Certificate of Appropriateness shall be deemed approved nor issued until the time period for appeal has expired. 'An action of the Planning Commission may be appealed to the City Council by the applicant, member of the Cultural Heritage Board, member of the Association or any interests owner or renter residing within the Preservation Zone. Such appeal shall be filed at the publi counter of the Planning Department within twenty (20) days of the date of mailing the notification of approval, conditional approval or disapproval to the applicant and set forth specifical] where the petitioner believes the Planning Commission findings and decision to be in error. Su appeal shall be filed in triplicate and the Planning Department shall forward a copy thereof to the Association and the Cultural Heritage Board. On appeal the City Council may grant or deny the appeal, conditionally grant the appeal, or rafer the matter to the Planning Commission for further consideration. Wo action shall be taken by the Council on any approval, conditional approval or disapproval unless an appeal therefrom is filed within the specified time. Safet Fortherman (Charles Fortherman)

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H. EXCEPTIONS

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- Mr. Bosh - Wissenson - Proceedings (1997) - 1995 - **te** The provisions of Subsection F hereof shall not apply to the following conditions: ****

- (a) Where the structure, natural feature or site within the Preservation Zone is being restored to its original appearance and such restora-" tion is being undertaken with prior written approval of the Associa-THE CONTRACT OF STATE OF THE BOOK OF THE
- (b) Where a structure, natural feature or site within a Preservation Zone has been damaged by fire, earthquake or other act of God to the extent that it cannot be repaired or restored with reasonable diligence, and where demolition of such structure, natural feature or site is being undertaken with prior written approval of the Association.
- 1,80.00 (c) Where emergency or hazardous conditions exist as determined by the Department of Building and Safety; and said emergency or hazardous conditions must be corrected in the interest of the public health, safety and welfare. The same of the safety and welfare. 47 JB S The state of the state of the sager
 - (d) Where ordinary maintenance or repair work is undertaken in respect + any structure, natural feature or site, and such work does not requ the issuance of a building permit.
- (e) Where a proposed Public Works Improvement to be carried out, in whole or in part, within a Preservation Zone is submitted to the Cultural Heritage Board for a determination whether there exist historic, architectural or cultural properties within the Preservation Zone of potential environmental impact" that meet the criteria for an serve is evaluation of eligibility for inclusion in the National Register of Historic Places, pursuant to Title 36 of the Code of Federal Regulations. to compate 3

PUBLICLY OWNED PROPERTY PUBLICATION TROUBLET

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21.37 3 200 3 20 The provisions of this Section shall apply to any structure, natural feature or site within a Preservation Zone which is owned or leased by a public entity to the extent permitted by law.

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ORDINANCE NO. 152422

ENFORCEMENT :

The Department of Building and Safety shall make all inspections of any property shich are necessary for the enforcement of this Section. Any person violating or failing to comply with the provisions of this Section shall be subject to the provisions of Section 11.00(m) of this Code.

Κ. INJUNCTIVE RELIEF

STORY OF THE STATE OF

Where it appears that the owner, occupant or person in charge of a structure, natural feature, site or area within a Preservation Zone threatens, permits, is about to do or is doing any work or activity in violation of this Section, the City Afforney may forthwith apply to an appropriate court for a temporary restraining order, preliminary or permanent Injunction, or such other or further relief as appears appropriate.

L. TERMINATION

Any Certificate of Appropriateness which has been approved under the provisions this Section shall expire twenty-four (24) months from the date of issuance if the work authorized is not commenced within this time period. Further, such Certificate will expire if the work authorized is not completed within five (5) years of the date of issuance.

Μ. FEE CHART

The fee chart contained in Subsection 1 of Section 19.01 of the Los Angeles Municipal Code is hereby amended by adding the following types of applications and fees thereto:

FILING FEE

"vpe of	Flat Fee	For First Block or Portion Thereof	For Each Additional Block or Portion Thereof	Appeal To	Each Appeal
istoric reservation Zone		\$680.00	\$450 .00	City Council	One-balf filing fee

ertificate One-half City filing of

\$200.00 None None Council fee <u>Appropriateness</u>

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Exhibit E

Materials Submitted by the Applicant



MEMORANDUM

TO West Los Angeles Area Planning Commission

FROM Sara Houghton, three6ixty

CC Jackson Olson, City Planner

Department of City Planning

DATE April 24, 2025

RE Appeal Response

Case No. DIR-2024-4409-DRB-SPPC-COA

10940-10948 Weyburn Avenue and 1008 South Broxton Avenue

Three6ixty represents the Applicant, Raising Cane's Chicken Fingers, for the project located within the commercial spaces at 10940-10948 Weyburn Avenue and 1008 South Broxton Avenue in the Westwood Village Specific Plan Area of the City of Los Angeles. The tenant spaces are located within an existing building on the parcel (APN 4363-018-020, the "Project Site") which encompasses the addresses 10936-10948 Weyburn Avenue and 1004-1010 South Broxton Avenue.

A Master Land Use Application for the tenant improvement and partial change of use for a new restaurant was filed on July 11, 2024 and assigned City Planning Case No. DIR-2024-4409-DRB-SPPC-COA and ENV-2024-4410-CE (the "Project"). A final public hearing (after a prior hearing and consultation) with the Design Review Board of the Westwood Village Specific Plan area was held on December 18, 2024. The Board voted to support the request, 4 in favor and 2 opposed. On January 23, 2025, the Department of City Planning issued a Letter of Determination approving the Project¹.

An appeal of the City's determination was submitted on February 7, 2025. Below is an outline of the Appellant's relevant comments and the Applicant's responses.

APPEAL RESPONSE - GENERAL

The Appellant makes note of numerous failings of the Westwood Village Design Review Board (DRB) as well as Department of City Planning staff, including the ability to make the legally required findings in this matter. The Appellant claims the findings were "picked out of thin air"

¹ The Project was previously approved *without* the inclusion of the corner space, known as Stan's Donuts, pursuant to Case No. DIR-2023-4907-DRB-SPP-COA/ENV-2023-4908-CE and was not appealed.

and inserted from other Letters of Determination (LOD). The Appellant also references additional commentary from the DRB to staff, and makes further assumptions as to the state of mind of certain DRB members during and as a result of the 4-2 in favor vote. There is no evidence to support this claim in the case file. This is highly speculative and not relevant to the decision which was made following processes and procedures mandated by the City and Los Angeles Municipal Code (LAMC).

These statements are opinion and not *fact*, as no new information was submitted into the record in support of the following assertions by the Appellant:

- 1. Findings were not made;
- 2. Findings were "ignored";
- 3. Findings were "inserted" by staff into the Letter of Determination, "using boilerplate language found in nearly every other LOD" (See **Exhibit A** Appellant's letter, page 2).

The Appellant's argument waivers as to whether or not findings were "made" by staff – the initial statement being that they weren't made at all, and then that they were made but insufficient and ignored; both statements cannot be true – and then alleges that the findings that were included in the LOD issued by staff are "boilerplate". However, **no examples** of where these findings have been previously used in other LOD's were provided. Thus, it **cannot be concluded** that these findings have been used before or are not applicable to the subject request.

Further the Appellant states that staff's actions were made "not based on any discussion, inquiry or evaluation or determination by the DRB" – this is blatantly inaccurate as the proposed project was discussed at length at numerous DRB meetings and hearings. The Applicant returned numerous times with decisions revisions based on comments and feedback from the DRB². Specifically, the Applicant returned with the itemized changes to the Project per DRB comments at the final hearing on December 18, 2024 (see **Exhibit B**, three6ixty-prepared DRB Final Hearing Presentation):

- 1. Silver storefront has been replaced with Cane's standard black anodized storefront system. This finish also matches the metal finish at the proposed awnings.
- 2. Shortening of the arc rail being used for corner signage.
- 3. Storefront and bi-fold door elevation and mullion configuration: there was a request at the last meeting that while these two systems have different functions and different constraints, that the glazing configuration be coordinated across the entirety of the tenant space, from Weyburn to around the corner and on Broxton.
- 4. Infill brick finish to match at the base of the storefront system on Broxton.
- 5. Mechanical screen:
 - a. Cane's prefers EIFS, or solid material, paint to match roof; or,
 - b. Perforated metal previously approved by DRB, painted black to match railing.

Appellant states there was no substantial evidence, and in some cases "no" evidence in the record to make the required findings. The subject request included all the required materials to

² The project was heard at the following public meetings: August 21, 2024 (consult), November 20, 2024 (preliminary hearing) and December 18, 2024 (final hearing).



make such findings, as required for a Master Land Use Application, pursuant to LAMC Sections 13B.4.3 and 13B.8.5. (See **Exhibit C**, Department of City Planning Master Land Use Application Primary Checklist, and **Exhibit D**, three6ixty-prepared Attachment "A".) Specifically, justifications were provided and itemized in the hard copy case file as well as verbally entered into the record at the final DRB meeting in regard to the Secretary of Interior Standards for the Treatment of Historic Properties. In support of these items, a Cultural Resource Report by Historic Resources Group dated October 2024 was provided and reviewed and accepted by the Office of Historic Resources.

The DRB process allows for review of the Project by the DRB through publicly noticed hearings and resulting in a recommendation from the DRB to staff. The Appellant's statement "This is not permitted, and is a violation of the LAMC, the California Environmental Quality Act (CEQA), and established Planning Department policies, practices, and procedures." is false, and is not clear on which "established Planning Department policies, practices, and procedures" have not been followed. Additionally, no evidence supporting this claim has been provided.

As noted above, the subject request was submitted and reviewed in full conformance with the LAMC, CEQA and established Planning Department policies, practices, and procedures.

- 1. Application was filed, accepted for review, deemed complete;
- 2. DRB procedures were followed as noted above; and,
- 3. CEQA was adhered to including submittal and included a review of a Cultural Resources Report prepared by a licensed professional. (See **Exhibit E**, HRG Cultural Resources Report dated October 2024.)

STATUS OF BUILDING AS LOCALLY-SIGNIFICANT RESOURCE

The Appellant cites the 1985 Historic Resources Report utilized by the Department of City Planning in establishing the Westwood Village Specific Plan stating "the CORNER PORTION of this 1938 Villa Mart building at Broxton and Weyburn Avenue is expressly called out as a "Character-defining feature" under the Secretary of the Interior's Standards for Rehabilitation,". However, there is no reference to the "Villa Mart" building in this report. (See **Exhibit F**, Cultural Resource Documentation Report Westwood Village.)

Of note, the window style, shape, location, finish and/or operation are <u>not</u> mentioned as a "character-defining features" of this corner or building. The report identifies Stan's Donuts (See Exhibit E, pages 53 and 353) and notes the following features:

- a. "...one story and built of reinforced concrete and brick." No change.
- b. "...mission tile hipped roof...parapet edged with tile caps..." No change.
- c. "An angled bay with a simulated rusticated façade acknowledges the corner." No change.
- d. "Ornamental ironwork surmounts the bay." Will be maintained and repaired as necessary.

No elements identified in the building's description of relevant features are being removed or modified. The proposed design will <u>not</u> "significantly alter" characteristics or features that are



character-defining. The scope of demolition and restoration is outlined in the attached **Exhibit F**. Existing building façade openings will remain, and windows and storefront that have already been replaced over time will be removed. Building details that are remaining and can be renovated, such as painted-over windows along Weyburn Avenue and boarded-up transom windows at the corner of Weyburn and Broxton Avenues, will be restored. The building's footprint, spatial composition, materials and remaining original details including stucco and metal work will remain and be restored where possible.

HISTORY OF DESIGN DEVELOPMENT

Raising Cane's incorporates an indoor-outdoor dining room in nearly every location, typically utilizing glass roll-up doors for the window openings. A roll-up "garage" door was originally proposed at this location. While the DRB did not have concerns regarding utilizing this area of the building for dining, some members felt that a garage-style door, or roll-up door, was not in keeping with the architectural style of the building and broader vicinity. One of the DRB members suggested a horizontal bi-fold door as being more appropriate while accomplishing the same effect: an interior dining area that has the ability to be open to the exterior.

Early on, Raising Cane's had originally expressed a desire to have a "walk-up window" for food service, also common at other locations. After careful review with planning staff, it was determined that the walk-up window would not be allowed under the Specific Plan for this location, as the building footprint extends to the property line, and the point-of-service and/or transaction would take place *on* public property, which is expressly prohibited in the Specific Plan³. Additionally, outdoor or sidewalk seating would not be able to be permitted under the City's new Al Fresco Program for outdoor dining at this location, as - again - the building is built to the property line and the existing sidewalks are too narrow to accommodate seated dining as well as comfortable pedestrian and ADA access along Weyburn and Broxton.

All that said, the DRB has always supported Raising Cane's vision to provide an indoor-outdoor dining area that will activate this very important corner. Neither operable windows nor indoor-outdoor dining are expressly prohibited in the Secretary of Interiors Standards or within the Specific Plan itself. As noted above, the building's existing openings at the corner will remain asis. New windows and storefront will be installed where the original building elements have already been replaced.

The Appellant states there was no updated report referencing the bi-fold window design. The historic report including the bi-fold windows was prepared in October 2024 and submitted to staff on October 23, 2024 (See **Exhibit G** email record attached). Analysis of windows per HRG:

three6ixty

³ Per email discussion and email between the representative and staff (Kevin Fulton) dated March 8, 2204, Section 5.A.1 of the Specific Plan states: Except as provided in Subsections B and C of this Section, any use permitted in the C4 zone shall be permitted within the Specific Plan Area, provided that all activities, including storage, are conducted wholly within an enclosed building, except that outdoor merchandise displays during Village-wide organized sidewalk sales, outdoor dining and newsstands may be conducted other than within a wholly-enclosed building.

"The new doors, storefronts, canopies, and bi-fold windows will be simple and contemporary in design, so will be visually unobtrusive and differentiated from the historic character of the building. They will be installed within existing openings, so will not alter the historic scale and proportions of the façade or the existing fenestration pattern." Exhibit E, page 15

APPELLANT'S CONDITIONS

Appellant-offered modified conditions are not relevant, as no additional information or analysis – nothing NEW – has been provided or submitted to the case file to support these proposed conditions, some of which are in fact already included in the LOD. Therefore, the findings have been made and stand based on information provided to and evaluated by staff and the DRB.

SIGNAGE

Signage is not a part of this request and will be processed administratively.

CONCLUSION

The project is replacing a similar use, that of quick-serve food service. The project as proposed will be synergistic with the uses in the neighborhood and will highlight the architectural significance specifically at this intersection with beautification of the existing building and with activity that engages the street.

Raising Cane's is a responsible operator and conscientious neighbor, who aims to maintains the highest standards of operations. They have conducted extensive outreach with the adjoining residents and surrounding community to understand concerns in the area, and will continue to make themselves available to address issues that come up during construction and future operation.

Overall, the Appellant has not provided any new information or material to the case file. Materials provided have been previously circulated to the DRB and staff, thus have been considered in making the determination in support of the Project as proposed.

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Attachments:

Exhibit A - Exhibit A Appellant's letter

Exhibit B - three6xity-prepared DRB Final Hearing Presentation

Exhibit C - Department of City Planning Master Land Use Application Primary Checklist

Exhibit D - three6ixty-prepared Attachment "A"

Exhibit E - HRG Cultural Resources Report dated October 2024

Exhibit F - Cultural Resource Documentation Report Westwood Village

Exhibit G - Email record between DCP staff and Applicant's Representative



STEVEN D. SANN

907 WESTWOOD BOULEVARD, # 203 LOS ANGELES, CA 90024-2904 WRITER'S DIRECT: (213) 448-8147 • EMAIL: STEVESANN2001@YAHOO.COM

February 7, 2025

West Los Angeles Area Planning Commission c/o Commission Executive Assistant City Hall 200 North Spring Street, Room 272 Los Angeles, CA 90012 April Sandifer, President
Marty Shelton, Vice President
Haley Feng, Commissioner
Esther Marguilies, Commissioner
Lisa Waltz Morocco, Commissioner

Re: Case No. DIR-2024-4409-DRB-SPPC-COA; CEQA: ENV-2024-4410-CE 10942-10946 W. Weyburn Ave. & 1008 S. Broxton Ave.; Los Angeles, CA 90024 Applicant: Raising Cane's

Honorable Commissioners:

This letter is submitted as a supplement to the Appeal of the case number captioned above, stating the reasons for this appeal, the specific points at issue, how I and other members of our Westwood community are aggrieved by the decision, and why I believe the decision-maker erred or abused their discretion in this case.

I am the Chair of the Westwood Community Council, Inc., however I am filing this appeal as individual.

This is an Appeal of the improper issuance of a Certificate of Appropriateness (COA) of one of our 46 Historic-Cultural Resource buildings in our Westwood Village Specific Plan area and the improper issuance of Specific Plan Project Permit Compliance (SPPC).

I am writing in reference to the Raising Cane's project proposed for the 1938 Villa Mart building in Westwood Village, located at the highly significant "Crossroads Corner" of Broxton and Weyburn Avenues. This building faces three of our most architecturally, culturally, and historically landmark buildings in the entire Village: the 1931 Fox Westwood Village Theater, the 1932 El Paseo Building, and the 1937 Bruin Theater. Together, these four historic structures anchor one of the most significant and important corners in the Village, in Los Angeles, and indeed in the entire film entertainment world.

I attended every single public hearing in their entirety, including both preliminary and final hearings, conducted by the Westwood Design Review Board (DRB), including the final meeting held on December 18, 2024, when the Board, by the BARE MINIMUM VOTE of 4 in favor and 2 opposed, ostensibly acted to recommend the project to the Director of Planning for approval.

However, the Board FAILED COMPLETELY to analyze the project, and make the LEGALLY REQUIRED FINDINGS as enumerated in the Los Angeles Municipal Code, the Westwood Village Specific Plan, including the 10 mandatory findings required for the issuance of a COA. A vote was taken, the required findings were not made and ignored, and were only INSERTED into the Letter of Determination by staff, using boilerplate language found in nearly every other LOD.

Further, the legal standard to make the required findings is based on <u>SUBSTANTIAL EVIDENCE</u> IN THE RECORD. In fact, there was NOT substantial evidence in the record, and in certain cases there was NO EVIDENCE IN THE RECORD whatsoever.

I note further that the two NO votes were the TWO leading experts on the DRB with vast knowledge and full understanding of the REQUIREMENTS of the Secretary of the Interior's Standards. One of these two DRB members is the former President of the Los Angeles Conservancy Board of Directors, and a current Board member of the National Trust for Historic Preservation. This Board member stated repeatedly that the project as proposed FAILED utterly to meet the required standards for approval.

The other DRB member who also voted NO on the project is a longtime member of a Historic Preservation Overlay Zone (HPOZ) Board in the city of Los Angeles. As such, she is also highly experienced in CORRECTLY applying the Secretary of the Interior Standards. She also voted no, stating that the project as proposed, especially the treatment of the corner, FAILED to meet the legally required standards.

Underscoring the fatally flawed process in this case, BOTH of the dissenting Board members have formally asked City staff to provide urgently needed "in service training" possibly by the Office of Historic Resources (OHR) staff, to educate the DRB members on the correct process, their role, and duties to properly perform the function of the DRB, particularly when it is performing the function of an HPOZ Board, as required for the 46 enumerated historic-cultural resource buildings listed in the Westwood Village Specific Plan.

Despite these fatal flaws, fabricated "findings" were essentially plucked out of thin air, and boilerplate language was inserted into the LOD by planning staff, not based on any discussion, inquiry, or evaluation, or determination by the DRB, falsely asserting that the project, in fact, met the required findings.

To put it simply, the DRB, by a BARE MAJORITY VOTE of 4-2 simply "approved the project" without making the required findings by the DRB members, and absent substantial evidence in the record.

This is not permitted, and is a violation of the LAMC, the California Environmental Quality Act (CEQA), and established Planning Department policies, practices, and procedures.

Specifically, I wish to bring to your attention (I.) several MANDATORY FINDINGS enumerated below that must be made to approve this project; and (2.) to request that the proposed project be APPROVED WITH THE FOLLOWING CONDITIONS BELOW.

Note that the CORNER portion of this 1938 Villa Mart building at Broxton and Weyburn Avenues is expressly called out as a "Character-defining feature" under the Secretary of the Interior's Standards for Rehabilitation, in the 1985 Historic Resources Report relied upon by the Planning Department and City Council in originally adopting the Westwood Village Specific Plan:

Historic Resources Survey (1985)

Address: 10948 Weyburn Ave. Common Name: Stan's Donuts Historic Name: Villa Mart

Architectural Style: Mediterranean (Revival)

Year of original construction: 1938

"This wedge-shaped building of Mediterranean-influenced design is located at the intersection of Weyburn and Broxton. Apparently built in increments, it is one story and built of reinforced concrete and brick. A mission tile hipped roof tops the west (Broxton) elevation. An angled bay with a simulated rusticated façade acknowledges the corner. Ornamental ironwork surmounts the bay. Altered storefronts face each street. Despite its many changes, the building does suggest the themes which were historically identified with Westwood Village."

The following are the Ten Mandatory "Standards of the Secretary of the Interior" ALL of which are required "findings" (and which findings must be based on substantial evidence in the record) in order to recommend to the Director of Planning that a Certificate of Appropriateness (COA) be granted for this project, under the Westwood Village Specific Plan and the Los Angeles Municipal Code:

- I. A property will be used as it was historically, or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spacial The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, will not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right will be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features will be substantiated by documentary, physical, or pictorial evidence.
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- 8. Significant archeological resources affected by a project will be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, proportion, and massing, to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

By allowing the most significant character-defining feature of the building – the anchor corner element – to be essentially obliterated with missing windows and doors (replaced by inauthentic "folding plate windows and folding plate doors") this is a SIGNFICANT ALTERATION OF A KEY SPACIAL RELATIONSHIP, expressly prohibited by mandatory findings numbered 1, 2, and 3.

Additionally, the following are the MANDATORY FINDINGS that must be made by the DRB to recommend a project for approval to the Director of Planning, for Specific Plan Project Permit Compliance (SPPC) as enumerated in the Westwood Village Specific Plan:

Section 13.B. Design Review Criteria.

Pursuant to LAMC Section 16.50, the DRB shall make a recommendation to the Director of Planning concerning a proposed Project on the basis of the following criteria:

- 1. The Project shall conform to all applicable provisions of the Specific Plan.
- 2. The Project shall be consistent with the Westwood Village Design Guidelines.
- 3. The colors and types of building materials shall be reasonably consistent with the character of Cultural Resources in the area.
- 4. The Project shall not cast shadows onto adjacent residential buildings outside the Specific Plan Area for more than two hours between 10 a.m. and 4 p.m. on December 21 or between 10 a.m. and 4 p.m. on March 21.
- 5. All open areas not used for buildings, walkways, or driveways shall be landscaped.
- 6. The massing of the building shall relate in scale to surrounding Cultural Resources and shall be appropriate to the pedestrian oriented character of Westwood Village.
- 7. The architectural style of the building shall relate to surrounding Cultural Resources.
- 8. All mechanical equipment and other appurtenances shall be screened from public view.
- 9. Any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner.

The addition of historically inaccurate, modern aluminum framed folding-place windows and folding plate doors is absolutely NOT consistent with ANY of the 46 historic-cultural resource buildings listed in the Westwood Village Specific Plan.

The Applicant failed completely to provide ANY evidence in the record that such modern windows are "reasonably consistent" with ANY of the 46 historic-cultural resource buildings. No photos were submitted. Nothing! In fact, NO SUCH EVIDENCE could be provided because NONE of these 46 buildings have modern folding-plate windows and folding plate doors.

I defy the decision maker to point to ANY such evidence in the case file. In fact, NO SUCH evidence exists. Note also that the Historic Resources Survey report that was submitted was for an entirely DIFFERENT window treatment and design (rolling garage doors and windows), and no supplemental report was ever submitted to reflect the CURRENT design. As such there was no evidence in the record on which either the DRB or the Director of Planning could rely.

Additionally, the fact that the windows and doors on the corner element are COMPLETELY DIFFERENT AND OBVIOUSLY do not matching the rest of the windows and doors of the project is a blatant violation of Condition 9 above which requires that "any exterior treatment, including color, texture, and other architectural features, shall be applied to all exterior walls in a similar manner." Windows and doors are both highly significant architectural features, and as such must be applied to ALL exterior walls in a similar manner. The corner windows and doors fail that required finding. Thus the legally required finding CANNOT be made without modifying this condition, requiring that ALL windows and doors must be similar.

I note that Raising Cane's has recently built and opened many restaurants in architecturally and historically significant buildings, including in New York City, Washington, D.C., Boston, Nashville, and Chapel Hill, among other locations. IN NONE OF THESE CASES OF HISTORIC BUILDINGS did Raising Cane's install, nor were they authorized to install, folding plate windows or folding plate doors. That is because folding plate windows and folding plate doors are MODERN style windows and doors that are historically INAPPROPRIATE, inaccurate, and incompatible, under the Secretary of the Interior's Standards, and thus a Certificate of Appropriateness (COA) would not be granted.

Given Raising Cane's track record of RESPECTING the architectural and historical integrity of these historic and architecturally significant buildings in other cities across the United States, Raising Cane's absolutely must be held to the same standard, and respect the historical, architectural, and cultural integrity of Westwood Village and the 1938 Villa Mart building, a Mediterranean Revival structure, especially as the highly significant corner of Broxton and Weyburn Avenues, directly across the street from three highly significant, iconic, and landmark buildings in our Village – the Fox Westwood Village Theater, the El Paseo Building, and the Bruin Theater.

IF YOUR COMMISSION DECIDES TO GRANT THE APPEAL BY AMENDING SOME OF THE CONDITIOND IN THE LOD, I OFFER THE FOLLOWING SUGGESTED MODIFIED CONDITIONS OF APPROVAL FOR RAISING CANE'S PROJECT (IN THE 1938 HISTORIC "VILLA MART" BUILDING, AT THE CORNER OF BROXTON & WEYBURN AVENUES, IDENTIFIED AS A HISTORIC CULTURAL RESOURCE BUILDING UNDER THE WESTWOOD VILLAGE SPECIFIC PLAN:

- I. All windows and mullions on the corner portion of the building at Broxton & Weyburn shall be of the same style, type, design, dimension, and color to match the windows as shown on the plans and renderings of the Weyburn elevation, namely that they shall be **FIXED and INOPERABLE WINDOWS** of large single plate glass, to match the windows shown on page 21 of the Applicant's Historic Resources Group Report (photo dated c. 1950) with matching mullions made out of metal (or anodized aluminum?) painted in black enamel. (Note: need to specify (a.) exact color of glass, whether clear or tinted in different color specification, and (b.) either single paned or doubled paned glass, as required by Code and energy efficiency rules). Also need to specify whether flat or glossy paint finish for the mullions?). (Note: Folding plate windows to be expressly disallowed.)
- 2. All doors on the corner portion of the building at Broxton & Weyburn Avenues shall be of the same style, type, design, dimension, and color of the solid traditional-style doors of red-painted wood (or metal?) and glass to match the doors as shown on the renderings and plans for the Weyburn elevation of the building. (Note: Folding plate doors to be expressly disallowed.)
- 3. The windows and mullions on the Broxton elevation shall be of the same style, type, design, dimension, and color to match the windows as shown on the plans and renderings of the Weyburn elevation, namely that they be **FIXED and INOPERABLE WINDOWS** of large plate glass with matching mullions made out of metal (or anodized aluminum?) painted in black enamel (Note: need to specify (a.) exact color of glass, whether clear or tinted in different color specification, and (b.) either single paned or doubled paned glass, as required by Code and energy efficiency rules; note also that windows may be frosted on the inside to provide an opaque appearance. Also need to specify whether flat or glossy paint finish?).

- 4. Note: Presently, there are large "sheets" of paint peeling off the building, especially at the corner. Please add a condition that all such damaged paint be removed by the least intrusive method possible (careful scraping by hand), and absolutely NO SANDBLASTING OR WATER BLASTING which is forbidden under the Secretary of the Interior Standards.
- 5. All other unapproved elements such as existing flood lights, brackets from long-removed signs, and other extraneous materials currently on the façade should be carefully removed, the surface should be patched, carefully sanded and painted to match the original.

Additional suggested NOTES regarding advising Planning staff on the proposed signage:

- 1. The Village Pedestrian signs (aka "Blade Signs") as shown on the plans and renderings for both the Weyburn and Broxton elevations are UNAPPROVABLE. Note the definition in Section 4 of the Westwood Village Specific Plan: "Village Pedestrian Sign A sign that is attached to a wall or to the underside of an awning or marquee with one or two sign faces perpendicular to the face of the building and that identifies a use or service exclusively or primarily by symbol." The proposed blade signs are 100% text and unapprovable. If the Applicant wishes to change the design to depict their company mascot, "Cane" the Labrador, or perhaps a chicken (or chicken finger?) then perhaps they could be approvable. Note also that the DRB Design Guidelines and Practices and Preferences have routinely disallowed THICK box-like signs that resemble unapprovable CABINET signs hanging off a façade. The Board also has routinely disapproved INTERNALLY LIT blade signs, as these cause the signs to need to be too thick and bulky to accommodate the circuitry and electronics inside the "cabinet." The Board has routinely approved and preferred EXTERNALLY LIT blade signs (using goose neck or tensor lights, etc.).
- 2. Note also the definition of a "Cabinet Sign A wall sign placed on the face of enclosed cabinet/box attached to a building that may display any message allowed on either an off-site or an on-site sign." All such Cabinet signs are UNAPPROVABLE. The three round red "Raising Canes Chicken Fingers" signs shown on the Weyburn elevation, Broxton elevation, and at the corner of Broxton & Weyburn Avenues all appear to be Cabinet Signs, and as such appear to be UNAPPROVABLE.

With these necessary and well considered REVISED Conditions of Approval, your Commission could correct the fatal flaws contained in the current LOD.

Thank you very much for your diligent attention to this very important project, for following the legally mandated standards and findings as required by our Westwood Village Specific Plan, the Secretary of the Interior Standards for Rehabilitation, and the Los Angeles Municipal Code, and for helping bring in this new and eagerly anticipated restaurant into Westwood Village. With these AMENDED conditions your Board will achieve a "Win-Win" – helping Raising Cane's come into Westwood Village without delay,

The project can EASILY be modified, the corner treatment can be brought into proper compliance with the required findings, and the applicant can move forward with a slightly modified project and open for business, all while protecting the architectural and historical integrity at this highly significant corner of Westwood Village.

Therefore, I respectfully ask that the Commission GRANT the appeal, and find that the decision-maker erred or abused their discretion in granting this project approval absent substantial evidence in the record that the legally required findings were neither discussed, nor were the findings made by the DRB, and MODIFY the Conditions as noted above,.

I expressly reserve the right to submit supplemental materials for consideration by the Area Planning Commission, in accordance with the rules of procedure governing the submission of such materials, prior to the public hearing.

Sincerely,

Steven D. Sann

Steven D. Sann

BOARD MEETING Westwood Design Review Board

1004-1008 Broxton Avenue, 10942-10946 Weyburn Avenue, Los Angeles, California 90024

12/18/2024

RESPONSE TO COMMENTS

- 1. Black anodized storefront and bi-fold door system
- 2. Reduce extent of arc rail
- 3. Align mullion design across all frontages where possible
- 4. Infill brick base under windows on Broxton frontage to be consistent with Weyburn frontage
- 5. Mechanical Screen details and drawings







2. Reduce Arc Rail and Signage – Before and After





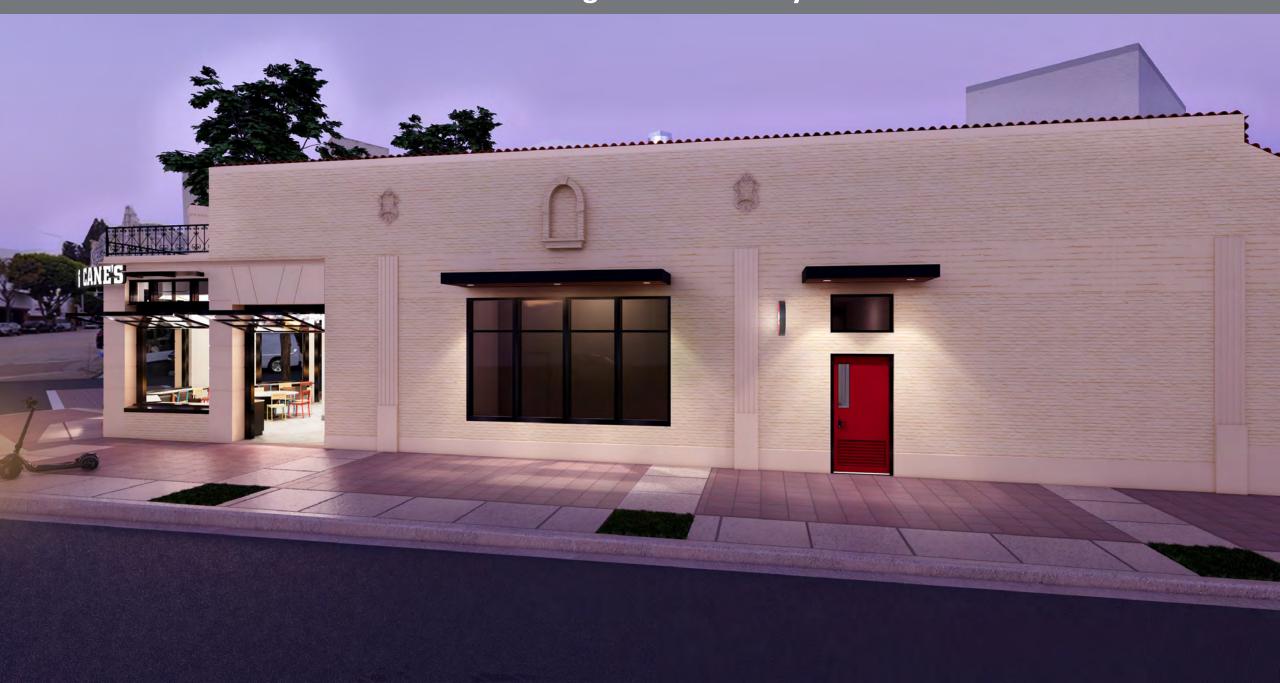
3. Standardize Mullions



3. Standardize Mullions



4. Match Infill Brick Base on Broxton Frontage to match Weyburn



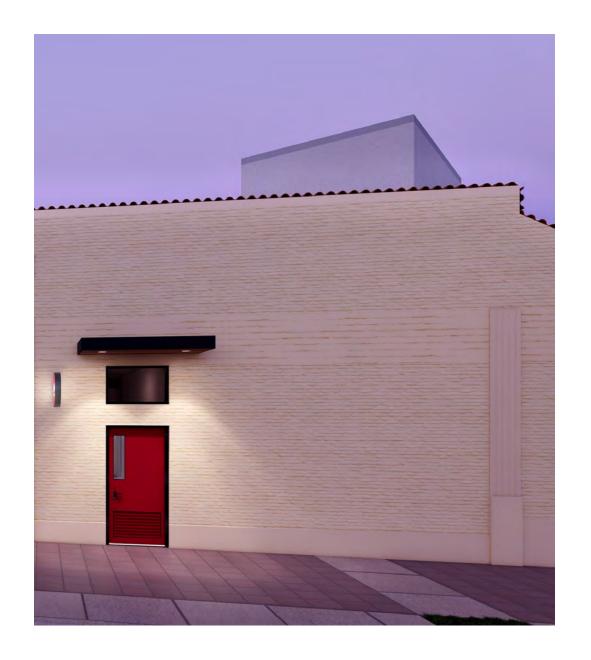
5. Mechanical Screen – Solid Option

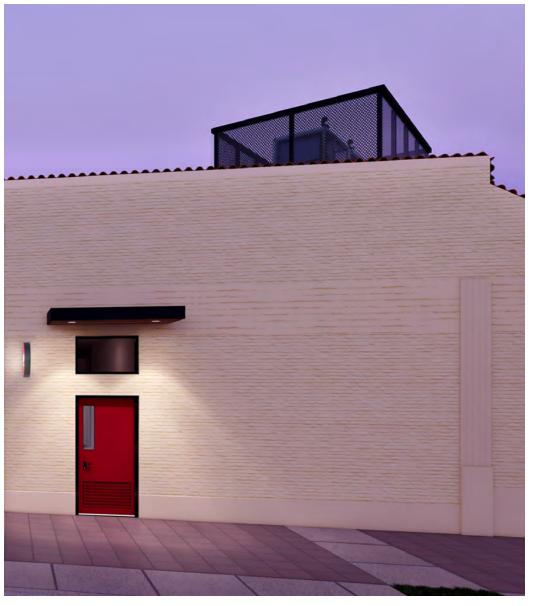


5. Mechanical Screen – Perforated Screen Option



5. Mechanical Screen – Street View





			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

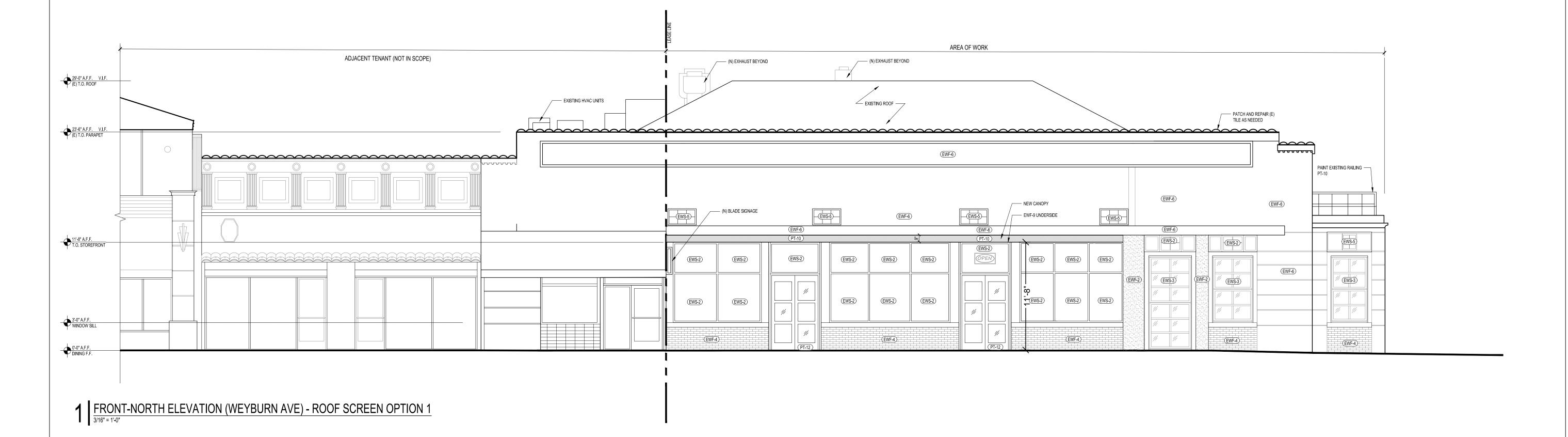
Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000
CSRS Project Manager: KF

DRB REVIEW 12/02/2024



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PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Number:

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			SCHE	TERIALS	
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

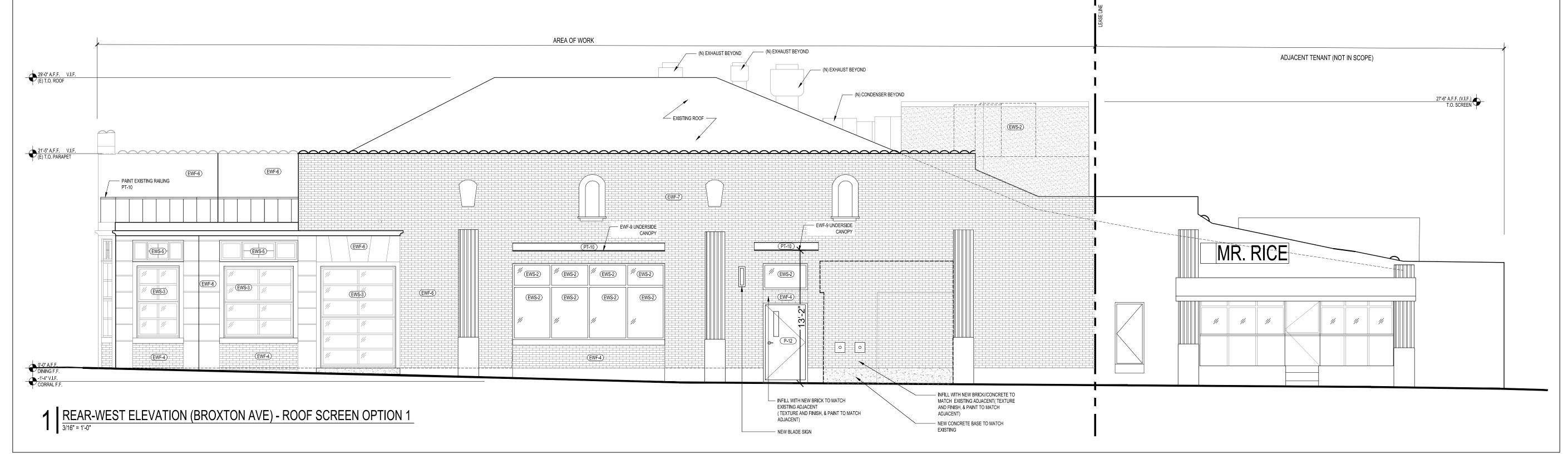
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DRB REVIEW 12/02/2024



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PROPOSED EXTERIOR ELEVATIONS OPT. 1

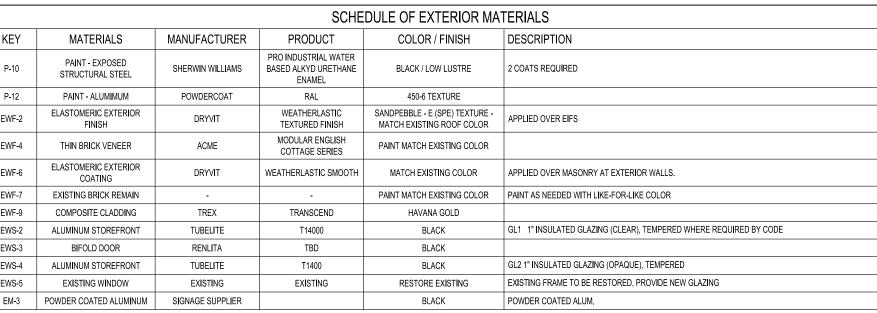
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 $3^{\text{MECHANICAL PLATFORM - EAST ELEVATION}}$

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.





Restaurant: Raising Cane's Restaurant #925 1008 Broxton Avenue Los Angeles, CA 90024 NTV [B]

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

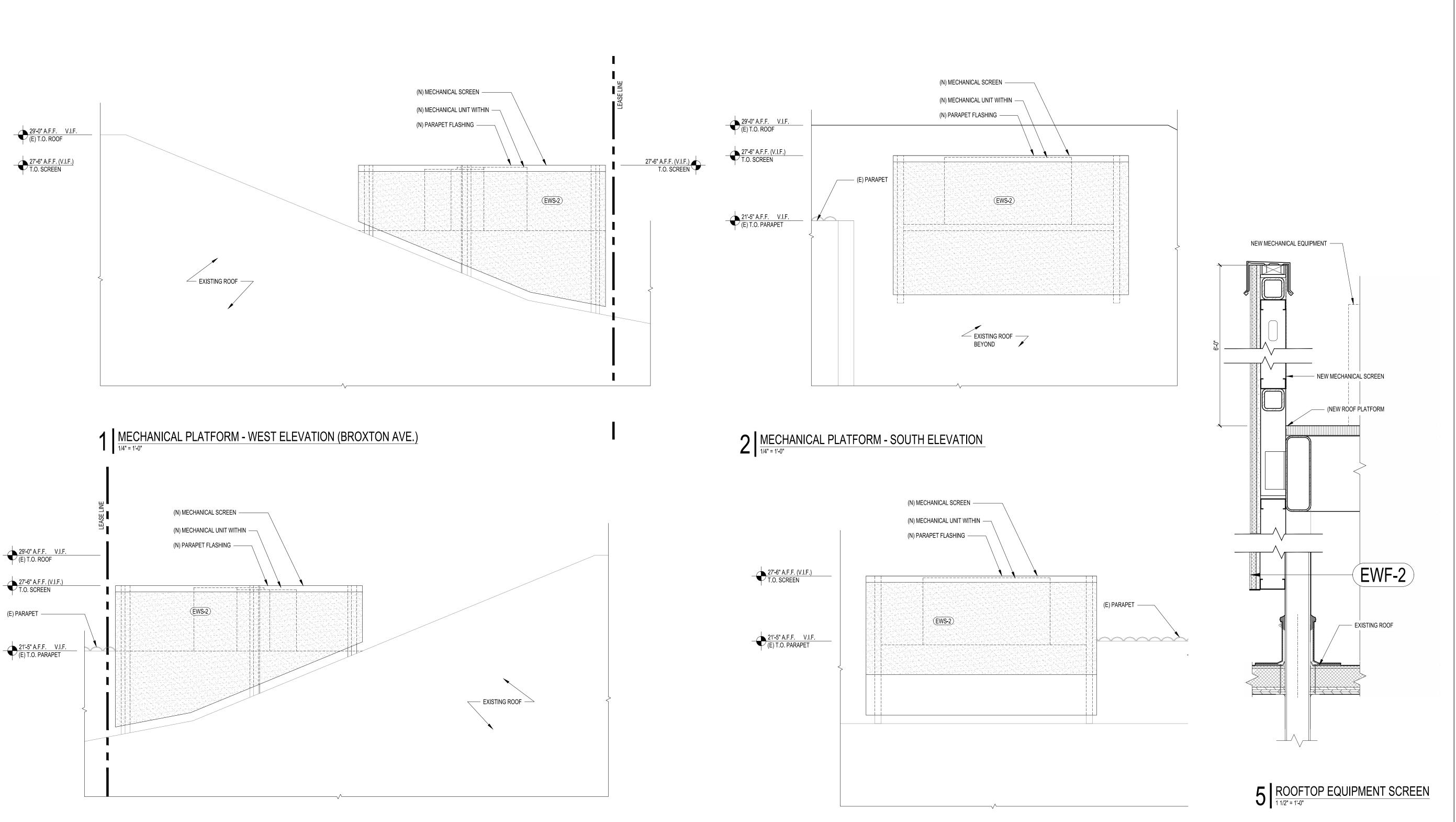
> DRB REVIEW 12/02/2024

PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Versions:

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4 MECHANICAL PLATFORM - NORTH ELEVATION

			SCHE	TERIALS	
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

CSRS

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Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

DRB REVIEW 12/02/2024

	LEASE LINE	
ADJACENT TENANT (NOT IN SCOPE)	AREA OF WORK — (N) EXHAUST BEYOND — (N) EXHAUST BEYOND	
29'-0" A.F.F. V.I.F. (E) T.O. ROOF 23'-6" A.F.F. V.I.F. (E) T.O. PARAPET	EXISTING HVAC UNITS EXISTING FOR THE AS NEEDED PATCH AND REPAIR (E) TILE AS NEEDED	
	PAINT EXISTING RAILING — PT-10 EWF-6) EWF-6	
	(N) BLADE SIGNAGE (EWF-6) (EWF-6) (EWF-6) (EWF-6)	
-8"A.F.F. D. STOREFRONT	EWS-2	
O"AFF	EWS2 EWS2 EWS2 EWS2 EWS2 EWS2 EWS2 EWS2	
3'-0" A.F.F. WINDOW SILL 0'-0" A.F.F. DINING F.F.	(EWF-4) (EWF-4) (EWF-4) (EWF-4)	
JINING F.F.		· ·
1 FRONT-NORTH ELEVATION (WEYBURN AVE) - ROOF SCREEN OPTION 2		

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PROPOSED EXTERIOR ELEVATIONS OPT. 2

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			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Los Angeles, CA 90024
NTV [B]

Designer's Information:

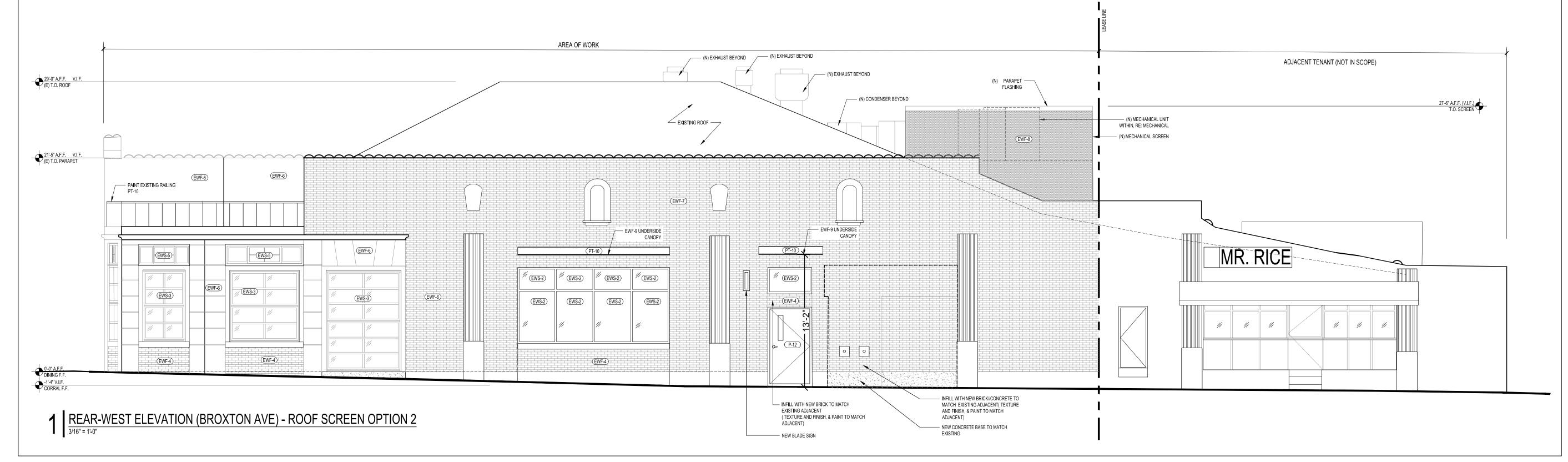
301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802
Telephone: 833-523-2526
www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

DRB REVIEW 12/02/2024



#	Date	Description
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PROPOSED EXTERIOR ELEVATIONS OPT. 2

Sheet Number:

A4.20

OPTION 2: PEFORATED METAL SCREEN

			TERIALS		
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING COLOR	APPLIED OVER STUCCO
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	-	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING





Raising Cane's Restaurant #925 1008 Broxton Avenue Los Angeles, CA 90024 NTV [B]

Designer's Information: 301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

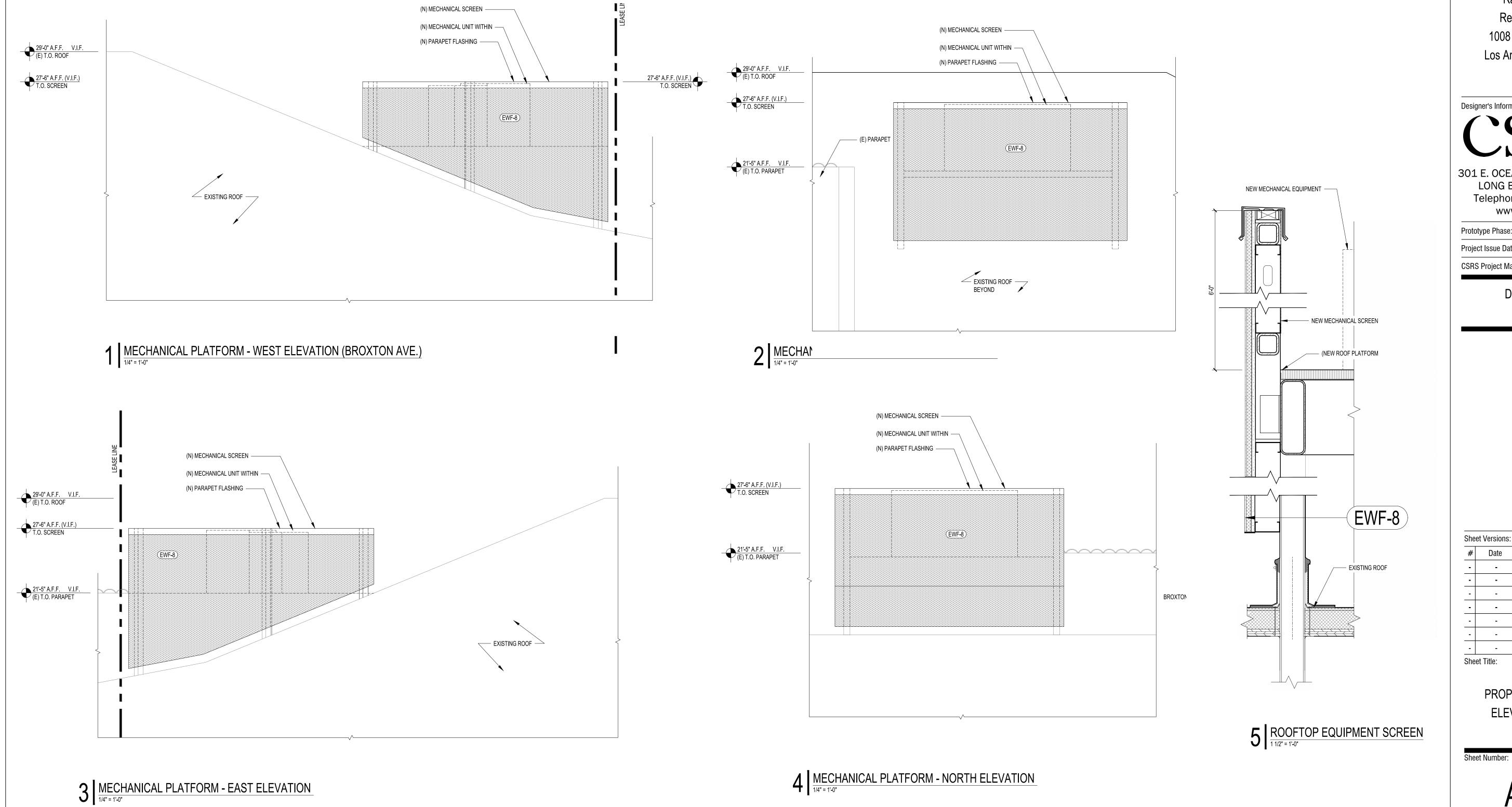
Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

> DRB REVIEW 12/02/2024

A4.30

PROPOSED EXTERIOR

ELEVATIONS OPT. 2







STEEL W/ POWDER COATED

MATTE BLACK FINISH

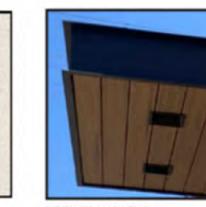


ALUMINUM FINISH: RAL 450-6 TEXTURE



COTTAGE SERIES. BRICK VENEER. PAINT AS NEEDED.



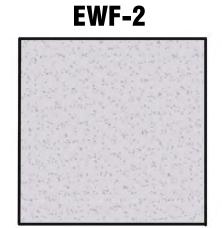


EWF-9

TREX TRANSCEND COMPOSITE DECKING HAVANA GOLD



ALUMINUM STOREFRONT SYSTEM FINISH: ANODIZED SILVER



EIFS TO MATCH EXISTING ROOF

			SCHE	DULE OF EXTERIOR MA	ATERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EWF-2	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE - E (SPE) TEXTURE - MATCH EXISTING ROOF COLOR	APPLIED OVER EIFS
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT MATCH EXISTING COLOR	
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	÷		PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM 2	DOWNED COATED ALLIMINUM	CICNACE CURRUER		DLACK	POWER COATE ALIM









Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

DRB REVIEW 12/02/2024

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PROPOSED EXTERIOR ELEVATIONS OPT. 1

Sheet Number:

A4.20



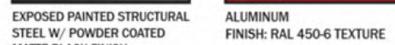


STEEL W/ POWDER COATED

MATTE BLACK FINISH



P-12





ACME: MODULAR ENGLISH COTTAGE SERIES. BRICK VENEER. PAINT AS NEEDED.



TO MATCH EXISTING

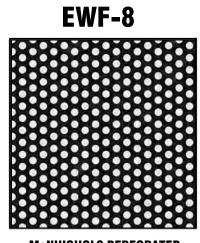
TREX TRANSCEND COMPOSITE DECKING HAVANA GOLD

EWF-9

1 REAR-WEST ELEVATION (BROXTON AVE) - ROOF SCREEN OPTION 2



ALUMINUM STOREFRONT SYSTEM FINISH: ANODIZED SILVER



McNHICHOLS PERFORATED METAL SCREEN

KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
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EWF-7	EXISTING BRICK REMAIN	1.91	-	PAINT MATCH EXISTING COLOR	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-8	PERFORATED METAL SCREEN	McNICHOLS	17143863SA AIJ3003H14.063GA 1/4RD		MECHANICAL ROOF PLATFORM SCREEN
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	BLACK	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	BLACK	
EWS-4	ALUMINUM STOREFRONT	TUBELITE	T1400	BLACK	GL2 1" INSULATED GLAZING (OPAQUE), TEMPERED
EWS-5	EXISTING WINDOW	EXISTING	EXISTING	RESTORE EXISTING	EXISTING FRAME TO BE RESTORED, PROVIDE NEW GLAZING
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		BLACK	POWDER COATED ALUM.

P-12 EWF-4 EWF-6



EWF-9 (UNDER CANOPY)

P-12



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024

NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

	Prototype Phase:	NTV
	Project Issue Date:	00-00-0000
4	CSRS Project Manager:	KF

DRB REVIEW 12/02/2024

#	Date	Description	
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PROPOSED EXTERIOR ELEVATIONS OPT. 2

Sheet Number:

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RENDERINGS



RENDERINGS



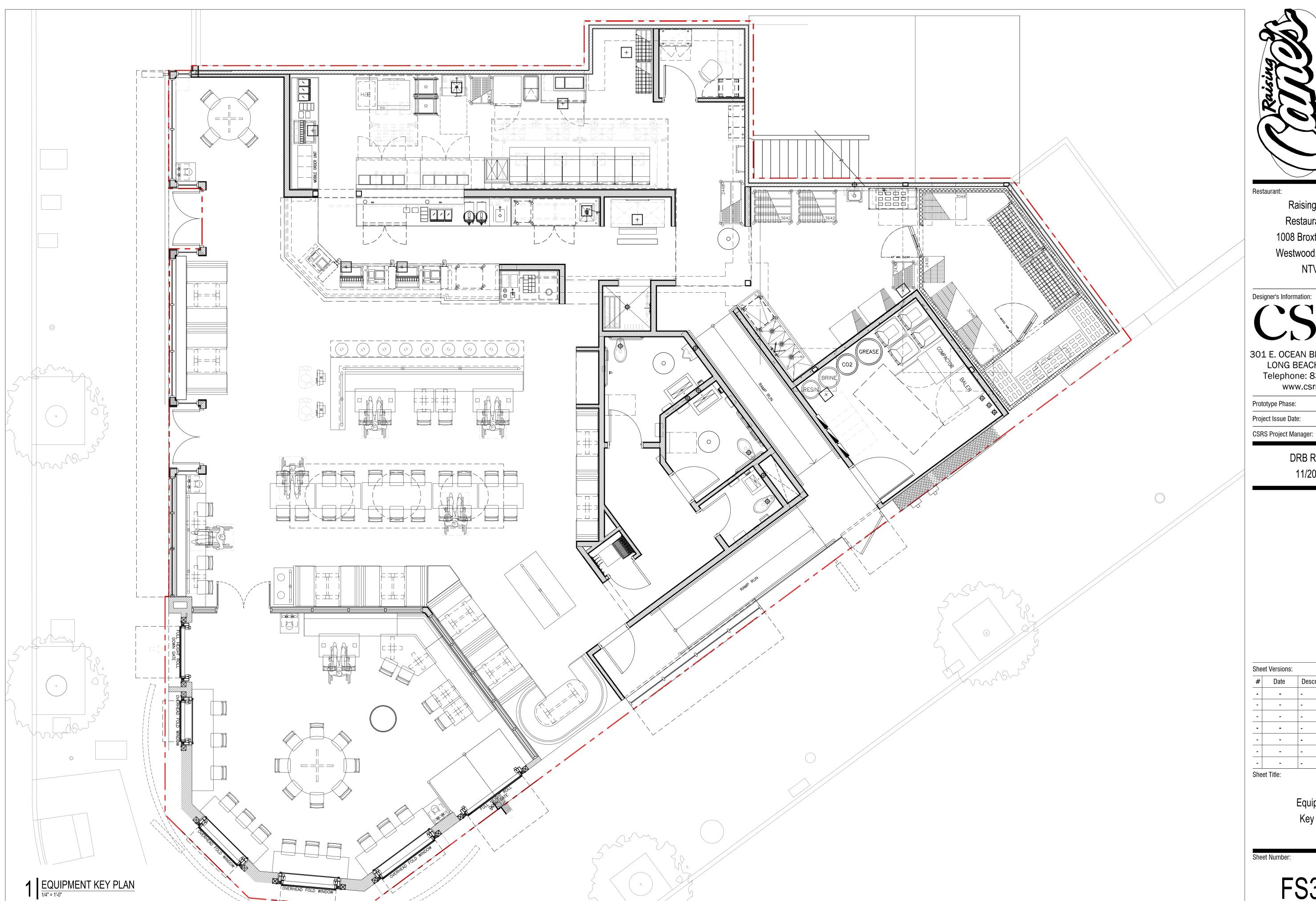
RENDERINGS



Questions? Thank you!



Appendix



Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	N
Project Issue Date:	00-00-000
CSRS Project Manager:	ŀ

DRB REVIEW 11/20/2024

Equipment

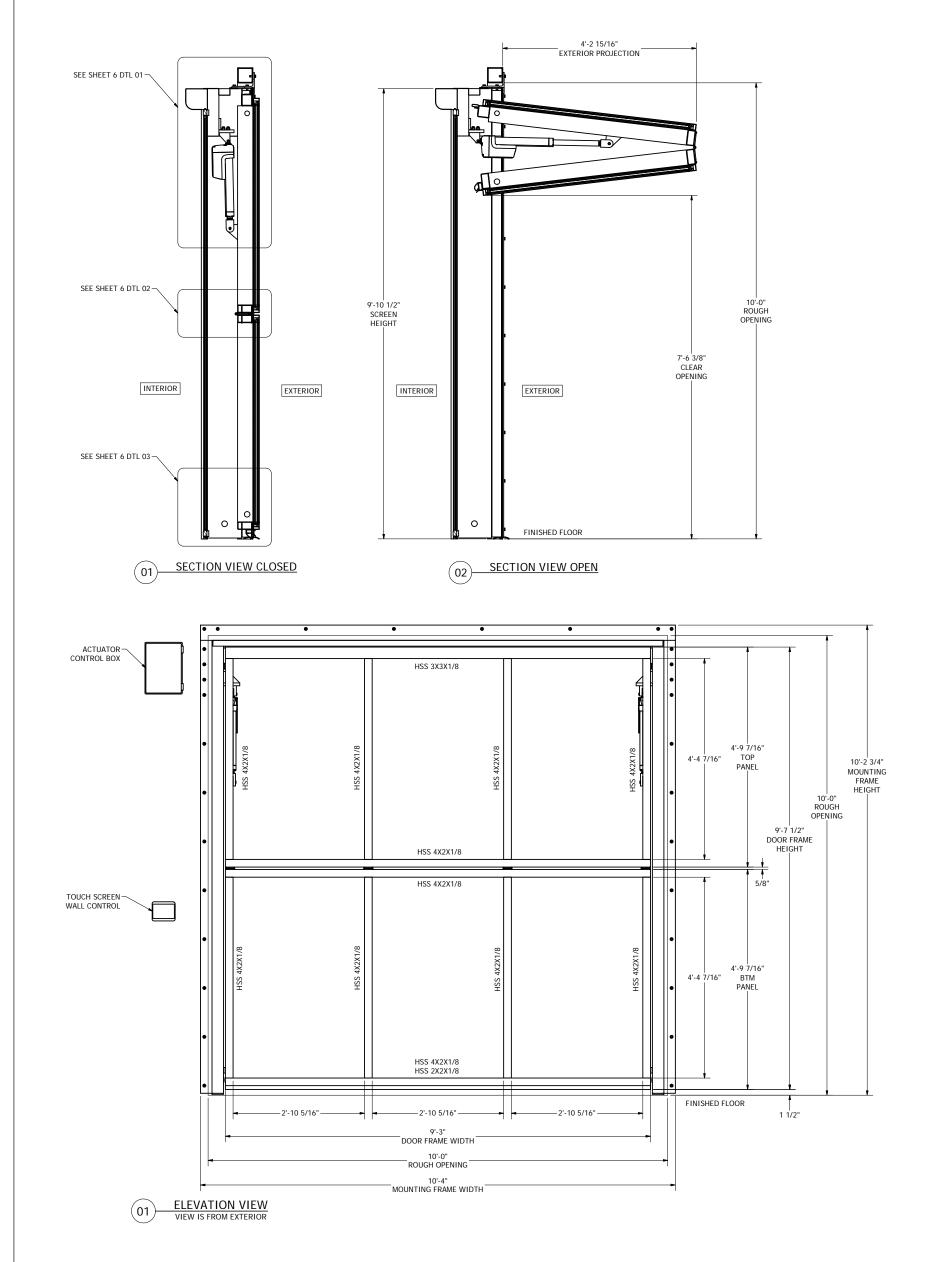
FS3.10

Bifold Door/Window - Product Images

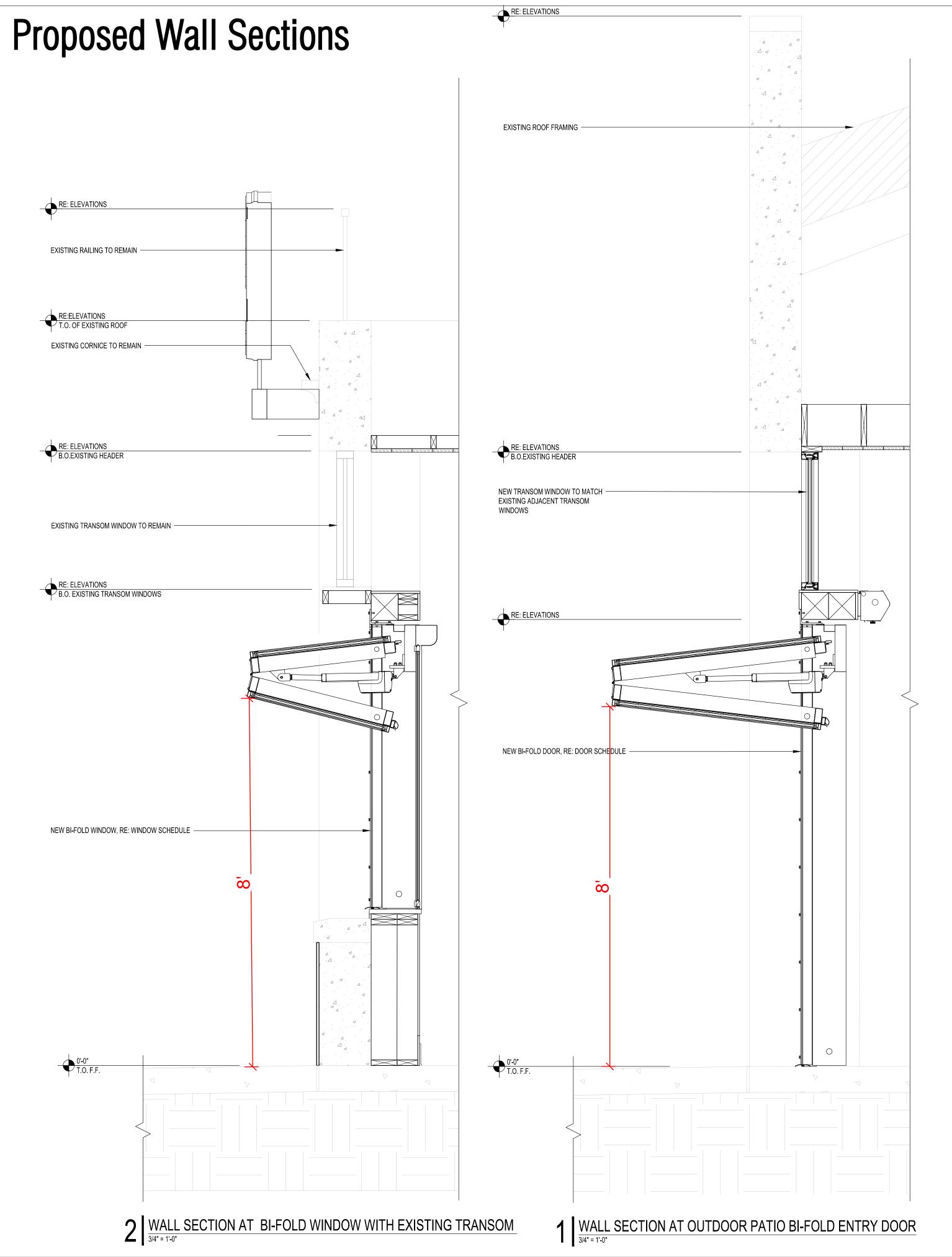




Product Cut Sheets



Renlita - EvoWave Finish Anodized Silver





Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

11/20/2024

Prototype Phase:	NT
Project Issue Date:	00-00-000
CSRS Project Manager:	K
DRB REVIEW	

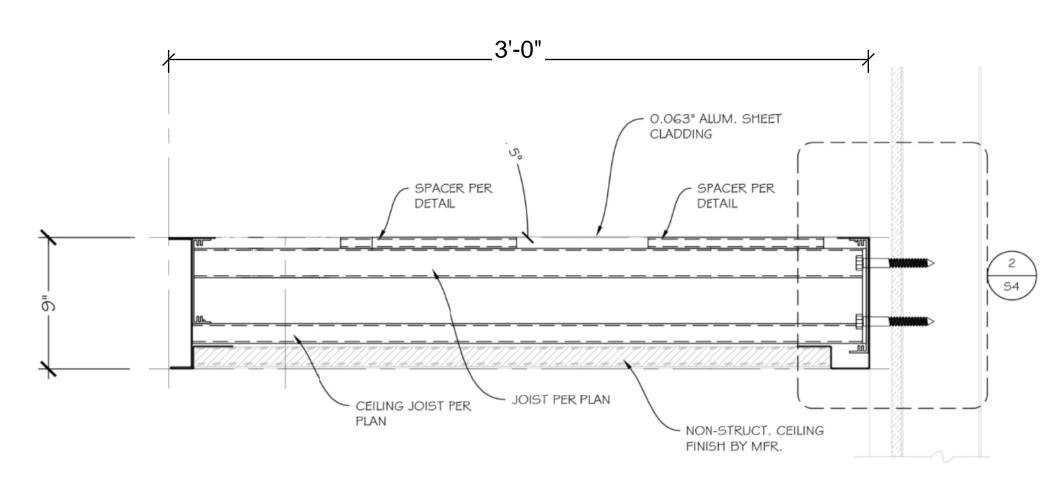
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 Description

 Sheet Title:

Renlita - EvoWave Bifold Doors/Windows at Existing and New Transom Windows

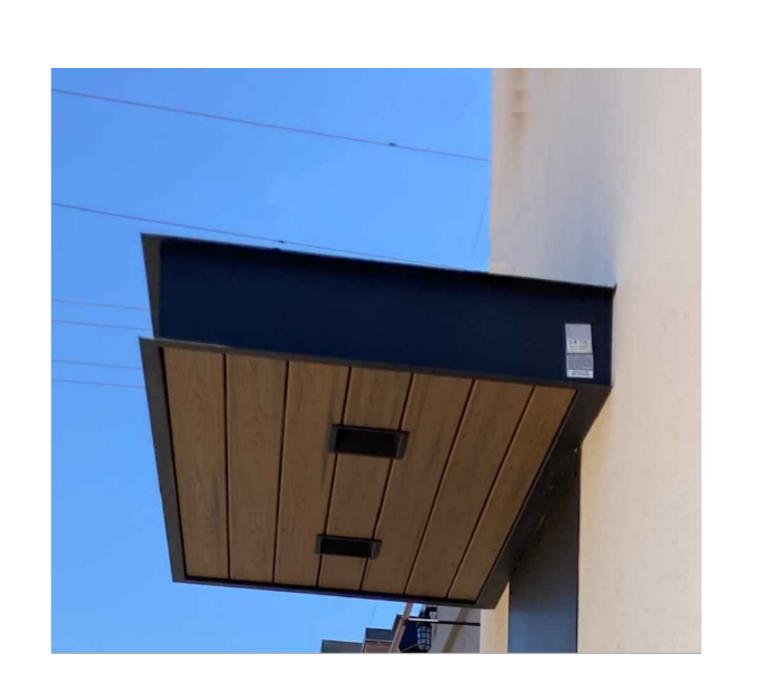
Shoot Number



2 | SECTION DETAIL

PHOTOS OF AWNINGS FOR REFERENCE







Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

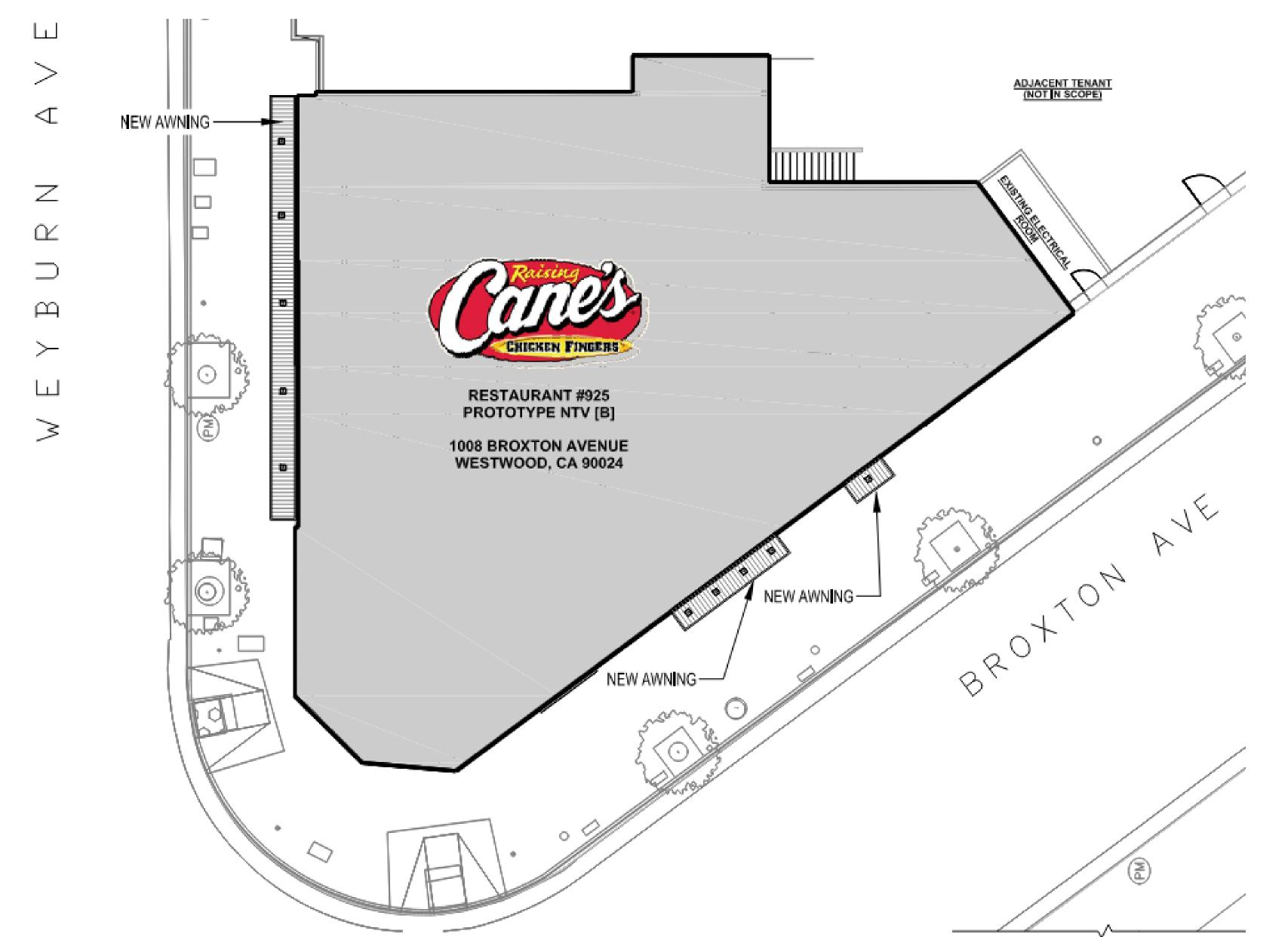
Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF
DRB REVIE	W

11/20/2024

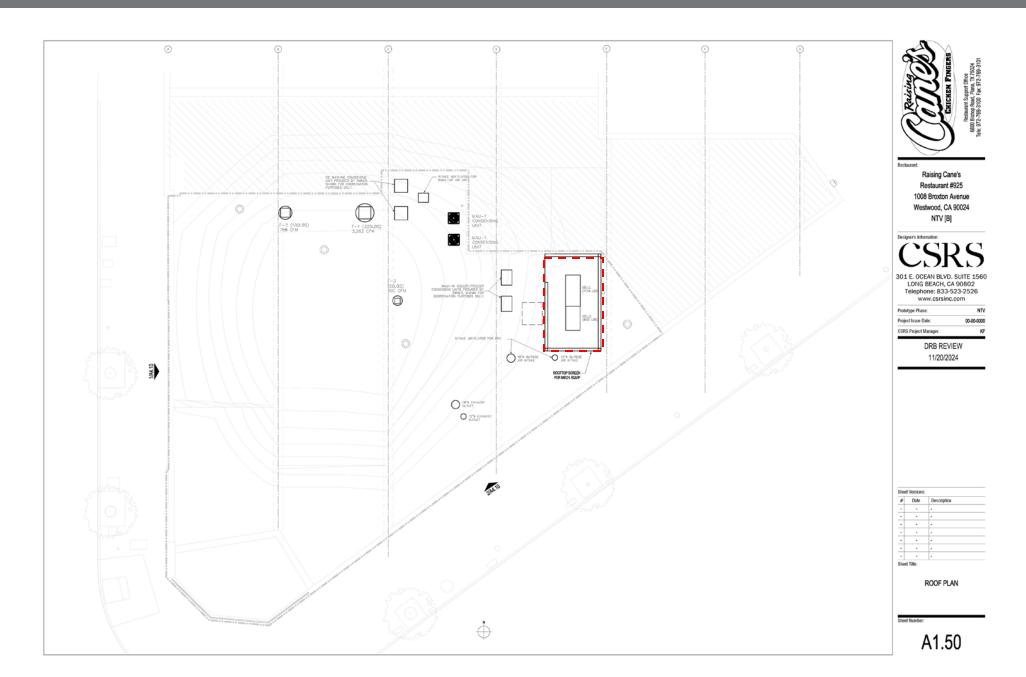
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AWNING PHOTOS & DETAILS

Sheet Number:

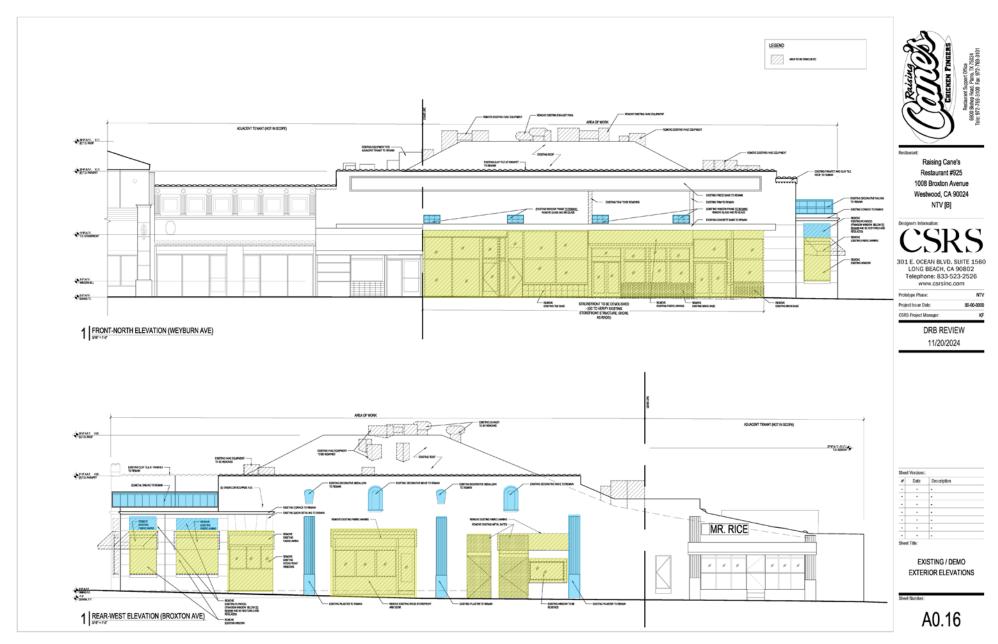


5. ROOF PLAN

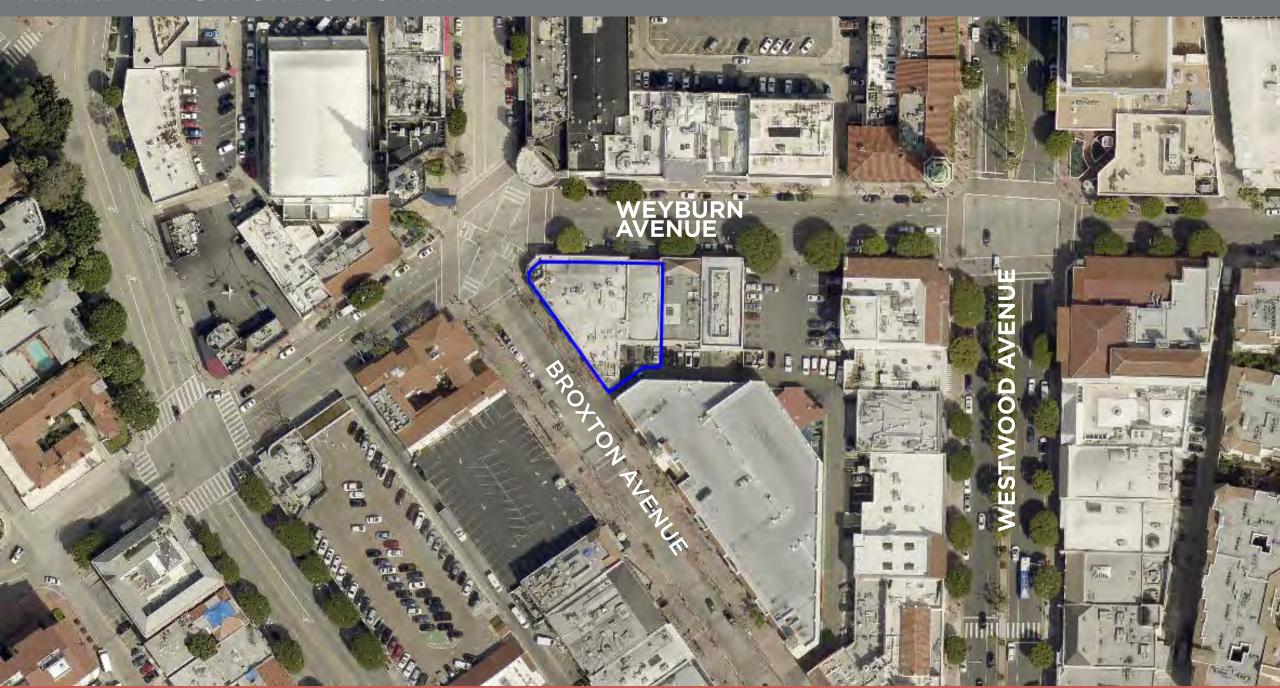


EXISTING ELEVATION/PROPOSED SCOPE OF WORK

■ To be Demolished■ To be Preserved/Restored



AERIAL – NEIGHBORING VICINITY



CURRENT STREET VIEW

WEYBURN AVENUE FRONTAGE



View of Subject Property along Weyburn Avenue facing south



View of Subject Property along Broxton Avenue facing south



View of Subject Property at Weyburn & Broxton Avenue facing east

BROXTON AVENUE FRONTAGE



View of Subject Property along Broxton Avenue facing northeast



View of Subject Property along Broxton Avenue facing northeast



View of Subject Property along Broxton Avenue facing north

WEYBURN ELEVATION – STOREFRONT DETAILS









WEYBURN ELEVATION – STOREFRONT DETAILS

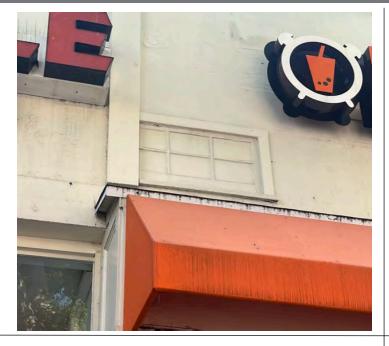








EXISTING WINDOWS - EXHIBIT













Interior

CORNER OF WEYBURN AND BROXTON





Existing -





Historic Photos

INTERNAL



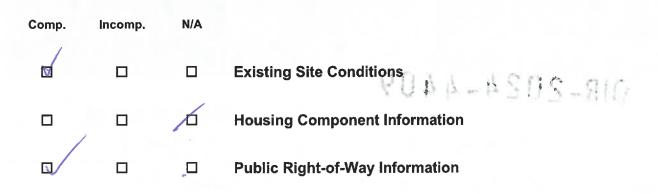
PRIMARY CHECKLIST FOR CASE FILING

	4-4409	STAFF.	ROSALINDA MEZA
CASE NO.:		_STAFF:	RW/UNDA MEZA
ENV CASE NO.: ENV. 20	24-4410-CE	_DATE:	07/117/2024
SITE ADDRESS: 1004-1008	Broxton and 109	42-10948	Weyburn Ave.
APPLICATION TYPE:	Sfor Compliance	W/ West	
(e.g.,	General Plan Amendmer	nt, Zone Chang	e, Zone Variance, Conditional Use)
DEPARTMENT O	CITY PLANI	NING AF	PPLICATION FORM
PROJECT LOCATION			
Common N/A			
Comp. Incomp. N/A			
√ □	Street Address in ZIM	AS or BOE Ref	erral Form if not in ZIMAS
		f proposing a C	UB or CUX, the field is <u>required</u> ,
	even if "N/A")		
V	Legal Description (inc	luding all contig	guously owned parcels)
/			
	Assessor's Parcel Nu	mber(s)	
1		, ,	
10 0	Lot Area		
	Lot Alea		
PROJECT DESCRIPT	ION		
Comp. Incomp. N/A			

Present and Proposed Use

area, parking spaces, seats, hours of operation

Proposed Project, including any demolition, number of units, height, floor



ACTION(S) REQUESTED

Comp.	Incomp.	N/A	
			Authorizing Code Section(s)
			Code Section(s) from which deviation is required, if applicable
			Action(s) Requested (i.e., narrative of what is required vs. what is requested)

RELATED CITY PLANNING CASES

Comp.	Incomp.	N/A	
			List of previous, recent, or pending case numbers related to the project

PROJECT TEAM INFORMATION

Comp.	Incomp.	N/A	
			Applicant (Note: The Representative <u>cannot</u> be the Applicant unless the Representative has a vested interest in the project; i.e., Owner, Owner-in-Escrow, Lessee, or any person benefitting from the project)
			Owner

Comp.	Incomp.	N/A	
0			Representative
		a	Other

PROPERTY OWNER AFFIDAVIT

Comp.	Incomp.	N/A	
U			Matches Assessor's Information in ZIMAS
C)			Neep wet signature of page 8 & 12 DCPapp. Ownership Disclosure if property is owned by LLC, Corporation, Partnership, or Trust
			☐ Agent for Service of Process
			☐ Names and addresses of principal owners (25% interest or greater)
			☐ Copy of current corporate articles, partnership agreement, or trust, as applicable
		ø	Notarized Letter of Authorization from Owner granting Power of Attorney to the Signatory (if Application is not signed by Owner)
Ø			Grant Deed (always required for CDPs)
		9	Multiple Owners (If there are multiple parcels and/or owners, all owners need to give consent)
			Copy of Lease (if Applicant is lessee of entire site)
₽ /			Notarized
abla			Owner Affidavit
			Applicant Declaration

(OPTIONAL) NEIGHBORHOOD CONTACT SHEET

Comp.	N/A	
		Neighborhood Contact Sheet

SUPPLEMENTAL FILING REQUIREMENTS

RELATED DOCUMENTS/REFERRALS

Comp.	Incomp.	N/A	
			Specialized Requirement Form(s)
D			Findings or Justification for <u>each</u> Requested Action
VZ			Geographic Project Planning Referral
			Case Consultation Referral Form
		Ø	Redevelopment Project Area Form
		Þ	HPOZ Authorization Form
		6	Affordable Housing Referral Form
		6	TOC Referral Form
		ø	Optional HCA Vesting Preliminary Application (eligible only for Housing Development Projects that have not yet filed an application)
		Ø	UDU Inter-Agency Referral Form
			Mello Form

Comp.	Incomp.	N/A	
	0	ø	Tree Disclosure Statement (any protected trees or shrubs on the project site and/or any trees within the adjacent public right-of-way that may be impacted or removed as a result of the project)
		<u>D</u>	Urban Forestry Referral Form (any project that requires a Tree Disclosure Statement <u>and</u> is within the Mt. Washington/Glassell Park SP, or for an SB 9 Urban Lot Split or Parcel Map in the Valley)
		Þ	Citywide Design Guidelines Compliance Review Form (construction of new main building, VTT; excludes < 4 units, QPSH, SB 35 or AB 2162 projects)
		ď	Management Team Authorization (General Plan Amendments)
		<u></u>	Expedited Fee Agreement
		<u></u>	Preliminary Zoning Assessment (projects that result in 2+ new units- Section VI must be completed / include plans signed by LADBS staff for Project Planning to deem complete)
		Ø	Transportation Study Assessment (LADOT Referral Form)
		□ /	BOE Planning Case Referral Form (<i>PCRF</i>) (see <i>DCP Application Filing Instructions for applicable thresholds</i>)
0/			Hillside Referral Form (BOE)
M			Building Permits and Certificates of Occupancy (LADBS)
		9	Order to Comply
		9	LID Referral Form (replacing > 500 sq ft impervious area)
		ø	Replacement Unit Determination Letter (RUD) from LAHD for projects subject to HCA (<i>AB 2556 RUD if not subject to HCA</i>)
			No Net Loss Declaration (for single-unit projects, ADUs/JADUs, or SB 9 Two Unit Developments)
		Þ	Copy of Recorded Covenants, Affidavits, or Easements on the property

VICINITY MAP

Comp.	Incomp.	
П	П	Location Man showing surrounding area (show nearest Collector Street

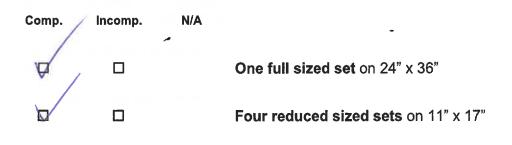
PHOTOGRAPHS

Comp.	Incomp.	
Ū		Index Map showing from which direction photos were taken
₽		Project Site
		Neighboring Properties

ZIMAS PARCEL PROFILE REPORT & MAPS

Comp.	Incomp.	
ū		One copy of Parcel Profile Report selecting all contiguously owned properties
		One copy of a ZIMAS map aerial view selecting all contiguously owned properties ¹

PLANS REQUIRED



¹ Exceptions include, but are not limited to, boundary specific requests such as a zone change, zone boundary adjustment, subdivisions.

Comp.	Incomp.	N/A	
			Plot Plan
Ø			Include all contiguously owned parcels; identify which are not a part of the project work scope.
	ø		Summary table of project details
			Floor Plans
9			For CUBs, identify alcohol storage and include total # of indoor/outdoor seats, numbered seats, and square footage
4			Elevations
		8	Sections
		<u></u>	Landscape and Irrigation Plans
		9/	Open Space Plan (for projects with 6+ new residential units)
	پ		Color Renderings of project with landscaping (all Commission cases)
ALIFO	ORNIA EN	IVIRO	NMENTAL QUALITY ACT (CEQA)

Comp.	Incomp.	N/A	
			Categorical Exemption Recommended Prepare Notice of Exemption (NOE) Form
			☐ Print copies for Case File and Duplicate Case File
			☐ Scan copy for Electronic Copy of Application Materials and e-submit

Comp.	Incomp.	N/A	
			Environmental Assessment Form (EAF)
			□ EAF Checklist Items
			Environmental Impact Report (EIR)
			Existing ENV
			Addendum to Existing ENV
			Other (e.g., Statutory Exemption)

DUPLICATE CASE FILES

Comp.	Incomp.	N/A	
E			Certified Neighborhood Council (CNC) in an unsealed, postage affixed envelope with DSC return address (ALL CASES for properties with NCs)
			☐ Add USPS Tracking Label to envelope
		6	LAPD (CUBs only)
		6	Council Office (CUBs only)
			DCP Application Form
			NOE, EAF, or Environmental Determination
Q ,			Findings/Justification
			Vicinity Map
			Vicinity Map

Comp.	Incomp.	
G		ZIMAS Map
q		Photographs
A		Project Plans
\bigvee		Additional Materials

ELECTRONIC COPY OF APPLICATION MATERIALS

Comp.	Incomp.	N/A	
			Electronic copy of application materials (PDF format only)
			DCP Application Form
ø			NOE, EAF, or Environmental Determination
6			Findings/Justification
Þ			Vicinity Map
13			ZIMAS Map
			Photographs
ta /			Project Plans
7			Additional Materials

DSC STAFF REQUIREMENTS

PCTS ENTRY

Housing Project Suffixes (No Additional Fees are Required)

Comp.	N/A	
		HCA - Housing Development Projects that create 1+ new residential units or lots
		VHCA – Housing Development Projects with a signed, optional HCA Vesting Preliminary Application, in lieu of the HCA suffix
		PHP - Housing Development Projects with \leq 10 units, proposing \leq 20% rental units for Low Income, or 30% for-sale units for Low- or Moderate-Income households
Project D	Description	
Comp.		
	UseNumbeFloor atHeight/sNumbeNumbe	
Request	ed Entitlem	nent
Comp.		
	List request	red entitlements; cite applicable LAMC Sections (2,000 character maximum)

Application Info Tab

Comp.	Remember to click "Update" to save information.
Q/	Project Team Information
	Applicant
	Representative
	☐ Email address <u>and</u> phone number for the individual checked as the "Primary Contact for Project" on page 4 of the DCP Application Form
	Not required, but if submitted, input BTC Receipt information on the "Application Info" tab
Case Info	o Tab
Comp.	Remember to click "Update" to save information.
	Select Processing Unit on the "Case Info" tab
	Enter USPS Tracking No. into PCTS under "Additional Information"
	If the Project is a "Significant Planning Entitlement", press the blue "SEND Ethics Registration Confirmation" button and select <u>only</u> the email for the individual marked as the "Primary Contact for Project" on page 4 of the DCP Application Form
Housing	Dwelling Unit Data
Comp.	N/A.
	Input Dwelling Unit Data (including non-residential floor area)

Upload Digital Attachments to E-Submit

Comp.	Incomp.	N/A	
9			DCP Application Form
ø			NOE, EAF, or Environmental Determination
6			Findings/Justification
Á			Vicinity Map
7			ZIMAS Map
P			Photographs
Ø			Project Plans
ø			Additional Materials
ď			Scanned or Digital PDF of Paid Invoice

CASE FILE PREPARATION

Specific Type of Case Filings - Stickers

Comp.	N/A	
		PHP – Affix PHP sticker on top right corner of Main and ENV Case File
		EPS – Affix red Expedite Sticker to top right corner of Case Files (Main and ENV) and on DCP Application Form
		CUB – Affix LAPD sticker on inside left of Case File; leave date blank for Admin Staff to fill out when the Duplicate Case File is distributed

All Case Filings

Comp.	N/A	
		Photocopy NC Packet envelope and insert in Case File
		Insert Electronic Copy of Application Materials in Case File
		Print out invoice showing payment with Receipt No. and insert in Case File
		Rubber band the following to the Case File for Admin Staff to upload to P Drive for ZIMAS/Systems:
		Aerial View from ZIMAS with all contiguously owned parcels highlighted
		Photocopy of pages 1 and 4 of the DCP Application Form
		Photocopy of Site Plan

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ATTACHMENT A

FINDINGS AND SUPPLEMENTAL INFORMATION 1004-1008 Broxton Avenue, 10938-10946 Weyburn Avenue, Los Angeles, California 90024

> SITE INFORMATION:

- Street Address: 1004, 1008 Broxton Avenue, 10938, 10940, 10942, 10944, 10946
 Weyburn Avenue, Los Angeles California, 90024
- Lot area: 10,984 square feet/0.252 acres (per ZIMAS)
- Assessor's Parcel Number: 4363-018-020

> ACTION(s) REQUESTED:

- ➤ **Project Compliance (SPPC),** pursuant to LAMC Chapter 1A Section 13B.4.2, for compliance with the Westwood Village Specific Plan for an interior and exterior façade improvements of a restaurant.
- ➤ **Project Compliance, Design Reivew Board (SPPC),** pursuant to LAMC Chapter 1A Section 13B.4.3, for compliance with Westwood Village design guidelines.
- Certificate of Appropriateness (COA), pursuant to LAMC Chapter 1A Section 13B.8.5. to permit the alteration of any façade or the construction, demolition, or removal of any building within the Westwood Specific Plan.

> SUBJECT PROPERTY

The subject property is located at 1004-1008 Broxton, 10938-10946 Weyburn Ave, on the southeast corner of Broxton Avenue and Weyburn Avenue. The Property is located in a commercial corridor along Weyburn Avenue and Westwood Boulevard and is immediately surrounded by various retail uses. The site is one irregularly shaped corner parcel, with a lot area of approximately 10,984 square feet (0.252 acres) and a building containing seven total tenant spaces. The Assessor Parcel Number ("APN") for the Property is 4363-018-020, and the site is legally described as Lot 12, Block 5 of Tract TR 10600. Street Parking and parking structures are provided nearby, but none on site.

The entire building is designated within the Westwood Village Specific Plan as a Locally Significant Historical Resource. Two of the tenant spaces that contained Stan's Donuts and Shane's Jewelry are identified on HistoricPlacesLA, the City's database of historic structures; the rest of the tenant spaces within the building remain unidentified by HistoricPlaces LA. Formerly Stan's Donuts is now Primo's Donuts, and Shane's Jewelry is currently vacant.

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¹ Los Angeles County Assessor.

The Tenant Space is currently improved with Primo's Donuts, Onkei Ramen shop, La Belle Salon, It's Boba Time, a vacant space, and Westwood Acupuncture. Of these, Onkei Ramen shop is the only business no longer operating. The Tenant Space encompasses 4,745 square feet and is located within the middle units of the building. The Tenant Space has frontages along Weyburn Avenue and Broxton Avenue.

> SURROUNDING PROPERTIES

The Property is located along a major commercial corridor and is surrounded by commercial uses within Westwood Village. Surrounding parcels to the north, east, south and west of the property are zoned C4-2D-O and developed with commercial and retail uses, including but not limited to BJ's Restaurant & Brewhouse, Taco Bell, Whole Foods, and CVS Farther to the west of the Property along Weyburn Avenue, parcels are zoned (Q) R4-1VL and improved with multi-family residential buildings. To the north across Le Conte Avenue resides the University of California: Los Angeles, zoned as PF-1XL.

➤ LAND USE/ZONING CLASSIFICATION

The Property is zoned C4-2D-O and is designated for Community Commercial uses by the Westwood Community Plan, and is further restricted by the Westwood Community Specific Plan.

The C4 commercial zone permits a broad range of commercial uses such as retail, restaurants and neighborhood serving uses, including uses of the C2 zone with limitation, and uses of the R4 zone. Restaurant uses are permitted by right in the C4 Zone.

The 2D suffix corresponds to the height district, which in the C Zone permits a Floor Area ratio of 1.5:1 and building height of 45 feet/3 stories. The D Limitation references the Westwood Village Specific Plan, which allows up to 2.0:1 FAR and a height of 40 feet.

The O suffix refers to the property being within an Oil Drilling Zone.

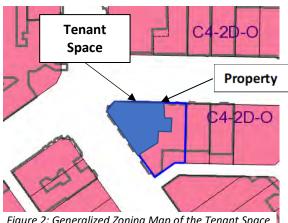


Figure 2: Generalized Zoning Map of the Tenant Space and Property



Figure 1: Aerial Satellite Map of the Tenant Space and Property



> STREETS AND CIRCULATION

<u>Weyburn Avenue</u> is designated Local Street-Standard, requiring 60 feet right of way and 36 feet roadway width. The existing right of way is approximately 80 feet and improved with a curb, gutter and sidewalk. No dedication or widening is required given the scope of work.

<u>Broxton Avenue</u> is designated Local Street-Standard, requiring 60 feet right of way and 36 feet roadway width. The existing right of way is approximately 80 feet and improved with a curb, gutter and sidewalk. No dedication or widening is required given the scope of work.

> OTHER LAND USE CLASSIFICATIONS/OVERLAYS

• Westwood Community Plan

The Westwood Community Plan was adopted in 1999 and is currently being updated by the City. The Community Plan has no additional design standards applicable to the project not covered by the Specific Plan. Refer to the Community Plan for any parameter not covered by the Specific Plan.

• Westwood Village Specific Plan

The Westwood Village Specific plan was updated in December of 2022 and outlines the Westwood Village zone. The goal of the plan is to designate the area as a cross section of many communities, and preserve the architecturally significant buildings. Several development limitations are imposed in the Specific Plan in order to accomplish this goal. Projects in this Specific plan are subject to administrative review by the Westwood Community Design Review Board. Per the Westwood Specific Plan Area, the Property is listed as a "Locally Significant Cultural Resource," due to the Mediterranean architectural style of Stan's Donuts, located at 10948 Weyburn Avenue. The Westwood Village Specific Plan also limits the uses permitted in the C4 Zone, prohibiting any drive-in businesses within the Specific Plan Area.

• Westwood Community Design Review Board Specific Plan

The Westwood Community Design Review Board Specific Plan was implemented in 1988 and updated by Ordinance No. 187644 in December of 2022. The goal of the Specific Plan is to assure development is in accordance with the Community Plan, promote development that harmonizes with residential areas, provide guidelines and a process for building design, and to prevent the development of structures not in keeping with the façade design standards of the surrounding community.



Broxton & Weyburn 7/18/2023 Page 4 of 11

Regarding the review and approval for compliance within the Westwood Community Design Review Board Specific Plan, the project is considered to be a "Project" as defined by the WVDRBSP:

"1. Applicability. The following Projects shall be eligible for Administrative Review and are exempt from the Project Compliance and design review board procedures contained in LAMC Sections 11.5.7 C and 16.50: Signs that comply with Section 11 of this Specific Plan and do not require an adjustment, modification, exception, or a Certificate of Appropriateness. a. Signs that comply with Section 11 of this Specific Plan and do not require an adjustment, modification, exception, or a Certificate of Appropriateness. b. Change of use Projects that do not propose Facade alterations, new construction, expansion, or a Limited Use identified in Section 5 B of this Specific Plan."

The proposed redevelopment of the Tenant Space currently includes interior and exterior tenant improvements. Thus, it classifies as a "Project" under the Specific Plan, and approval by the Design Board Review will be required.

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PROJECT DESCRIPTION

The Applicant is requesting a Planning Permit Compliance, Certificate of Appropriateness and Design Board Review approval to allow for interior tenant and façade improvements to an existing commercial building for the operation of a new 3,624 square foot restaurant having 134 seats, with hours of operation daily from 9:00 AM to 3:30 AM, ("Project").

The property is currently seven separate tenant spaces occupied by Primo's Donuts Onkei Ramen shop, La Belle Salon, It's Boba Time, and Shane's Westwood Acupuncture; Onkei Ramen shop is the only business no longer operating. The applicant is proposing to adjoin the four spaces into one unit through renovation and interior improvement.

The existing building will remain and there will be no changes to the building's existing footprint., Interior improvements include a new kitchen and service counter on the east side of the tenant space as well as food prep areas, fryers, and drink dispensers. The north and west sides of the unit provide seating, with a total of 134 booth and table seating for costumers. Two entrances will be accessible from Weyburn Ave with an additional staff access point on Broxton Avenue. Restrooms located in the middle of the floorplan indirectly separate the wash area from food prep stations. Three (3) restrooms in total provide sufficient capacity for 134 customers. The wash station is located to the south alongside the Broxton Avenue entrance, providing separation from the kitchen.

Layout of the dining area consists of booth seating along the exterior walls and counter seating through the middle of the restaurant. Additionally, the Proposed Project will feature an "indoor patio" for a dining area in the west corner of the building. The indoor patio dining area will feature operable garage-style doors within the existing window openings, which will activate the corner and allow for increased airflow and atmosphere within the space.

Exterior improvements will be limited to façade changes including new storefront and canopies, new signage and lighting that will reflect the Cane's brand while enhancing the surrounding community. DESCRIPTION OF NEW MARQUIS, REFERENCE THEATER ACROSS THE STREET, CANE'S LOGO SIGNAGE OVER NEON FEATURING UCLA SCHOOL COLORS New materials on Weyburn Avenue include brickwork along the base of the building, which will tie the 5 store fronts together, and black trimmed aluminum window frames with a metal awning. Along Broxton Avenue the brick will be repainted, a new awning installed, and the extra door filled in. Both frontages will include a wall sign.

There is no existing on-site parking, as none was required when the original building was built. The Westwood Village Specific Plan states that a change of use only requires new or additional parking when the new use is residential. As such, the improvements will result in no change in parking.

Raising Cane's takes pride in having high standards in food quality and also in the methodology, material usage, and execution of construction, landscaping, and maintenance of its properties. In addition, Raising Cane's plays an active role in the communities in which they are located by giving back to the local area through various philanthropic channels.



PROJECT COMPLIANCE – ADDITIONAL FINDINGS LAMC Chapter 1A Section 13B.4.2

The Applicant is requesting a Planning Permit Compliance for interior tenant and façade improvements, and new signage, to an existing commercial building for the operation of a new 4,766 square foot restaurant having 134 seats, with hours of operation daily from 9:00 AM – 3:30 AM, (the "Project").

The Director shall grant a Project Permit Compliance upon written findings that the project satisfies each of the following requirements:

(a) That the project substantially complies with the applicable regulations, findings, standards and provisions of the specific plan.

The Property is designated for General Commercial land uses in the Westwood Village Specific Plan and would substantially conform to with the purpose, intent and provisions of the Plan. The requested Project Permit Compliance would substantially conform with the purpose, intent and provisions of the Westwood Village Specific Plan. The proposed project is consistent with the following Plan Objectives:

Commercial:

- **Goal 2**: A strong and competitive commercial sector which promotes economic vitality, and serves the needs of the community through well designed, safe and accessible areas while preserving the community's unique commercial, historic and cultural character.
- **Objective 2-1**: To conserve and strengthen viable commercial development in the community and to provide opportunities for new, compatible commercial development and services within existing commercial areas.
- **Objective 2-2**: To promote distinctive commercial districts and pedestrian-oriented areas.
- **Objective 2-3**: To enhance the appearance of commercial districts
- **Goal 16**: preservation and restoration of cultural resources, neighborhoods and landmarks which have historical and/or cultural significance.
- **Objective 16-1:** To ensure that the Community's historically significant resources are protected, preserved, and enhanced.
- **Objective 16-2:** To preserve and enhance buildings and neighborhoods with a distinctive and significant historical character.
- **Objective 16-3**: To encourage private owners of historic properties/resources to conserve the integrity of such resources.



The Project will add another thriving restaurant to downtown Westwood, reinforcing the strong, competitive, commercial sector. Therefore, the Project satisfies Objective 2-1. The façade and signage change enhance the appearance of the building, while still preserving the historical nature of the building. New brick along Weyburn Avenue preserves and alludes to the historic nature of the building, while new aluminum window frames and metal awnings provide a renovated and updated design. Neighboring tenant spaces containing Stan's Donuts and Shane's Jewelry are both listed as historic resources per the Westwood Village Specific Plan. The existing historic resources listed per the Westwood Village Specific Plan will not be altered or impacted by the tenant renovations within the Project Scope. As such, the proposed improvements are in keeping with the historic nature of neighboring businesses, and the existing commercial building Therefore, the Project satisfies Goal 16 and Objective 2-3.

(b) That the project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review which would mitigate the negative environmental effects of the project, to the extent physically feasible.

The project will mitigate negative environmental impact as the scope of work for the project is not significant enough to impact the surrounding environment, as it is limited to tenant improvement, nor is landscaping required.



CERTIFICATE OF APPROPRIATENESS – ADDITIONAL FINDINGS

The Applicant is requesting a Certificate of Appropriateness for interior tenant and façade improvements, and new signage, to an existing commercial building for the operation of a new 4,766 square foot restaurant having 134 seats, with hours of operation daily from 9:00 AM – 3:30 AM, (the "Project")

Pursuant to LAMC Chapter 1A Section 13B.8.5, the Director shall base a determination whether to approve, conditionally approve, or disapprove a Certificate of Appropriateness for construction, addition, alteration, or reconstruction on the following:

- If no Preservation Plan exists, whether the Project complies with Standards for Rehabilitation approved by the United States Secretary of the Interior considering the following factors:
 - a. Architectural design;
 - b. Height, bulk, and massing of buildings and structures;
 - c. Lot coverage and orientation of buildings;
 - d. Color and texture of surface materials;
 - e. Grading and site development;
 - f. Landscaping
 - g. Changes to Natural Features;
 - h. Antennas, satellite dishes and solar collectors;
 - i. Off-street parking;
 - j. Light fixtures and street furniture;
 - k. Steps, walls, fencing, doors, windows, screens and security grills;
 - I. Yards and setbacks; or
 - m. Signs; and
 - n. Whether the Project protects and preserves the historic and architectural qualities and the physical characteristics, which make the building, structure, landscape or Natural Feature a Contributing Element of the Preservation Zone.

The proposed Project complies with and is consistent with the Secretary of the Interior's Standards for Rehabilitation. Please also see the enclosed Historic Resources Evaluation prepared by Historic Resources Group for a review of how the Project complies with the Standards noted above.

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal changes to the defining characteristics of the building and its site and environment.

The Project includes a change of use from four existing retail and restaurant tenant spaces, into a singular tenant space for the operation of a 4,766 square foot dine-in restaurant containing 153 seats. The proposed use is in keeping with the existing uses of the Project Site. The Project will add new signage and a façade change as part of the scope of work There will be no changes to the defining characteristics of the building frontage, and minimal changes to the site and environment, as the existing structures



will undergo maintenance and rehabilitation in conformance with the Secretary of the Interior's Standards for Rehabilitation. The Project meets Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of the Project Site, namely 1008 Broxton Avenue and10942-46 Weyburn Avenue, will be retained and preserved. The Project will not remove historic materials or alter features or spaces that characterize the property, or the historic features of the neighboring tenant spaces. The proposed work includes a façade and signage change for a new Raising Cane's restaurant, in an existing tenant space. The Project meets Standard 2.

Standard 3: Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The Project does not propose any changes that create a false sense of historical development; no conjectural features or architectural elements from other buildings will be added. The Project meets Standard 3.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

No changes to the exterior of the building on the Project Site have acquired significance in their own right. The Project meets Standard 4.

Standard 5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The Project will rehabilitate the frontage and will retain and repair distinctive features, finishes, and examples of craftsmanship that characterize the building. The frontage will be improved with new brickwork, windows, awnings and signage. Signage includes one wall sign along Weyburn Ave and one wall sign along Broxton Ave. The Project meets Standard 5.

Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The Project will repair deteriorated historic features on the Project Site, including awnings, brick work, window sash and frames, and new paint finish. Features that are



deteriorated beyond repair will be replaced with new features that match the originals in size, shape, finish, and where possible, materials, based on extant physical examples. The Project meets Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The Project does not propose chemical or physical treatments that cause damage to historic materials. The Project meets Standard 7.

Standard 8: Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

The Project Site is not located in an identified archeological zone and the scope of the Project does not include soil disruption; therefore, no significant archeological features will be found. The Project meets Standard 8.

Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

As noted previously, the proposed Project includes a façade change and signage upgrade on an existing commercial building on the Project Site. The new work will connect three of the existing store fronts together on Weyburn Avenue and refurbish the frontage along Broxton Avenue. The project will utilize similar brick work to the existing work on Weyburn Ave and refurbish the brick work on Broxton Ave, as to not destroy historic materials that characterize the property. The new work will be differentiated from the old by its design, which will be a simplified interpretation of historic references, but will not copy any design motifs of the neighboring contributing buildings. The new signage will consist of two wall signs on both Weyburn Ave and Broxton Ave. The footprint of the building is not changing, as there is no new construction. The new work is therefore compatible with the massing, size, scale, and architectural features of the contributing buildings. The Project meets Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

As noted above, the Project will add new signage and change the façade of the building frontage. The scope of work includes updating materials as described in Standard 9, and implementing new signage. Thus, if removed in the future, the essential form and integrity of the two street frontages would be unimpaired.



2. Whether the Project protects and preserves the Historic and architectural qualities and the physical characteristics which make the building, structure, landscape, or Natural Feature a Contributing Element of the Preservation Zone; or

Section 12.20.3.K.4(b) of the LAMC requires that all applications for Certificate of Appropriateness be evaluated to assess whether they protect and preserve the historical and architectural qualities and the physical characteristics which make the building a Contributing element of the preservation zone. The proposed project meets the Secretary of the Interior's Standards for Rehabilitation and complies with the Westwood Village Specific Plan. Therefore, the project protects and preserves the historical, architectural, and physical characteristics of the structures.

The proposed Project does not compromise the defining features of the existing building and will not result in a significant impact on the historical resource. As discussed above, the proposed Project will not compromise the structures because the Project will not physically demolish, destroy, relocate, or alter the contributing structures/tenant spaces on the Project Site such that the significance of the Westwood Village Specific Plan would be materially impaired.

###



HISTORIC RESOURCES GROUP

CULTURAL RESOURCE REPORT 10940-10948 WEYBURN AVENUE AND 1008 S. BROXTON AVENUE OCTOBER 2024



12 S. Fair Oaks Avenue, Suite 200 Pasadena, CA 91105

Tel 626-793-2400

historicresourcesgroup.com

Raising Cane's Chicken Fingers

c/o Sara Houghton, AIA three6ixty 11287 W. Washington Boulevard Culver City, CA 90230

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1.0 EXECUTIVE SUMMARY

Raising Cane's Chicken Fingers (the Applicant) is proposing tenant improvements (the Project) to the retail spaces located at 10940-10948 Weyburn Avenue and 1008 South Broxton Avenue in the Westwood Village Specific Plan Area of the City of Los Angeles. The retail spaces are located in one of the two abutting commercial buildings located on the parcel (APN 4363-018-020, the Project Site) which encompasses the addresses 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue.

The Project Site was historically occupied by the Villa Mart market and is identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The purpose of this report is to evaluate the Project for eligibility for a Certificate of Appropriateness in compliance with the Specific Plan. This evaluation included review of existing information on the history and development of the Project Site; observation of existing conditions on the parcel; and analysis of the proposed tenant improvements. Research, observation, and analysis were performed by John LoCascio, AIA, Principal Architect, a qualified professional who meets the Secretary of the Interior's Professional Qualification Standards (36 CFR 61) in Architecture and Historic Architecture. A resume is included in Appendix C.

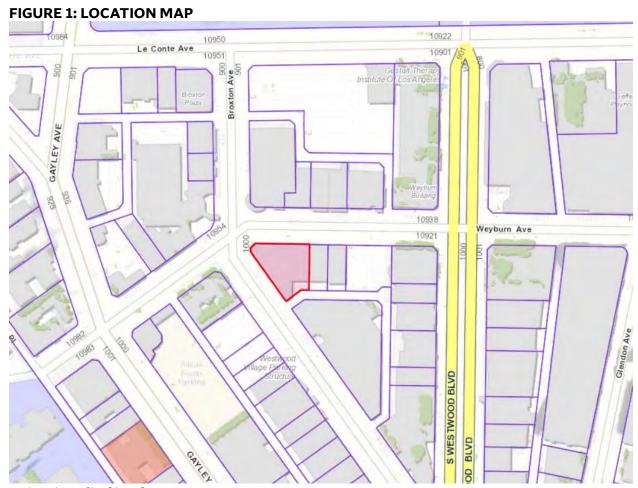
The Project proposes to combine existing tenant spaces into a single new restaurant space. The related exterior scope of work includes installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen.

This evaluation has determined that the Project complies with the Secretary of the Interior's Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

2.0 PROJECT SUMMARY

Project Location

The Project Site is located at the southeast corner of the intersection of Weyburn Avenue and South Broxton Avenue in Westwood Village. A location map is included in Figure 1, below.



Project Site outlined in red

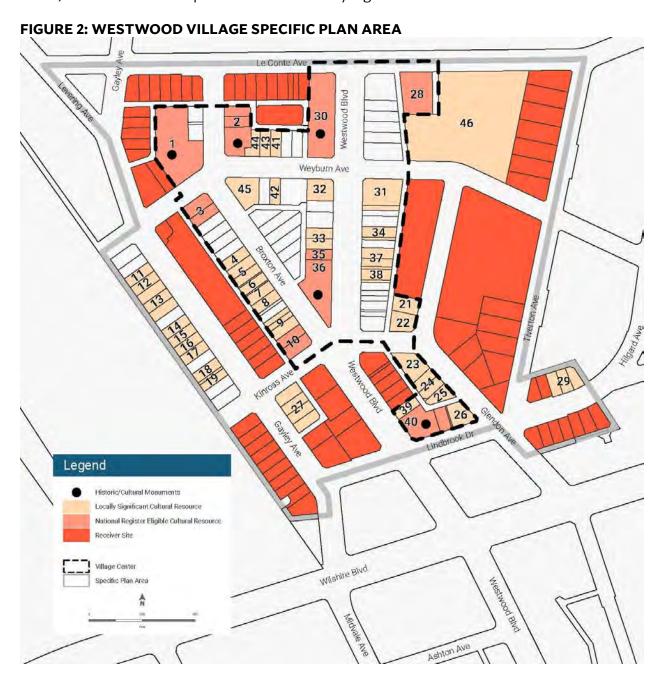
Project Description

The Project proposes to combine existing tenant spaces (10940-10948 Weyburn Avenue and 1008 South Broxton Avenue) into a single new restaurant space for Raising Cane's Chicken Fingers Restaurant #925. The interior of the tenant space will be reconfigured with new pick-up and dining areas, kitchen, and restrooms. The exterior scope of work includes installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen. See Appendix A for Project information.

3.0 SUMMARY OF PREVIOUS EVALUATIONS

Westwood Village Specific Plan

Westwood Village is currently regulated by the Westwood Village Specific Plan, originally adopted in 1989, with the most recent amendments effective December 1, 2022. The Specific Plan identifies a number of properties as "locally significant cultural resources" or "National Register eligible cultural resources," based upon the criteria for Los Angeles Historic Preservation Overlay Zones. While not officially designated, these properties are subject to review by the Westwood Community Design Review Board. The Project Site (#45 in the map below) is identified in the Specific Plan as a "Locally Significant Cultural Resource."



SurveyLA

SurveyLA is the City of Los Angeles' citywide survey of historic resources, conducted in accordance with the standards and guidelines set forth by the National Park Service and the California State Office of Historic Preservation, and overseen by the City's Office of Historic Resources. Properties surveyed as part of SurveyLA were evaluated for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments and Historic Preservation Overlay Zones.

The Westwood Village Commercial Planning District was identified by SurveyLA as an important example of early-20th century neighborhood commercial planning and development. Westwood Village is a planned commercial district located at the southern entrance to the campus of UCLA. It was developed by the Janss Investment Company beginning in 1929. The Janss brothers envisioned a business district that would serve the student population and adjacent neighborhoods, but would also become a shopping destination for the growing population of western Los Angeles. Guidelines established for building exteriors allowed architects to work within a loosely defined range of Mediterranean styles which would complement the Italian and Romanesque architecture of the adjacent university campus. Today, Westwood Village retains a number of its original buildings, several of which are designated Historic-Cultural Monuments. While the area as a whole does not retain sufficient integrity or cohesion to qualify as a historic district, over a dozen properties were identified individually as excellent examples of early commercial development associated with the original vision of Westwood by the Janss Corporation. About half of these were also evaluated for their architectural merit. The Project Site is located within the Westwood Village Commercial Planning District but was not identified in SurveyLA as individually eligible for historic designation, either for its association with the original vision of Westwood or for its architectural merit.

Built Environment Resources Directory (BERD)

The California Office of Historic Preservation (OHP) maintains the Built Environment Resource Directory (BERD), a database of previously evaluated resources throughout the state. The BERD contains information only for cultural resources that have been processed through OHP. This includes resources reviewed for eligibility for the National Register of Historic Places and the California Historical Landmarks programs through federal and state environmental compliance laws, and resources nominated under federal and state registration programs. The Project Site is not listed in the BERD.¹

¹ California Office of Historic Preservation, "Built Environment Resource Directory: Los Angeles County," 2021.

4.0 DESCRIPTION OF THE PROJECT SITE

The parcel at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue is located at the southeast corner of the intersection of Weyburn Avenue and Broxton Avenue in the Westwood Village neighborhood of Los Angeles. The irregularly shaped parcel is bounded on the west by Broxton Avenue, on the north by Weyburn Avenue, on the east by an adjacent commercial building, and on the south by a service alley. The parcel is occupied by two abutting commercial buildings set flush to the property lines on the west, north, east, and south, save for a narrow parking strip at the south edge of the property along the alley.

The west building (10940-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue) is of concrete frame and brick masonry construction with a roughly triangular plan and complex massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a stepped parapet with a simple cornice and clay barrel tile coping. The parapet angles back at the northeast corner to highlight a lower polygonal pavilion with rusticated plaster piers, a flat roof, and a decorative metal balustrade. The primary (north) façade is asymmetrically composed of continuous aluminum-framed storefronts between rusticated plaster piers, with a smooth cement plaster parapet above. Remnant divided-light vent lights, painted shut, are visible in the parapet. The secondary (west) façade is of painted brick masonry and expressed concrete, with rectangular storefront openings divided by fluted concrete piers. The parapet is articulated with a brick niche centered above each storefront, and a cast escutcheon above each pier. The south (rear) façade is utilitarian.

The east building (10936-10938 West Weyburn Avenue) is of brick masonry construction with a rectangular plan and simple massing. It is one story in height, with a mezzanine at the rear (south). It has a bow truss roof with rolled roofing and a parapet with a simple cornice and clay barrel tile coping on the primary (north) façade. The north façade is finished in smooth cement plaster. It has a shed-roofed projection at the aluminum-framed storefronts, and a parapet frieze of recessed plaster panels between squat, fluted piers, with a row of rondels above. The south (rear) façade is of expressed board-formed concrete with flush doors, horizontal sliding aluminum-sash windows, and security grilles.

Alterations

There have been numerous alterations to the exterior of the west building. The historically open frontage on Weyburn Avenue has been infilled with glazed aluminum storefronts. The windows in the corner pavilion have been replaced, and the transom lights above have been blocked. The plaster and brick base of the corner pavilion has been veneered with ceramic tile. The shed-roofed projection on the north façade of 10936-10938 West Weyburn Avenue was likely added in 1963.

Historic photographs of the Project Site are included in Appendix B. Photographs of existing conditions on the Project Site are included below.

EXISTING CONDITIONS PHOTOGRAPHS OF THE PROJECT SITE

Historic Resources Group



 ${\it Image 1: Overview of north façade, view southwest from Weyburn Avenue}$



Image 2: North façade, view southeast from Weyburn Avenue



Image 3: North façade, view southwest from Weyburn Avenue



Image 4: North façade, view east on Weyburn Avenue



Image 5: Corner pavilion, view southeast from intersection of Weyburn Avenue and Broxton Avenue



Image 6: West façade, view southeast from Broxton Avenue



Image 7: West façade, view northeast from Broxton Avenue

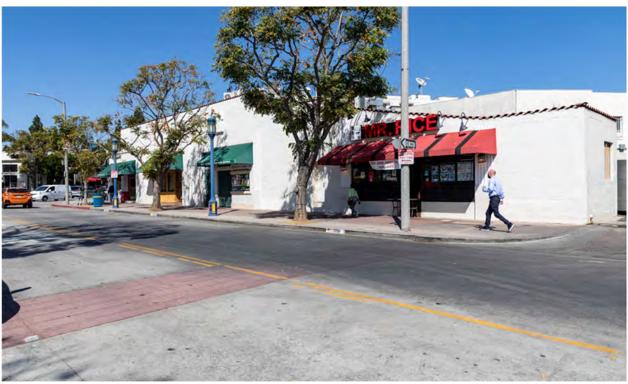


Image 8: West façade, view northeast from Broxton Avenue



Image 9: Southeast façade, view northwest from alley

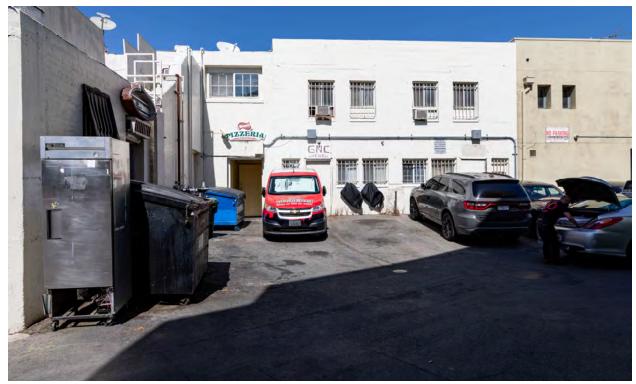


Image 10: South façade, view north from alley

5.0 ANALYSIS OF PROJECT COMPLIANCE

Framework for Analysis

Section 6.C. of the Westwood Village Specific Plan requires approval of a Certificate of Appropriateness for significant alterations to a Cultural Resource. Section 2.E. of the Specific Plan specifies that "Projects requiring a Certificate of Appropriateness shall be subject to the procedures set forth in Section 12.20.3 of the Los Angeles Municipal Code." Section 12.20.3, "HP" Historic Preservation Overlay Zone, requires the Director to base a determination on approval of a Certificate of Appropriateness on the project's compliance with the Secretary of the Interior's Standards for Rehabilitation.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The Secretary of the Interior's Standards for the Treatment of Historic Properties ("the Standards") provides guidance for reviewing proposed projects that may affect historical resources. The Standards and associated guidelines address four distinct historic "treatments," including: (1) preservation; (2) rehabilitation; (3) restoration; and (4) reconstruction. The specific Standards and guidelines associated with each of these possible treatments are provided on the National Park Service's website regarding the treatment of historic resources.2

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation, rehabilitation, and maintenance of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The Standards for Rehabilitation address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment rehabilitation assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character. Historic building materials and character-defining features are

² U. S. Department of the Interior, National Park Service, "Rehabilitation Standards and Guidelines," Technical Preservation Services, https://www.nps.gov/tps/standards/rehabilitation.htm (accessed October 2020), See also The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, by Kay D. Weeks and Anne E. Grimmer (1995), revised by Anne E. Grimmer (Washington, DC: 2017), https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf (accessed September 2023).

protected and maintained; however, greater latitude is given to replace missing or extensively deteriorated or damaged features using compatible substitutes. According to guidance from the National Park Service, the accommodation of change to make possible an efficient use of a historic building is basic to the process of rehabilitation and distinguishes it from restoration. It is the owner's choice as to what or how much work will be undertaken in a project. There is no requirement that missing or damaged historic features be restored.3 The Guidelines for Rehabilitating Historic Buildings recommends accurately reproducing a missing historic feature if adequate historical, pictorial, and physical documentation exists; or replacing the missing feature with a new design that is compatible with the character of the historic building but clearly differentiated so that a false historical appearance is not created.⁴

Standards Compliance Analysis

The Project proposes exterior alterations to the building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue, including installation of new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; installation of new bi-fold windows and restoration of the historic transom lights in the polygonal corner unit; a new signage band; and new rooftop mechanical equipment and equipment screen. The Project is evaluated below against the Secretary of the Interior's Standards for Rehabilitation to determine its eligibility for a Certificate of Appropriateness.

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

The former Villa Mart building at 10940-10946 Weyburn Avenue and 1004-1010 South Broxton Avenue will continue in its historic use as a retail commercial building. The exterior alterations proposed by the Project will require minimal change to the distinctive materials, features, spaces, and spatial relationships that characterize the building. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, none of which are historic. The Project will retain the building's complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 1.

Historic Resources Group

³ National Park Service, "Historic Preservation Tax Incentives: Cumulative Effect and Historic Character," https://www.nps.gov/subjects/taxincentives/cumulative-effect-and-historic-character.htm (accessed July 2024). ⁴ National Park Service, Technical Preservation Services, "Guidelines for Rehabilitating Historic Buildings: Introduction to the Guidelines," The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings (nps.gov), (accessed August 2024).

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The Project will retain and preserve the historic character of the former Villa Mart building and will avoid the removal of distinctive materials or the alteration of features, spaces, and spatial relationships that characterize the property. The Project will retain and preserve the building's exterior character-defining features, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will replace the storefronts on Weyburn Avenue and Broxton Avenue, and the windows in the corner pavilion, which are not historic. The Project complies with Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The Project does not propose changes that create a false sense of historical development or the addition of conjectural features or architectural elements from other buildings. The proposed new storefronts, bi-fold windows, steel canopies, and sign rail are clearly contemporary in design. The Project complies with Standard 3.

Standard 4: Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No changes to the former Villa Mart building have acquired significance in their own right. The Project complies with Standard 4.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The Project will retain and preserve the distinctive features, finishes, and examples of craftsmanship that characterize the former Villa Mart building, including its complex massing; stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project complies with Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible,

materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The Project will retain the historic features of the former Villa Mart building, including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will repair the decorative metal balustrade and replace its missing braces; and will restore the blocked transom lights above the windows of the corner pavilion. The Project complies with Standard 6.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The Project does not propose any chemical or physical treatments, such as sandblasting or high-pressure water blasting, that cause damage to historic materials. Any treatments will be undertaken using the gentlest means possible, following guidance provided by the National Park Service in the applicable Preservation Briefs. The Project complies with Standard 7.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The Project does not propose excavation that might reveal unexpected archeological resources. In addition, the Project Site is located in an urbanized area and has been subject to grading, excavation, fill, and construction activities in the past; any archeological resources that may have once existed on the Project Site have likely been previously disturbed. Standard 8 is not applicable to the Project.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The exterior alterations proposed by the Project will not destroy historic materials, features, or spatial relationships that characterize the former Villa Mart building. The Project will retain the building's exterior character-defining features including its stepped plaster parapet with a simple cornice and clay barrel tile coping; rusticated plaster piers; polygonal corner pavilion with flat roof and decorative metal balustrade; vent light openings; painted brick masonry; fluted concrete pilasters; brick niches; and cast escutcheons. The Project will install new doors and glazed aluminum storefronts with steel canopies and brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; install new bi-fold windows and restore the historic transom lights in the polygonal corner unit; install a new signage band; and install new rooftop mechanical equipment and equipment screen. The new doors, storefronts, canopies, and bi-fold windows will be simple and contemporary in design, so will be visually unobtrusive and differentiated from the historic character of the building. They will be installed within existing openings, so will not alter the historic scale and proportions of the façade or the existing fenestration pattern. The new mechanical equipment and equipment screen will be located on the rear portion of the roof and will be minimally visible from the street. The Project complies with Standard 9.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Project does not propose new additions or adjacent or related new construction. Therefore, Standard 10 is not applicable to the Project.

6.0 CONCLUSION

The Project proposes tenant improvements to the existing commercial building located at 10936-10948 West Weyburn Avenue and 1004-1010 South Broxton Avenue, including interior remodel to combine existing tenant spaces (10942-10946 Weyburn Avenue and 1008 North Broxton Avenue) into a single new restaurant space; installation of new glazed aluminum storefront doors and glazed aluminum storefronts on thin brick-veneered stem walls on the Weyburn Avenue and South Broxton Avenue frontages; new steel awnings with composite plank soffits over the storefronts; replacement of the blocked historic vent windows above; new bi-folding aluminum windows and restoration of the historic transom lights in the corner pavilion, and installation of a new signage band above; and new rooftop mechanical equipment and equipment screen.

The Project Site was identified in the Westwood Village Specific Plan as a "Locally Significant Cultural Resource." The Specific Plan requires a Certificate of Appropriateness for significant alterations to a Cultural Resource and requires compliance with the Secretary of the Interior's Standards for Rehabilitation for approval of a Certificate of Appropriateness. Therefore, this report has evaluated the Project against the Standards for Rehabilitation.

This report has determined that the Project complies with the applicable Standards for Rehabilitation and therefore is eligible for a Certificate of Appropriateness pursuant to Section 6.C. of the Westwood Village Specific Plan.

7.0 REFERENCES

California Office of Historic Preservation. Built Environment Resource Directory, Los Angeles County, 2020.

City of Los Angeles. "Westwood Village Specific Plan." Ordinance No. 187,644, Effective December 1, 2022.

City of Los Angeles Department of City Planning, Office of Historic Resources. Historic Resources Survey Report, Westwood Community Plan Area. Prepared by Historic Resources Group, March 2015.

APPENDIX A

PROJECT INFORMATION





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

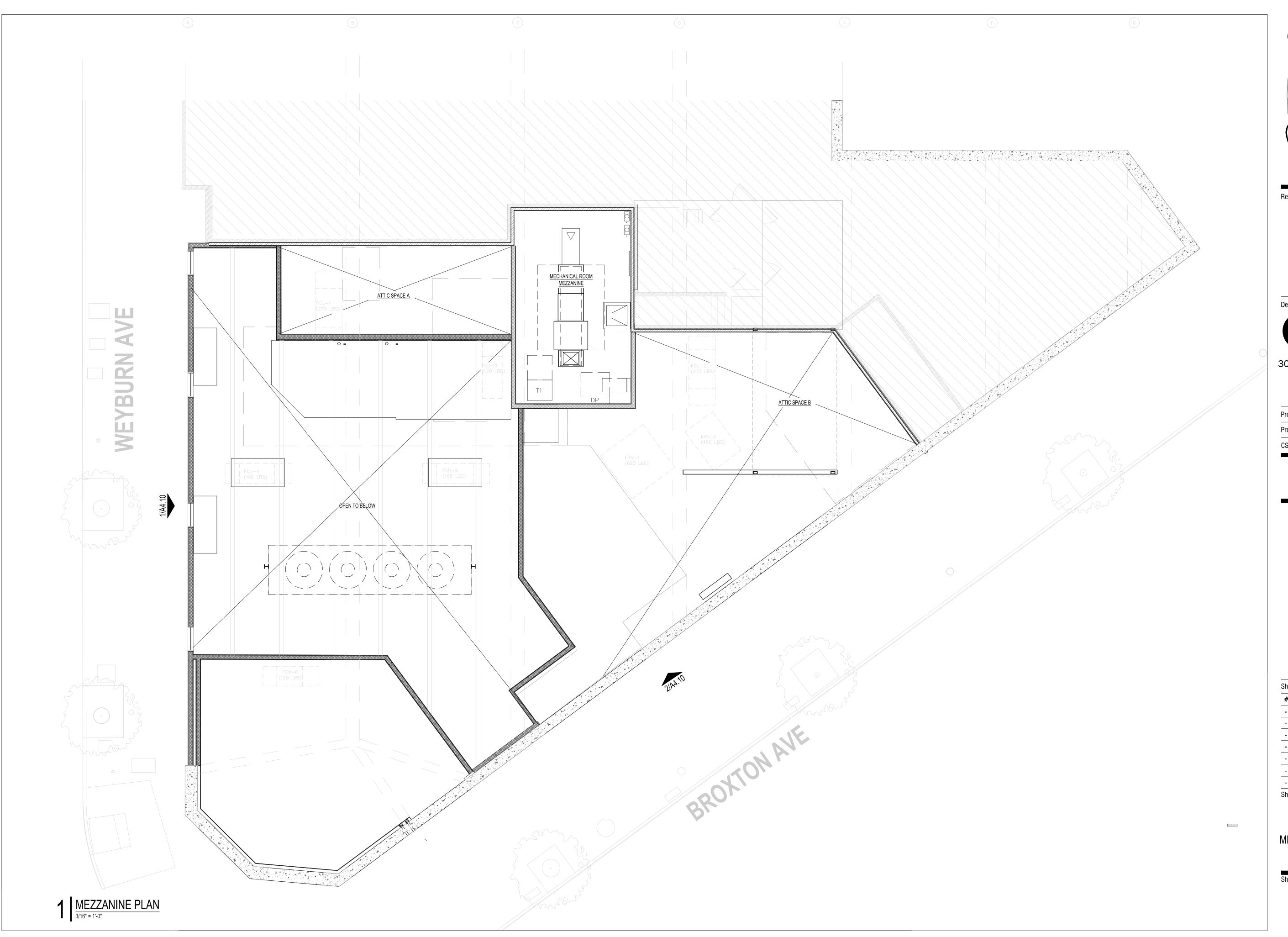
Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

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KEYNOTE FLOOR PLAN

A1.10



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

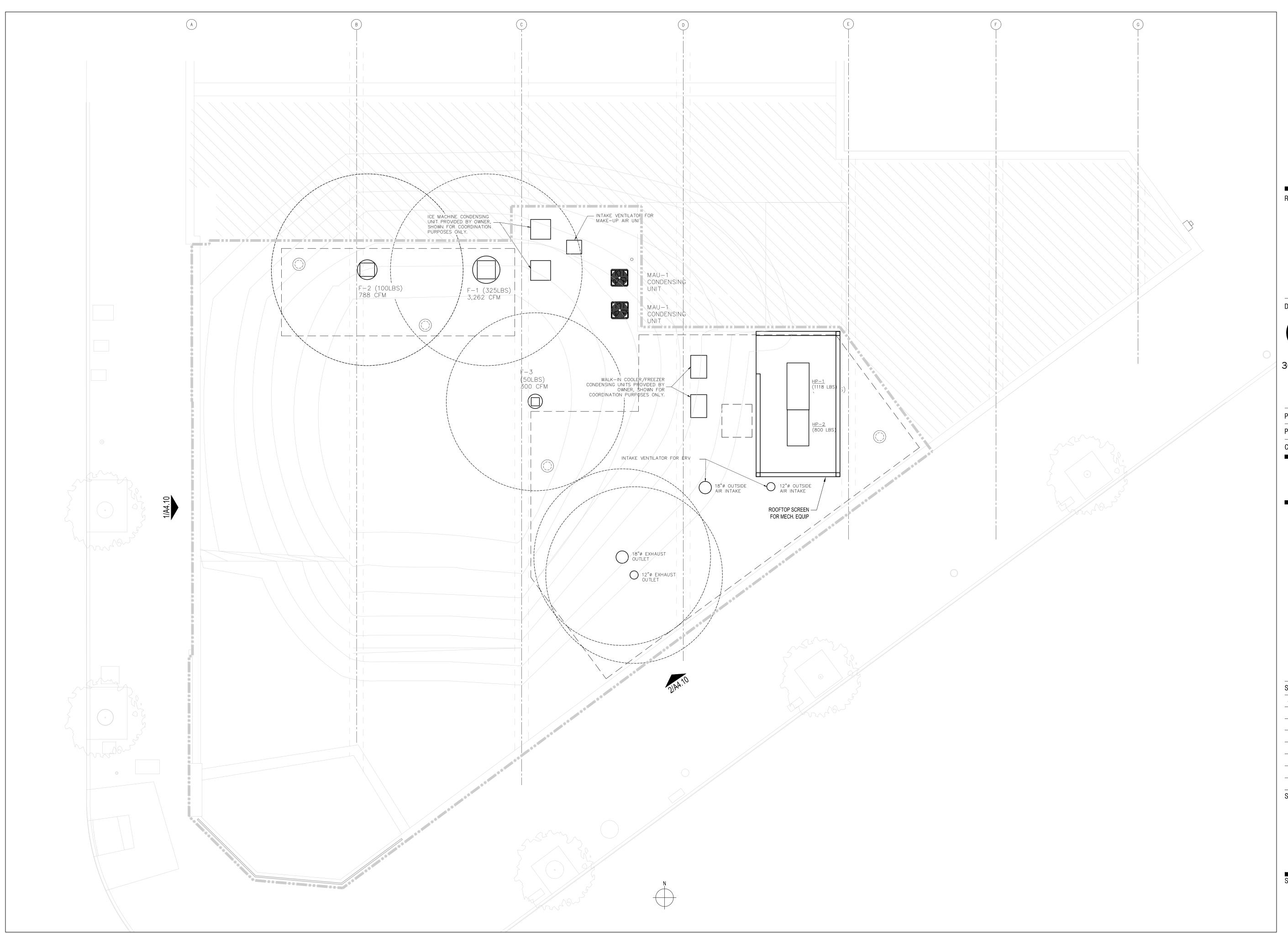
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KEYNOTE AND FRAMING MECH. ROOM MEZZANINE PLAN

A1.11



CHICKEN FINGERS

Restaurant Support Office
6800 Bishop Road, Plano, TX 75024

Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

CSRS

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase: NTV
Project Issue Date: 00-00-0000

CSRS Project Manager: KF

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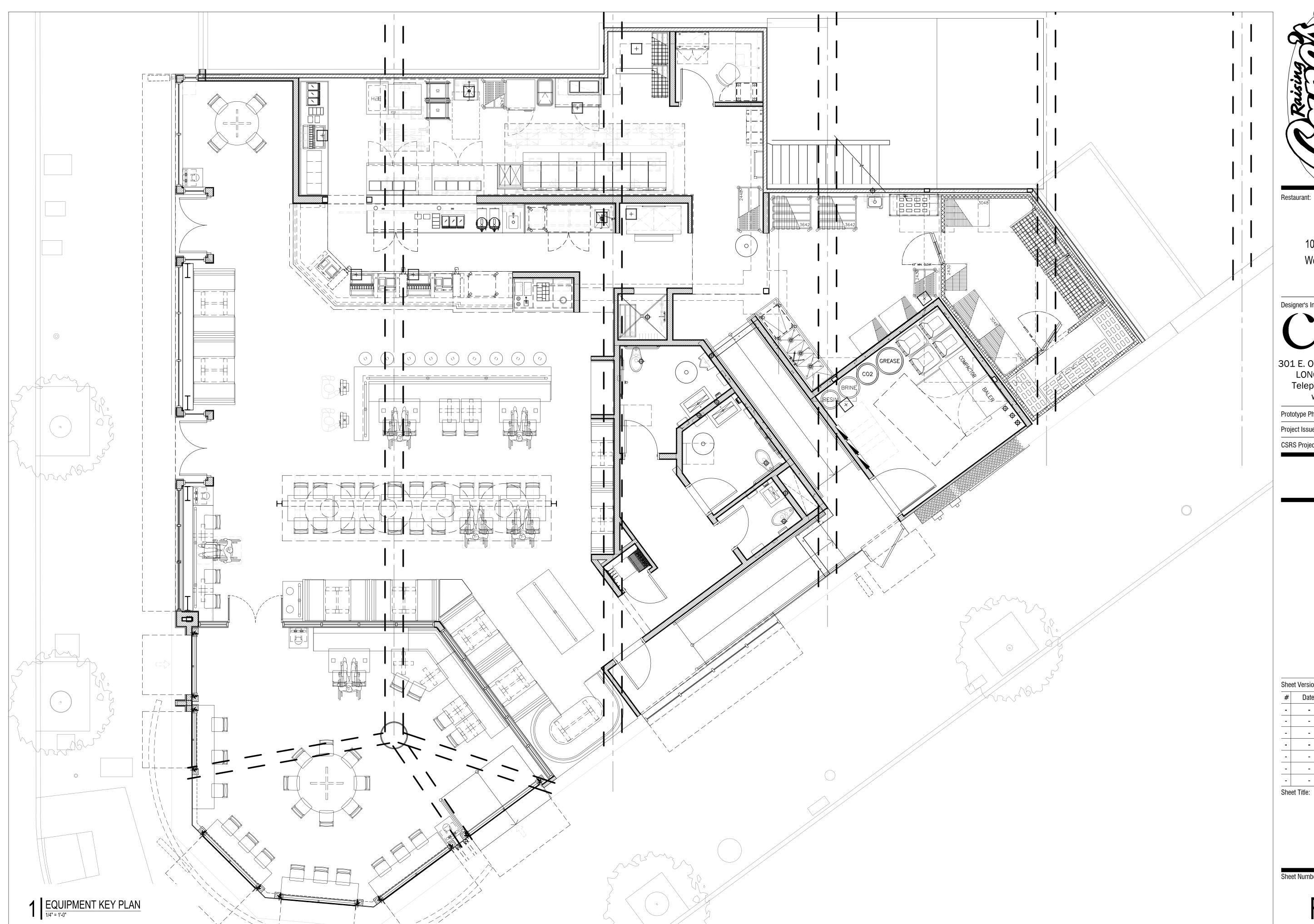
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ROOF PLAN

Sheet Num

A1.50





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

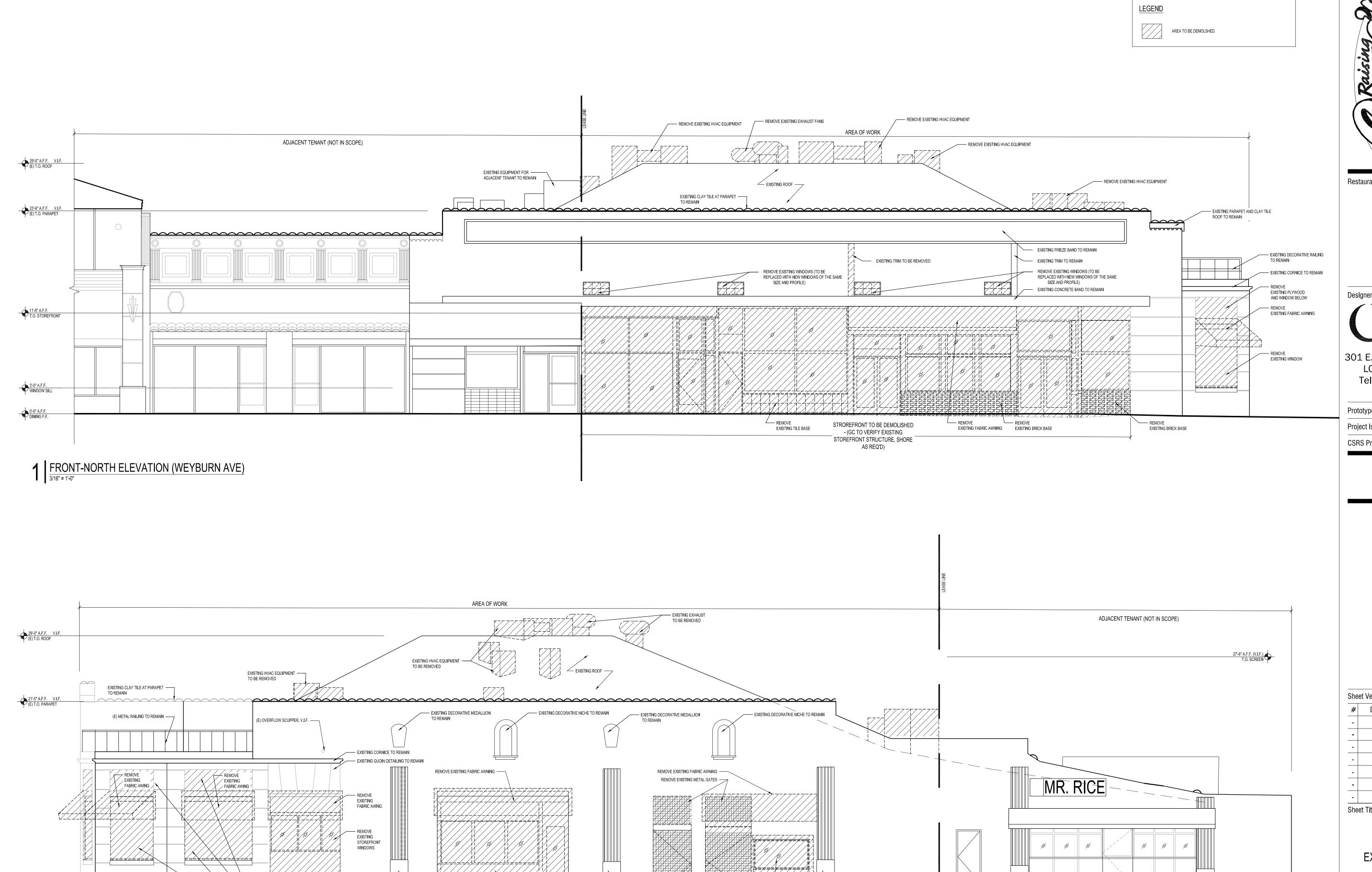
Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

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Equipment

FS3.10



EXISTING WINDOW TO BE REMOVED

EXISTING PILASTER TO REMAIN

REMOVE
EXISTING PLYWOOD
AND WINDOW BELOW

1 REAR-WEST ELEVATION (BROXTON AVE)

EXISTING PILASTER TO REMAIN

REMOVE EXISTING WOOD STOREFRONT AND DOOR

EXISTING PILASTER TO REMAIN

Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

Prototype Phase:	NTV
Project Issue Date:	00-00-0000
CSRS Project Manager:	KF

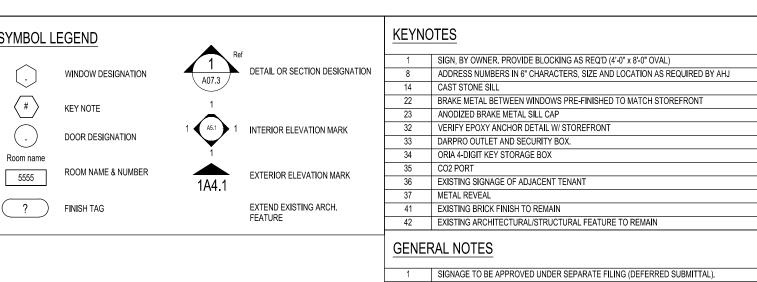
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EXISTING / DEMO **EXTERIOR ELEVATIONS**

Sheet Number:

	SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION	SYMI
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED	
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE		
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO	
EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR	Room
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.	55
EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR	
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD		
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE	
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER		
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.	



SEALANT NOTES

1 PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
2 MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's
Restaurant #925
1008 Broxton Avenue
Westwood, CA 90024
NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560

LONG BEACH, CA 90802
Telephone: 833-523-2526
www.csrsinc.com
Prototype Phase: NTV

Prototype Phase: NTV
Project Issue Date: 00-00-0000
CSRS Project Manager: KF

DRB SUBMITTAL 11/18/2024

F.F. V.I.F. PARAPET PAINT EXISTING RAILING PT-10 PAINT EXISTING RAILING SIGNAGE BAND (EWF-6) (EWF-6)		EXISTING ROOF —	(N) CONDENSER BEYON	(EIFS)	(N) PARAPET FLASHING (N) MECHANICAL UNIT WITHIN, RE: MECHANICAL (N) MECHANICAL SCREEN		27'-6" A.F.F. (V.I.F.) T.O. SCREEN
PAINT EXISTING RAILING PT-10 ANODIZED SILVER SIGNAGE BAND							
EWS-2) EWS-2) (EWS-2) (EWS-2) (EWS-6) (IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	(E) OVERFLOW SCUPPER, V.I.F. (EWF-6) (EWF-6) (EWF-6) (EWS-2) (EWS-2)	S-2) (EWS-2) (EWS-2)	P-12	INFILL WITH NEW BRICK TO MATCH EXISTING ADJACENT(TEXTURE AND FINISH, & PAINT TO MATCH ADJACENT)		MR. RICE	

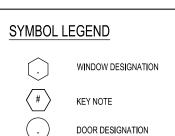
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PROPOSED EXTERIOR ELEVATIONS

Sheet Numb

A4.20

				SCHE	DULE OF EXTERIOR MA	TERIALS
	KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
	P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
	P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
	EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER STUCCO
	EWF-4	THIN BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
	EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	MATCH EXISTING EXTERIOR COLOR	APPLIED OVER MASONRY AT EXTERIOR WALLS.
	EWF-7	EXISTING BRICK REMAIN	-	-	-	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
	EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
	EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
Ī	EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
	EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.



ROOM NAME & NUMBER

Room name

? FINISH TAG

1 DETAIL OR SECTION DESIGNATION 1 (A5.1) 1 INTERIOR ELEVATION MARK

1A4.1

SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ

ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION.

CAST STONE SILL

BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT

ANODIZED BRAKE METAL SILL CAP

VERIFY EPOXY ANCHOR DETAIL W/ STOREFRONT

ADARPRO OUTLET AND SECURITY BOX.

ORIA 4-DIGIT KEY STORAGE BOX

EXTERIOR ELEVATION MARK

35 CO2 PORT
36 EXISTING SIGNAGE OF ADJACENT TENANT
37 METAL REVEAL
41 EXISTING BRICK FINISH TO REMAIN
42 EXISTING ARCHITECTURAL/STRUCTURAL FEATURE TO REMAIN

EXTEND EXISTING ARCH. FEATURE

GENERAL NOTES 1 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).

SEALANT NOTES

PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.

MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

NTV Prototype Phase: Project Issue Date: 00-00-0000 CSRS Project Manager:

> DRB SUBMITTAL 11/18/2024

ADJACENT TENANT (NOT IN SCOPE)		AREA OF WORK (N) EXHAUST BEYOND (N) EXHAUST BEYOND	
F. V.I.F. DOOF	EXISTING HVAC UNITS	EXISTING ROOF	PATCH AND REPAIR (E) TILE AS NEEDED
V.I.F. APET		(EWF-6)	
			EWF-6) EWF-6 ANODIZED SILV
FRONT		(EWS-2) (EWS-2	SIGNAGE BAND
		EWS-2)	(EIFS) (EWS-3) (EIFS) (EWS-3)
		(EWF-4) (PT-12) (FT-12)	[EWF-4]
FRONT-NORTH ELEVATION (WEYBURN AVE)			23

#	Date	Description
-	-	-
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-	-	-
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-	-	-

PROPOSED **EXTERIOR ELEVATIONS**

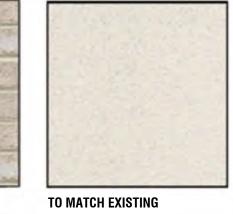


EXPOSED PAINTED STRUCTURAL ALUMINUM FINISH: RAL 450-6 TEXTURE

STEEL W/ POWDER COATED MATTE BLACK FINISH



VENEER. PAINT AS NEEDED.



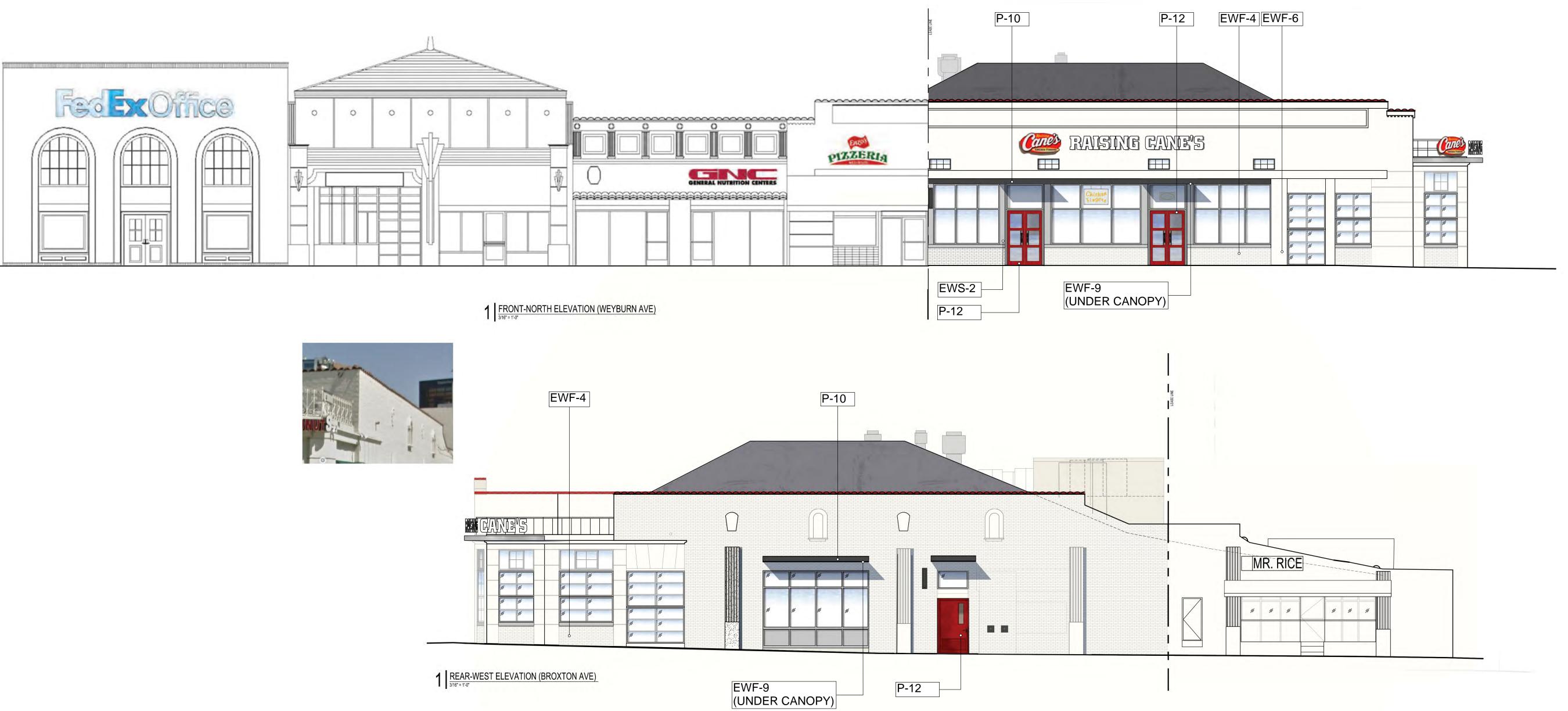


HAVANA GOLD

EWS-2 ALUMINUM STOREFRONT SYSTEM

FINISH: ANODIZED SILVER

			SCHE	DULE OF EXTERIOR MA	TERIALS
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
P-10	PAINT - EXPOSED STRUCTURAL STEEL	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL	BLACK / LOW LUSTRE	2 COATS REQUIRED
P-12	PAINT - ALUMIMUM	POWDERCOAT	RAL	450-6 TEXTURE	
EIFS	ELASTOMERIC EXTERIOR FINISH	DRYVIT	WEATHERLASTIC TEXTURED FINISH	SANDPEBBLE-E (SPE) 456 OYSTER SHELL	APPLIED OVER STUCCO
EWF-4	BRICK VENEER	ACME	MODULAR ENGLISH COTTAGE SERIES	PAINT TO MATCH (E) BRICK ON BROXTON AVE	PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-6	ELASTOMERIC EXTERIOR COATING	DRYVIT	WEATHERLASTIC SMOOTH	456 OYSTER SHELL	APPLIED OVER MASONRY AT EXTERIOR WALLS.
EWF-7	EXISTING BRICK REMAIN	- 5			PAINT AS NEEDED WITH LIKE-FOR-LIKE COLOR
EWF-9	COMPOSITE CLADDING	TREX	TRANSCEND	HAVANA GOLD	
EWS-2	ALUMINUM STOREFRONT	TUBELITE	T14000	ANODIZED SILVER	GL1 1" INSULATED GLAZING (CLEAR), TEMPERED WHERE REQUIRED BY CODE
EWS-3	BIFOLD DOOR	RENLITA	TBD	ANODIZED SILVER	
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.





Restaurant:

Raising Cane's Restaurant #925 1008 Broxton Avenue Westwood, CA 90024 NTV [B]

Designer's Information:

301 E. OCEAN BLVD. SUITE 1560 LONG BEACH, CA 90802 Telephone: 833-523-2526 www.csrsinc.com

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PERMIT SET 8/20/2024

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PROPOSED **EXTERIOR ELEVATIONS**

Sheet Number:

A4.20

APPENDIX B

HISTORIC PHOTOGRAPHS



The Villa Mart market, c. 1940, view southeast from Weyburn Avenue (courtesy of Steve Sann)



The Villa Mart market, corner pavilion, c. 1950, view southeast from Weyburn Avenue and Broxton Avenue (courtesy of Steve Sann)



Stan's Donuts, c. 1980, view east from Broxton Avenue (courtesy of Steve Sann)

APPENDIX C

RESUMES OF AUTHORS/CONTRIBUTORS

HISTORIC RESOURCES GROUP

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Tel 626-793-2400 historicresourcesgroup.com



Professional LicenseCalifornia Architect C24223

Education

Master's Degree, Historic Preservation, University of Southern California

Bachelor of Architecture, University of Southern California

Honors and Awards

National Trust for Historic Preservation, Richard H. Driehaus Foundation National Preservation Award

Los Angeles Conservancy Preservation Award

California Preservation
Foundation Preservation Design
Award

City of Pasadena Historic Preservation Award

AIA Institute Honor Award

JOHN LOCASCIO, AIA

Principal Architect

Experience Profile

Years of Experience: 31

John LoCascio has been with HRG since 2011, involved in historic preservation since 2002, and a licensed, practicing architect since 1993.

John's areas of focus at HRG include historic architecture and technology, building conservation, historic structure reports and federal historic rehabilitation tax credit projects. He provides technical assistance for construction documents, advises on compliance with the Secretary of the Interior's Standards and the use of the State Historic Building Code, provides construction monitoring, and paint and materials sampling and analysis services. John has worked on a wide variety of buildings and structures in California as well as in other states. He is currently advising on historic tax credit projects in Los Angeles, the San Francisco Bay area, and Washington State. In addition, John regularly provides historic architecture consultation for numerous LAUSD campus modernization projects.

John LoCascio meets the *Secretary of the Interior's Professional Qualifications Standards* in Architecture and Historic Architecture.

Selected Projects

28th Street YMCA Rehabilitation and Adaptive Reuse, Los Angeles Academy Museum of Motion Pictures Rehabilitation, Hollywood Angelus Funeral Home Historic Tax Credit Project, Los Angeles CBS Columbia Square Rehabilitation and Adaptive Reuse, Hollywood Chapman University VPO Packing House Rehabilitation, Orange Climate Pledge Arena Historic Tax Credit Project, Seattle Constance Hotel Historic Tax Credit Project, Pasadena Grand Central Air Terminal Rehabilitation & Adaptive Reuse, Glendale Los Angeles International Airport Preservation Plan and HSRs Mayfair Hotel Historic Tax Credit Project, Los Angeles Venice High School Comprehensive Modernization, Los Angeles

Professional Affiliations

American Institute of Architects

CULTURAL RESOURCE DOCUMENTATION REPORT

WESTWOOD VILLAGE

Prepared by:

Johnson Heumann Research Associates 3103 Lindo Street Los Angeles, California 90068

for:

Gruen Associates 6330 San Vicente Boulevard Los Angeles, California 90048

as part of:

Westwood Village Specific Plan Study for the City of Los Angeles

GRUEN ASSOCIATES

ARCHITECTURE . PLANNING . ENGINEERING

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CULTURAL RESOURCE DOCUMENTATION REPORT

TABLE OF CONTENTS

- I. Statement of Purpose
- II. Methodology
- III. Developmental History
- IV. Cultural Resource Management Alternatives
- V. Inventory Forms
- VI. Bibliography
- VII. Appendices

National Register Eligibility Categories Cultural Heritage Commission Ordinances Maps

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I. STATEMENT OF PURPOSE.

The following analysis was prepared at the request of Gruen Associates, a contractor for the City of Los Angeles as a portion of the research for the Westwood Village Specific Plan as outlined in contract number C-63952. The survey area, known as Westwood Village, is the commercial and entertainment area adjacent to the University of California at Los Angeles (see accompanying maps). The basic boundaries of this study are Le Conte Avenue on the north, Lindbrook Avenue on the south, Tiverton Avenue on the east, and Gayley Avenue on the west. The purpose of this study was to assess the historic, architectural, and cultural significance of buildings within the proposed project area according to criteria determined by the city of Los Angeles in conjunction with the State Office of Historic Preservation.

II. METHODOLOGY.

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2.1: Preliminary Survey.

A survey was conducted by the consultants on foot in the survey area to develop a base list of potential architectural and historic resources within the area. The initial survey identified the historic building stock of the area. A second walk, was combined with the compilation of field descriptions for each site. Buildings of marginal architectural quality or interest, impaired design integrity or severely eroded context may have been re-evaluated at this time. The final version of the preliminary survey contains approximately 70 sites.

The criteria used included:

- Outstanding architectural quality representing a particular style or period.
- Age and/or scarcity of resources from the period.
- Institutional, social, and religious associations.
- Use or building type.
- Method of construction.
- Historic significance.

2.2: Mapping/Photography.

Using footprint, parcel and tract maps provided by Gruen Associates consultants mapped the identified sites in each area. Each property was photographed in black and white from the sidewalk. The best frontal view was chosen for reproduction and attached to the survey form (DPR 523).

2.3: Research of identified sites.

Site specific research was then conducted which utilized the following repositories:

- Los Angeles County Tax Assessor, 1984 Local Roll. Used to determine owner, correct boundaries of site, estimated date of construction.
- Los Angeles City Building and Safety Department, Conservation Bureau. Building permit record cards for sites evaluated as "5" (worthy of note); record card and permit search for sites evaluated as a potentially eligible for National Register or Historic Preservation Overlay Zone inclusion, either individually or a part of a group.
- Los Angeles Public Library.

 General research; records search for potential National Register sites and prominent architects. Security Pacific Photograph Collection used to obtain historic photographs.
- UCLA Special Collections.
 Architectural restrictions, development history.

2.4: Research of general area.

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Consultants analyzed the land development history of the area based on original tract maps on file with the Los Angeles City Bureau of Engineering. Developers and architects of note were researched through the California biography index in the California Room at the Los Angeles Review of construction journals, architectural periodicals, and historic photographs was conducted. A bibliography of specific sources is contained in this report.

2.5: Identification of structures of potential National Register/Cultural Heritage Monument eligibility.

Structures which appeared to be eligible for listing in the National Register of Historic Places or for individual listing as Cultural Heritage Monuments were visually identified during the survey. Following an assessment of architectural integrity, research was conducted to determine the degree of alteration and the historic significance of the site. A records search to locate structures within each area already listed in the National Register or as Cultural Heritage

Monuments was accomplished.

2.6: Preparation of report and survey forms.

At the conclusions of the above tasks, consultants prepared this technical report, which, in addition to the methodology and statements of purpose outlined above, includes:

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- a) A brief developmental history of the general area.
- b) Maps of significant structures and groupings.
- c) A bibliography.
- d) Survey forms (DPR 523) for each structure potentially eligible for the National Register, either individually or as part of a group, for the Cultural Heritage list or worthy of note. Each form contains the address, architectural style, brief description of the property, a statement of significance, and a photograph. Dates of construction are listed as estimated (based on architectural style, tax assessor, or real estate atlas information) or factual (building permit record cards). Inclusion in other surveys or publications is noted (State Historic Resources Inventory, Cultural Heritage Monuments, Gebhard and Winter's A Compleat Guide to Architecture in Los Angeles, or Gleye's The Architecture of Los Angeles.
- e) Lists of structures by street address and level of significance.
- f) National Register of Historic Places Eligibility Categories.
- g) Cultural Heritage Monument Ordinance.
- h) Cultural Heritage Historic Preservation Overlay Zone Ordinance.

III. WESTWOOD VILLAGE: A DEVELOPMENT HISTORY

The first owner of the land now known as Westwood Village was Don Maximo Alanes, who received the "Rancho San Jose de Buenos Aires" as a land grant from Governor Micheltorena in 1843. The vast rancho stretched from what is now Sawtelle Boulevard on the west to the City of Beverly Hills on the east, from Sunset Boulevard on the north to Pico Boulevard on the south. Eventually, it was acquired by Don Benito Wilson, a land baron with extensive holdings in the San Gabriel Valley. who used it for cattle grazing. In 1884, John Wolfskill, a former state senator and rancher who came to California during the Gold Rush, bought the property and several years later built a home on what is now the site of the Mormon Temple on Santa Monica Boulevard. Portions of the 2,000 acre Wolfskill Ranch, as it came to be known, were to be developed as truck farm sites. There was also a plan for a townsite, "Sunset," but the development never materialized. The ranch was intact at the time of Wolfskill's death in 1913, the last of the great ranchos to be so.

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Six years later, wealthy retailer Arthur Letts bought the entire property for \$100 an acre (\$2,000,000). Letts, an Englishman, was the founder of the Broadway Department Store and was an initial invector in a similar enterprise founded by his former employee, John G. Bullock. Letts' interest and involvement in Los Angeles retailing made him very comfortable financially. He owned a large estate in Hollywood, a Tudor mansion surrounded by formal gardens filled with statuary. Always interested in downtown real estate development, he also invested in ranch land and subdivisions in Hollywood as well. He was particularly attracted to the Wolfskill ranch because of its diversity made it

suitable for a variety of uses. Unlike Wolfskill and the Santa Monica Land and Water Company, whose activities had been based around the Beverly Glen/Santa Monica Boulevard area, Letts was primarily interested in developing estate parcels, which he called "Holmby Hills," after his birthplace, on the northwestern edge of the rancho near Beverly Hills. Another member of his family, however, saw the potential of the rest of the rancho as a place for the growing middle class of Los Son-in-law Harold Janss was a vice president of the Janss Investment Company, a successful real estate development enterprise originally formed by his father Peter in 1893. The Janss corporation developed a number of subdivisions in Southern California, including parts of Monterey Park, Boyle Heights, and a significant portion of the San Fernando Valley. Peter's sons, Edwin and Harold, played an active role in the company, and by 1920 were officers of the corporation. They saw in "Westwood Hills" the opportunity to create a premier middle-class subdivision for the Westside. By 1922, they were actively promoting homesites south of Wilshire boulevard. Janss was a fullservice company. It employed its own architects and engineers, did all its own public improvements and grading, and even planned parks and school sites.

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North of Wilshire, however, things were proceeding more slowly. The landed gentry who bought estate sites in Holmby Hills liked the rural character of the area, with its riding trails criss-crossing a multitude of small canyons and arroyos. The hilly terrain was considered unsuitable for large subdivisions. Several of Letts' friends felt that part of the site would be ideal for a university, and Letts, a former trustee of the los Angeles State Normal School, as UCLA was

known until it became part of the university system in 1919, was not adverse to housing a prestigious campus on a portion of his holdings. It was clear that the school was fast outgrowing its quarters on North Vermont Avenue, where it had relocated from the present site of the Public Library at Fifth Street and Grand Avenue in downtown Los Angeles.

In 1925, the Regents formally announced that the search for a new site was underway, although several Regents, including prominent attorney Edward A. Dickson, had been exploring possibilities for years beforehand. Dickson had a particular fondness for the Letts Tract, which reminded him of the Berkeley campus. He had approached Letts with his ideas, but Letts' failing health had precluded any formal arrangement. Upon Letts' death in 1923, the Janss Corporation became the executors of his estate. The stage was set for the development of one of the most interesting planned communities in Southern California.

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UCLA considered seventeen sites for the University, narrowing the choice to five (Burbank, Fullerton, Pasadena, Palos Verdes, and Westwood), finally deciding on the on the "Westwood-Beverly Hills" location on March 20, 1925. Its stated reasons for the choice included an ideal climate with an ocean breeze, the large site (over 375 acres), and its proximity to Los Angeles, which contributed over three quarters of the student body. The site was not free, however. Janss offered the Regents 300 acres at \$2,000 per acre and an additional 75 acres at \$7,500 per acre. Bond issues were passed by the cities of Beverly Hills, Santa Monica, and Los Angeles. The 1.3 million dollar proceeds enabled these municipalities to acquire the land and deed it to the university. Eight additional acres were donated by Alphonso Bell,

developer of Brentwood and Bel-Air. So began a public/private partner-ship which would master-plan the area of the Wolfskill ranch north of Wilshire Boulevard to Sunset.

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As soon as the university's plans had been announced, the Janss Corporation went to work. There were no support services for the campus: no housing, no shops, restaurants, markets, entertainment facilities. Janss began to plan "a town for the gown," a complete business/residential/entertainment district which would be fully integrated into campus life. In addition to business, the concept included both multi-family and single family residences designed to encourage the families of students to settle in the area.

UCLA's first four buildings—the library; Royce Hall, an auditorium and classroom structure; and two science buildings—were constructed of brick (Royce is reinforced concrete with a brick sheathing) in the Italian Romanesque style around a traditional "quad." Completed in May of 1929, the buildings were to be reminiscent of the Lombard region of northern Italy, temples of learning whose models included the San Ambrogio Church of Milan (Royce Hall), the churches of St. Stefano, St. Sepolcro in Bologna, and San Zenove in Verona (library). The town also was to have a specific architectural character, that of the Mediterranean climes of Europe, with an accent on the Spanish. The firm of Allison and Allison, designers of Royce Hall, were chosen to design the domed Janss headquarters building, the focal point of the Village.

Janss took great care to ensure that the character of the Village would guarantee its status as a premier business district. The roughly triangular plan with its intricate pattern of intersections, and its

principal axis culminating at the entrance to the university, was designed by Harlan Bartholomew, City Planner of St. Louis, and L.D. Tilton of Santa Barbara, to include a central parkway with lawn, flowers, and palm trees, and to give each streetscape its own particular interest.

Enhancing this concept were various urban design features, prominently the streetlamps with standards of blue and gold sporting university symbols, and the landscaped "islands" of greenery at the southern entrance to the enclave and adjacent to the Janss Building. Characterized by a variety of towers, the corner buildings were especially intended to be the visual reference points of the retail center. Many of the larger buildings have multiple uses; both the Janss Building and Holmby Hall had student dormitory space on the second Realizing that students would not be their only clientele if story. their plans for the surrounding homesites materialized, corporation made provisions for what they termed "the most discriminating shopper from the estates" close by. It is to this added dimension that Westwood Village owes its unique blend of both pedestrian and automobile-oriented development. Pedestrians were intrigued with the wide sidewalks and pleasant landscaping. Corner buildings were accessible from both streets, and, as the the ultimate pedestrian environment, interior courtyards, often decorated with brightly colored tile. provided a pleasant respite from the busy sidewalks. The district's most distinctive feature, its towers, were a direct response to the automobile. At least a dozen towers, include those on the Holmby Building, Sears, the Fox Theatre, and four gas stations located near the south entrance to the Village, served to orient the motorist as he

proceeded north toward the University.

Janss recruited Southern California's most acclaimed architects to contribute their talents within the specified "Mediterranean" guide-All designs were approved by an architectural jury, the result lines. The Mediterranean designs being diversity within an overall unity. tended to be Spanish or Classically influenced. The relationship of buildings to one another was carefully orchestrated, as evidenced by the cornices, floor lines, proportions of openings, and juxtaposition of solids and voids throughout each streetscape. Among those whose work appears in the Village are the aforementioned Allison and Allison, who became supervising architects for UCLA from 1935 to 1948; Stiles Clement of Morgan, Walls, and Clement, a Los Angeles firm renowned for its elegant spanish Colonial Revival and Renaissance commercial designs (Masonic Clubhouse); Gordon B. Kaufmann, whose ambitious Holmby Building encompasses an entire block of Westwood Boulevard frontage, and whose work includes the Los Angeles Times Building and the Athenaeum at Cal Tech, as well as four other structures in the Village; Paul R. Williams, Southern California's most famous black architect (Kelly Music Company, 1043 Westwood Boulevard), renowned for his period revival residential designs as well as for Saks Fifth Avenue in Beverly Hills: and the architect for the Janss Corporation, Percy Lewis, whose work is represented by the Fox Westwood Theatre, and apartment buildings and residences adjacent to the Village. The firm of John and Donald Parkinson, known for their Renaissance Revival office buildings in downtown Los Angeles, Art Deco Bullock's Wilshire, and the Spanish/ Moderne Union Passenger Terminal, designed buildings at the southeast and southwest corners of Westwood Boulevard and Weyburn for branches of 0

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the prestigious Bullock's and Desmond's department stores. Other architects whose work is represented in the Village are Roland coate, Allen G. Siple, A.W. Angel, Lawrence Clapp of Santa Barbara, Nordstrom and Anderson, and Ulysses Rible. Several of these firms (Allison and Allison, A.W. Angel, and Rible) had prior experience with educational institutions.

The success of Janss' vision inspired admiring acounts in contemporary journals. For example, California Arts and Architecture wrote in July 1930: "A nice cooperation has been shown by the architects of several buildings-Allison and Alison, Paul Williams, John and donald Parkinson, Gordon Kaufmann... Style and color are in harmony and the masses and the sky line effectively balanced...Walls vary from cream to tan, roofs in light red or blue; occasional notes of green, in scrafitto panel or wooden shutter." The intimate scale of the Village attracted branches of specialty stores as the area became one of Southern California's most successful suburban shopping centers. Several institutions associated with the University were located in the Village as well, including as the Masonic Club and the Daily Bruin newspaper offices. Strict building restrictions stipulated that commercial structures had to cost a minimum of \$10,000 and one story structures had to have a minimum seventeen-foot ceiling. Setbacks and plans were subject lated.

The planning did not end with the commercial core. Carefully arranged to the south, east, and northwest were quality apartment complexes with generous amounts of landscaping, which created a buffer between the Village and the adjacent single family neighborhoods.

These units provided needed off-campus housing. Apartment buildings had to cost at least \$20,000.

The Depression slowed Westwood's development but did not halt it. Design restrictions were loosened to include structures with variations of Moderne and postwar revival styling, but setbacks, size, and scale were retained to keep a certain ambience and cohesion. Major changes in the Village began to occur after 1954, when the Janss Corporation, then run by grandsons of founder Peter Janss, sold their still extensive interest to Arnold Kirkeby. The resulting higher density development in the area has had its impact on traditional uses, as service-oriented businesses have given way to more entertainment, restaurant, and retail establishments.

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IV. CULTURAL RESOURCE MANAGEMENT ALTERNATIVES

Analysis of the built environment of Westwood village has revealed fifty-eight buildings which can be classified according to the California Office of Historic Preservation's categories of National Register of Historic Places eligibility. These categories are:

- Individually listed on the National Register of Historic Places.
- 1D. Listed on the National Register as part of a district.
- 2. Determined individually eligible to the Register by the U.S. Department of the Interior.
- 2D. Determined eligible only as part of a district.
- 3. Appears eligible for individual listing.
- 3D. Appears eligible for listing only as a contributor to a potential National Register district.
- 4. May become eligible for listing when:
 - a) more historic or architectural research is performed.
 - b) the property is restored to an earlier appearance.
 - c) more significant examples of the property's architectural style are demolished.
 - d) the property becomes old enough to meet the Register's 50year requirement.
- 4D. May be come eligible (as above) only as a contributor to a district.
- Is listed or is eligible for listing under a local preservation or landmark ordinance.
- 5D. Is listed or is eligible for listing as a contributor to a locally designated historic district or preservation area.
- 6. None of the above.

Twelve of the original thirty-four buildings constructed during 1929 are still extant and retain varying degrees of architectural integrity.

National Register of Historic Places

The National Register of Historic Places is the official list of

the Nation's historic resources worthy of preservation. In order to be accepted for listing in the National Register, a resource must possess significance in American history, architecture, archeology, or culture. According to the federal government, this quality is "present in districts, sites, building, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

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- A. that are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. that have yielded, or may be likely to yield, information important in prehistory or history."

Six buildings in Westwood Village appear to meet these standards for individual listing in the Register. They are:

Fox Westwood Village Theatre, 945 Broxton Avenue (C)
Fox Bruin Theatre, 926-40 Broxton Avenue (C)
University Professional Building, 1091-1095 Broxton Avenue (C)
Masonic Clubhouse, 10886 Le Conte Avenue (C)
Kelly Music Company, 1043 Westwood Boulevard (C)
Janss Investment Company Building, 1045-99 Westwood Boulevard (A, C)

Four additional buildings may become eligible if rehabilitation or age requirements are met. They are:

Marios, 1001 Broxton Avenue (C) Bullock's, 10861 Weyburn Avenue (C) Holmby Hall, 901-51 Westwood Boulevard (C) Ralph's Market, 1142-54 Westwood Boulevard (C)

· No potential National Register districts based on architectural integrity were found; the possibility of a thematic National Register

district could be explored with the State Office of Historic Preservation.

Listing on the National Register has the following implications for historic properties:

- Eligibility for Federal tax benefits, including the 25% investment tax credit for rehabilitation of certain commercial, industrial, and residential rental buildings, if certain conditions are met;
- Mandatory eligibility for building code flexibility under the State Historic Building Code;
- Consideration in the planning process for federally assisted projects under the provisions of Section 106 of the National Historic Preservation Act;
- Opportunity for Federal, state, or other grants for historic preservation;
- Possible consideration in the planning process under the requirements of the California Environmental Quality Act;
- Possibly eligibility for favored tax status either by arrangement with local assessor or by donation of a qualified easement.

Listing in the National Register does not preclude demolition, nor does it impose any restrictions on alterations, design, or use.

Historical Cultural Monuments

According to Section 22.130 of the Los Angeles Administrative Code (created by Ordinance 153,833 operative on July 1, 1980), an historical or cultural monument is defined as "any site (including significant trees or plant life located thereon), building or structure of particular historic or cultural significance to the City of Los Angeles, such as:

 historic structures or sites in which the broad cultural, political, economic or social history of the nation, state or community is reflected or exemplified, or

- 2. which are identified with historic personages, or
- 3. with important events in the main currents of national, state, or local history, or

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- 4. which embody the distinguishing characteristics of an architectural-type specimen, inherently valuable for a study of a period style or method of construction, or
- 5. a notable work of a master builder, designer, or architect whose individual genius reflected his age."

Several buildings in Westwood appear to individually meet one or more of these criteria. They are:

Fox Bruin Theatre 926-40 Broxton Avenue	1937	S. Charles Lee	3,4,5
Fox Westwood Village Theatre 945 Broxton Avenue	1931	P.P. Lewis	3,4
University Professional Building 1091-93 Broxton Avenue	1929	G.K. Harrison (owner/architect)	4
Masonic Clubhouse 10886 Le Conte	1929	Morgan, Walls, & Clement	3,4,5
Holmby Hall 901-51 Westwood Boulevard	1929	G. Kaufmann	3,4,5
Kelly Music Co. 1043 Westwood Boulevard	1929	P.R. Williams	4,5
Janss Investment Company Building 1045-99 Westwood Boulevard	1929	Allison & Allison	3,4,5
Ralph's Market 1142-54 Westwood Boulevard	1929	Russell Collins	3,4
Bullock's 10861 Weyburn Avenue	1951	Welton Becket	3,4,5

Historic Preservation Overlay Zone

The Municipal Code of Los Angeles, Section 1, Article 2, Chapter 1, was amended by Ordinance 152,422, to include Section 12.20.3, a provision for the creation of Historic Preservation Overlay Zones within the City. The purpose of this section is to:

- Protect and enhance the use of structures, features, sites, and areas that are reminders of the City and its neighborhoods or which are worthy examples of past architectural styles;
- Develop and maintain the appropriate settings and environment to preserve the aforementioned structures, natural features, sites and areas;
- Enhance property values, stabilize neighborhoods and/or community, render property eligible for financial benefits, and promote tourist trade and interest;
- 4. Foster public appreciation of the beauty of the City and the accomplishments of its past as reflected through its structures, natural features, sites and areas;
- 5. Promote education by preserving and encouraging interest in cultural, social, economic, political and architectural phases of its history.

To establish such an overlay zone, an application must be filed with the Department of City Planning upon a form prescribed for that purpose. The Planning Department shall then send a copy of the application to the Cultural Heritage Commission for evaluation. As part of the valuation, the Commission shall review an historic/architectural survey of the area identifying all significant and non-significant structures and all significant natural features or sites. Unless of exceptional importance, no structure shall be considered historic unless it is at least forty years of age.

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The architectural/historical survey shall include a factual statement supporting that structures within the involved area are significant. To be "significant" such structures or the area as a whole should meet one or more of the following nine criteria:

- *- has substantial value as part of the development, heritage or cultural characteristics of, or is associated with the life of a person important in the history of, the City, State or Nation; or
- is associated with an event that has made a substantial contribution to the broad patterns of our history;

*- is constructed in a distinctive architectural style characteristic of an era of history; (")

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- *- embodies those distinguishing characteristics of an architectural type or engineering specimen;
- *- is the work of an architect or designer who has substantially influenced the development of the City;
- contains elements of design, detail, materials or craftsmanship which represent an important innovation;
- is part of or related to a square, park or other distinctive area and should be developed or preserved according to a plan based on historic, cultural, architectural, or aesthetic motif;
- owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or City;
- retaining the structure would help preserve and protect an historic place or area of historic interest in the City.

Criteria which are starred are deemed to be applicable to the Westwood Village area or a portion thereof in assessing the viability of an HPOZ (see development history and accompanying maps). It appears that a portion of the Village may qualify for designation as an HPOZ. Two options are mapped at the end of this report.

Subgroupings of Interest

Two streetscapes which alone do not qualify for individual designation under any previously established program require special consideration in the planning process.

1. The west side of the 1100 block of Glendon contains a grouping of courtyard structures particularly representative of the original Janss development plan. The size, scale, style, and design of these retail shops were designed to cater to the pedestrian shopper. One of the courtyards contained the Talk of the Town restaurant, a meeting place where shoppers could dine in a casual outdoor atmosphere. Courtyards were a significant design element of several buildings and played an important social role. All were designed in Mediterranean styles to conform to the architectural guidelines. Three of the four have brick facades. It is recommended that careful consideration be given to decisions which would impact this

streetscape.

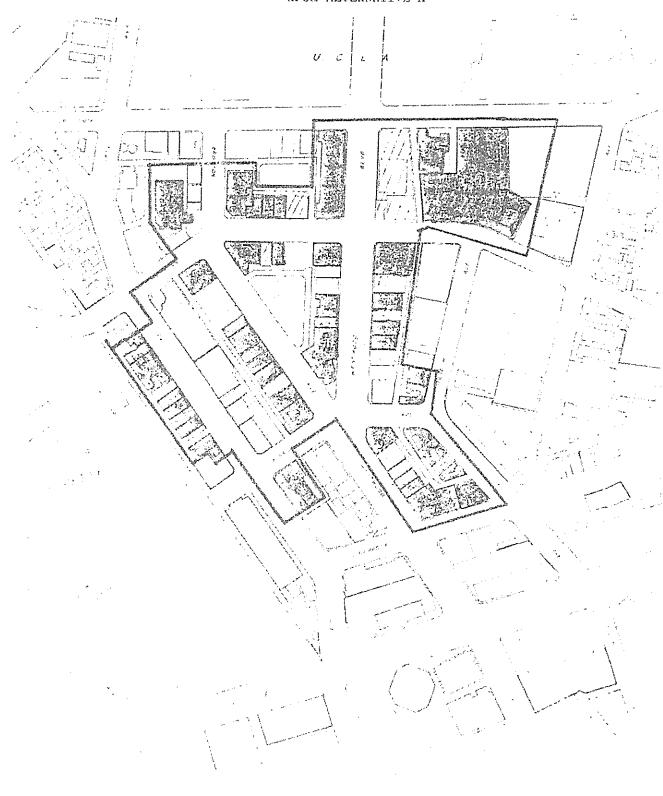
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- 2. In order to enhance and/or maintain the historic character of Westwood Boulevard, care should be taken to:
 - a. maintain the rhythm of the streetscape by keeping compatible new development of the scale of existing structures. While the assembling of parcels is not to be discouraged, developers should be encouraged to use the historic Holmby block as a model in designing new construction with continued pedestrian access and variegated facade treatment.
 - b. maintaining the landscaping of parkways and median strips.

Appropriate management of cultural resources will result in benefits to the community and to the individual property owner. It will create the "unique market niche" defined on page 31 of "Issues, Alternatives, and Evaluation Criteria" (Gruen Associates, November, 1985) by enhancing the pedestrian environment and defining the design characteristics of the area. Integration of proposed street improvements (sidewalks, lighting, landscaping, cafe areas) should be carefully coordinated with historic treatment of facades and with what is known about the original street features which were unique to the Village.

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Westwood Village Specific Plan

*Most inclusive: 68% contributing buildings.
46 structures contributing; 22 noncontributing.





Westwood Village Specific Plan

*Less inclusive in area; 70% contributing buildings, 35 contributing structures; 15 noncontributing structures.

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Accordates

Gruen Associates

	NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EVAJ
0	926-40	Broxton Ave.	Bruin Theatre	Moderne	1937	3
	945	Broxton Ave.	Fox Theatre	Spanish Colonial Revival	1931	3
()	1091-93	Broxton Ave.	University Professional Building	Spanish Colonial Revival	1929	3
	10886	Le Conte Ave.	Contempo Center	Mediterranean	1929	3
	1043	Westwood Blvd.	Alice's Restaurant	Mediterranean	1929	3
	1045-99	Westwood Blvd.	Glendale Federal Savings	Spanish Colonial Revival with Classical Rev. influences	1929	3
	1142-54	Westwood Blvd.	Bratskeller/Egyptian Theatre	Mediterranean	1929	3
	1001-09	Broxton Ave.	Mario's	Spanish Colonial Revival	1931	4
	10910-22	Kinross Ave.	Pottery Barn/Baskin Robbins/Popcorn Shoppe/Fame	Spanish Colonial Revival	1930	4
0	901-51	Westwood Blvd.	Holmby Building	Mediterranean	1929	4
	10861	Weyburn Ave.	Bullock's Department Store	Post-war Modern	1951	4
	1037	Broxton Ave.	Stratton's Grill	Spanish Colonial Revival	1940	5
	043-51	Broxton Ave.	Regent Theatre	Period Revival	1946	5
	1055–59	Broxton Ave.	Taco Bell	Moderne	1937	5
Ú	1061	Broxton Ave.	Shanes Jewelry/Bon Appetit Cafe	New Orleans Revival	1937	5
	1069-71	Broxton Ave.	Winchell's Donuts/Jazz'd/Dino	Classical Revival with Moderne influences	1936	5
	1083-87	Broxton Ave.	Aahs	Post-War Modern	1945	5
الملك	931-43	Gayley Ave.	Unknown	Moderne	1047	5
	959	Gayley Ave.	Gayley Terrace	Spanish Colonial Revival	1940	5
	1015	Gayley Ave.	Unknown	American Colonial Revival	1946	5
	1019	Gayley Ave.	Computer Expo/International College	American Colonial Revival	1948	5

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NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EVA
1033	Gayley Ave.	Westwood Professional Building	American Colonial Revival	1938	5
1049-51	Gayley Ave.	Chase	Moderne	1946	5
1057	Gayley Ave.	Sportshaus	Moderne with Classical Revival influences	1935	5
1059-63	Gayley Ave.	Oakley's Hair Styling	Moderne	1937	5
1065–73	Gayley Ave.	Helen's Cycles/Lumbleau School/Westwood Sporting Goods	Moderne with Classical Revival influences	1940	5
1081	Gayley Ave.	Dillon's Nightclub	Mediterranean	1930	5
1085-91	Gayley Ave.	Exotic/La Fondue Restaurant	Spanish Colonial Revival	1930	5
1070	Glendon Ave.	Glendon Manor	Mediterranean	1939	5
1071–73	Glendon Ave.	Jurgensen Groceries/Moustache Cafe	Mediterranean	1929	5
1097	Glendon Ave.	Charthouse Restaurant	Mediterranean	1938	5
1101-09	Glendon Ave.	Haagen Daz/The Wurst/Westwood Dry Goods	Mediterranean	1931	5
111121	Glendon Ave.	Unknown	Mediterranean	1936	5
1129-37	Glendon Ave.	Morgan Company Jewelers	Mediterranean	1933	5
1139-51	Glendon Ave.	Unknown	Mediterranean	1933	5
10824	Lindbrook	Unknown	Spanish Colonial Revival	1938	5
10830	Lindbrook Ave.	Unknown	Spanish Colonial Revival	1936	5
10836-40	Lindbrook Ave.	Unknown	Monterey Revival	1933	5
19845-55	Lindbrook Ave.	Chan's Garden/Paul Bhalla	Mediterranean	1938	5
1000-04	Tiverton Ave.	Unknown	American Colonial Revival	1938	5
1016	Tiverton Ave.	Unknown	Mediterranean	1929	5
1022-26	Tiverton Ave.	Unknown	Mediterranean	1929	5
1044	Tiverton Ave.	Claremont Hotel	Moderne	1940	5

, en c	NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EVA
	1000-10	Westwood Blvd.	Brite/Hunter's Books	Mediterranean	1932	5
	1001	Westwood Blvd.	At Ease	Mediterranean	1931	5
arts.	1029	Westwood Blvd.	Unknown	Mediterranean	1938	5
	1030	Westwood Blvd.	Unknown	Mediterranean	1931	5
	1046	Westwood Blvd.	Unknown	French Regency	1940	5
	1056	Westwood Blvd.	Unknown	French	1936	5
	1100	Westwood Blvd.	Miller's Outpost	Mediterranean	1934	5
	130-34	Westwood Blvd.	Unknown	Mediterranean	1929	5
	1136-40	Westwood Blvd.	Rezzo Building	Mediterranean	1939	5
	10851	Weyburn Ave.	Unknown	Spanish Colonial Rev.	1934	5
	10923	Weyburn Ave.	Lamonica's NY Pizza	French	1949	5
	10924	Weyburn Ave.		Neo-Mediterranean	1937	5
0	10931	Weyburn Ave.	Chapman Building	Mediterranean with Classical Revival influences	1936	5
\circ	10935	Weyburn Ave.	Hamburger Hamlet	Classical Revival with Moderne influences	1938	5
	.0948	Weyburn Ave.	Stan's Donuts	Mediterranean	Unknown	5

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

				Ser. No.			
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UTM:	Α.	11	366560		В,	769860	
	С_				D	-	

DENTIF	ICATION Common name:	Bruin Theatre					
2.	Historic name:	Fox Bruin Theatre	3				
3.	Street or rural ad	dress: 926-40 Broxtor	ı Ave.				
	City Los Ang	eles	Zip _	90024	County	Los Angeles	
4.	Parcel number:	4363-018-008					
5.	Present Owner:	Charles Curti et	al		Address:	P.O. Box 60909	
	City Los Ange	eles	Zip 90060	Ownershi	p is: Public	Private X	
6.	Present Use:	Theatre		riginal use:			, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,

DESCRIPTION

- 7a. Architectural style: Moderne
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

An adept translation of the Streamline Moderne aesthetic into theatre form, the Bruin presents an eye-catching concave facade to the intersection of Broxton and Gayley. An ornate neon marquee incorporating characteristic Art Deco motifs reaches forward in a circular shape to shade the corner. Above it, a rounded concrete slab with a shallowly fluted interior surface functions as a tower and is dramatically lit at night. Below the marquee, multi-colored terrazzo suggests a starburst design. A series of four storefronts extends north along Broxton, hiding the reinforced concrete auditorium. One of the landmarks of Westwood, which, with the elaborate Fox Village Theatre, across the street, makes this intersection one of the most notable in Los Angeles. The Bruin is in very good condition.



8.	Construction date: 1937 Estimated FactualX
9,	ArchitectS. Charles Lee
10.	Builder
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood X Fair Deteriorate	d No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-up X
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	The Bruin Theatre is the second of opened in Westwood Village. Its Morto the Spanish Colonial Revival street. Constructed as part of a mation, the building was designed Charles Lee. Lee's showy designs whive patron out of his automobile neon marquees were placed to attract only portion of the structure than ight. Lee combined Moderne styling the theatrical experience. His exected in various forms and patter (see continuation sheet)	the Fox West Coast theatres to be derne styling was a marked contrast Fox Westwood directly across the ajor expansion by Fox Film corporaby premier theatre architect S. ere guaranteed to lure the prospectand into the auditorium. Flashy the motorist, often becoming the tould be seen from the street at g with decorative detail to enhance tensive use of metal, sculpted and
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH .
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.

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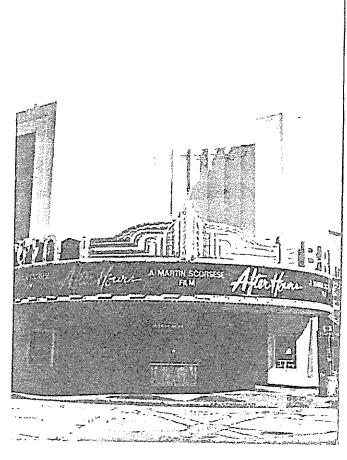
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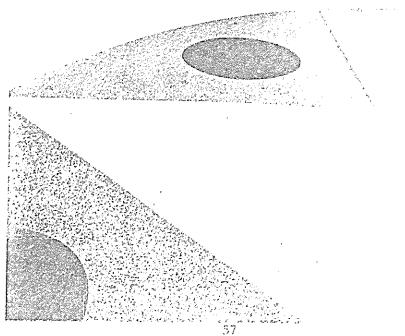
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CONTINUATION SHEET: 926-40 Broxton Avenue

19. Significance:

and flamboyant neon allowed a virtual corner on the market during the 1930s. Lee designed over 400 theatres before he retired in 1948. The Bruin is one of the most intact. In addition to its association with a noted theatre designer, the Bruin's cultural associations as one of the area's two entertainment facilities gives it a prominent place in the architectural and cultural context of Westwood Village.





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Westwood Village Specific Plan (

WESTWOOD VILLAGE SPECIFIC PLAN

	NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EV.
) }	926-40	Broxton Ave.	Bruin Theatre	Moderne	1937	3
	945	Broxton Ave.	Fox Theatre	Spanish Colonial Revival	1931	3
	1001-09	Broxton Ave.	Mario's	Spanish Colonial Revival	1931	4
	1037	Broxton Ave.	Stratton's Grill	Spanish Colonial Revival	1940	5
	1043-51	Broxton Ave.	Regent Theatre	Period Revival	1946	5
	1055-59	Broxton Ave.	Taco Bell	Moderne	1937	5
v I	1061	Broxton Ave.	Shanes Jewelry/Bon Appetit Cafe	New Orleans Revival	1937	5
	1069-71	Broxton Ave.	Winchell's Donuts/Jazz'd/Dino	Classical Revival with Moderne influences	1936	5
)	1083-87	Broxton Ave.	Aahs	Post-War Modern	1945	5
	1091-93	Broxton Ave.	University Professional Building	Spanish Colonial Revival	1929	3
	931-43	Gayley Ave.	Unknown	Moderne	1047	5
)	959	Gayley Ave.	Gayley Terrace	Spanish Colonial Revival	1940	5
	1015	Gayley Ave.	Unknown	American Colonial Revival	1946	5
, 1071,	1019	Gayley Ave.	Computer Expo/International College	American Colonial Revival	1948	5
	1033	Gayley Ave.	Westwood Professional Building	American Colonial Revival	1938	5
	1049-51	Gayley Ave.	Chase	Moderne	1946	5
	1057	Gayley Ave.	Sportshaus	Moderne with Classical Revival influences	1935	5
	1059-63	Gayley Ave.	Oakley's Hair Styling	Moderne	1937	5
;	1065-73	Gayley Ave.	Helen's Cycles/Lumbleau School/Westwood Sporting Goods	Moderne with Classical Revival influences	1940	5
	1081	Gayley Ave.	Dillon's Nightclub	Mediterranean	1930	5
)	1085-91	Gayley Ave.	Exotic/La Fondue Restaurant	Spanish Colonial Revival	1930	5

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NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EV.
1070	Glendon Ave.	Glendon Manor	Mediterranean	1939	5
1071-73	Glendon Ave.	Jurgensen Groceries/Moustache Cafe	Mediterranean	1929	5
1097	Glendon Ave.	Charthouse Restaurant	Mediterranean	1938	5
1101-09	Glendon Ave.	Haagen Daz/The Wurst/Westwood Dry Goods	Mediterranean	1931	5
1111-21	Glendon Ave.	Unknown	Mediterranean	1936	5
1129–37	Glendon Ave.	Morgan Company Jewelers	Mediterranean	1933	5
1139-51	Glendon Ave.	Unknown	Mediterranean	1933	.
10910-22	Kinross Ave.	Pottery Barn/Baskin Robbins/Popcorn Shoppe/Fame	Spanish Colonial Revival	1930	4
10886	Le Conte Ave.	Contempo Center	Mediterranean	1929	3
10824	Lindbrook	Unknown	Spanish Colonial Revival	1938	5
10830	Lindbrook Ave.	Unknown	Spanish Colonial Revival	1936	5
10836-40	Lindbrook Ave.	Unknown	Monterey Revival	1933	5
19845-55	Lindbrook Ave.	Chan's Garden/Paul Bhalla	Mediterranean	1938	5
1000-04	Tiverton Ave.	Unknown	American Colonial Revival	1938	5
1016	Tiverton Ave.	Unknown	Mediterranean	1929	٤
1022-26	Tiverton Ave.	Unknown	Mediterranean	1929	5
1044	Tiverton Ave.	Claremont Hotel	Moderne	1940	٠ 5
901–51	Westwood Blvd.	Holmby Building	Mediterranean	1929	4
1000-10	Westwood Blvd.	Brite/Hunter's Books	Mediterranean	1932	5
1001	Westwood Blvd.	At Ease	Mediterranean	1931	5
1029	Westwood Blvd.	Unknown	Mediterranean	1938	5
1030	Westwood Blvd.	Unknown	Mediterranean	1931	5
1043	Westwood Blvd.	Alice's Restaurant	Mediterrancan	1929	3

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WESTWOOD VILLAGE SPECIFIC PLAN

NUMBER	STREET	COMMON NAME	ARCHITECTURAL STYLE	DATE	EV.
1046	Westwood Blvd.	Unknown	French Regency	1940	5
1056	Westwood Blvd.	Unknown	French	1936	5
1045-99	Westwood Blvd.	Glendale Federal Savings	Spanish Colonial Revival with Classical Rev. influences	1929	3
1100	Westwood Blvd.	Miller's Outpost	Mediterranean	1934	5
1130-34	Westwood Blvd.	Unknown	Mediterranean	1929	5
1136-40	Westwood Blvd.	Rezzo Building	Mediterranean	1939	5
1142-54	Westwood Blvd.	Bratskeller/Egyptian Theatre	Mediterranean	1929	3
10851	Weyburn Ave.	Apartment	Spanish Colonial Rev.	1934	5
10861	Weyburn Ave.	Bullock's Department Store	Post-war Modern	1951	4
10923	Weyburn Ave.	Lamonica's NY Pizza	French	1949	5
10924	Weyburn Ave.		Neo-Mediterranean	1937	5
10931	Weyburn Ave.	Chapman Building	Mediterranean with Classical Revival influences	1936	5
109 3 5	Weyburn Ave.	Hamburger Hamlet	Classical Revival with Moderne influences	1938	5
10948	Weyburn Ave.	Stan's Donuts	Mediterranean	Unknown	5

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

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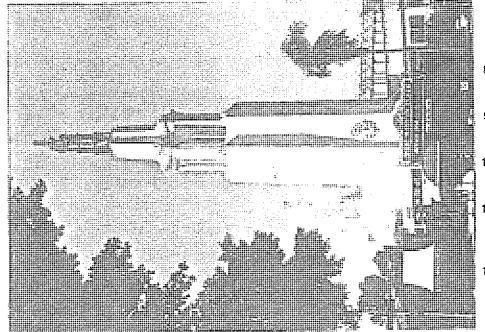
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DENTIS	ICATION Common name:	Fox Theatre			
2.	Historic name:	Fox Village Theatre			
3.	Street or rural ad	dress: 945 Broxton Ave.			
	City Los Ang	cles	Zip 90024		
4.		4363-017-010			,
5.	Present Owner: _	Charles Curti et al		_ Address:	•
	City Los Ang	eles Zip			_
6.			Original use:		

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

A soaring tower, Westwood's tallest, and a heacon to moviegoers in the community, dominates the design of the Fox Village Theatre. Located on the northwest corner of Weyburn and Broxton, the fox is a reinforced concrete structure which draws upon Spanish and Classical sources for its design. The auditorium, a rectangular structure in the interior of the block, is ringed by an elaborate frieze patterned with Churrigueresque intensity. Its undulating edge is punctuated by orbs which top slightly raised pilasters. Chimera mark each corner. An open arcade links the upper section of the auditorium to the base of the tower. Plain piers modify the slightly tapered cylindrical shape of the shaft of the tower. This in turn is topped by a structure suggestive of an extruded choragic monument. More chimera guard (see continuation sheet)



8.	Construction date: 1931 Estimated Factual X
9.	Architect P.P. Lewis
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGood X Fair Deteriorate	ed No longer in existence					
14.	Alterations:						
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up X Residential X Industrial Commercial X Other:						
16.	Threats to site: None knownPrivate developmentX _ Zoning Vandalism Public Works project Other:						
17.	Is the structure: On its original site? X Moved? Unknown?						
18.	Related features:						
19.	became one of the most important fl restrictions actually precluded th area. Fox Film corporation had a and maintained close control of di 1940s. The Fox was part of a major	twood Village, the flamboyant Fox inment facility of the area during ive tower, courtyard entrance, and ocal point in the north Village.					
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH					
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor						
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.					
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CONTINUATION SHEET: 945 Broxton Avenue

7b. Description:

the base of the columns. The tower then steps back and culminates in an illuminated sign. Spreading out below the tower, the marquee is decorated with neon and shades the entry. Both the exterior and the interior of the theatre are largely intact. The shops which extend in one and two stories along each block have been substantially altered.

19. Significance:

\$300,000. The auditorium was originally designed to seat 2,000, although it was modified to 1,500 before construction commenced. The reinforced concrete structure was to have copper storefronts, art stone exterior trim, and marble interiors. Ground was broken in November of 1930; construction was completed the following fall. As the first entertainment facility in the Village, the theatre played an integral part in the community's recreational activities. Part of the initial Janss building program, it continues to maintain its significance both architecturally and culturally today.



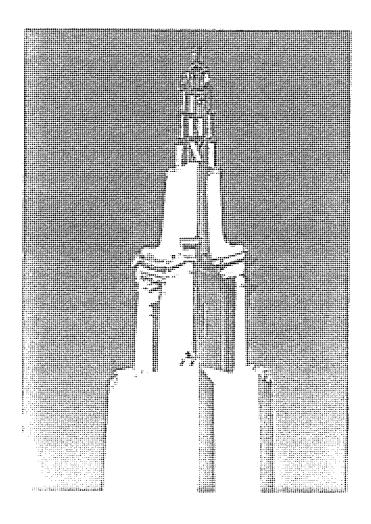


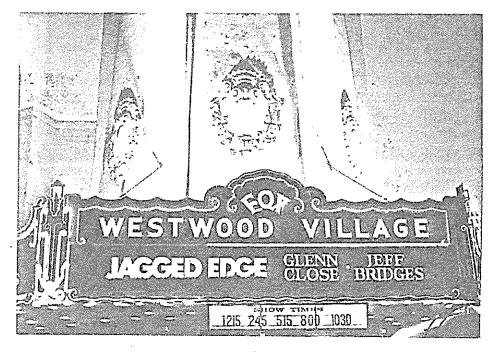
Westwood Village Specific Plan

Gruen Associates

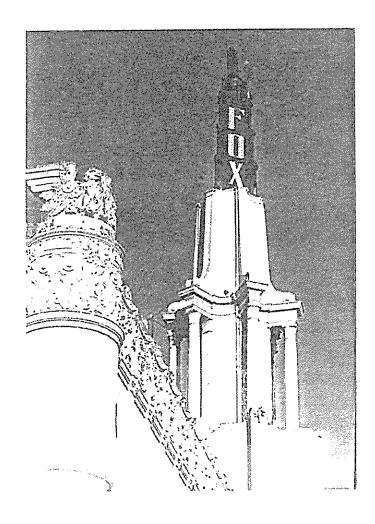
CONTINUATION SHEET: 945 Broxton Avenue

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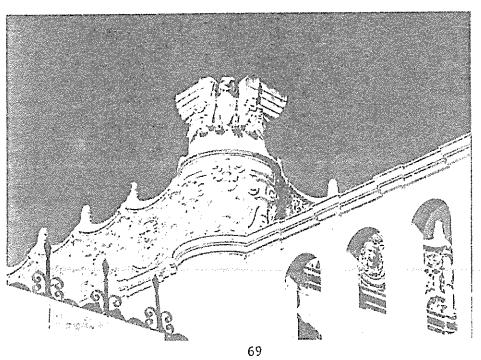




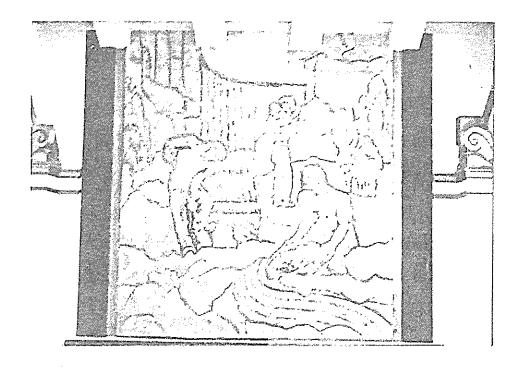
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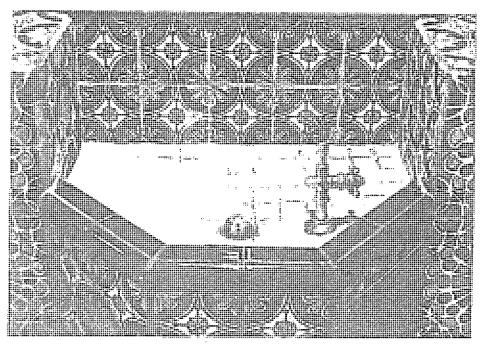


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CONTINUATION SHEET: 945 Broxton Avenue





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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

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IDENTII	FICATION Common name: _	Marios			
2.	Historic name:	Unknown			
3.	Street or rural add	ress: 1001-09 Broxton Av	e.		·
	City Los Ange	les	Zip 90024	CountyLos Angel	es
4.	Parcel number:	4363-024-012			
5.	Present Owner:	Felsenthal Investment	Co Ltd.	Address: <u>8330 Melr</u>	ose #304
	City Los Ang	geles Zip	90046 Ownership	is: PublicPriv	ate X
6.	Present Use: Re	estaurant	Original use:	Retail shops	

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

This two story, Spanish Colonial Revival commercial building acts as an architectural counterpart to the University Professional Building at the other end of the block. Like the other building, this is a stucco over brick structure, capped with gabled and hipped red tile roofs, and organized in a rectangular plan around an interior court. Another point of concurrence is the notable use of colored tile, especially for the risers of staircases leading to second floor offices. Located at the corner of Broxton and Kinross, the building features asymmetrically ordered facades that give the impression of being a series of individual designs. Variations in floor levels, roof heights and forms, and detailing heighten this effect. Characteristic Spanish Colonial Revival features include arched openings, (see continuation sheet)



8.	Construction date: 1931 Estimated FactualX
9.	Architect Anderson
10.	Builder S.N. Benjamin
11.	Approx. property size (in feet) Frontage 90 Depth 110 or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: Excellent Good X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Únknown?
18.	Related features:	
	Mack and Woods Ltd. purchased this the firm of Nordstrom and Anderson ing in keeping with the architectu Investment Corporation to ensure co Village. The firm was new in Los practiced in San Francisco before 1928. The resulting design was a completed in 1931. Like most othe building had certain characterist	corner lot in 1930 and commissioned to design a two story retail build-ral guidelines set up by the Janss mpatible development throughout the Angeles, Alvan Nordstrom having moving to Southern California in Spanish Colonial Revival structure, rs of its type in the Village, the ics. There was access from both
	Broxton and Weyburn, with an addit tile in the roof and colorful pat features. A prominent corner b (see continuation sheet)	terned glazed tile were principal
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.
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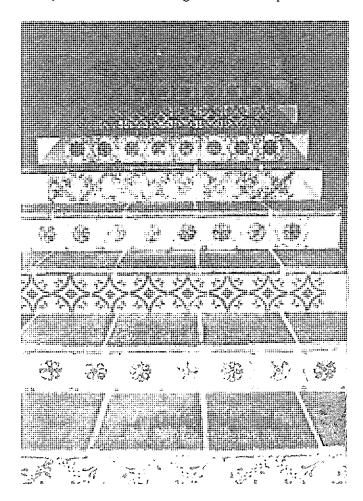
CONTINUATION SHEET: 1001 Broxton Avenue

7b. Description:

balconies, decorative ironwork, corbelled second stories, and casement windows. As is typical of the Village in general, the building acknowledges the corner with an entrance angled to face the intersection. Substantially intact, the building has been altered in the ground floor storefronts and the patio may have been enclosed.

19. Significance:

cosmopolitan air to the street. The building was a major contributor to the Mediterranean ambience of its section of the Village. Although altered, it is compatible in size, scale, and style with the first group of structures built in the Village, a representative of the retail/office component of the original Janss plan.





Westwood Village Specific Plan

Gruen Associates

State of California — The Resources Agency

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4	HISTORIC RESOURCES INVENTORY	HABS HAER NR <u>≶P</u> SHLLoc UTM: A B C D
IDENTI 1.	FICATION Common name: West side of Bi	roxton Avenue
2.	Historic name:	
3.	Street or rural address: Multiple	
	City Los Angeles	Zip 90024 County Los Angeles
4.	Parcel number: Multiple	
5.	Present Owner: Multiple	Address:
		Ownership is: Public Private X
6.	Present Use:	Original use:
DESCRIE	PTION	
7a.	Architectural style: See continuation she	ets
7b.	Briefly describe the present physical description of t	he site or structure and describe any major alterations from its
	original condition:	
	Developed during the ten years	that preceded and followed World War
	II, the west side of the 1000 blo	ck of Broxton Avenue contains commer-
	ciai bulldings of which eight ret	ain various degrees of architectural
	Spanish Colonial Poursel commis-	he corners are anchored by elaborate
	Moderne and stringed Pariod Paul	weathich are documented separately.

and two story buildings which line the interior of the block. Two intrusions, a parking lot and an altered structure near the south end of the block, occur within the boundaries of the grouping. The east side of Broxton, which is predominantly used for parking, is excluded from the grouping. A prominent street because it continues the axis

Attach Photo(s) Here	8. Construction date: 1936-46 EstimatedFactualX
	9. ArchitectSee continuation sheet.
	10. Builder
	11. Approx. property size (in feet) Frontage Depth
,	or approx. acreage
	12. Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGood X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None known Private development X Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
19.	The west side of the 1000 block of loped by the officers of the Janss 1946 following the end of World Wadeveloped strict architectural guidevelopment, but sites to "Mediterrimmediately preceding and after t 1061, and 1069) were all designed cers. The approximate cost of \$16,000, over the minimum require mann, an Englishman, established h becoming associated with Reginald J	Broxton Avenue was primarily deve- Investment Company in 1937 and in r II. The Janss corporation had delines at the inception of Village anean" motifs lessened in the years he war. Three structures (1055, by Gordon Kaufmann for Janss offi- each of the two story stores was d by the deed restrictions. Kauf-
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH See attached
22.	Date form prepared	

(...)

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CONTINUATION SHEET: West side of Broxton Avenue

19. Significance:

Times building in downtown Los Angeles (1931-35), the Doheny Residence (1925-28), Scripps College (1927), and the Athenaeum at California Institute of Technology (1930). Other commissions in Westwood include Holmby Hall (1929) and 10935 Weyburn (1938). Kaufmann's designs for the smaller commercial buildings of the Village tended to be Moderne with Classical Revival elements. The block was enlarged in 1945 with a one story store designed by Allison Rible at 1083 and in 1946 by a two story Period Revival structure owned by the Janss Company. Corner structures at 1091 and 1001 are designed in the Spanish Colonial Revival style and predate the interior of the block (see separate forms). The block is uniform in size and scale, and is representative of Village retail establishments in the late 1930s and after World War II.



Westwood Village Specific Plan

Gruen Associates

NR:

UTM: 11 366600 3769740

ADDRESS:

1037 Broxton Ave.

COMMON NAME:

Strattons Grill

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-024-008

PRESENT OWNER:

Daphne M. Lewis

803 N. Alpine Dr.

Beverly Hills CA 90212

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1940

ARCHITECT:

Unknown

BUILDER:

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Unknown

DESCRIPTION:

Recalling similarly styled American Colonial Revival buildings on Gayley, Stratton's Grill is a one story, brick structure. A shingled brick roof caps the four bay facade while a flat roof tops the rear section of the building. Plainly conceived stucco pilasters define the bays. The north three bays contain full-size re-glazed windows set within plain surrounds surmounted by keystones and broken pediments. The entry occupies the south bay. A trompe l'oeuil mural, depicting a more elaborate scheme of Composite pilasters and lunette crowned openings, adds an unexpected dimension to the plain brick north elevation. In good condition, the building has been adorned with appropriately scaled and placed signage.

CONTINUATION SHEET: 1037 Broxton Avenue



NR:

UTM: 11 366620 3769740

ADDRESS:

1043-51 Broxton Ave.

COMMON NAME:

Regent Theatre

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-024-007

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Period Revival

CONSTRUCTION DATE: 1946

ARCHITECT:

P.H. Crawford

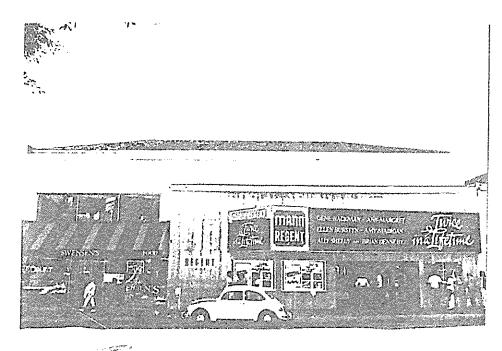
BUILDER:

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S.M. Benjamin

DESCRIPTION:

Little remains of the original facade design of this two story concrete structure. It now houses a raised, marble-faced theatre in the north two-thirds and a restaurant in the re-glazed south storefront. A shingled, shallow hipped roof and plainly molded entablature suggest a simple Period Revival scheme may have characterized the building in its original state. It is in good condition.



NR:

UTM: 11 366620 3769720

0

ADDRESS:

1055-59 Broxton Ave.

COMMON NAME:

Taco Bell

HISTORIC NAME: Unknown

PARCEL NUMBER: 4636-024-006

PRESENT OWNER: John L. & Jane W. Goff

11600 Wilshire Blvd.

West Los Angeles CA 90025

ARCHITECTURAL STYLE: Moderne

CONSTRUCTION DATE: 1937

ARCHITECT:

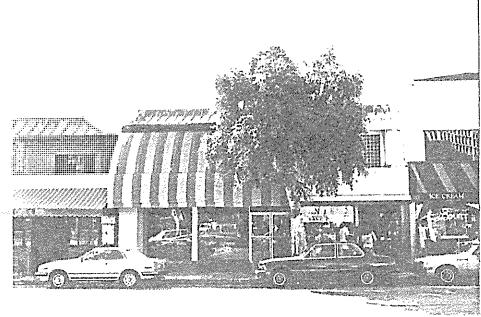
Gordon B. Kaufman

BUILDER:

A.W. Zimmerle

DESCRIPTION:

Only a fragment of the original Streamline Moderne design is currently visible in this two story commercial building. Built of concrete, the building contains two altered storefronts on the lower story and offices on the upper floor. The north office is recessed behind a stout, reeded column and fully glazed with small, square panes that suggest glass brick. Although the south office may also retain this scheme, it is hidden by a large awning that shades the lower story. Between curved side parapets, a bellcast, battened, metal shed roof tops the facade. The structure is in fairly good condition.



NR: 5D

UTM: 11 366640 3769700

ADDRESS:

1061 Broxton Ave.

COMMON NAME:

Shanes Jewelry/Bon Appetit Cafe

HISTORIC NAME: None

PARCEL NUMBER: 4363-024-005

PRESENT OWNER: H. Wilkins Trust

· wirking finar

762 Hamilton Lane

Fallbrook CA

ARCHITECTURAL STYLE: New Orleans Revival

CONSTRUCTION DATE: 1937

ARCHITECT:

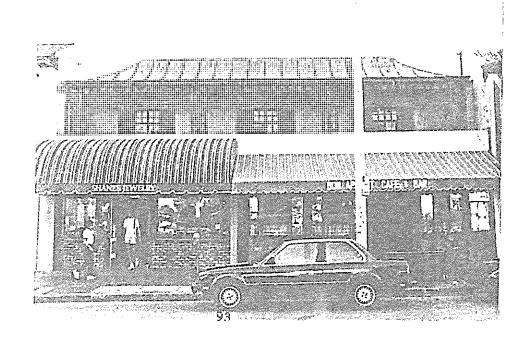
Gordon B. Kaufmann

BUILDER:

Unknown

DESCRIPTION:

A two story commercial building, this concrete structure has been embellished with New Orleans style metal work. Although the two unequally-sized storefronts have been re-sided and re-glazed, the upper story is substantially intact. It contains three bays, recessed behind a shallow balcony. Ornamental iron supports and a frieze support the overhanging of the pent, bellcast metal hip roof, attached to a stepped parapet. Each bay contains a multi-paned window flanked by shutters. The building is in fairly good condition.



NR: 5D

UTM: 11 366640 3769680

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ADDRESS:

1069-71 Broxton Ave.

COMMON NAME:

Winchells Donuts/Jazzd/Dino

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-024-004

PRESENT OWNER: H. Wilkins Trust

762 Hamilton Lane Fallbrook CA

ARCHITECTURAL STYLE: Classical Revival with Moderne influences

CONSTRUCTION DATE: 1936

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Like several other buildings on the block, this two story commercial structure of concrete or masonry construction allows a glimpse of its original design on the upper story. Three altered storefronts now occupy the street level frontage. On the second floor the building has been bisected, leaving the south half relatively intact. It has been divided into two bays by broad, fluted pilasters. Each bay contains a large window surround of abstract Classical Revival design. The windows are multi-paned sash. A shallow side gable roof with a small overhang surmounts this "Classical Moderne" composition. The building is in fairly good condition.



NR:

UTM: 11 366660 3769660

ADDRESS:

1083-87 Broxton Ave.

COMMON NAME:

Aahs

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-024-002

PRESENT OWNER:

Jakowsky Trust

898 W. 18th St. Costa Mesa CA

ARCHITECTURAL STYLE: Post-war Modern

CONSTRUCTION DATE: 1945

ARCHITECT:

Allison V. Rible

BUILDER:

Unknown

DESCRIPTION:

Although the street level storefront has been re-glazed, this two story commercial structure presents a representative picture of postwar Moderne styling. The reinforced concrete structure is sheathed in tile. Vestigal reeded pilasters frame the upper story, which is glazed in opaque industrial glass across its entire expanse. low hip roof with no overhang caps the facade. The building is in good condition.



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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

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UTM:	Α.	HAER 11 366660		SHL 	
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DENTIF	ICATION Common name:	University Profession	onal Building			
2.	Historic name:	University Professio	nal Building		**************************************	
3.	Street or rural a	il shops/offices				
	City Los Ang	geles	Zip 90024	_County	Los Angeles	
4.	Parcel number:	4363-024-001	~		-1	
5.	Present Owner:	Viliam & Maria Hersk	ovic	Address:	15745 Sutton St.	· · · · · · · · · · · · · · · · · · ·
	City Encino	Zip	91316 Ownership is	: Public	PrivateX	··· , ·
6.	Present Use:	Retail shops/offices	Original use:	Retai1	shops/Offices	

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Extensively embellished with colorful tile, this two story Spanish Colonial Revival store and office building is built around an interior court. Of brick construction, the rectangular structure is sheathed in stucco and capped by a hipped tile roof. Extremely large arches detailed with archivolts and tiled surrounds provide access from the center of both the Broxton and Gayley facades to the interior court. Bay windows, arched niches, and tiled dados characterize the patio. A central octagonal fountain has been converted to a planter. Staircases are particularly lavishly embellished, with each riser as well as the stair walls covered with a different tile pattern. A similarly enthusiastic use of tile appears on the exterior and includes an angled corner store entrance completely surrounded by tile. Above the (see continuation sheet)



Construction date: 1929

1985

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence
14.	Alterations:
15.	Surroundings: (Check more than one if necessary). Open land Scattered buildings Densely built-up $\frac{X}{X}$ Residential Commercial $\frac{X}{X}$ Other:
16.	Threats to site: None knownPrivate development X Zoning Vandalism Public Works project Other:
17.	Is the structure: On its original site? X Moved? Unknown?
18.	Related features:
SIGN 19.	NFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)
	One of the twelve buildings constructed during the first year of Westwood Village development, this corner structure exhibits most of the design characteristics which collectively became known as the "Village style." The two story Spanish Colonial Revival building was designed by James Conway for G.K. Harrison, a prominent Los Angeles real estate developer who specialized in professional office space in areas such as Beverly Hills and Westwood. Harrison's \$75,000 investment created a courtyard structure with exceptional detailing, a quiet oasis protected from the street. Accessible from both Kinross and Broxton, the interior shopping court and second floor offices were the kind of mixed uses that the Janss Investment Company encouraged in the planning of the Village. G.K. Harrison is also responsible for a (see continuation sheet)
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor
22,	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213): 937-4270
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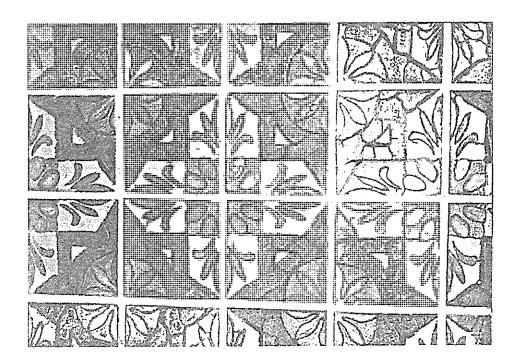
CONTINUATION SHEET: 1091 Broxton Avenue

7b: Description:

entrance, a small balcony with a decoratively pierced stucco wall rests on corbels. Other features culled from the vocabulary of Spanish style, such as iron balconies, arched openings, casement windows, and ornamental plasterwork, are also asymmetrically deployed on the exterior. Alterations appear to be limited to re-glazing and signage. One of the most visually delightful buildings in the Village, the complex is in good condition.

19. Significance:

similar courtyard building at 1149 Glendon. Along with towers, the courtyards of the Village are a prime physical feature of the area, and the structures which contain them are extremely important in the overall environmental context.



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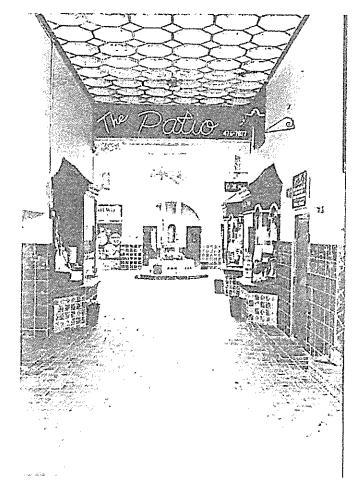


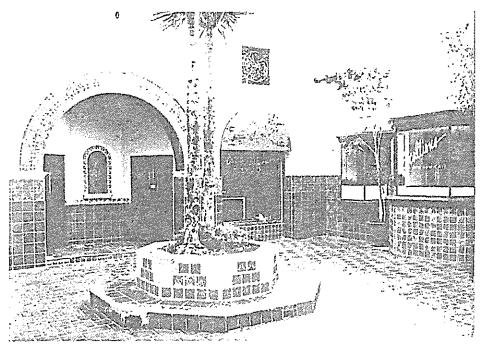
Westwood Village Specific Plan

Gruen Associates

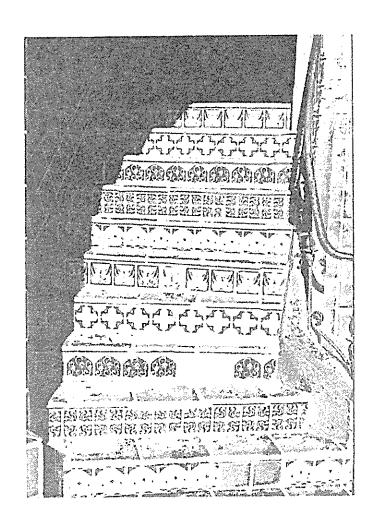
CONTINUATION SHEET: 1091-93 Broxton Avenue

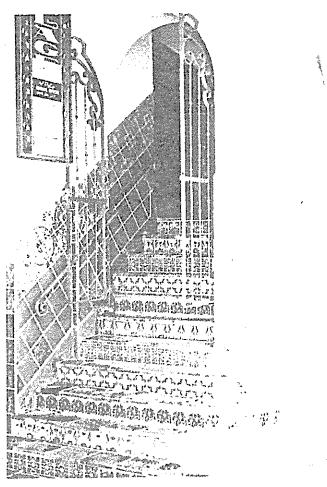
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CONTINUATION SHEET: 1091-93 Broxton Avenue





State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

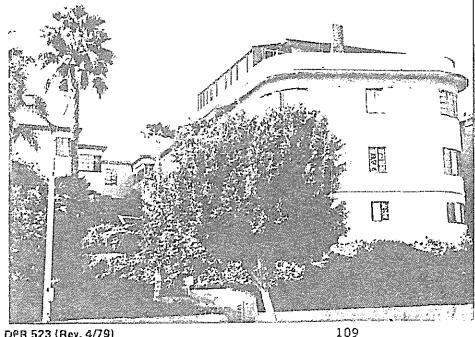
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IDENTIF	FICATION Common name:	Unknown						
1.	Common name:	OTHEROWIT			· · · · · · · · · · · · · · · · · · ·			
2.	Historic name:	Unknown	***************************************					· · · · · · · · · · · · · · · · · · ·
3.	Street or rural address:	941-43 Gaylev	Avenue	!				
	City Los Angeles		_ Zip	90024	_County	Los A	ngeles	
4.	Parcel number: 4363-0	16-015			· / · · · · · · · · · · · · · · · · · ·			
5.	Present Owner: Jean B.	Lawrence			Address:	10375	Wilshire	Blvd.
	City Los Anageles	Zip	90024	Ownership is	: Public		_ Private	X
6.	Present Use: Apartm	mante	٥٠	igipal uses	Ånantmani			

DESCRIPTION

- 7a. Architectural style: Moderne
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

The western edge of the Village, between Weyburn and Le Conte, is defined by a hill on the west side of Gayley which continues onto Levering. Several apartment buildings, either tiered or built around a terraced garden, occupy this frontage. The most notable of these developments, which date from the late 40s and 50s, is located at 931-43 Gayley. Representative of the post-war Moderne style, the Lshaped, stuccoed structure is four stories in height, including a penthouse addition on the flat roof. The most distinctive features of the design are the curved corners, marked by bands of aluminum-framed windows on each corner. The streamlined effect is reiterated by a similarly-rounded canopy and parapet above the third floor. trast, the penthouse, which is set back from the west elevation, is (see continuation sheet)



DPR 523 (Rev. 4/79)

8.	Estimated Factual Y
9.	Architect
10.	Builder
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence
14.	Alterations:
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-upX Residential X Industrial Commercial Other:
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:
17.	Is the structure: On its original site? X Moved? Unknown?
18.	Related features:
SI G 1 19.	NIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)
	The apartment complexes on the periphery of Westwood Village were an integral part of the Village plan as originally conceived by the Janss corporation. They were to serve as a transition between the commercial district and the single family homesites nestled in the foothills. The apartment district around Gayley and Levering also served as a buffer to the Veterans complex further to the west. This Moderne complex, while a postwar addition to the area, is evocative of the style placed on a hillside site. Designed by William E. Foster, whose eight story Moderne structure, the Shangri-La Apartments, is a prominent oceanfront landmark in neighboring Santa Monica, the apartment complex takes full advantage of its hillside site to ensure the privacy of its occupants. With its allusions to speed and mobility, the (see continuation sheet)
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor
22.	Date form prepared
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CONTINUATION SHEET: 941-43 Gayley Avenue

7b. Description:

rectangular and largely enclosed by glass. The building appears to be substantially intact, and in fairly good condition.

19. Significance:

Moderne style was a popular component of the Los Angeles $\,$ residential streetscape in the 1930s.



Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

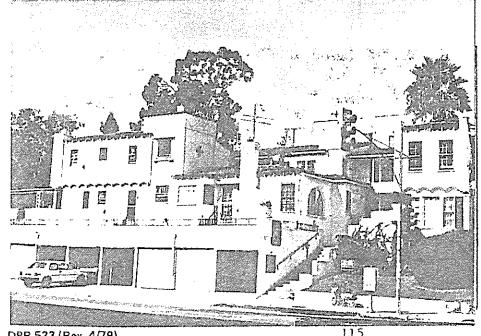
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	С			D		

IDENTIF	ICATION Common name:	Gayley Terrace				
2.	Historic name:	Gayley Terrace				
3.	Street or rural address:	959 Gayley Avenu	е			
	City	Los Angeles	Zip	90024	County	Los Angeles
4.	Parcel number:	4363-016-014				
5.	Present Owner:	Jean B. Taylor			Address:	10375 Wilshire #11B
	City Los Angeles	Zi _F	90024	Ownership	is: Public	Private X
6.	Present Use:	Apartments	Ori	ginal use:		Apartments

DESCRIPTION

- Spanish Colonial Revival 7a. Architectural style:
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Due to its location on a busy intersection and its hillside lot, this three story, Spanish Colonial Revival apartment complex is one of the more prominent and well-known buildings in the Village. The white stucco structure accommodates itself to its site by stepping up the slope in the manner of a Mediterranean hill town. Shallow hipped roofs, covered in red clay tile and detailed with exposed rafters, define the numerous cubic volumes which are combined in the asymmetrically ordered design. Typical stylistic conventions are utilized, including ornamental plasterwork, overhangs marked by arched corbelling, chimneys and a squat tower, decorative ironwork, balconies and terraces, and arched openings. Most windows are multi-paned doublehung sash in type. Access to the complex is provided at the southwest (see continuation sheet)



Construction date: 1940 Estimated Factual X

Architect __ Laurence B. Clapp

Builder_ Pacific Coast Fin

11. Approx. property size (in feet) Frontage _____ Depth____ or approx. acreage_

12. Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGoodX Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
	NFICANCE Briefly state historical and/or architectural importance (include	e dates, events, and persons associated with the site.)
	dated Finance Company Ltd. acted as of the building is in keeping with lines. The irregular massing of special prominence. Prominent fea val style visible in this building material, arched windows, scalloped	e of what the Janss company envitor of its "Mediterranean" village.
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.)	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
	Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Military Social/Education	See attached
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270	

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CONTINUATION SHEET: 959 Gayley Avenue

7b. Description:

corner and marked by an L-shaped staircase edged by a corbiestep wall. Raised, plain medallions adorn the stairwall, and a large urn atop a cylindrical projection accents the stairs. Garages line the Weyburn Avenue elevation. No major alterations were noted, and the building is in good condition.

19. Significance:

and student body of nearby UCLA and to act as a buffer between the commercial area of Westwood Village and the adjacent single family neighborhood.





Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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		West side of					······································		
2.	Historic name: "		······································	······					
3,	Street or rural a	ddress: <u>Multiple</u>			***			· · · · · · · · · · · · · · · · · · ·	
	City	Los Angeles		_Zip	90024	County	Los	Angeles	
4.	Parcel number:	Multiple							
5.	Present Owner:	Multiple				Address:			···
	City		Zip .		Ownersh	ip is: Public		Private	Х
6.	Present Use:			0	riginal use:				

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Occupying the west side of Gayley Avenue between Weyburn and Kinross, this commercial grouping harmoniously combines three distinct architectural tastes. A refined, rather stripped and attentuated American Colonial Revival, principally executed in red brick, characterizes the

north three structures. Moderne characteristics ters, are apparent on the four buildings in the The oldest development on the street, two builds of the block, conform to the Mediterranean rephase of buildings in Westwood Village. Smooth sheathe the Moderne and Mediterranean structurestory block is broken by only two intrusions. the north corner is fairly compatible. The grow (see continuation sheet)	e middle of the block. ings at the south end pertoire of the first h stucco and concrete es. The mostly two A new development at
Attach Photo(s) Here	8. Construction date: 1930–1948 Estimated Factual X
	9. ArchitectSee continuation sheets
	10. BuilderSee continuation sheets
	11. Approx. property size (in feet) Frontage Depth or approx. acreage
	12. Date(s) of enclosed photograph(s) 1985
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Densely built-upX
east visit of the second
ssociated with the site.)
Gayley Avenue ral elements of ad decades. All he south end of ures, one built and the residencter of the area tative of that blic garage, a tachment to the ign the finest
aw and label site and and prominent landmarks):
NORTH
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CONTINUATION SHEET: West side of Gayley Avenue

7b: Description:

the east streetface as well as from the blocks to the north and south by virtue of its age, architecture, concentration of office usage, and integrity.

19. Significance:

After the initial two buildings, the block lay undeveloped for five years, when the Westwood Mortgage and Investment Company commissioned Allen G. Siple to design a home for the Westwood Hills Press, publisher of the Westwood Hills News and the Daily Bruin, the University's newspaper. The resulting Moderne structure with Classical Revival elements set the stylistic tone for the rest of the street. Siple also designed the A & P Market for the Village, and was perhaps best known for his residences for well-to-do clients, among them actress Deanna Durbin and Edwin Janss' daughter Mrs. George Gregson. Other extant Siple commissions in the Village are 1100 Westwood Boulevard (1934) and 10924 Weyburn (1937). One of the few industrial buildings in the Village, the facade is in keeping with the professional offices and shops around it. 1059-63 was built in a similar style in 1936.

In 1938, the first American Colonial Revival brick structure appeared on the street. While the style differs from the Mediterranean approach, the building is very much in keeping with its intended use as professional offices. The Westwood Medical Center, as it is known, was designed by William B. Coffey of Hollywood, who is also credited with several Fox West Coast theatre designs of the mid-1940s. second American Colonial Revival brick medical building, this one designed by Janss-employed architect Percy Lewis, who is also responsible for the Fox Westwood Theatre, was erected at a cost of \$65,000 in 1946. That same year, C.E. Howell built a one story Moderne structure. In 1940, architect Ulysses Rible designed a second Moderne structure with Classical Revival influence as stores and offices at Rible later designed buildings at several universities and colleges, among them Cal Poly Pomona and San Luis Obispo, and Pasadena City College.



Westwood Village Specific Plan

Gruen Associates

NR: 5D

UTM: 11 366480 3769740

ADDRESS:

1015 Gayley Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Westwood Village Medical Arts Building

PARCEL NUMBER:

4363-025-011

PRESENT OWNER:

Westwood Village Ltd.

1015 Gayley

Rm. 100 CA Los Angeles

ARCHITECTURAL STYLE: 90024

CONSTRUCTION DATE: American Colonial Revival

ARCHITECT:

1946

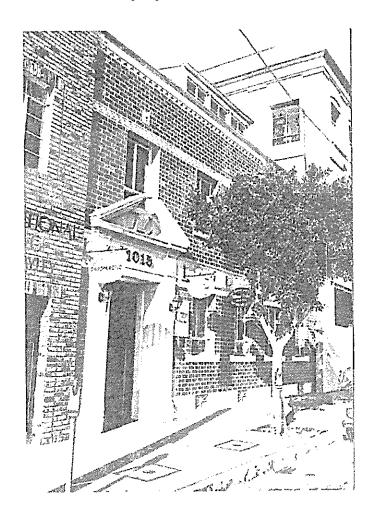
BUILDER:

P.P. Lewis

DESCRIPTION:

Built as a medical building in 1946, this two story structure employs an articulated American Colonial Revival style. The brick facade is capped by a shingled, hipped roof with tiled ridges. A rather large dormer, containing a band of three square, six-light windows is centered over the facade. Five equally-sized and spaced bays are defined by the fenestration. Each upper story bay consists of a re-glazed window recessed the width of a single brick and accented by a raised, A continuous molding of running Greek fretwork design acts as a lintel and marks the lower edge of a plain brick frieze. Plain and sawtooth moldings appears at the cornice line. The north four bays of the ground floor are treated similarly to those above, differing only in the addition of stretcher brick surrounds. frieze, punctuated with panels of shallowly carved design, replaces the lintels and divides the upper and lower levels. A classical entry, which leads to an interior court, fills the south bay. Fluted pilasters, paneled reveals, a shield ornamented frieze, and a broken pediment dotted by a scrolled corbel enrich the opening. Other than the replacement of the original windows, no major alterations to this well-maintained building were noted.

CONTINUATION SHEET: 1015 Gayley Avenue





NR:

UTM: 11 366500 3769720

ADDRESS:

1019 Gayley Ave.

COMMON NAME:

Computer Expo/International College

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-010

PRESENT OWNER:

1019 Gayley Associates 10920 Wilshire #750

Los Angeles CA 90024

ARCHITECTURAL STYLE: American Colonial Revival

CONSTRUCTION DATE: 1948

ARCHITECT:

Unknown

BUILDER:

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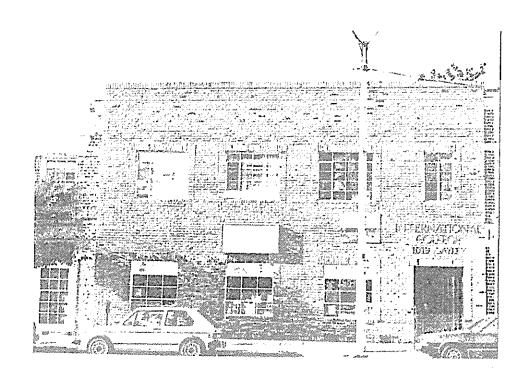
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Unknown

DESCRIPTION:

The least emphatic of the American Colonial Revival-influenced buildings in the grouping, this is a two story brick structure with a small interior court. Four bays are defined by the fenestration of the Identically realized, the south three bays contain smooth facade. twelve-light, square, industrial sash windows on the lower story, and larger, twenty-light openings on the upper story. Signs occupy the top tier of pans in the ground floor windows. A gated entry and a rectangular window appear in the north bay. Slightly raised courses of stretcher and soldier bricks outline each opening and the edge of the parapet and are the sole source of ornamentation. No major alterations were noted, and the building is in good condition.

CONTINUATION SHEET: 1019 Gayley Avenue



NR:

UTM: 11 366500 3769720

ADDRESS:

1033 Gayley Ave.

COMMON NAME:

Westwood Professional Building

HISTORIC NAME: Westwood Professional Building

PARCEL NUMBER:

4363-025-009

PRESENT OWNER: Allan & Sandra Liebert et al

1033 Gayley Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: American Colonial Revival

CONSTRUCTION DATE: 1938

ARCHITECT:

Unknown

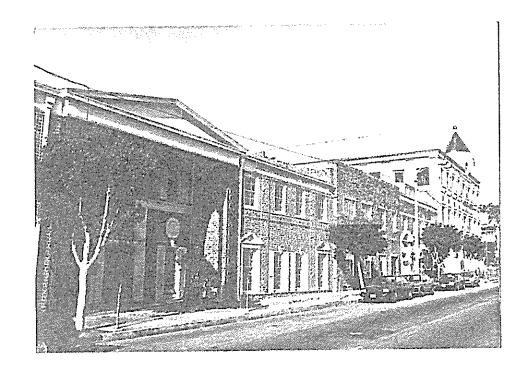
BUILDER:

Unknown

DESCRIPTION:

1033 Gayley is a two story brick, American Colonial Revival office structure, realized as if it were three separate buildings. The north "pavilion" contains four bays. Tall, six-over-nine sash, adorned with shutters and keystones in the middle and pediments on the ends, occupy the lower story bays. Identical six-over-six sash appear in the upper Courses of raised bricks define a "frieze" between stories. A second frieze, plain and white and a molded cornice terminate this portion of the facade, which is topped by a shallow side gable framed by stepped gable ends. Next to it, a three bay, pedimented pavilion contains the entry. Paired supports of New Orleans inspired metalwork, behind which this portion of the facade is recessed, carry the entablature. Framed by pilasters, the central bay contains double Nine-over-nine sash, detailed with shutdoors beneath a fanlight. ters, keystones, and topped by blind octagons, flank the entry. Between a simply molded frieze, the second story contains shuttered four-over-four double-hung sash windows. The south and largest pavilion is six bays across and surmounted by a small, centered pediment. The lower story is identical in its bay definition, and treatment to the north pavilion. In contrast, the central bays of the second story are stuccoed, recessed, and overlook an iron-railed balcony. Paired pipe columns support the balcony roof. Unified yet varied in design, the buildings appears unaltered and in good condition.

CONTINUATION SHEET: 1033 Gayley Avenue



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NR:

UTM: 11 366520 3769700

ADDRESS:

1049-51 Gayley Ave.

COMMON NAME:

Chase

HISTORIC NAME:

Unknown

PARCEL NUMBER:

4363-025-007

PRESENT OWNER:

Chester E Howell Trust

3101 Coleridge Dr.

Los Alamitos CA 90720

ARCHITECTURAL STYLE: Moderne

CONSTRUCTION DATE: 1946

ARCHITECT:

Lawrence Bull

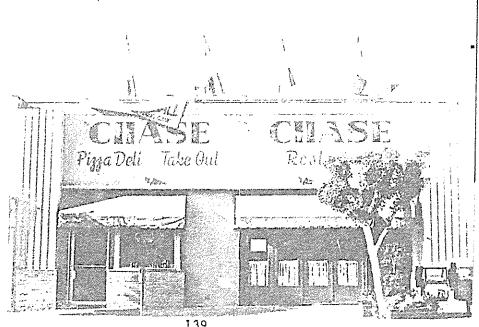
BUILDER:

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DESCRIPTION:

The post-war Moderne has been reduced, on this one story concrete and masonry commercial building, to the two massive, reeded piers which frame the facade. Just below the vestigal, stepped parapet, the piers stop abruptly. Recessed between them, a flat marquee expanse and two storefronts, connected on the interior, have been altered. According to the original permit, the store, which is in fairly good condition, was intended to be an office.



NR: 5D

UTM: 11 366540 3769680

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ADDRESS:

1057 Gayley Ave.

COMMON NAME:

Sportshaus

HISTORIC NAME: Westwood Hills Press

PARCEL NUMBER: 4363-025-006

PRESENT OWNER: Westwood Property Management

1057 Gayley Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Moderne with Classical Revival influences

CONSTRUCTION DATE: 1935

ARCHITECT:

Allen G. Siple

BUILDER:

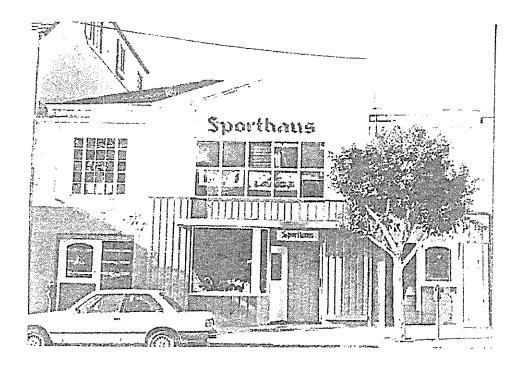
Unknown

DESCRIPTION:

Classicism overlaid with the Moderne characterizes this two story concrete structure. Now housing a retail facility, it was originally intended for office and industrial (printing) purposes. Set back slightly, a moderately pitched hipped roof caps the facade. fronted by a pediment which tops the central and largest of the three Broad, reeded piers carry the pediment which has molded raking cornices and horizontal cornice returns. The piers have been cut-off above the first floor, where the central bay has been re-faced with a corrugated material. A large window, filling the entire upper center bay, may also be altered, as are the side bays on the ground floor. Square, multi-paned, industrial sash remains in the upper end bays. The building is in good condition.

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NR:

UTM: 11 366540 3769660

ADDRESS:

1059-63 Gayley Ave.

COMMON NAME:

Oakleys Hair Styling

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-005

PRESENT OWNER: Jakowsky Trust

898 W. 18th St. Costa Mesa CA CA

ARCHITECTURAL STYLE: 92627

CONSTRUCTION DATE: Moderne

ARCHITECT:

1937

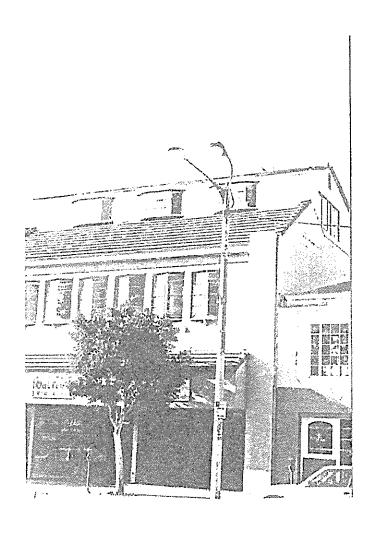
BUILDER:

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Unknown

DESCRIPTION:

Distinctive window treatments characterize this three story commercial building. Of concrete construction, the structure is topped by a side gable roof. A shingled pent roof also caps the second story; a second, smaller pent roof over the ground floor may be an alteration. The storefronts on the lower story have been re-modeled and re-glazed. Unusual, two-sided bays containing metal casements and resting on corbelled, triangular sills, define six bays on the second floor. The upper story is scaled as if it were an attic, and contains three fluted pilasters. Faintly Moderne in style, the building is in good condition.



NR:

UTM: 11 366560 3769640

ADDRESS:

1065-73 Gayley Ave.

COMMON NAME:

Helens Cycles/Lumbleau School/Westwood Sporting Goods

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-004

PRESENT OWNER: Jakowsky Trust

898 W. 18th St. Costa Mesa CA CA

ARCHITECTURAL STYLE: 92627

CONSTRUCTION DATE: Moderne with Classical Revival influences

ARCHITECT:

1940

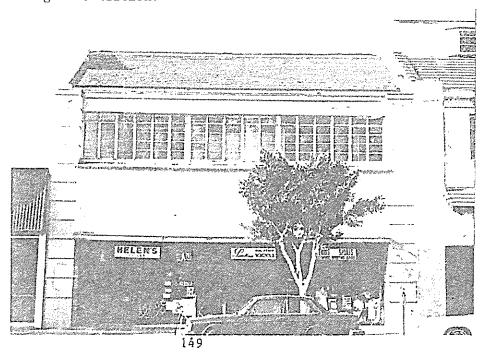
BUILDER:

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Ulysses F. Rible

DESCRIPTION:

Rusticated piers, embellished with swags, frame the facade of this two story concrete and brick commercial building. A side gable roof with molded eaves surmounts the smoothly finished facade. Industrial sash stretches in an unbroken band across the second story. A dentil-like molding ornaments the window sill. The ground floor has been remodeled and re-glazed. Influenced by the Mediterranean Revival, the building is in good condition.



NR: 5D

UTM: 11 366560 3769620

ADDRESS:

1081 Gayley Ave.

COMMON NAME:

Dillons Nightclub

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-002

PRESENT OWNER: Benjamin & Claudette N. Pick

1314 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1930

ARCHITECT:

Unknown

BUILDER:

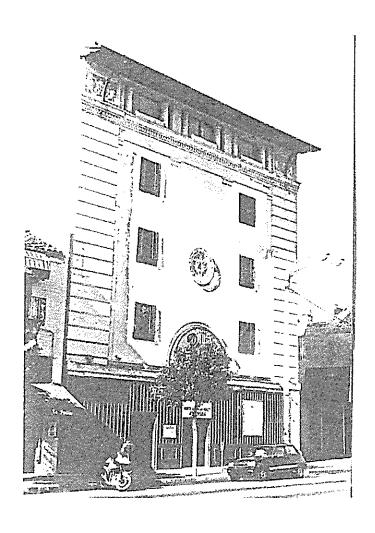
Unknown

DESCRIPTION:

Both its five story height and elegant Mediterranean styling make this building a focal point of the block. Above the ground floor, which has been altered, the three bay, stuccoed facade is framed by broad, rusticated piers. The second through fourth floors are slightly recessed and contain shuttered windows in the end bays. An intricately patterned medallion and an arch over the entry are the sole occupants of the central bay. Vestigal pilasters and capitals and an denticulated cornice separate the fourth and fifth floors. Treated as an attic or capital story, the upper level culminates the characteristics, tripartite, Italian Renaissance composition. It contains decorated end panels and a columned loggia beneath the bracketed overhang of the gable roof. The openings appear to have been temporarily In fairly good condition, the building contributes to the historic identity of Westwood.

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NR: 51

UTM: 11 366580 3769600

ADDRESS:

1085-91 Gayley Ave.

COMMON NAME:

Exotic/La Fondue Restaurant

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-025-001

PRESENT OWNER: E.C. & B.G. Beck Trust

1095 Gayley Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1930

ARCHITECT:

Frank Bivens

BUILDER:

Unknown

DESCRIPTION:

The Spanish Colonial Revival idiom of this two story structure is conveyed by its white-washed facade and mission-tiled hip roof. Ornamental ironwork balconies which rest on brackets are also symptomatic of the style and adorn the openings in the end bays of the upper story. Two smaller windows appear in the central bay of the three bay facade. These openings as well as the three storefronts on the lower level have been altered and re-glazed. Despite these changes, the building retains a degree of integrity to its materials and its proximity to 1081 Gayley. It is in fairly good condition.



State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

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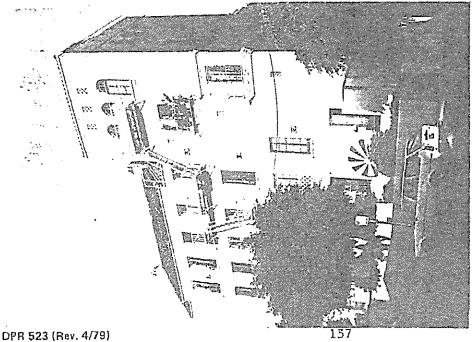
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HABS_	HAER	NR5	SHL	Loc
UTM:	HAER_ A <u>11 366800</u>	3769700 _B		
	C	D		

IDENTIF 1.	FICATION Common name:	Glendon Manor						
2.	Historic name:	Glendon Manor	·····					
3.	Street or rural address:	1070 Glendon A	venu	e				
	City	Los.Angeles		Zip	90024	County	Los Angeles	
4.	Parcel number:	4363-021-005						
5.	Present Owner:	S.A. Balder				Address:	10960 Wilshire	#1800
	City	Los Angeles	Zip _	90024	Ownership	is: Public	Private	X
6.	Present Use:	Apartment		Ori	ginal use:		Apartment	

DESCRIPTION

- 7a. Architectural style: Mediterranean
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Glendon Manor is a four story residential building with a five story tower at its southwest corner. It is designed in a restrained Mediterranean style, realized, as is characteristic, in stuccoed walls and red tile hipped and tiled roofs. Decorative features include balconies, asymmetrically placed and individually detailed, stringcourses, arched openings, pierced stucco vents, classical window surrounds, and casement windows. Set back a small distance from the street to accommodate a small garden and entry stairs, the building is substantially unaltered and in good condition.



8.	Construction date: 1939 Estimated Factual X
9.	Architect
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGood _X Fair Deteriorated No longer in existence
14.	Alterations:
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up x Residential X Industrial Commercial Other:
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:
17.	Is the structure: On its original site? X Moved? Unknown?
18.	Related features:
SIGI 19.	NIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)
	The largest apartment building remaining in the Village itself, Glendon Manor was constructed in 1929. The five story Spanish Colonial Revival structure contained forty—two units. Its designer, Heth Wharton, had been associates with Reginald Johnson, working as a draftsman. Johnson had a partnership with Gordon Kaufmann and Roland Coate, both of whom designed buildings for the Janss Corporation in Westwood Village. It appears likely that this connection was one of the factors that led to Wharton's participation in this project. He had his own office by 1929. The following year, an exhibition of his work was held, which is said to have shown designs for everything from factories to commercial buildings to substantial residences. (see continuation sheet)
	Locational sketch map (draw and label site and
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecturex Arts & Leisure Economic/Industrial Exploration/Settlement Government Social/Education Social/Education Social/Education Social/Education Surrounding streets, roads, and prominent landmarks):
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of Los Angeles Building Permits Southwest Builder & Contractor
22.	Date form prepered 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270
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CONTINUATION SHEET: 1070 Glendon Avenue

19. Significance:

Glendon Manor is representative of the multi-family residential component of the Janss plan. Designed as the support community for the University of California at Los Angeles, the Village was to provide services, entertainment, recreation, and additional residential units, because housing was quite limited on campus and the new site was fairly remote from established neighborhoods. The Janss Investment Corporation sought to provide housing for every socio-economic level. Accommodations ranged from dormitory space on the second floor of Holmby Hall and other retail buildings to courtyard apartments and various types of single family residences. The Village became self-sustaining. Glendon Manor is an example of an urban apartment building which probably accommodated faculty or students. The Spanish Colonial Revival style was the most popular style in Los Angeles in the 1920s and 30, and its elements (red tile roof, wrought iron decorations, arched openings, etc.) were heavily used by Janss in its creation of a "Mediterranean" flavor for the Village.



Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF FARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

			Ser. No.			
HABS_		HAER	. NR		SHL	Loc
UTM:	Α			8		
	С	···		D		

DENTIF 1.	FICATION Common name: _	1000 and 1100	blocks of	Glendon	Avenue		
2.	Historic name:						
3.	Street or rural add	dress: Multiple					
	City Los	Angeles	Zip_	90024	County	Los Angeles	
4.	Parcel number:	Multiple					A. T. C.
5.	Present Owner: _	Multiple			Address: _		8878 V
	City	***************************************	Zip	Ownersh	nip is: Public	Private	X
6.	Present Use:			Original use: _			

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Six buildings comprise the commercial district on Glendon Avenue. The majority of these complexes are of Mediterranean design, built of brick, capped with red clay tile roofs and incorporate a courtyard into an asymmetrical plane. A deliberate irregularity, an element of surprise, and a great deal of charm infuse these pedestrian environments. They are united not only in age, materials, style, design, and

detailing, and to the an orienta bays, and town plan	but also in scale, a ideal of the "Villation to corners, ofte an exploitation of the Village.	igain an accommodationage." Another commo en acknowledgedwith the oddly-shaped lot Most buildings were all do in a relative	on to n cha circu s rea into	o the pedestrian aracteristic is ular towers and sulting from the ended to house
	Attach Photo(s) Here		8.	Construction date: 1929–1938 Estimated FactualX
See a	attached		9.	ArchitectSee continuation sheet
			10,	BuilderSee continuation sheet
			11.	Approx. property size (in feet) Frontage Depth or approx. acreage
			12.	Date(s) of enclosed photograph(s) 1985
R 523 (Rev. 4/79)		163	I	

13.	Condition: ExcellentGood _X Fair Deteriorat	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	One of the first blocks in the Vill of Glendon is representative of the conceived by Edwin Janss. All are ranean" style; four have interior major role in the ambience of the Virespite from the street. Several Glendon, had popular alfresco din Encanto, Talk of the Town) which Other uses on the street were smal developer Guy Harrison was responsified by local architect Ray K	age to be developed, the 1100 block the original plan for the area as designed in the approved "Mediter-courtyards. Courtyards played a fillage, allowing pedestrians quite, including 1101 Glendon and 1129 ting establishments or tea rooms (E1
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
2 1,	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached
22.	Date form prepared	

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CONTINUATION SHEET: 1000 and 1100 blocks of Glendon Avenue

19. Significance:

who ran small specialty stores in the Village during its formative years. This block, with the two Mediterranean buildings immediately to the north and with the former Ralph's supermarket at Westwood and Lindbrook, are the best remaining examples of the Mediterranean tradition in the Village. The grouping retains a high degree of integrity and has continued its historic uses. The buildings on Glendon are significant as representatives of a special building type and also for their direct association with the initial development of Westwood Village.

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Westwood Village Specific Plan

Gruen Associates

NR: 5D

UTM: 11 366780 3769700

ADDRESS:

1071-73 Glendon Ave.

COMMON NAME:

Jurgensen Groceries/Moustache Cafe

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-020-002

PRESENT OWNER:

Sovereign Securities

1081 Westwood #231 Los Angeles, CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Spanish Colonial Revival design characterizes this one story commercial building. Sheathed in smooth, white stucco, the facade is capped by a gabled red clay tile roof. A small overhang shades the wood beams and stringcourse which delineate a frieze zone. The focal point of the composition is a large, flattened arch, elaborately ornamented, which frames the storefronts. An ornate iron grille fills the transom. Below, the storefronts have been altered. The building is in good condition.



NR: 51

UTM: 11 366780 3769660

ADDRESS:

1097 Glendon Ave.

COMMON NAME:

Charthouse Restaurant

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-020-001

PRESENT OWNER: Paramount Securities Corp.

1081 Westwood #231 Los Angeles, CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1938

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Located at the northwest corner of Glendon and Kinross, this one and two story brick building originally resembled those remaining on the 1100 block of Glendon. Although its brick construction, laid to resemble masonry, and corner orientation are still evident, most of the Mediterranean design has been obscured by wood siding and signage. An interior court has been incorporated into the restaurant now occupying the structure. Despite these changes, the building still hints at its original conformity to the Village ideal.



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NR:

UTM: 11 366780 3769640

ADDRESS:

1101-09 Glendon Ave.

COMMON NAME:

Haagen Daz/The Wurst/Westwood Dry Goods

HISTORIC NAME: El Encanto Restaurant/Fosters Antiques

PARCEL NUMBER:

PRESENT OWNER: Jan R. Chan Tr Chan Trust

880 Malcolm Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1931

ARCHITECT:

Howard H. Wells

BUILDER:

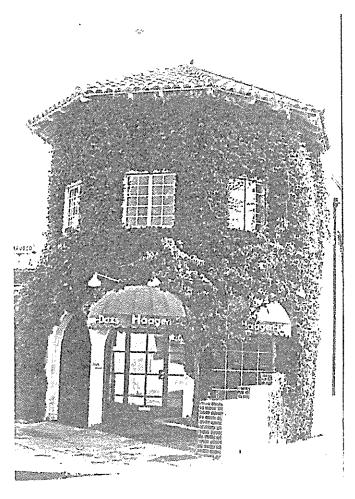
F.L. Froley

DESCRIPTION:

Another circular "tower", the third on the block bounded by Glendon, Kinross, Westwood, and Lindbrook, is the focal point for this one and two story complex of Mediterranean design. Built to house a cafe and stores massed around a courtyard, the brick and stucco structure is surmounted by mission tile hipped and gabled roofs. Heavy wood rafters detail the rooflines, and sturdy wood beams act as lintels for some of the openings. Other notable features include arched entries decorative ironwork and multi-paned display windows. Asymmetrically composed to respond to its site, the building, despite the apparent alteration of the courtyard, retains much of its original charm and anchors a nearly intact block of Old Westwood. Its romantic charm is heightened by the vines which have been allowed to grow over much of the building.

CONTINUATION SHEET: 1101-09 Glendon Avenue





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NR: 5D

UTM: 11 366780 3769620

ADDRESS:

1111-21 Glendon Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER:

4363-022-003

PRESENT OWNER:

chan Trust

880 Malcolm Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1936

ARCHITECT:

Unknown

BUILDER:

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Unknown

DESCRIPTION:

This one and two story stucco complex consists of two one story stores separated by a central path, and a two story structure at the rear of the path. Mission tile gable roofs cap the buildings. Multi-paned display windows flank the central opening. The rear has been remodeled in a compatible neo-Spanish Colonial Revival style.



NR: 5D

UTM: 11 366820 3769580

ADDRESS: 1129-37 Glendon Ave.

COMMON NAME: Morgan Company Jewelers

HISTORIC NAME: Talk of the Town

PARCEL NUMBER: 4363-022-016

PRESENT OWNER: Harrison Proeprties

1100 Glendon, #1407 Los: Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1933

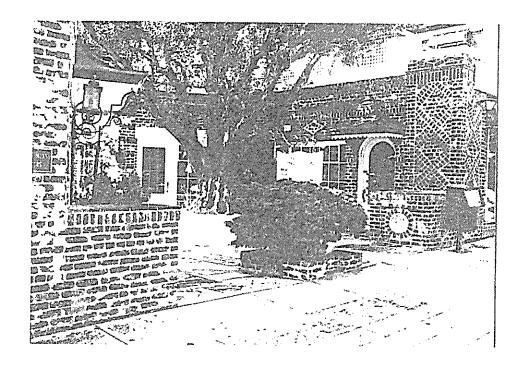
ARCHITECT: Ray Keiffer

BUILDER: Unknown

DESCRIPTION:

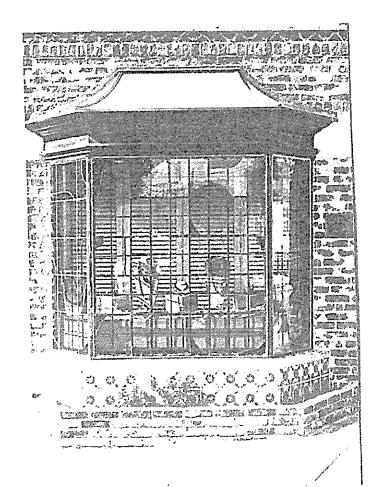
This one story Mediterranean courtyard complex of stores continues the architectural themes established in the 1139-51 Glendon building. Its brick construction is ornamented by cast stone lintels and medallions and by colored tile bases beneath the windows. The brick itself is treated creative to define X-patterned and rusticated piers, ornamental friezes, and decorative panels. A path paved with flagstones, angles its way through the irregular, U-shaped buildings, passing arched doorways, multi-paned display windows, and bays. Trees and shrubs in planters complement the architecture while iron and glass lanterns of various designs illuminate the space. In good condition and relatively unaltered, the building makes a strong contribution to the pedestrian ambience of the Village.

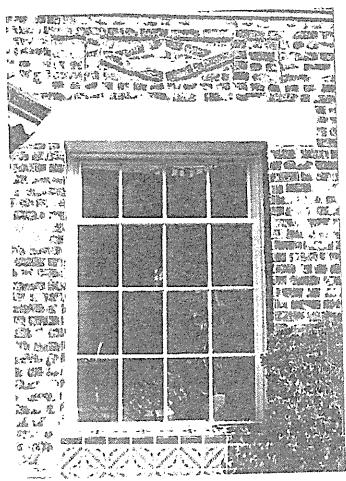
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CONTINUATION SHEET: 1129-37 Glendon Avenue





NR: SD.

11 366860 3769560 UTM:

ADDRESS:

1139-51 Glendon Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER:

4363-022-010

PRESENT OWNER: Harrison Properties

1100 Glendon #1407 Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1933

ARCHITECT:

N.A. Timmerman

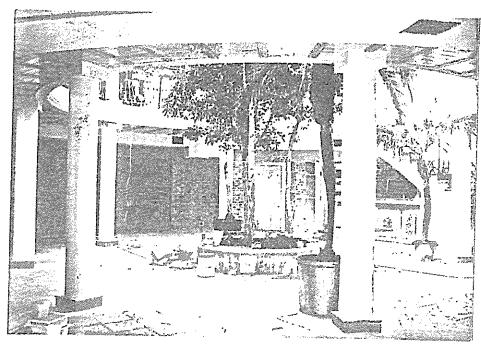
BUILDER:

Unknown

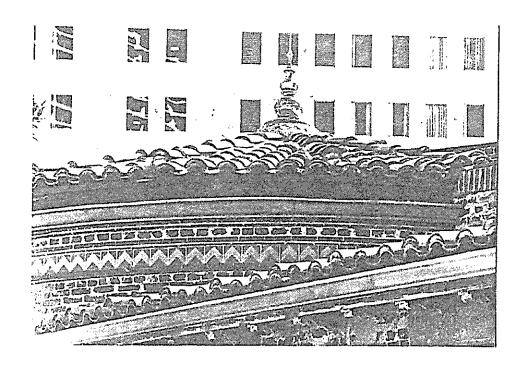
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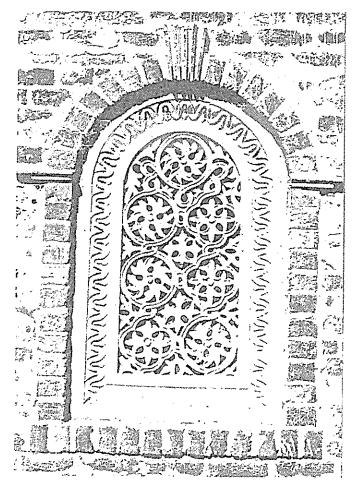
An outstanding example of the Mediterranean design that provided Westwood with its historic identity, this is a one and two story commercial building massed around a central, circular court. trapezoidal plan is a response to an irregular corner site. A broad circular bay anchors the corner and ties this complex visually to the similar bay and tower of the Ralph's building at the other end of the The bay is surmounted by a flattened conical roof of mission tile and an elaborately turned pinnacle. Hipped roofs of tile and shingle cap other portions of the building while the court is protected by a dome. Of brick construction, the building is enlivened by courses of soldier and angled bricks, tile insets, and cast stone Stylized Mediterranean elements derived from the vocabulary of the Italian Renaissance Revival, such as a rusticated and pedimented door surround and a keystoned arched opening filled with an ornately carved screen, are exploited. Other notable features include a small square tower on the south elevation, bay windows, and an interior circular colonnade. Although the building has experienced alterations, many have been integrated into the historic fabric. mains an important and integral component of traditional Westwood.





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State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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UTM:	Α	11	3660	<u>620</u>	37695	30 _B		 LUC
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IDENTIF 1.	FICATION Common name:	Pottery Barn/Baskin Robbins/Popcorn Shoppe/Fame
2.	Historic name:	Shepard Mitchell Building
3.	Street or rural address:	10910-22 Kinross
	City	Los Angeles Zip 90024 County Los Angeles
4.		
5.	Present Owner:	Gavley Kinross Properties Address: 12233 Olympic #128
	City Los Angeles	Zip 90064 Ownership is: Public Private X
6.	Present Use: Retail	shops/apartments Original use: Retail shops/apartments

DESCRIPTION

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- 7a. Architectural style: Spanish Colonial Revival
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Churrigueresque ornamentation and a decorative tower distinguish the design of the one and two story. Spanish style, Shepard Mitchell Building. Of brick construction, with concrete floors and foundation, the structure occupies approximately one quarter of a square block and is sited at the southeast corner of Kinross and Gayley. Stucco, replaced by a roughly textured variant in 1972, sheathes the exterior, and clay tiles appear on the gable roofs. Retail uses occupy the lower story while residential space is located on the upper level. The principal (north) facade is divided into three, unequally-sized sections which step back progressively towards the corner. Two recessed entries, each topped by a scalloped arch set into a patterned frieze, frame the altered ground floor storefronts of the east and (see continuation sheet)



	8.	Construction date: 1930 Estimated FactualX
۵,	9,	Architect Morgan, Walls & Clement
1	10.	Builder Unknown
	11.	Approx. property size (in feet) Frontage Depth or approx. acreage
***************************************	12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15,	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	retail on the ground floor and apa	the second major building in the ous firm of Morgan, Walls, and high quality retail and entertainstruction. Erected at a cost of tended as a multi-use facility with rtments above. This conformed to
	within the confines of the commerc the periphery. The irregular ma	ssing of the building allowed the eetscape with the block long build-the Village. The firm used the
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270	
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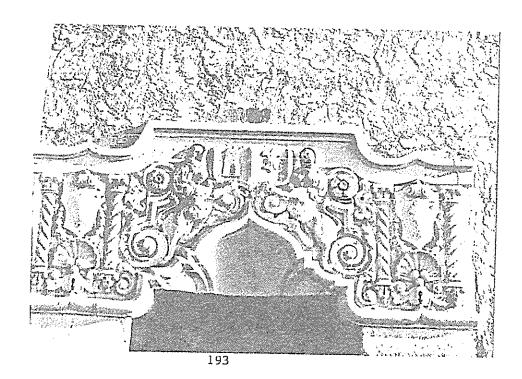
CONTINUATION SHEET: 10910-22 Kinross

7b. Description:

largest section. A band of corrugated material now separates the second story from the first. Two clusters of four casement windows, originally adorned with three balconets, pierce the upper story facade. The central section contains three lower story openings, all altered, beneath a shed roof, and three upper story casement windows, separated by decorated panels. Terminated by a chimney stack, the smallest (west) section consists of a single bay and is one story in A large arched opening which faces west retains its original outline, but other openings have been enclosed or altered. section acts as a transition to the series of one story storefronts which fill the Gayley elevation. Crowning the complex, the tower is set back and articulated with pinnacled pilasters. A focal point of the building, the tower acts as a visual link to other buildings in Westwood and contributes to the distinctive skyline of the area. Although altered, both recently and in the past (second story windows and roof tiles), the building retains enough of its original appearance to be evocative of historic Westwood. It is in good condition.

19. Significance:

quired by the Janss company during the formative years of Westwood's development. Among other examples of the firm's work in what was then the most popular style in Los Angeles are the Masonic Club (1929, see separate form), the El Capitan, Mayan, and Belasco Theatres (1926-29), the Hollywood Chamber of Commerce (1925), the Chapman and Chapman Park Buildings (1928), and Ralph's Supermarket (1927-28). The Shepard Mitchell Building continues to be a representative example of the Village's initial period of development, and retains much of its architectural integrity and its historic association with the area and a significant architectural firm.





Westwood Village Specific Plan

Gruen Associates

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC	RESOURCES	INVENTORY
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		Ser. No.		
HABS	HAER	NR ³	SHI	Loc
UTM: A	<u>HAER</u> 11 366820	· · · · · · · · · · · · · · · · · · ·	<u>-3</u> 769960 −	LOC
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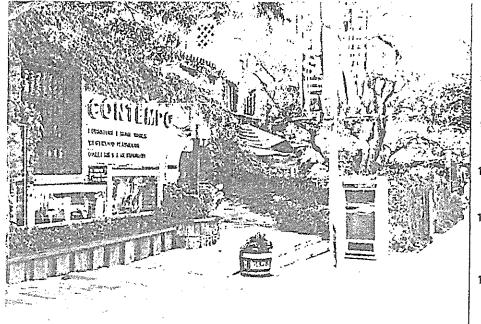
DENTIF 1.	ICATION Common name:	Contempo Center			
		UCLA Masonic Clubhous	e		
3.	Street or rural add	dress: 10886 Le Conte Ave	•		
	City Los Ange	eles	Zip 90024	County	Los Angeles
4.		4363-019-004 & 005			
5.	Present Owner:	Sisu,Inc		Address:	10886 Le Conte Ave.
	City Loso Ang				PrivateX
		wroom/restaurant/theat			

DESCRIPTION

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- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

An unusual and outstanding example of Spanish Colonial Revival design, the old Masonic Clubhouse is one of the landmarks of Westwood. Located on Le Conte facing the UCLA campus, the two story facility included an auditorium with a balcony, lounge, dining room, kitchen, study hall, library, and limited residential accommodations. It was converted into shops, a restaurant, and a theatre from 1973 to 1975. According to a 1929 report, the walls are constructed of gray "stone-tile to imitate stone with no plaster on the exterior or interior." More conventional mission tiles were used for the hipped and gabled roofs. A square tower, hallmark of the architects, dominates the asymmetrically massed building from its location set back on the west elevation. The facade spreads out in a modified U-plan and embraces a walled courtyard. (see continuation sheet)



8.	Construction date: 1929 Estimated Factual X
9.	ArchitectMorgan, Wall & Clements
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage 146 Depth 160 or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: Excellent X Good Fair Deteriorate	ted No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-up X
16.	Threats to site: None known Private developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	•	
	began to prepare working plans for University of California campus. To students and alumni who were part of two story building housed an assem lounge, study hall, library, confacilities. The construction was of and exterior, with a clay tile rothardwoods used through the interior An integral part of both the Univerwas one of the main points of inter	I firm of Morgan, Walls and Clement a Masonic Club adjacent to the new he building was to be used by those f that fraternal organization. The bly hall with stage and balcony, a ference rooms, kitchen and banquet f "stone tile" both on the interior of, glazed tile decoration, and . Cost was estimated at \$125,000. sity and the Village, the building action between the two. It served rty years. The building continues
		Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture Arts & Leisure	NORTH
٠	Economic/Industrial Exploration/Settlement Military Religion Social/Education 2	
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip Phone: (213) 937-4270	See attached.
	(b)	

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CONTINUATION SHEET: 10886 Le Conte Avenue

7b. Description:

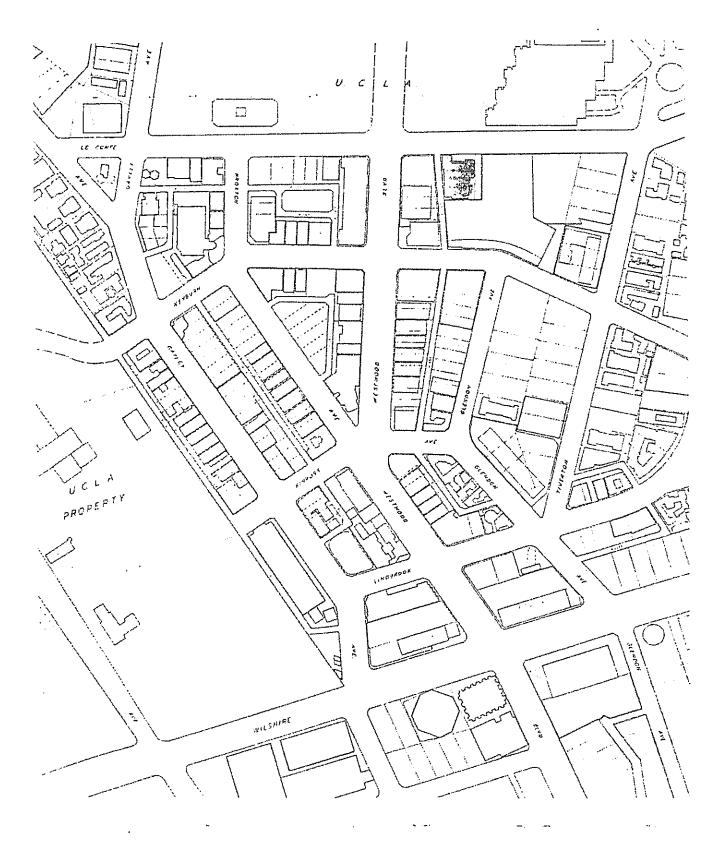
The whole gamut of typical Spanish style architectural devices was employed, restrained to complement the rather dignified design. Ornamental tiles with a rosette pattern band the tower in three tiers, broken on each side by pilaster-framed vents which incorporate a quatrefoil motif. A tripartite window on the south wing is set into an elaborate wood surround. Overlooking the patio, a three bay arcade contains glazed double doors and semi-circular transoms, and is embellished with impost moldings, turned wood columns, and decorative Above them, casement windows are separated by more pilasironwork. The centerpiece of the patio is a fountain in the shape of an eight point star covered in colorful Mexican or Malibu tile. Windows on the side elevations are enhanced by balconets and shutters. few alterations, including an iron crown on the fence, archway to the garden, and display cases, have been carefully harmonized with the original design. In excellent condition, the Contempo Center is enhanced by mature trees and vines such as wisteria which have been allowed to grow on the building, adding a romantic atmosphere in keeping with the architecture. Banners strung from the original flagpole in the forecourt act as a festive vertical accent to the building.

19. Significance:

to be a gather point in the Village due to its entertainment, restaurant, and gallery space, performing a function similar to the original use for an even wider audience.

The Masonic Club is the oldest and most intact example of "Village architecture" today. Careful landscaping and renovation have preserved the ambience of the courtyard structure, designed in the Spanish Colonial Revival style, an approved derivative of the original architectural guidelines instituted by the Janss Corporation, which necessitated a Mediterranean theme. It is significant due to its association with a noted architectural firm, its high degree of architectural integrity, and its historic cultural associations with university and the community.

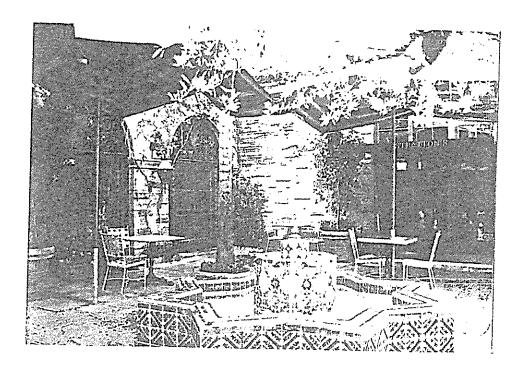
Octavius Morgan, J.A. Walls, and Stiles O. Clement were the principals of one of the most prestigious commercial architecture firms in Southern California. The firm's long history and its reputation for quality design and careful craftsmanship have made it one of the most honored in Los Angeles in the first forty years of the twentieth century. Stiles Clement is generally credited with much of the firm's design work of the 1920s and 30s. Educated at MIT, he worked with the Frank Meline Company before joining the firm of Morgan and Walls in 1923. Among the firm's most noted commissions are the Richfield Oil Building (1928-29), the Pelissicr Building (1930-31), and the Samson Tyre and Rubber Company (1929). The firm's fanciful and elaborate designs made it among the most popular in an age already given to flamboyance.

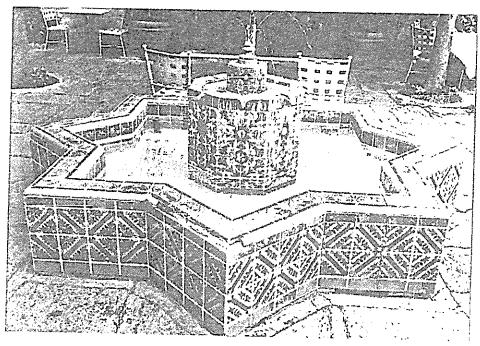


Westwood Village Specific Plan

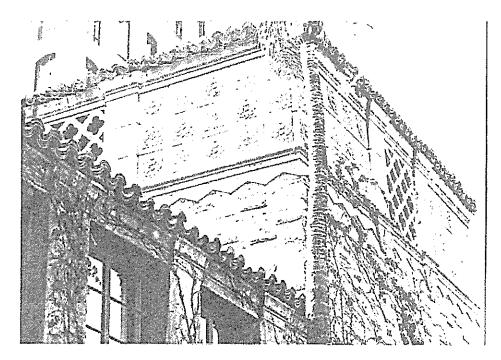
Gruen Associates

CONTINUATION SHEET: 10886 Le Conte Avenue

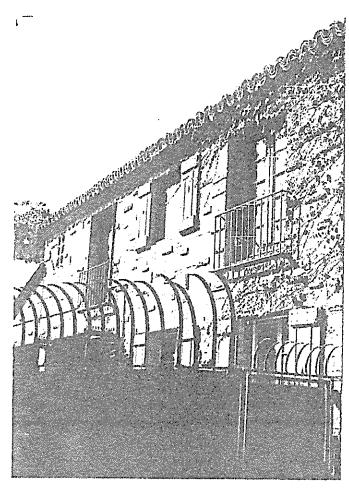




CONTINUATION SHEET: 10886 Le Conte Avenue



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State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

			Ser. No.		·	
HABS_		_ HAER	NR 51	2	. SHL	Loc
UTM:	Α	·		В		

6.	Present Use:			o	riginal use: _			
	City		Zip		Ownersh	ip is: Public	Private	X
5.	Present Owner:	Multiple			···········	Address:		
4.	Parcel number:	Multiple						-
	City Los	Angeles		Zip_	90024	County	Los Angeles	· · · · · · · · · · · · · · · · · · ·
3.	Street or rural addr	ess: <u>Multiple</u>			· · · · · · · · · · · · · · · · · · ·			
2.	Historic name:		······································					
1.	FICATION Common name:	South side o	f Lindbr	ook	Avenue			

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

This cluster of three apartment complexes acts as transition between the commercial Village, the single family neighborhoods to the east, and busy Wilshire Boulevard to the south. Its boundaries are determined by usage, age, and architectural character. A predominant use of stucco, red clay tile roofs, two story heights, and Hispanic styling provides a certain unity to the streetscape. This impression is reinforced by the adherence to a brief setback, marked by low garden walls of brick and stucco. Like many of the commercial buildings in the Village, courts are an important component of the plans of these buildings. Descriptions of individual buildings follow on continuation sheets.

9. Architect See continuation	
See continuation	
10. Builder	on sne
See continuation	on she
11. Approx. property size (in f	n feet)
Frontage Depth	
	in fee

13.	Condition: ExcellentGood _X Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	A grouping of three Spanish Colonia side of Lindbrook carry the Villag adjacent residential neighborhood. and 1938, all three may have serve body at UCLA. The units are an eas of the Village, and continue its landscaping and courtyard space, ar nal Janss concept for the Village. 10836-40, was built in two segments-1933, and an additional five units Angel, noted primarily for his deschools, two Methodist churches, (see continuation sheet)	al Revival apartments on the south ge's Mediterranean theme into the Designed and built between 1935 ed to house the faculty or student sy walk from the shopping district is thematic design in their use of important component of the origital first of the three, located at the original six unit building in in 1935. The architect was A.W. esigns of several local elementary
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	surrounding streets, roads, and prominent landmarks):
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270	

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CONTINUATION SHEET: South side of Lindbrook Avenue

19. Significance:

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The eight unit building at 10830 was designed by Fred Clark in 1936. Clark later built the multi-use complex at 10845-55 Lindbrook (see separate form). The \$90,000, 58 unit structure was designed by Max Maltzman, a southern California architect who built approximately one hundred Period Revival apartment houses in the Los Angeles area in the 1920s and 30s, as well as several synagogues.

NR: 5D

UTM: 11 367100 3769620

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ADDRESS:

10824 Lindbrook

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-003-003

PRESENT OWNER: Ronald J. Smerling et al

10950 Chalon Rd.

Los Angeles CA 90077

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1938

ARCHITECT:

Max Maltzman

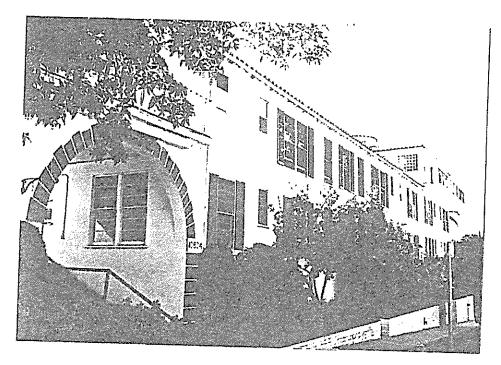
BUILDER:

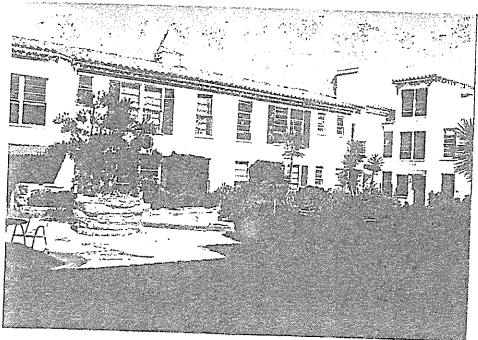
Unknown - 28 f

DESCRIPTION:

A large two and three story apartment complex, this stucco over frame structure employs a version of Spanish Colonial Revival that is characteristic of the 1930s. The building, asymmetrically ordered, is organized around a central courtyard entered via a large archway. Hipped roofs of red clay tile surmount each section. Windows are primarily three-over-three double-hung sash, placed singly or in pairs, and often ornamented with shutters. Other distinctive features include a squat circular tower. Corbelled balconies and balconets with iron railings and a bracketed eaveline. No major alterations are apparent. Anchoring the west end of a sequence of multi-family revival styled dwellings, 10824 Lindbrook is a strong presence on the street. It is in fairly good condition.

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NR: 5D

UTM: 11 367040 3769600

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ADDRESS:

10830 Lindbrook Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-003-004

PRESENT OWNER: Ken Niles Co.

811 Devon Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1936

ARCHITECT:

Frederick N. Clark

BUILDER:

Ben N. Schiewe

DESCRIPTION:

Typical Spanish Colonial Revival elements determine the design of this two story, eight unit apartment building. Smooth stucco sheathes the frame structure, and a hipped roof of red clay tile caps the U-shaped composition. Dark wood rafters appear in the shallow eaves. Wooden brackets also punctuate small second story overhangs. Windows are mostly casement in type, asymmetrically placed, and occasionally adorned with shutters. Two brick chimneys, banded near the top by decorative panels with an "X" motif, accent the facade. They provide a visual link to the low brick retaining wall which surrounds the property. Complemented by foliage, the building remains largely unaltered and in good condition.



NR: 5D

UTM: 11 367020 3769580

ADDRESS:

10836-40 Lindbrook Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-003-006

PRESENT OWNER: Ken & Nadia Niles

811 Devon Ave.

Los Angeles CA 90024

ARCHITECTURAL STYLE: Monterey Revival

CONSTRUCTION DATE: 1933

ARCHITECT:

A.W. Angel

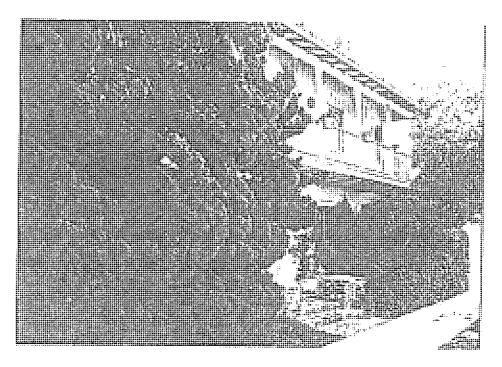
BUILDER:

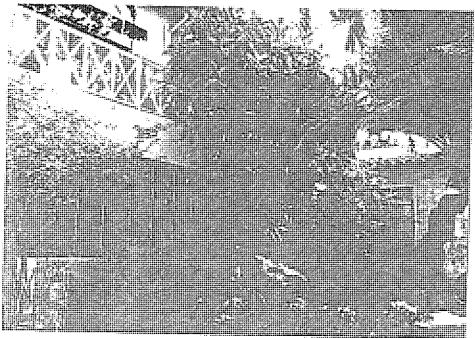
Ben N. Schiewe

DESCRIPTION:

Of the revival architectural imagery employed in the 1930s, the Monterey Revival was perhaps the most popular and thus most symptomatic of This meandering apartment building, loosely massed in an "L" shape around a central court, is a good and representative illustration of the idiom. Two stories in height, the Lindbrook facade is banded by a wood balcony, the trademark of the style. Shaped brackets support the balcony, which as a stick railing, punctuated by plain posts tied together by a beam. A bracketed tile roof overhangs the Board and batten siding, broken by large casement windows, sheathes this portion of the upper floor while most of the building is covered in stucco. A notable deviation occurs within the court where a one story brick wing encloses one side. Brick is also used for pathways, planter walls, and some walls below sill level. balcony, with an "X" patterned railing and large expanses of square paned sash are also featured in the court. Trees and shrubs enhance the building, which appears unaltered and in good condition.

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

		Ser. No.			
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1551	
10EN [] 1.	FICATION Common name: Chans Garden/Paul Bhalla
2.	Historic name: <u>Unknown</u>
3.	Street or rural address: 19845-55 Lindbrook Ave.
	City Los Angeles Zip 90024 County Los Angeles
4.	Parcel number: 4360-002-015
5.	Present Owner: Werner & Alexandra Scharff Address: 8680 Hayden Pl.
	City Culver City Zip 90230 Ownership is: Public Private X
6.	Present Use: Retail shops/offices Original use: Retail shops/offices
DESCRI	PTION

7a. Architectural style: Mediterranean

7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Somewhat isolated on the north side of Lindbrook Avenue, this one and two story brick Mediterranean commercial structure incorporates a courtyard characteristic of many of the Village buildings. The taller, eastern section of the structure is capped by a hipped and gabled red clay tilc roof. Shaped brackets punctuate the eaves. Stringcourses separate the taller ground floor from the second story. Casement windows, loosely grouped in ones, twos, and threes, rest on the stringcourse. The street level frontage has been altered to accommodate the entrance to an Indian restaurant, an onion-domed corbelled arch. Crested by an orb, a glazed, three-sided bay is original. An iron balcony surmounts the flattermarch opening which leads to the court where a rear staircase leads to additional balconies on either (see continuation sheet)

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8.	Construction date: 1938 Estimated Factual X
9.	Architect Frederick N. Clark
10.	Builder George M, Holstein
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGoodX Fair Deteriorat	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
	Situated in the southeast section of structure is the only remnant of the ing on its block. Displaying the laterized most of the low scale command the building was intended for store. The interior courtyard is intact, moved from the street. The const \$40,000. It was designed by Fre Spanish Colonial Revival apartment employed the same detailing on the signature. The use of brick as a becomesion and highlights its proximit (see continuation sheet)	f the Village, this brick courtyard e original Village concept remain-Mediterranean styling which characercial establishments prior to 940, s, offices, and residential use. providing second floor access reruction of the complex in 1938 was derick N. Clark, architect of a at 10830 Lindbrook Avenue. Clark chimneys of both buildings as his uilding material lends added visual
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of Los Angeles Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente City Los Angeles Zip 90048 Phone: (213) 937-4270	

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CONTINUATION SHEET: 10945-55 Lindbrook

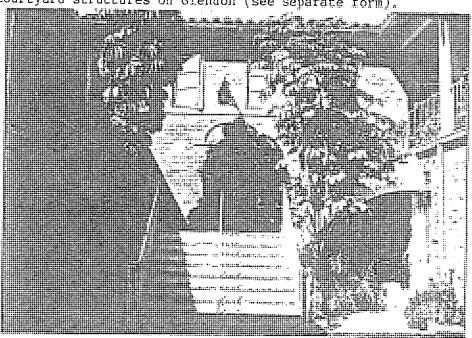
7b. Description:

side. Accenting the building, a miniature tower at the west end is banded by X-patterned plaques, a signature of the architect, and surmounted by an orb. The one story, western section echoes the hipped and gabled tile roof treatment, and is also ornamented with shaped brackets and has brick bond on the side elevation. Now divided into two storefronts, the facade contains a large, fifteen-light sash and two recessed doorways. Other than minor alterations, the building is intact and in good condition.

19. Significance:

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Ralph's market at Lindbrook and Westwood Boulevard, and the grouping of brick courtyard structures on Glendon (see separate form).







Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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UTM:	Α			В	J	
	c			D_		

IDENTI	FICATION		L				
1.	Common name:	1000 Block of	Tivert	on Avenue			
2.	Historic name:						
3.	Street or rural address:	Multiple	···				
	City	Los Angeles	Zi	р 90024	County	Los Angeles	
4.	Parcel number:	Multiple					-
5.	Present Owner:	Multiple			Address:		
	City						
6.	Present Use:			_Original use:	·····		
Ecopia							

DESCRIPTION

- See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

The 1000 block of Tiverton, including the northeast corner of Tiverton and Weyburn, is composed of five apartment buildings designed in complementary styles and materials. Most are two stories in height,

with the three story Claremont the buildings are located on the lots filling the west wide of the Tiverton is now broken by two apartments, where a condominity quiet shady street, with a part of a buffer zone between family neighborhoods to the easthe block provides a visual line	e east side of the she block. Once a to empty lots on the sim development will strkway and landscaped the commercial Villat. In terms of arc	stre otal ite soon l lo age chit	et with parking ly intact block, of the El Greco be underway. A ts, Tiverton is and the single ecture. as well
Attach Photo(s) Here		8.9.10.	Construction date: 1929-1940 Estimated FactualX Architect See continuation sheets Builder See continuation sheets
•		11. 12.	Approx. property size (in feet) Frontage Depth or approx. acreage Date(s) of enclosed photograph(s) 1985
PR 523 (Rev. 4/79)	229		

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence	
14.	Alterations:	
15,	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-upX Residential X Industrial Commercial Other:	
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:	
17.	Is the structure: On its original site? X Moved? Unknown?	
18.	Related features:	
SIGI 19.	IFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)	
	The original plan for Westwood Village included a multi-family residential component designed to house students and faculty for the nearby University of California at Los Angeles. The plan was to create neighborhoods of apartments which would serve as a transition from the commercial district to the single family residences to the east. The winding streets followed configurations previously established by shallow canyons or arroyos. Design guidelines included cost minimums and general stylistic requirements. The five apartment buildings on Tiverton represent the type of housing and streetscape that resulted from those guidelines. The oldest of the group are two Spanish Colonial Revival apartment complexes located at 1016 of 1022. Both use the Mediterranean stylistic components required during the (see continuation sheet)	
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	6-1m-1
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name)	
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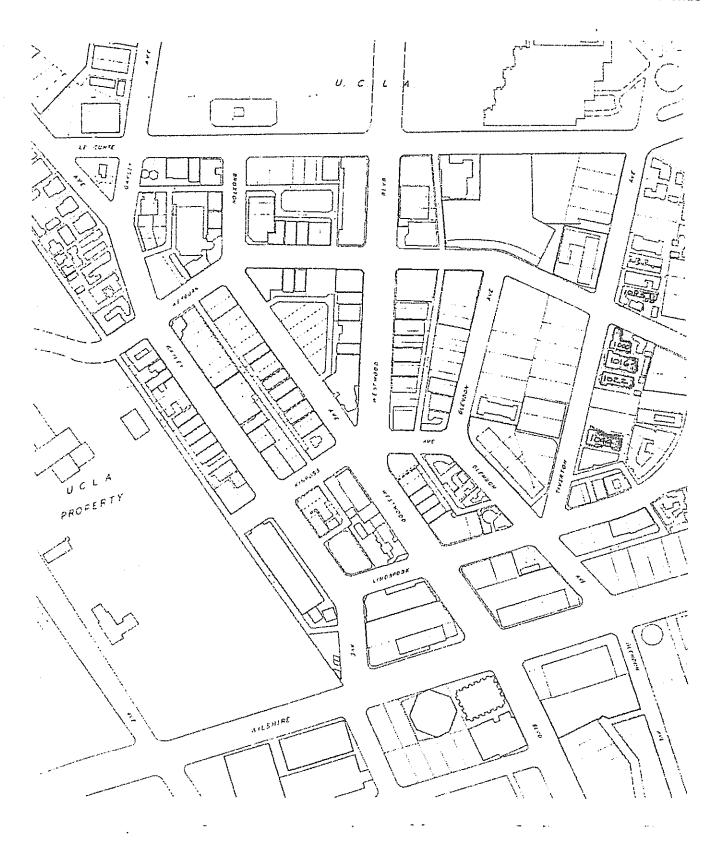
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CONTINUATION SHEET: 1000 block of Tiverton Avenue

19. Significance:

initial years of Village development: red tile, plain stucco walls, wrought iron ornament, arched openings, and glazed tile. Both were constructed in 1929 at a cost of \$33,000. 1016 contains 12 units; 1022 was designed by P.P. Lewis, resident architect for the Janss corporation, developers of Westwood Village and the surrounding residential area. Other Lewis commissions in the area include the Fox Westwood Village Theatre and a retail establishment at 1015 Gayley. The original Spanish Colonial Revival grouping also included the El Greco apartments by Pierpont Davis, since removed from its site. Another Spanish Colonial Revival structure was built on a corner site at 10851 Weyburn (on the northeast corner of Tiverton) in This one story structure uses brick, as do many of the Village's commercial buildings, and is beautifully integrated onto its site. An American Colonial Revival complex was added in 1938, and a three story Moderne apartment/hotel in 1940. Together, they create a pleasant streetscape, nicely landscaped and compatible in size and scale. The Tiverton residential grouping is representative of one component of the Janss plan, retaining a high degree of architectural integrity and association with its original use.



Westwood Village Specific Plan

Gruen Associates

NR:

UTM: 11 366940 3769760

ADDRESS:

1000-04 Tiverton Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-002-001

PRESENT OWNER: Charles B. Olerich

1227 Sierra Alta Wy. Los Angeles CA 90046

ARCHITECTURAL STYLE: American Colonial Revival

CONSTRUCTION DATE: 1938

ARCHITECT:

Unknown

BUILDER:

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Unknown

DESCRIPTION:

The Colonial Revival style of the 1930s, attenuated, flattened, and reduced to certain signature details, appears in this two story apartment building. Clad in overlap siding, the L-shaped structure is capped by a low-hipped roof. Secondary materials include brick, used to pave the veranda, and wood shutters which adorn some of the multipaned windows. Characteristic features are the verandas, recessed across most of the facade and defined by slender, chamfered, two story columns, three-sided bay windows, and the paneled front door. major alterations were noted. In good condition, the building is lushly landscaped with vines and grass.



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NR:

UTM: 11 366940 3769740

ADDRESS:

1016 Tiverton Ave.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4360-002-002

PRESENT OWNER:

James M & Dorothy K Fox

201 Ocean Ave. 1008P Santa MOnica CA 90402

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

Brokaw & Tufts

BUILDER:

Unknown.

DESCRIPTION:

This two story Mediterranean style apartment is designed by resemble a large single family home. Of frame construction, the building is sheathed in stucco and capped by a tiled, low hip roof. Wooden brackets ornament the overhanging eaves. Arranged alone or in clusters, the numerous openings of different sizes and shapes fill the balanced buy asymmetrical rectangular facade. Five bays are defined on the lower story. In the center, the entry is recessed behind a two bay arcade detailed with archivolts and impost moldings. To the left (north) a group of three unadorned casements fill the penultimate bay, and a single large arched opening spans the driveway to form a porte cochere in the north bay. A single small opening, screened by an ornamental grille flanks the entry on the right, followed by a fullsized, multi-paned window within a Classical surround in the south Four bays are articulated on the upper story. Three double casements occupy the south bay. Over the entry, a second arcade, consisting of seven small arches rising from colonettes, defines a balcony. Another balcony, iron-railed and supported by shaped brackets, fronts the four full-length casements north of the center. A single opening tops the porte cochere. Entered via a short flight of steps leading to an open porch, the building appears unaltered. It is in good condition.

CONTINUATION SHEET: 1016 Tiverton Avenue



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NR:

UTM: 11 366940 3769720

ADDRESS:

1022-26 Tiverton Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4360-002-003

PRESENT OWNER: Eugene & Cecilia Hoffmann

1211 Cortez Dr. Glendale CA 91207

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

P.P. Lewis

BUILDER:

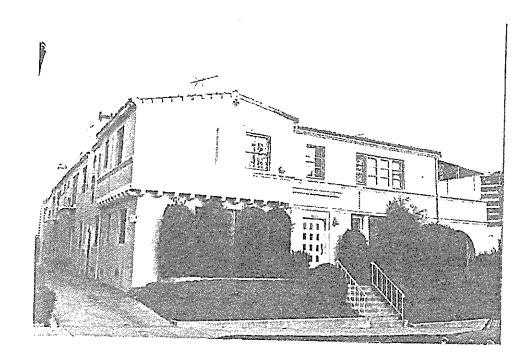
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Unknown

DESCRIPTION:

Sited on a slightly elevated lot behind a small setback, this is a two story, Spanish, apartment building. The fourteen unit structure is asymmetrical in appearance, with stuccoed walls and red clay tile gable roofs. Stringcourses define a wide band between stories, interrupted on the north wing by the corbelled overhang of the second floor. Next to the projecting north wing, the entry is located in the approximate center of the facade. It has a rusticated frame topped by a denticulated entablature. A tripartite window south of the entry is distinguished by attached Tuscan columns which act as muntins. At the south end of the facade, a large arched aperture, adorned with decorative ironwork, is surmounted by a balcony, to which a patio roof has been added. Windows are predominantly casement in type, and either doubled or banded. In good condition, the building has no apparent major alterations.

CONTINUATION SHEET: 1022-26 Tiverton Avenue



NR:

UTM: 11 366920 3769620

ADDRESS:

1044 Tiverton Ave.

COMMON NAME:

Claremont Hotel

HISTORIC NAME: Claremont Hotel

PARCEL NUMBER:

4360-002-006

PRESENT OWNER:

MFQ Investment Inc.

1044 Tiverton Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Moderne

CONSTRUCTION DATE: 1940

ARCHITECT:

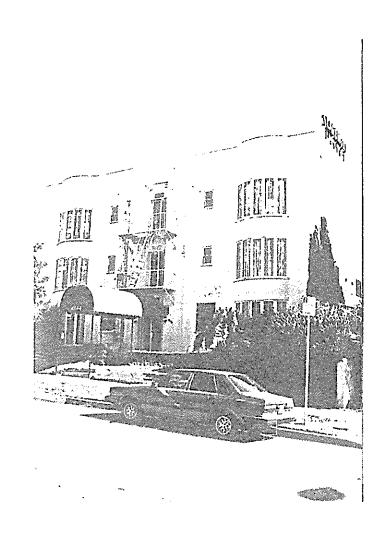
Unknown

BUILDER:

Unknown

DESCRIPTION:

The influences of the Art Deco enlivens the design of this three story, concrete, hotel. Sheathed in stucco, the building has a flat Two three story rounded bays frame the five bay facade. Bands of tall and narrow ten-light casements completely glaze each level of these bays. Also raised, the central bay is squared and contains the re-glazed entry and french doors opening onto ornamental iron fire The doors are set within stepped flat arches. escape balconies. Double-hung sash, extremely small on the upper stories, appear in the interim bays. A small setback planted in lawn and shrubbery is bisected by a cement path, covered by an awing, leading to an open porch. A neon sign proclaiming the name of the hotel in the manner made popular in the 1920s is on the roof. No major alterations were noted, and the building is in good condition.



NR: 5D

UTM: 11 366940 3769800

ADDRESS:

10851 Weyburn Ave.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4360-001-007

PRESENT OWNER:

John M. & Agatha S. Hamner

10851 Weyburn Ave. Los Angeles CA 90024

ARCHITECTURAL STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1934

ARCHITECT:

Unknown

BUILDER:

Unknown

DESCRIPTION:

Located at the northeast corner of Weyburn and Tiverton, this story Mediterranean apartment building is related in style and material to the commercial buildings a block away. U-shaped, of brick construction with prominent white pointing, the structure is surmounted by a mission tile roof accented by a tower-like chimney. The entry is located on Weyburn and is elevated above street level by a half-flight of stairs. A brick and stucco wall borders the stairs "Rusticated" brick, formed by recessing and the terraced landing. every fifth course, flank the archway which open from the landing and leads to an interior court. Notable features include raised brick window and floor level sills, shutters, casement windows, and iron and glass lanterns. Attractive and well-maintained, the building appears unaltered.

CONTINUATION SHEET: 10851 Weyburn Avenue



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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UTM:	А	11 36668	<u> </u>	В	SHL 7369900	CUL
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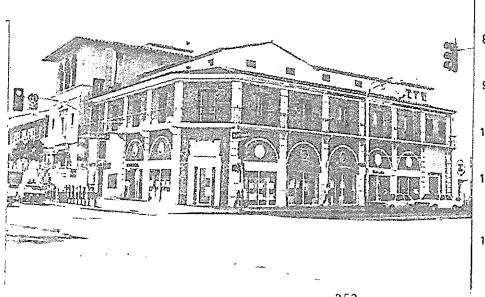
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IDENTII 1.	IFICATION . Common name: Holmby Building		
2.	. Historic name: <u>Holmby Hall</u>		
3.	. Street or rural address: 901-51 Westwood Blvd.		
	City Los Angeles Zip	90024 County I	ossAngeles
4.	. Parcel number: <u>4363-018-001</u>		
5.	Present Owner: Mary A. Bing Trust	Address: <u>97</u>	'00 Pico Blvd.
	City Los Angeles Zip 9002	Ownership is: Public	Private X
6.	Present Use: <u>Retail shops/offices</u> Or	ginal use: <u>Retail shops</u> /	dormitory

DESCRIPTION

- 7a. Architectural style: Mediterranean
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Holmby Hall occupies the entire west side of Westwood Boulevard between Le Conte and Weyburn Avenues. Although constructed as one building, it was designed to look like five separate buildings, different but in complementary Mediterranean Revival styles. Slight variations in setback and cornice lines and alternating two and three story heights contribute to the illusion. Anchoring the south end of the block, a clock tower rises approximately five stories into the air.

At the north end of the block, 901-909 Westwood/10904-10914 Le Conte is two stories with a penthouse set back behind a tiled pent roof. (see continuation sheet)



8.	Construction date: 1929 Estimated Factual _X
9.	Architect
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage 300 Depth 90 or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

13.	Condition: ExcellentGood _X Fair Deteriorat	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land ResidentialIndustrialCommercial X Other:	
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19,	RFICANCE Briefly state historical and/or architectural importance (include	e dates, events, and persons associated with the site.)
	complex with its elegant corner c the look of a series of small disti six buildings constructed after pla Holmby Hall, as it was known, serve ty. First was its use as a retail attracting a series of high quality office and dormitory space for st	t Gordon Kaufmann, the block long lock tower is designed to simulate nctive shops. One of the initial ns for the Village were determined, d several functions in the communicenter, with its ground floor shops retailers. In addition, there was udents on the second floor. The to the university campus made it a
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21,	Sources (List books, documents, surveys, personal interviews and their dates). Los:Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente Blvd. City Los Angeles Zip 90048 Phone: (213) 937-4270	

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CONTINUATION SHEET: 901-51 Westwood Boulevard

7b. Description:

Originally stuccoed, the building (except the penthouse) is now exposed brick. Rusticated pilasters divide the north (Le Conte) elevation into six equally-sized bays while the east (Westwood) facade contains four identical bays. Like most of the older buildings in Westwood, Holmby Hall makes a gesture towards the corner, but in this case position an additional bay at an angle. Although altered, the street level retains a strong sense of the original design of shallow arches over glazed entries land display windows. Blind roundels punctuate the arches, replacing small, shuttered windows. Above the ground floors, shaped brackets support a small, iron-railed overhang. Behind it, paired full-size casement windows are centered in each bay. At one time, both these openings and the small windows in the penthouse bays were adorned with shutters, the pent roof punctuated with large urns. A gabled tile roof surmounts the penthouse. The west bay on the north elevation received a different treatment, with a pedimented entry on the ground floor and a pair of small windows on the second floor and probably let to the dormitory accommodations on the upper levels.

913-21 Westwood is an elegant, three story, Mediterranean composition with strong Italian Renaissance influences. Stucco sheathes the structure, which has a hipped tile roof with bracketed overhangs. Now under renovation, the street level originally contained three bays, divided by pinnacle-capped pilasters. Broken pediments adorned the display windows in the side bays, and a recessed entry occupied the central bay. Above a cornice (now removed), the second story remains largely as it was designed (with the exception of re-glazed windows). It is dominated by a central openings with a classical surround and entablature. Small square windows, once decoratively screened, are equally spaced to each side. Two stringcourses separate the third from the second floor, where a vaulted balcony fronted by a three-bay arcade supported on delicate Ionic Columns crowns the facade.

923-35 Westwood presents a two story, stucco facade of six storefronts to the street. The original flat-headed openings with small windows above them have been replaced by tall arched and glazed apertures on the ground floor. Beneath the overhang of a gabled tile roof, the second story contains a loggia which stretches across the entire facade. Divided by slender columns into bays, the space has been enclosed by glass.

937-41 Westwood echoes the vertical proportions of 913-21. Its two story facade was divided into a tall, strongly rusticated "base" and a smaller, more delicately finished "attic," suggesting an Italian palazzo. Although the details of the lower story design have vanished, its tripartite organization with a dominant central opening has been retained. A denticulated cornice bands the facade over the lower floor and acts as a sill for the recessed windows above it. Pilasters articulate the bay divisions. A plain frieze and bracketed leaves terminate the design.

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The clock tower building at 943-51 Westwood/10901-09 Weyburn culminates Holmby Hall. Hexagonal in shape and striped by pilasters, the tower tapers as it rises to its cone-shaped cap. Above the base, in which three ground floor openings have been altered, the shaft contains windows at the second floor level, two of which have corbelled sills and pediments. Stringcourses, intricately patterned screens, and a balustrade on corbels ring the tower, below a first setback. Clocks on four faces appear just below a denticulated cornice. nacles and a second set back announce the crown of the tower, which has been a landmark in the Village since it was completed. Two story, stucco-sheathed wings extend from the tower along each street. tiled pent roof once dotted with urns caps the ground floor projection, and a tiled gable tops the upper story. The original four bay division of the Westwood frontage has been repeated on Weyburn. of the storefronts are altered, and the upper story casements have been replaced and their shutters and balconets removed.

Despite the changes that have occurred, Holmby Hall preserves most of its architectural integrity. Its most prominent element, the tower, remains almost unchanged, as do much of the second and third floors of the remainder of the block. The architects vision of a multi-use, relatively massed and complexly designed building is still apparent fifty-five years after construction.

19. Significance:

Kaufmann's elaborate design was carefully scaled to preserve the "village" atmosphere. Each storefront was individual, yet the unity of the aggregate was retained. It is Kaufmann's most prestigious commission in the Village, although he did design several other buildings (1061 and 1059 Broxton, 10935 Weyburn) for the Janss Corporation. Kaufmann's interpretation of the design guidelines set the standard for development during the community's formative years. The complex, and its distinctive tower became an instant landmark.

The architect's other work includes the Athenaeum and dormitories at the California Institute of Technology (1930), Denison Library at Scripps College (1930), and the Los Angeles Times-Mirror Building (1931-35). The Holmby Building retains most of its overall massing and architectural integrity. It is one of the oldest and most historically significant buildings in the Village and continues to play a prominent role in the character of the street. In addition, it is one of Kaufmann's most significant commissions.

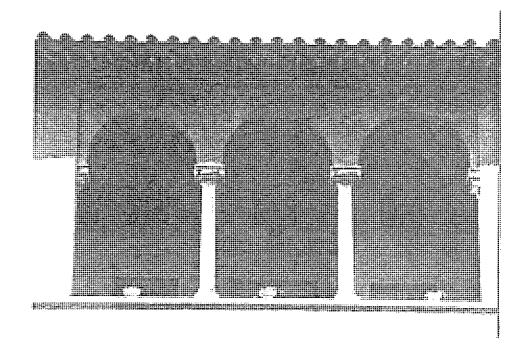


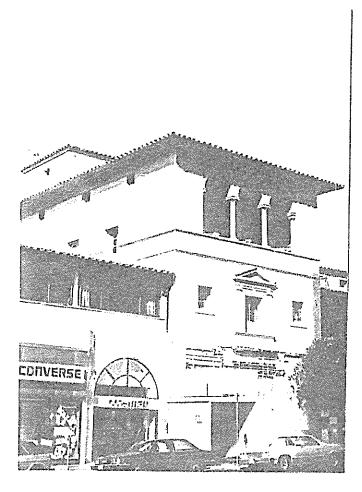
Westwood Village Specific Plan

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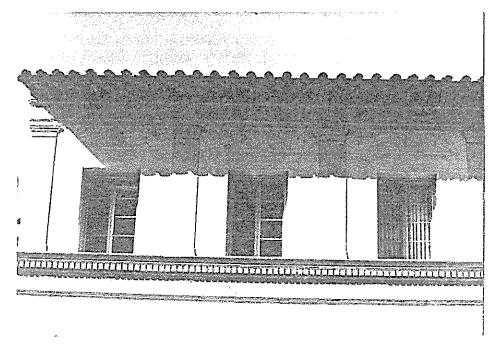




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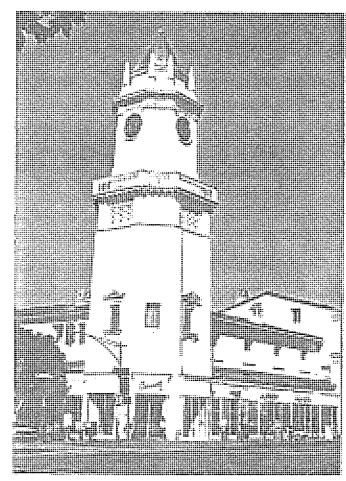
CONTINUATION SHEET: 901-51 Westwood Boulevard

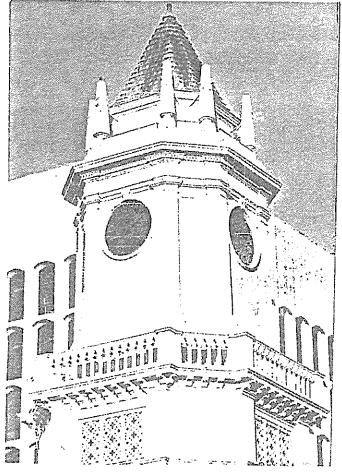






CONTINUATION SHEET: 901-51 Westwood Boulevard





State of Colifornia — The Resources in surey DEPARTMENT OF PARKS AND FECHE ALLON

HISTORIC RESOURCES INVENTORY

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DENTIF	ICATION	1000 and 1100 blo	ocks of	Westwood Bo	ulevard		
2.	Historic name:						
3.	Street or rural addre	ss: <u>Multiple</u>	······································				
	City	Los Angeles	Zip	90024	County	Los Angeles	
4.	Parcel number:	Multiple			·		
5.	Present Owner:	Multiple	·····		Address:_		
6.	Present Use:			_Original use:			

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

The main street of the Village, Mestwood Boulevard from Lindbrook to the UCLA at Le Conte, retains a strong sense of its historic appearance despite recent intrusions and street level alterations. In the course of these three blocks, thirteen buildings contribute to the street's historic and architectural character. Four of these buildings are particularly distinguished in their architecture and integrity and act as landmarks on the street; these are documented separately. The remaining nine buildings, anchored at the north end by the original Westwood Bullock's and Desmond's stores at either side of the Weyburn intersection, are generally designed in the approved Mediterranean Revival styles. Most are two stories and sheathed in stucco, and several tile roofs remain as well. Although street level alterations (see continuation sheet)



DPR 523 (Rev. 4/79)

8.	Construction date: 1929–1940 Estimated Factual X
9.	ArchitectSee continuation sheets
10.	BuilderSee continuation sheets
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s)

13.	Condition: ExcellentGoodX_Fair Deteriorate	ed No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential Industrial Commercial X Other:	
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGN 19.	Westwood Boulevard has historical linking Wilshire Boulevard and the the Janss Corporation as a special to the developer's plans for the an north by Holmby Hall and on the sou 51 and 1142-54 Westwood Boulevard, was to be the best suburban retail Janss set out to recruit branches such as Desmond's Mens Wear and development company retained the l design the structures. 'The sou	ly functioned as the major artery UCLA campus. Its development by ty retail center was most critical cillary avenues. Anchored on the th by Ralph's supermarket (see 901-respectively, the shopping district area in Los Angeles. To that end, of quality retail establishments Bullock's Department Store. The and and hired major architects to theast and southwest corners of ee both designed by the firm of John
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of Los Angeles Building Permits Southwest Builder & Contractor	See attached.
22.	Date form prepared	-

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7. Description:

are universal, many upper stories retain elements of their original designs. The most substantial intrusions to the district occupies the entire streetface between Lindbrook and Kinross and is not within the district boundaries.

In addition to its architectural character, Westwood Boulevard is notable for its distinctive urban features. Two blocks north of Wilshire, Westwood angles to the east, providing a vista of the domed Janss Building and the tower of the Fox Theatre. Then the Holmby Building clock tower comes into view heralding the transition from Village to University. A broad street, Westwood has a landscaped island along its entire distance within the Village. The island was made smaller when additional traffic lanes were laid out. Nonetheless, palms still accent the island. Another casualty has been the original post top street lights, now replaced with cobra lamps. Street trees on the side walks, and a "pocket park" at the Janss Building also contribute to the quality of the street.

19. Significance:

and Donald Parkinson for Desmond's (1101) and Bullock's (1100). After successful completion of Bullock's Wilshire (1928), Parkinsons were much in demand. They designed the corner structures in the Spanish Colonial Revival style, as anchors to a row of "Mediterranean" specialty stores. This choice adhered to the design guidelines instituted by Janss at the inception of the Village. Desmond's was among the first half-dozen buildings to be completed in the area, at a cost of \$50,000. The second story balcony served as platform for ceremonies marking the first anniversary of the Village. Bullock's store was completed in 1932 at a cost of \$45,000. was extensively remodelled by R.H. Crawford in 1940, its styling becoming Georgian and its floor area doubled. The Parkinsons remodelled the Bullock's facility in 1940 also, but it retained a modified version of its original Mediterranean styling. 1030, a two story brick store designed by Nordstrom and Anderson, was added in 1931. The rest of the block was developed with a mixture of small Mediterranean and French Regency Revival stores after 1935. Gordon Kaufmann, architect of Holmby Hall, designed the stores at 1056 in 1936.

In the 1100 block, gateway to the Village, the eastern side of the street was constructed to complement Ralph's. Allen Siple designed a rather plain Mediterranean structure for the north corner in 1934. Like most other corners in the Village, it has pedestrian entrance on both streets, designed to accommodate the shopper. Two smaller structures, contiguous to Ralph's at the southern end of the block were constructed in 1929. Both were stores with four unit apartments on the second level. This concept was designed to give the Village twenty-four hour usage. H.E. Weaver designed 1130 at a cost of \$18,000. Roland Coate, a prominent architect known primarily for his stylish residential work and a former associate of Gordon Kaufmann

designed 1136. This building became an extension of Ralph's, housing a Van de Kamp's Bakery and the Village Fruit Company.

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While many of the structures have been altered, the main street of Westwood Village retains its unity in size and scale. As the epicenter of the era, it continues to serve the community in much the same way that Janss envisioned. The landscaping lends prominence to the streetscape.



Westwood Village Specific Plan

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Gruen Associates

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NR: 5D

UTM: 11 366720 3769840

ADDRESS: 1000-10 Westwood Blvd.

COMMON NAME: Brite/Hunters Books

HISTORIC NAME: Bullocks Department Store

PARCEL NUMBER: 4363-018-025

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1932

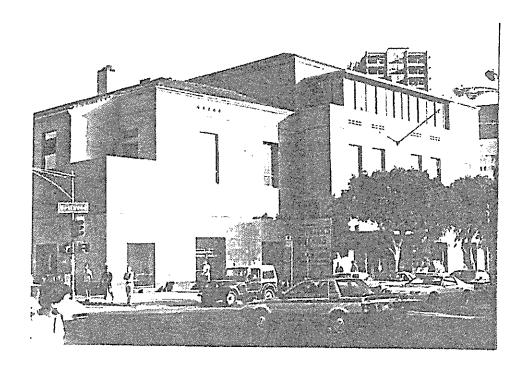
ARCHITECT: J. & D. Parkinson

BUILDER: Unknown

DESCRIPTION:

The historic Bullock's Westwood building is located at the southeast corner of Westwood and Weyburn, across the street from the present Composed of a series of cubic volumes capped by tiled, shallowly hipped roofs, the building is of stucco over brick construction. When viewed from Westwood Blvd., the building steps back in three The largest section is at the south end, and is three increments. stories tall. Beneath a stringcourse, the ground floor contains a recessed entry and two display windows; above it the second floor features four windows. All of the openings have been re-glazed, and balconies removed from those on the second floor. Stringcourses and decorative vents band the building above the second floor. roof once extended over a balcony on the third floor; the roof has been cut off and the balcony enclosed with glass. Two story and one story sections containing two and one window per level respectively are recessed to the north. Originally, the one story wing angled across the corner and extended across this portion of the facade. was capped by a small garden. The building is in fairly good--if altered--condition.

CONTINUATION SHEET: 1000-10 Westwood Boulevard



NR: 5D

UTM: 11 366680 3769840

ADDRESS:

1001 Westwood Blvd.

COMMON NAME:

At Ease

HISTORIC NAME: Desmonds

PARCEL NUMBER: 4363-018-026

PRESENT OWNER:

Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1931

ARCHITECT:

J & D Parkinson

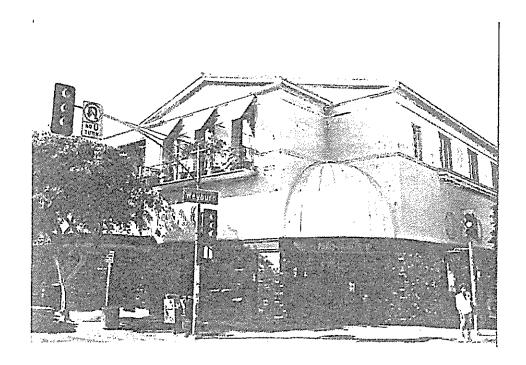
BUILDER:

Unknown

DESCRIPTION:

The former Desmond's Store building began its life as a two story, Spanish Colonial Revival building with three bays on Westwood and seven bays on Weyburn. In 1940, the stucco sheathed brick structure was strengthened, enlarged with a three bay, reinforced concrete addition to the south, and re-designed into a smart, neo-Georgian Subsequent renovations have resulted in alterations in materials, entrances, and detailing, principally on the lower floor. The major architectural features, including tiled, low-pitched gables, molded pediment, frieze board and stringcourse, double casement windows and balconies realized with iron railings and supports, are still intact. Like other stores in Los Angeles, Desmonds had a second major entry, off a rear parking lot. This is still protected by a streamlined canopy dating from 1940. And typically of Westwood, an angled one story bay (to which a concrete awning has been added) acknowledges the corner.

CONTINUATION SHEET: 1001 Westwood Boulevard



NR: 5D

UTM: 11 366680 3769760

ADDRESS:

1029 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER:

4363-018-029

PRESENT OWNER: Paramount Securities

1081 Westwood #231

Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1938 A. T. 1938

ARCHITECT:

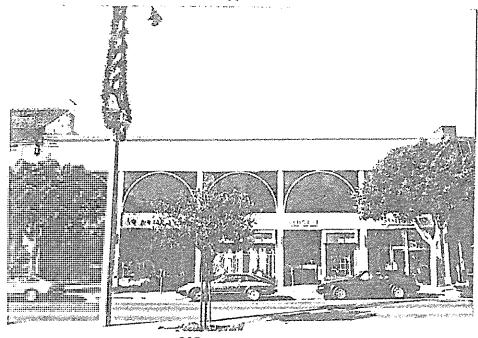
Unknown

BUILDER:

Unknown

DESCRIPTION:

Although little remains of the original design of this one story commercial building, it is compatible in material and form with the Mediterranean theme of Westwood. The facade of the building is almost entirely glazed and consists of five storefronts with arches indicated on the large transoms over them. Slender piers articulate the bays and rise to a plain architrave and frieze and a molded cornice. roof of the stucco finished structure appears to be flat.



NR:

UTM: 11 366720 3769760

ADDRESS:

1030 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-020-008

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1931

ARCHITECT:

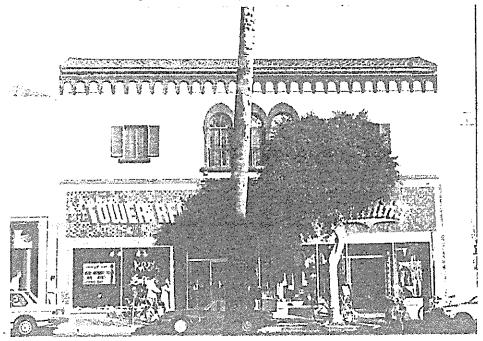
Nordstrom & Anderson

BUILDER:

H.U. Baum Co.

DESCRIPTION:

A slightly Moorish variation on the Mediterranean theme is introduced by the detailing of this two story commercial building. Built of brick, the structure's stucco facade is intact over the re-glazed and re-sided street level. Three arched windows, with linked pointed arch surrouands, a continuous corbelled sill, and iron balconets are the centerpiece of the second story. They are flanked by small casement windows framed by shutters. A course of arched corbelling marks the cornice above which a side gable roof caps the facade.



NR:

UTM: 11 366720 3769720

ADDRESS:

1046 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4363-020-009

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: French Regency

CONSTRUCTION DATE: 1940

ARCHITECT:

Unknown

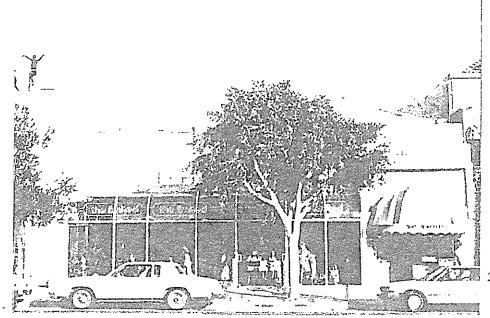
BUILDER:

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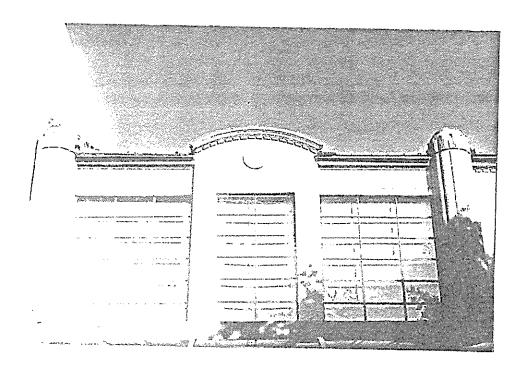
Unknown

DESCRIPTION:

Most of this two story commercial building has been remodeled, but a portion of the upper story retains a curious French Moderne design. Below a moderately pitched roof composed to suggest a hipped configuration, the upper north bay is framed by reeded engaged columns with dome-like capitals. Multi-paned sash fills the entire bay, the central portion being framed by plain stucco pilasters which rise to an arched parapet flush with the edge of the roof. Dentils and a plain medallion decorate the parapet-cum-dormer. The remainder of the stucco sheathed facade is substantially altered.



CONTINUATION SHEET: 1046 Westwood Boulevard



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NR: 5D

UTM: 11 366720 3769700

ADDRESS:

1056 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-020-010

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: French

CONSTRUCTION DATE: 1936

ARCHITECT:

Unknown

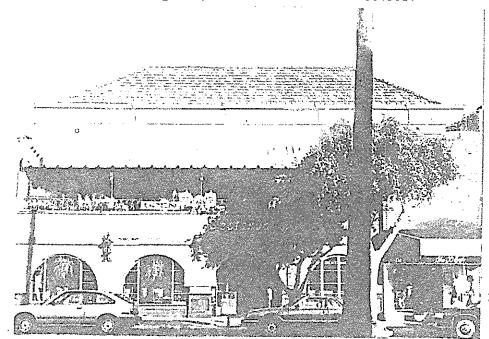
BUILDER:

()

Unknown

DESCRIPTION:

A moderately pitched, hipped roof surmounts this two story, stucco over brick commercial building, indicating a French flair to the original design. The roofline is banded by a frieze, in which panels of plain medallions and reeding alternate, suggesting a Moderne influence as well. Apparently the remainder of the facade has been substantially changed and now contains a balcony over a four bay street level arcade. A mural on the rear of the building, visible from Glendon through a parking lot, is well-known in Westwood.



NR:

UTM: 11 366700 3769620

ADDRESS:

1100 Westwood Blvd.

COMMON NAME:

Millers Outpost

HISTORIC NAME:

Unknown

PARCEL NUMBER: 4363-022-004

PRESENT OWNER: Paramount Securities

1081 Westwood ,#231 Los Angeles CA 90024

ARCHITECTURAL STYLE:

Mediterranean

CONSTRUCTION DATE:

1934

ARCHITECT:

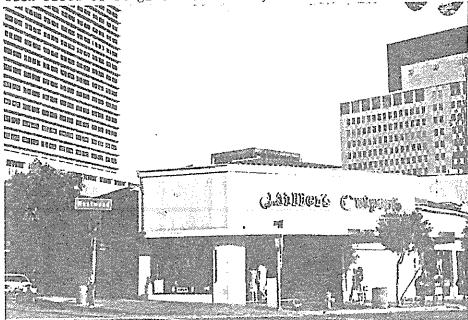
Allen G. Siple

BUILDER:

Unknown :

DESCRIPTION:

Located at the southeast corner of Westwood and Kinross, this is a one story, reinforced concrete commercial building. Its original Mediterranean styling can be deduced from the red clay tile roof, just visible above an elevated parapet used for signage. An angled corner bay and the configuration of the roof above it suggest that this building, like all the others on this irregularly shaped block, may have acknowledged the corner with a cut off, tower-like construction. Little else remains of the original design, except the bay divisions, which have been sided or re-glazed over the years.



NR:

UTM: 11 366740 3769560

ADDRESS:

1130-34 Westwood Blvd.

COMMON NAME:

Unknown

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-022-007

PRESENT OWNER: Michael & Elliot Lewis Trust

1081 Westwood #231 Los Angeles CA 90024

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1929

ARCHITECT:

H.E. Weaver

BUILDER:

Unknown

DESCRIPTION:

A four bay arcaded recessed balcony on the upper story of this two story Mediterranean commercial building lingers from its 1929 design. Simply detailed with impost moldings, the arcade establishes a rhythm that carries the eye to the similarly positioned loggia on the building adjacent to the south. A fifth bay on the north contains a window which has been enclosed. The street level has also been substantially altered. Built of stucco and sheathed with brick, the building is capped by an overhanging gable roof which was originally tiled.



NR:

UTM: 11 366760 3769560

ADDRESS:

1136-40 Westwood Blvd.

COMMON NAME:

Rezzo Building

HISTORIC NAME: Rezzo Building

PARCEL NUMBER: 4363-022-008

PRESENT OWNER: Thomas & Rose L. Rezzo

7001 Shoshone Van Nuvs CA 91406

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: 1939

ARCHITECT:

Roland E. Coate

BUILDER:

Unknown

DESCRIPTION:

An elegant Mediterranean Revival design, still partially intact, distinguished this two story commercial and reisdential building. Its upper facade is entirely spanned by a five-bay loggia, punctuated by Equally spaced French doors open onto the space. A Tuscan columns. low-pitched clay tile roof overhangs the balcony, and its eaves are detailed with brackets. Most of the street level portion of the stucco-finished facade has been altered. However, the entry leading to the second floor is still flanked by a rusticated pilaster with a bracketed capital.



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

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1.	Common name:	_Alices	Restaurani

2. Historic name: <u>Kelly Music Co.</u>

3. Street or rural address: 1043 Westwood Blvd.

City Los Angeles Zip 90024 County Los Angeles

4. Parcel number: 4363-018-015

5. Present Owner: Hero Restaurant Address: 1043 Westwood Blvd.

City Los Angeles Zip 90024 Ownership is: Public Private X

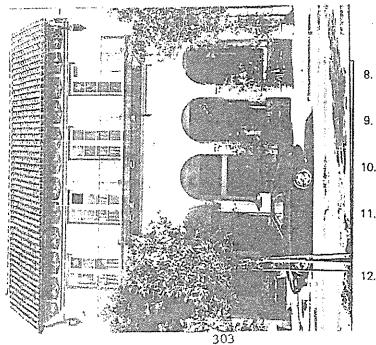
6. Present Use: Restaurant Original use: Music store

DESCRIPTION

7a. Architectural style: Mediterranean

7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

An Italian Renaissance design dignifies this two story commercial building. Its brick construction is sheathed with stucco treated to give the impression of shallow rustication. A gabled red tile roof with exposed rafters overhangs the facade. Five bays, defined by an arcade, fill the generous height of the lower story. The arches are articulated with coffered intrados and are supported by free-standing piers, with engaged Composite columns. Above a decorated frieze, an iron-railed balcony stretches across the four bays in the top floor. Each bay contains paired, full-size casements flanked by shutters. Another decorated frieze bands the upper edge of the facade. Recently restored, the building is altered only in the glazing of the recessed lower story openings.



в.	Construction date:	1929	
	Estimated	Factual X	٠.

Archite	ct _	
Paul	R.	Williams

10.	Builder				
	Westwood	Mtge	&	Inv.	

1,	Approx. property siz	ze (in feet)
	Frontage	Depth
	or approx. acreage	

,	Date(s) of	enclosed	photograph(s)
		1985	

13.	Condition: ExcellentGoodX Fair Deteriorated No longer in existence						
14.	Alterations:						
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up _X Residential Industrial Commercial _X Other:						
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:						
17.	Is the structure: On its original site? X Moved? Unknown?						
18.	Related features;						
	NIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)						
	Originally the Kelly Music Company, the two story Italian Renaissance retail establishment at 1043 Westwood Boulevard is the only example of Paul Revere Williams' work in Westwood Village. Williams designed the building in 1929 at a cost of \$28,000. Adjacent to Janss Investment Corporation itself, the small building attracted a great deal of attention in the architectural periodicals of the day. It was one of Williams' first commercial commissions, the black architect's reputation resting primarily on his elegant period revival residences in such prestigious suburbs as Hancock Park, Flintridge, and Beverly Hills. Subsequently, Williams designed Saks Fifth Avenue in Beverly Hills, the Los Angeles County Courthouse, and Perino's Restaurant, and has become known as one of the most prominent local architects of the 30s and 40s.						
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture _X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education						
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor						
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente Blvd. City Los Angeles Zip 90048 Phone: (213) 937-4270						
	304						

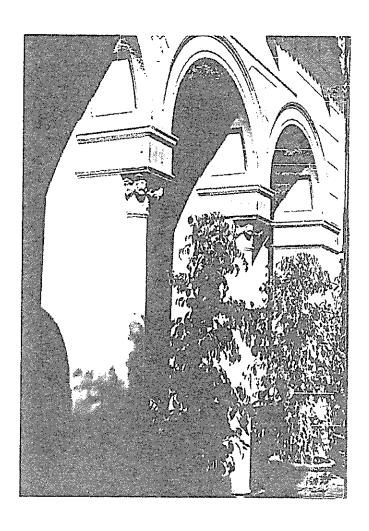
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Westwood Village Specific Plan

Gruen Associates

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

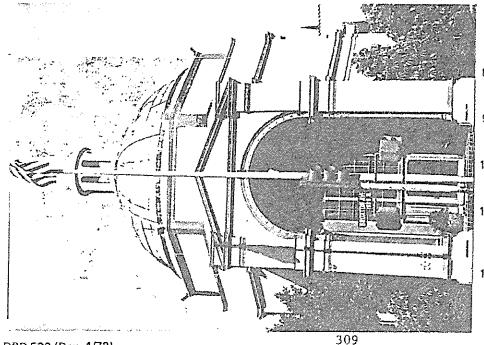
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IDENT 1	ICATION Common name: Glendale Federal Savings	
2	Historic name: Janss Investment Company Building	
3.	Street or rural address: 1045-99 Westwood Blvd.	-
	City Los Angeles Zip 90024 County Los Angeles	
4.	Parcel number: 4363-018-014	
5.	Present Owner: Paramount Securities Address: 1081 Westwood Blvd. #2	31
	City <u>Los Angeles</u> Zip <u>90024</u> Ownership is: Public Private X	
6.	Present Use: Bank/offices Original use:Real estate offices	

DESCRIPTION

- 7a. Architectural style: Spanish Colonial Revival with Classical Revival influences
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Occupying the most prominent site in Westwood, a triangle of land formed by the meeting of Westwood Boulevard and Broxton Avenue, the Janss Investment building is designed in an appropriately impressive neo-Classical mode. A domed rotunda faces the intersection. String-courses accent its octagonal shape, and the base of the dome is panelled. Colorful tile of Moorish inspiration covers the dome to which a lantern has recently been added. A monumental entry fills a pedimented bay which projects from the rotunda. Framed by piers and pilasters which rise to an immense, keystoned arch, the entry is recessed and features a monumental, round-headed window over the doorway. An intricately patterned molding enhances the deep intrados. Circular niches containing helmeted warrior busts are placed high up on the (see continuation sheet)



Construction date: 1929 Estimated FactualX
ArchitectAllison
Builder P.J. Walker Co.
Approx. property size (in feet) Frontage Depth or approxacceage
Date(s) of enclosed photograph(s)

DPR 523 (Rev. 4/79)

13.	Condition: ExcellentGood X Fair Deteriora	ited No longer in existence				
14.	Alterations:					
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	d Scattered buildings Densely built-upX				
16.	Threats to site: None knownPrivate development Public Works project Other:	Zoning Vandalism				
17.	Is the structure: On its original site? X Moved?	Unknown?				
18.	Related features:					
	NFICANCE Briefly state historical and/or architectural importance (includ	de dates, events, and persons associated with the site.)				
	Located two blocks north of the entrance to the Village on a triangu- lar-shaped lot, the domed structure has always been the area's most prominent landmark. Constructed at a cost of \$150,000, the domed edifice used only the finest materials and craftsman. The interior was decorated with murals by the A.T. Heinsbergen Company. From it, the Janss Company supervised the development of the Village and the surrounding residential neighborhoods. Janss was a full service deve- lopment company, capable of providing capital, engineering, design, and construction. A significant proportion of Village property was developed under its direct control. Both symbolically and physically the structure was the center of Village life. It continues to be so today. By virtue of its age, its association with the area's develo- per, its association with a firm of prominent local architects, and (see continuation sheet)					
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH				
21,	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor					
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.				

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CONTINUATION SHEET: 1045-99 Westwood Boulevard

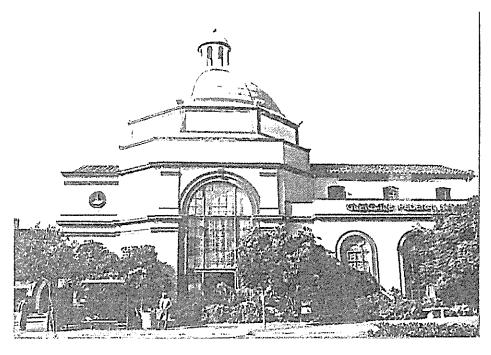
7b: Description:

side elevations of the entry bay. Monumental arched windows, with keystones fill each side of the rotunda; three smaller arched openings also pierce the ground floor elevations of a two story rectangular wing in the rear. The upper story of this wing is set back, contains segmental windows in its bays, and is capped by a gabled tile roof. An irregularly shaped, two story commercial building is linked to the rear of the Janss Building. Sheathed in stucco and topped by a pinnacle accented tile roof, the building adheres to a more conventional Mediterranean style. A plaster ornament embellishes its upper facade. It has been altered on its ground floor, and its windows have been re-In excellent condition, the Janss Building has been a wellseen and much-loved landmark in Westwood since its construction. principal spaces and facades are virtually intact.

19. Significance:

its architectural design, the Janss Building is a significant asset to the community.

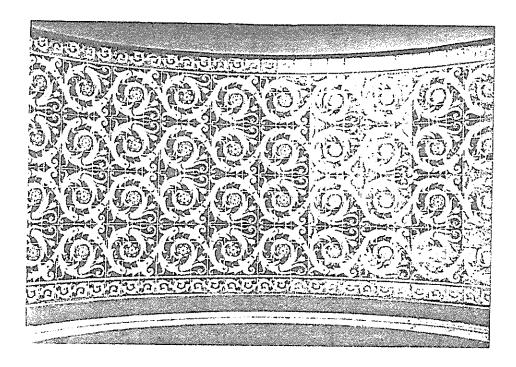
The firm of Allison and Allison were specialists in institutional construction. It was therefore a natural choice for the Janss Investment Company to commission them to design the most important structure in Westwood Village, the Janss headquarters, which the company which to elevate from mere sales office to community center. The selection of this firm further cemented the relationship between the University and the Village, for Allison and Allison were responsible for the design of UCLA's Royce Hall. They later went on to construct the Physics-Biology Building (1928-29) Kerckoff Hall (1930), the Women's Gymnasium (1932), and the Administration Building (1937). Outside the Westwood area, Allison and Allison were responsible for the Friday Morning Club (1923-24), and the Women's Athletic Club (1924) as well as several churches and a sizeable number of elementary and secondary schools through the state.

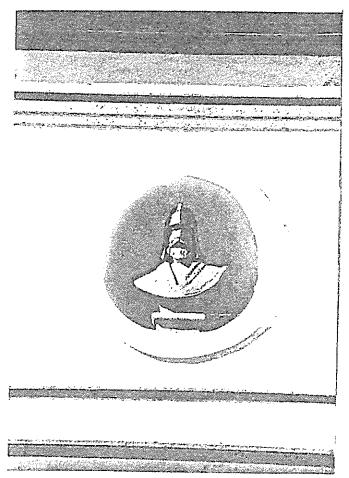




CONTINUATION SHEET: 1045-99 Westwood Boulevard

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7b. Description:

arches, which once framed awnings, are blank. Below them, the windows and doors have experienced some re-glazing. A similar scheme was employed on the longer Lindbrook elevation, but is now somewhat altered by the entrance to the Egyptian Theatre. Small roof overhangs, punctuated by brackets, cap each wing. Its prominence due to a felicitous combination of site and architecture, the Ralph's building is in good condition.

19. Significance:

original Bullock's Westwood (at Westwood and Weyburn). All stores were self-service by the time of the Westwood opening. The store's opening was an event, even though few buildings existed in the planned community, and UCLA had only been open a few months. The new supermarket served as a model for a cluster of brick structures, many with courtyards, that were subsequently built along Lindbrook and Glendon. The area today retains the highest concentration of brick structures in the Village. The building was designed to be responsive to both pedestrian and motorist. The southern anchor of the shopping district, it retains much of its integrity (although the Lindbrook facade has been altered) and its association with the history of the area as one of the first half dozen buildings erected in the area.



Westwood Village Specific Plan

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Gruen Associates

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State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

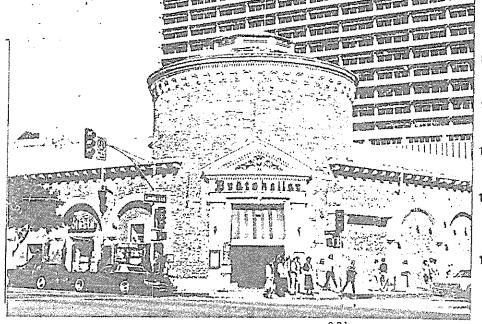
HABS_ UTM:	A	HAER_ 11 366780	Ser. No. NR ³		SHL 769540	Loc
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DENTII 1.	FICATION Common name: Br	atskeller/Egyptia	n Theat	re			
2.	Historic name: Ra	lphs Market				······································	
3.	Street or rural address:	1142-54 Westwood	Blvd.				
	City Los Angeles		Zip	90024	_County	Los Angeles	
4.	Parcel number: 43	63-022-009	· · · · · · · · · · · · · · · · · · ·	······································	7.		
5.	Present Owner: Ja:	x Beverly Hills I	nc.		_Address:	307 N. Beverly	Dr.
	City Beverly Hil	ls Zi	90210	Ownership is:	Public	Private	Х
6.	Present Use: Resta	aurant/Theatre	0ı	iginal use:		Market	

DESCRIPTION

- 7a. Architectural style: Mediterranean
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

A stout cylindrical tower dominates the design of the historic Ralph's supermarket building, located on the northeast corner of Westwood and Lindbrook. Of brick construction, the Mediterranean style structure was originally stuccoed. Now its white cast stone ornament stands out against light brown brick walls. The tower, surmounted by a shallow cupola for ventilation, is ringed by ornate arched corbelling and a denticulated cornice. At the base of the tower, facing the corner, the entry has a classical surround consisting of pilasters topped by a full entablature and a denticulated pediment. One story wings extend from the tower along both Westwood and Weyburn. A five bay arcade articulates the bay divisions on the Westwood elevation. It is composed of stout Tuscan columns from which molded arches spring. The (see continuation sheet)



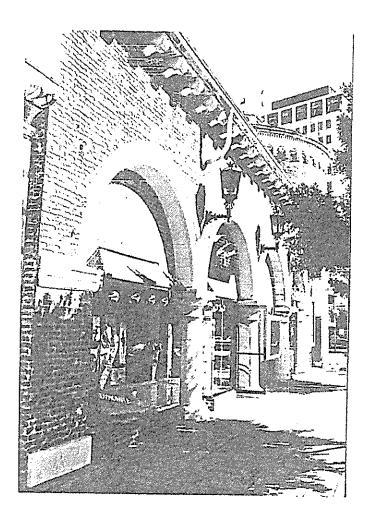
14 31 31	Construction date: 1929 Estimated Factual X
9.	Architect Russell Collins
10.	Builder S.N. Benjamin
11.	Approx. property size (in feet) Frontage 48 Depth 60 or approx. acreage
12.	Date(s) of enclosed photograph(s)

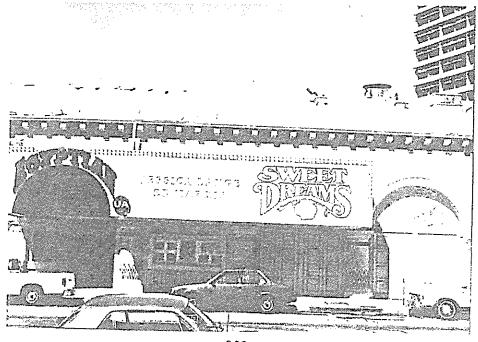
13.	Condition: ExcellentGood X Fair Deteriora	ted No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	Scattered buildings Densely built-upX
16.	Threats to site: None knownPrivate developmentX Public Works project Other:	Zoning Vandalism
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
SIGI 19.	Briefly state historical and/or architectural importance (included Located in close proximity to the Village, the brick building with east corner of Westwood and Lindbro ing the area. Originally a Ralph's a necessity by planners determined landscaped park. Its prominent 1	e main southern entrance to the its cylindrical tower at the north-ok is a focal point for all enter-supermarket, the structure, deemed to provide for every needs, faced a ocation and elegant design were the
	brainchild of Russell Collins, a known. Collin's plan conformed to Village, which specified Mediter known for its ornate branches: buiwere designed in a similar style. builder of all sixteen branches. (see continuation sheet)	the architectural guidelines of the ranean architecture. Ralph's was ldings in Hollywood and on Wilshire Contractor S.N. Benjamin was the
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/IndustrialExploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1.	See attached.
	City Los Angeles Zip 90048 Phone: (213) 937-4270	
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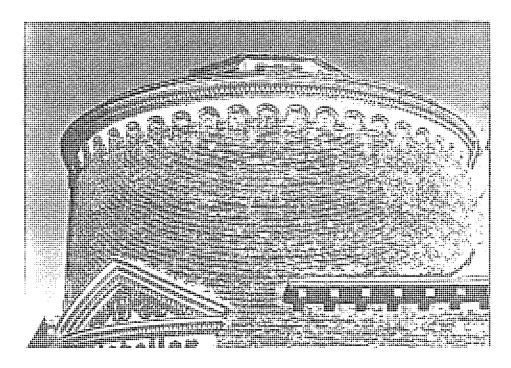
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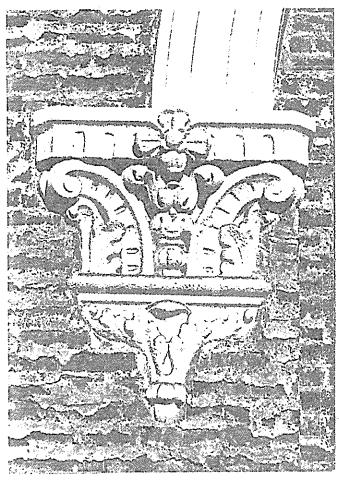
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CONTINUATION SHEET: 1142054 Westwood Boulevard







Westwood Village Specific Plan

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			U	

DENTIF 1.	FICATION Common name: _	Bullocks	Department	Store	·				
2.	Historic name:	Bullocks	Department	Store			-4		
3.	Street or rural add	lress: 10861	Weyburn Av	е,					
	City Los Ange	les		Zip	90024	County	Los A	ngeles	
4.	Parcel number:								
5.	Present Owner:	Federated	Stores/Bul	llocks	Div	_ Address:_	P.O.	Box 5501	
	City Los Ange	les	Zir	90055	Ownership is:	: Public	·····	Private	X
6.	Present Use:D	epartment	Store	Or	iginal use:			· · · · · · · · · · · · · · · · · · ·	

DESCRIPTION

- 7a. Architectural style: Post-war Modern
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

Bullock's Westwood is representative of the post-World War II style developed by Welton Becket and others for suburban department stores. It accommodates a slightly sloped site and the need for parking by partial excavation and by varying the floor plan of each level. Approximately Y-shaped in overall plan, the reinforced concrete building presents a shallowly concave principal facade to Weyburn Avenue. It is dominated by at sheathed second story, punctuated by L-shaped piers. The windows and entries on the street level are recessed beneath these panels, which seem to hover over the street. Walls of rock frame these lower story openings. The upper story reads as a glazed penthouse, with a horizontal slab roof. Clustered palms provide a suitably suburban and tropical vertical accent to the store. It is unaltered on the exterior, and in good condition.



	Estimated Factual X
9.	Architect Welton Becket
10.	Builder Unknown
11.	Approx. property size (in feet) Frontage Depth or approx. acreage
12.	Date(s) of enclosed photograph(s) 1985

Construction date: 1951

DPR 523 (Rev. 4/79)

13.	Condition: ExcellentGood X Fair Deteriorate	ted No longer in existence
14.	Alterations:	
15.	Surroundings: (Check more than one if necessary) Open land Residential X Industrial Commercial X Other:	
16.	Threats to site: None knownPrivate development Public Works project Other:	
17.	Is the structure: On its original site? X Moved?	Unknown?
18.	Related features:	
_	NIFICANCE Briefly state historical and/or architectural importance (includ	e dates, events, and persons associated with the site.)
	one of the first major retail esta John G. Bullock, the store's found retail business by Arthur Letts, for the land on which the Village was Letts' executors, developed the provery progressive retailer, pione branch stores by creating Bullock's the same architects, John and Dona design a new branch in Westwood. Westwood and Weyburn went through to keep up with retailing innovation (see continuation sheet)	er, had been given his start in the ounder of the Broadway and owner of located. The Janss Corporation, operty after his death. Bullock, a ered the idea of quality suburban Wilshire in 1928. A year later, ld Parkinson, were commissioned to The original store at the corner of several remodellings in an attempt
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education	Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks): NORTH
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor Gebhard & Winter. Architecture in L.A., A Compleat Guide	
22.	Date form prepared 11/27/85 By (name) Johnson Heumann for Organization Gruen Associates Address: 6330 San Vicente B1. City Los Angeles Zip 90048 Phone: (213) 937-4270	See attached.
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CONTINUATION SHEET: 10861 Weyburn Avenue

19. Significance:

new facility was needed. The site chosen was half a block from the old store, and the architectural firm, Welton Becket, was considered as prestigious and innovative in 1950 as the Parkinsons had been twenty years before. The result was the current Bullock's Westwood, a large modern complex with plenty of that increasingly important component, parking. Becket had designed other flagship branches for Bullock's, including Bullock's Pasadena in 1947, which was said to "extend the Streamline Moderne into the post-war era." Welton Becket enlarged upon this concept in the prize-winning design for Westwood by creating interior spaces which flowed freely into one another on several different levels. The firm went on to design other Bullock's stores as the chain grew, as well as UCLA's Schoenberg Hall (1955), the Capitol Records Tower (1954), and the Los Angeles Music Center Complex (1964). Although not of the same vintage as most significant structures in the Village, the store provides a definite sense of place and time, and has been an important part of Village life for over thirty-five years. Associates with a noted architectural firm and major retailing establishment, it has become a prominent feature at the northern edge of the Village where the campus meets the business district.



Westwood Village Specific Plan

Gruen Associates

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

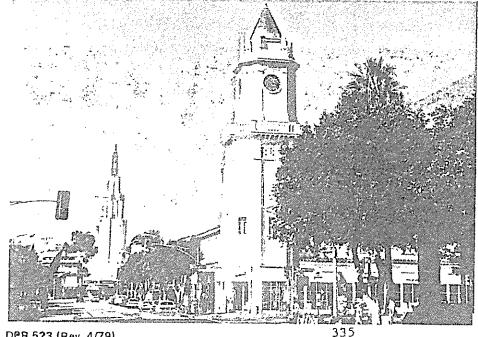
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UTM:	Α			B		·····	LUL ,

DENTI	FICATION						
1.	Common name; .	10900 block	of Weyburn	<u>Avenue</u>			
3.	Street or rural add	dress: <u>Multiple</u>					
	City Los	Angeles	Zip	90024	County	Los Angeles	
4.		Multiple			**************************************		
5.	Present Owner:	Multiple			Address:_		
	City						
6.	Present Use:		(Original use:			

DESCRIPTION

- 7a. Architectural style: See continuation sheets
- 7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

Sandwiched between some of the major landmarks of Westwood Village, the 10900 block of Weyburn Avenue contains seven buildings, most of more modest impact, of which five retain some architectural interest. Like other blocks developed during Westwood's second growth phase in the late 30s and 40s, these one and two story commercial buildings are influenced by Moderne and Revival styles. Characterized by common wall construction, the block has recognizable boundaries, determined by the age and quality of buildings and natural divisions such as alleys, parking lots, and streets. A pedestrian environment is fostered by the scale of the buildings, continuity of the streetscape, and presence of street trees.



DPR 523 (Rev. 4/79)

8.	Construction date: 1936–1949 Estimated Factual $\underline{\chi}$				
9.	ArchitectSee continuation sheets				
10.	BuilderSee continuation sheets				
11.	Approx. property size (in feet) Frontage Depth or approx. acreage				
12.	Date(s) of enclosed photograph(s)				

13.	Condition: ExcellentGood X Fair Deteriorated No longer in existence						
14.	Alterations:						
15.	Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up _X Residential Industrial Commercial _X Other:						
16.	Threats to site: None known Private development X Zoning Vandalism Public Works project Other:						
17.	Is the structure: On its original site? X Moved? Unknown?						
18.	Related features:						
-	NIFICANCE Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)						
	typical of those built in the late 1920s on the interior lots of eastwest streets. While they do not retain a high degree of architectural integrity, they continue to be representative of the scale of development from 1935-40. They illustrate the increasing role of the Moderne style in the Village, and the use of Classical Revival design elements as decoration. 10935 was built in 1938 by the Janss Company at the same time as the adjacent Bruin Theatre. It is one of noted architect Gordon Kaufmann's most modest commissions (see 1055, 1061 Broxton Avenue and 915 Westwood Boulevard for other Westwood designs and citations). Built at a cost of \$34,000, far in excess of the minimum cost requirements stipulated by the deed restrictions, the structure (see continuation sheet)						
20.	Main theme of the historic resource: (If more than one is checked, number in order of importance.) Architecture X Arts & Leisure Economic/Industrial Exploration/Settlement Government Military Religion Social/Education						
21.	Sources (List books, documents, surveys, personal interviews and their dates). Los Angeles County Tax Assessor City of L.A. Building Permits Southwest Builder & Contractor See attached.						
22.	Date form prepared By (name)						
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CONTINUATION SHEET: 10900 block of Weyburn Avenue

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was originally used as a hardware store. Preceding the hardware store on the block were 10923 (1935), 10931 (1936), 10948, and the retail clothing establishment at 10924 designed in 1937 by Allen G. Siple. Like Kaufmann, Siple designed other structures in the Village (1100 Westwood Boulevard, 1057 Gayley).



Westwood Village Specific Plan

Gruen Associates

NR: 5D

UTM: 11 366620 3769860

ADDRESS:

10923 Weyburn Ave.

COMMON NAME:

Lamonicas NY Pizza

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-018-011

PRESENT OWNER:

Ed Summer

P.O. Box 241547 Los Angeles, CA

ARCHITECTURAL STYLE: French

CONSTRUCTION DATE: 1949.

ARCHITECT:

Maynard Lyndon

BUILDER:

(

Unknown

DESCRIPTION:

This two story reinforced concrete commercial building retains its integrity on the second floor. It features a continuous band of industrial sash across the facade, outlined by a reeded surround. These Moderne influenced elements are juxtaposed against a roof of vaguely French inspiration. A shingled low hip, it is wrapped by a diamond-patterned frieze and crested with a diamond molding between pinnacles. The street level frontage, as well as the signage zone between stores has been substantially altered. The building is fairly good condition.



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NR:

UTM: 11 366620 3769840

ADDRESS:

10924 Weyburn Ave.

COMMON NAME:

The Wilger Company

HISTORIC NAME:

Myer Siegal & Co.

PARCEL NUMBER:

4363-018-018

PRESENT OWNER:

Charles Wilger

10924 Weyburn Avenue Los Angeles, CA 90024

ARCHITECTURAL STYLE:

Neo-Mediterranean

CONSTRUCTION DATE: 1937

ARCHITECT:

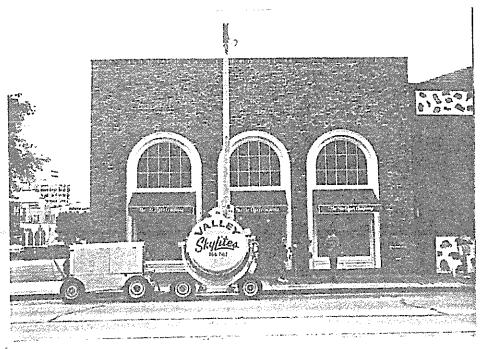
Allen G. Siple

BUILDER:

Unknown

DESCRIPTION:

This one story commercial building, located on the site of the exclusive Myer Siegal women's specialty shop, is compatible with the older Mediterranean designs used in Westwood. Either a substantial remodel of the store, built in 1937, or a new construction, it is now a one story, flat-roofed brick structure. The tall volume is illuminated by three large arched apertures. Unornamented, the building is in good condition.



NR:

UTM: 11 366600 3769860

ADDRESS:

10931 Weyburn Ave.

COMMON NAME:

Chapman Building

HISTORIC NAME: Chapman Building

PARCEL NUMBER:

4363-018-010

PRESENT OWNER:

Lyons Newhall Inc.

14159 Riverside Dr. Sherman Oaks CA 91423

ARCHITECTURAL STYLE:

: Mediterranean with Classical Revival influences

CONSTRUCTION DATE: 1936

ARCHITECT:

Arthur Halves

BUILDER:

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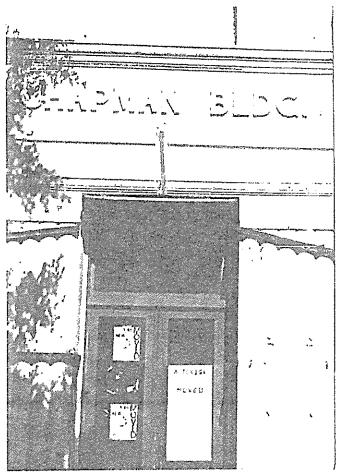
Unknown

DESCRIPTION:

The Chapman Building is representative of the "Mediterranean Moderne" which was one of the favored styles in Westwood in the late 1930s. Reeded piers, broken by a simplified entablature between stories frame the facade of the concrete structure. Although the street level storefronts have been altered, the entry, at the east end, is intact. It is recessed behind reeded piers, and raised letters in the frieze identify the building. A double door and transom provide access to the upper story. Large windows illuminate the offices and are shaded by the bracketed overhang of a gabled roof. The building is currently under renovation.

CONTINUATION SHEET: 10931 Weyburn Avenue





NR: 5D

UTM: 11 366580 3769860

ADDRESS:

10935 Weyburn Ave.

COMMON NAME:

Hamburger Hamlet

HISTORIC NAME: Unknown

PARCEL NUMBER: 4363-018-009

PRESENT OWNER: Westwood Village Dev. Co.

1010 Westwood Blvd. Los Angeles CA 90024

ARCHITECTURAL STYLE: Classical Revival with Moderne influences

CONSTRUCTION DATE: 1938

ARCHITECT:

Gordon B. Kaufman

BUILDER:

Unknown

DESCRIPTION:

Like most commercial buildings in Westwood, the Hamburger Hamlet is altered on its ground story. The two part second floor, whoever, preserves much of its original "Mediterranean Moderne" design. In the west section, the stuccoed facade features a single window, adorned with shutters and capped with broken pediment. An acanthus leave above a triglyph-like ornament, and a molding of Greek fretwork decorate the pediment. The cornice of the flat roof is simply marked with a scalloped molding. In contrast to the west wing, the east wing is Moderne in inspiration. A band of eight windows (now enclosed) beneath a streamlined, beaded canopy, stretches across much of this wing. Another scalloped molding, this time reversed and butted against a fluted molding bands the east cornice. An L-shaped concrete building which abuts the Bruin Theatre, the Hamlet is in fairly good condition.



NR:

UTM: 11 366560 3769860

ADDRESS:

10948 Weyburn Ave.

COMMON NAME:

Stans Donuts

HISTORIC NAME: Unknown

PARCEL NUMBER: Unknown

PRESENT OWNER:

Unknown

Unknown

Unknown CA Ukn

ARCHITECTURAL STYLE: Mediterranean

CONSTRUCTION DATE: Unknown

ARCHITECT:

Unknown

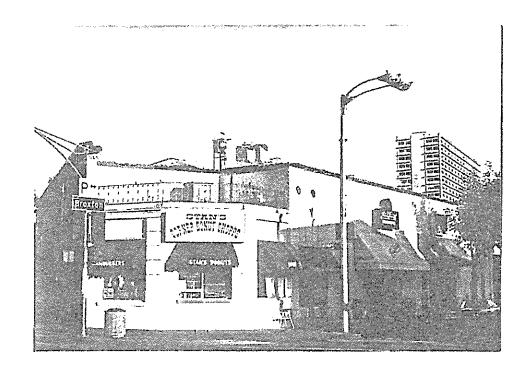
BUILDER:

Unknown

DESCRIPTION:

This wedge-shaped building of Mediterranean-influenced design is located at the intersection of Weyburn and Broxton. Apparently built in increments, it is one story and built of reinforced concrete and brick. A mission tile hipped roof tops the west (Broxton) facade while a parapet edged with tile caps the north (Weyburn) elevation. An angled bay with a simulated rusticated facade acknowledges the Ornamental ironwork surmounts the bay. Altered storefronts face each street. Despite its many changes, the building does suggest the themes which were historically identified with Westwood Village.

CONTINUATION SHEET: 10948 Weyburn Avenue



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March 2, 1949. Part 2, page 1.
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Criteria For Evaluation

The following criteria are designed to guide the States, Federal agencies, and the Secretary of the Interior in evaluating potential entries (other than areas of the National Park System and National Historic Landmarks) for the National Register.

The quality of significance in American history, architecture, archeology, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. that are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that posses high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

D. that have yielded, or may be likely to yield, information important in prehistory or history.

Ordinarily cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past

50 years shall not be considered eligible for the National Register. However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:

- A. a religious property deriving primary significance from architectural or artistic distinction or historical importance: or
- B. a building or structure removed from its original location but which is significant primarily for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or
- C. a birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life; or
- D. a cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or
- E. a reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or
- F. a property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own historical significance; or
- G. a property achieving significance within the past 50 years if it is of exceptional importance.

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c. 22.120. Creation and Bustynation of the Board.

The Roard of Cultural Affairs Comstactuners shall establish an advisory heard to be known as the Cultural Beritage Board.

Sec. 22.121 Composition of the Board.

The Cultural Heritage Board shall be cusposed of five qualified persons, learned in the interioric, cultural and architectural traditions of the community, to be selected and appointed by the Cultural Affairs Commission, subject to the approval of the City Council by majority vote.

Sec. 22, 122, Appointment, Neetings, Compensation.

The members of said Cultural Heritage Board shall be paid \$10.00 per sheeting attended, not to exceed four meetings per calendar month; and shall serve for a period of one year. They say be reappointed in the mane manner as not forth hereinshove for their appointment.

Sec. 22.123. Exemption from Civil Service Provisions.

The exebera of the Cultural Heritupa board shall be exempt from all civil service provisions.

Sec. 22.124, Advisory Capacity.

The Cultural Heritage Board shall acroe in an advisory capacity to the Cultural Affiltrs Consideration. In addition, the Cultural Heritage Board shall perform those duties and obligations becomed upon it by Section 12,20,3 of the Lou Angeles Municipal Code.

Sec. 22.125. Inspection and investigation.

The Cultural Heritage Roard shall inspect and investigate any site, building or atructure in the City of Los Angeles which it has reason to believe is or will to the near future he an historical or cultural bounders.

Sec. 22, 126. List of Potential Sites.

The Cultural Heritage Koard shall compile and maintain a current list of all such witae, buildings or structures which have been determined to be historical or cultural monuments. Such list shall contain a brief description of the site, building or structure, and the reasons for its inclusion in the list.

Prior to any modification of this list, the Cultural Heritage board shall solicit opinions and information regarding any sites for inclusion or desetton from such list from the office of the Council District in which the site is located and from any department or bureau of the City whose operations may be affected by the dissipation of such site on the list. To modification to the list of historical or cultural monuments shall be affective unless and until such modification has been adopted by the City Council by a majority vote.

The City Council Day, on its own initiative, propose sites for inclusion or deletion from such list. The Cultural Heritage Board after reviewing and investigating any such Council initiated exembent to the List, and after soliciting opinions and information regarding such potential site, shall approve or disapprove the proposed inclusion or deletion and subsit a report upon such action to the City Council. In the event the Cultural Heritage floated does not deprove such Council proposed change to the list, the City Council may nonetheless adopt such change by a vote of two-thirds of the entire Council.

Sec. 27,127, Pubeication List.

The Cultural Heritage Roard shall publish and transmit to all interested parties, the list referred to to Section 22.126, and shall dissuminate any public information concerning the list or any site, building or structure contained therein, consistent with City Council policies and procedures.

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Sec. 22.128. Propervation of Minimumsty

The Cultural Heritage Board shull take all steps necessary to preserve such assuments not in conflict with the public health, wafety and general velfare, powers and duties of the fits of the otto of the fits of the otto of the fits of the catalysts, or its weveral boards, offices or departments. Such aceps may facility assistance in the extablishment of optivate fund for the acquisition of civic citizens' communities; and factorsendation that such acquisits he extablished to a private fund for acquisition of restoration of such accounts; and recommendation that such actions, actions actions becoming effective, shall be first admitted to and opproved by the Cultural Affairs Commission.

See. 22.129. Recommendations.

The Cultural Heritage Board shall make any recommendation to the Cultural Affaira Commission in connection with the exercise of its said powers and duties which it determines is noccessary. The Cultural Affaira Commission shall take such action thereupon as it determines will implement or carry out the spirit and intent of this article.

ec. 22.135. befinition of Junicepity

For purposes of this article, an bistorical or cultural monument is any site (including significant trees or relier plant life incated thereon), building or structure of particular bistoric or colteral significance to the City of los Angeles, such as historic extractures or after in which the broad cultural, publicial, economic or social history of the nution, state or community is reflected or exemplified, or which are identified with history, or the nution, state with important events in the main currents of nutional, state or focal history, or which endody he distinguishing characteristics of an architectural-type specimen, inherently valuable for a study of a period style or acthod of construction, or a notable work of a master huilder, dealigner, or architect whose individual genium influenced his age.

22.111. Hot (ce and Appeal,

The Coltoral Heritage Board shall cransmit to and maintain with the Pepartments of Building and Safety, Recreation and Parks, Board of Public Works and the Board of Education, current copies of the list of historical and cultural monacons. The Coltural Heritage Board shall also included in the list, and shall give such person witten notice of any further action which it shall be deemed to be the person appearing as the couper of the maner of such property to shall be deemed to be the person appearing as the couper of the couper

. 27,117. Pereits Sequired.

We persit for the demalition, substantial alteration or removal of any building, structure or site contained in said list shall be insued, and no such site, hallding or situature shall be demalished, substantially altered or removed by the City without (list referring the matter to the Cityral Bertiage Board, except where the Superintendent of Building or the City Ingineer determinen that demalition, removal or substantial alteration of any such building, structure or after is incrediately necessary in the interest of the public health, safety or general unitare.

bes. 22,131, Time for Chiection by the hourd,

Hhere any matters subject to Section 22, 112 of this code are referred to the Gultural Heritake Board, it shall have 15 Jaya from the date of such notification within which to object to the proposed demolition, major alteration or removal. It no such objection is filted with the appropriate Department or Board within the said 15 days, all such objections shall be deemed to alteration or removal, it shall file its objection with the appropriate Department or asjur. The filing of such objection shall suspend the issuance of such permit, the demolition or major then filing of such objection shall suspend the issuance of such permit, the demolition or major chan 30 nor made than 180 days, during which these the cultural Heritage Board shall take such tion of the step of its powers and duties as it determines the beard shall take such tion of the site, building or structure to be demolitical, altered or removed. No such action shall be taken by the Cultural Heritage Board, however, until the same has been first submitted

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sent or Board concerned of its action. From receipt of such notification, the peroit may be issued and the building, otructure by site say be demoisabled, altered or removed, as the case may be. If at the end of the first 100 days of the storesafd 180 day period it is found that for the purpose of completing the name. The Repartment or Based to which such a request is made shall grant such extension, except where it determines that granting nuch an extension is not to the best interest of the public health, anisty or general culture. Fo such request for extension shall be made after the expiration of the original INO day suspension period. day period, and the Cultural Herltage floated determines that such irracreation can "suctifianc-torily completed within an additional period and to exceed 189 days, the Cultoral Herltage Kenrd may recommend to the Cultural Affaita taxonission that a request for extension by made to the appropriate Department or floated. Such recommendation shall set forth the reasons therefor to and approved by the Board of Caltural Affairs Commissioners. At the end of the first in days, the Cultural Heritage Board shall report its progress to the Cultural Affairs Commission which may, upon review of the proposes report, withdraw and cancel the objection to the proposed demonstration, major alteration or removal. If the Commission determines, muon the basis of solis request the appropriate depositoral or house to primi an extension of the ant to exceed the days Commission may accept such recommendation for round cause shown, and if it appears that preserves than may be completed within the time requested, and upon approval of the lite Council may and the progress to date of the stops taken to preserve the ensurement. The Cultural Affairs the preservation of the site, building or structure cannot be fully accomplished within the iss progress report, to ultidray and enneed any such objection, it shall promptly notity the hepart-

22.134. 'lo liftht to Acquire Property.

The Cultural Heritage Board shall have no power or right to acquire any property for or on hehalf of itself or the City of Loa Angeloa, nor shall it acquire or hold any money for itself or on behalf of the City.

Sec. 22.135. Rules and Regulations of the Doard.

The Cultural Heritage Board may adopt auch rules and regulations as are necessary to carry out the purpose and intent of this article.

Sec. 27.136. Cooperation with the Board.

All Boards, Commissions, Departments and Officers of the City shall cooperate vith the Cultural Heritoge Board in carrying out the spirit and intent of this article.

DECENTARY OF THE SECTION OF THE SECT

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A REPORT OF SERVICE RESERVED AS A RESERVED OF A SERVED AS A SERVED AS A SERVED OF A SERVED AS A SERVED Standing of An Ordinance Emending Article Zeofe Chapter It of the Los Angeles Municipal Code to provide for the creation of Historic Preservation Overlay Zones.

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and the second of the control of the Section 1. Article 2 of Chapter 1 of the Los Angeles Municipal Code is hereby mended by adding Section 12.20.3 to read as follows:

FIGURE SECTION 12.20.3 - "HP" HISTORIC PRESERVATION OVERLAY ZONE CONTROL OF

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PURPOSE ·

It is hereby declared as a matter of public policy that the recognition, preseration, enhancement, and use of structures, natural features, sites and areas within the City of os Angeles having historic; architectural, cultural or aesthetic significance are required in O the interest of the health, economic prosperity, cultural enrichment and general welfare of the eople. The purpose of this Section is to: the many that the many of the contract of the

- 3.1. Protect and enhance the use of structures, features, sites, and areas that are reminders of the City's history or which are unique and irreplaceable assets to the Gity and its neighborhoods or which are worthy examples of past architectural styles;
- and the control of th 2. Develop and maintain the appropriate settings and environment to preserve the aforementioned structures, natural features, sites and areas;
 - 3. Enhance property values, stabilize neighborhoods and/or communities, render property eligible for financial benefits, and promote tourist trade and interest;
- The protection of the form the final cards of the control of the cards of the control of the con 4. Foster public appreciation of the beauty of the City and the accomplishments. of its past as reflected through its structures, natural features, sites and areas;
 - 100 101 100 Service Garage 5. Promote education by preserving and encouraging interest in cultural, social, economic, political and architectural phases of its history.

В.

DEFINITION TO THE PARTY OF THE For the purpose of this Section, the following words and phrases are defined:

- "ALTERATION" is any exterior change or modification of a structure, natural feature or site within a Historic Preservation Overlay Zone. the second of th with the second of the second of the second
 - 2. "ARCHITECTURAL" is anything pertaining to the science, art or profession of designing and constructing buildings.
 - "ASSOCIATION" is any Historic Preservation Association as established by this Section.

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- A. "CERTIFICATE OF APPROPRIATENESS" is an approved certificate issued for the change in occupancy, construction, demolition, alteration, removal, or relocation of any publicly or privately owned structure, natural feature or site within a Historic Preservation Overlay Zone.
- 5. "CHANGE IN OCCUPANCY" is a change in the use of a building or land as approve by the Department of Building and Safety through the issuance of a Certifica of Occupancy.
 - 6. "CULTURAL" is anything pertaining to the concepts, skills, habits, arts, instruments or institutions of a given people at a given point in time.
- 7. "HISTORIC" is any structure, natural feature, or site which depicts,

 ydama of proper sents or its associated with persons or phenomena which significantly
 affect or which have significantly affected the functional activities,
 heritage, growth or development of the City, State or Nation.

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- 8. "LANDMARK" is any structure, natural feature or site designated as a Cultura or Historic Monument by the Cultural Heritage Board.
 - 9. "NATURAL FEATURE" is any significant tree, plant life, geographical or geological site or feature.
- 10. "OWNER" is any person, association, partnership, firm, corporation or public entity appearing as the holder of title on any property as shown on the records of the City Clerk or on the last assessment tole of the County of Los Angeles, as applicable.
 - 11. "PRESERVATION ZONE" is any area of the City of Los Angeles containing structures, natural features or sites having historic, architectural, cultural or aesthetic significance and designated as a Historic Preservation Overlay Zone under the provisions of this section.
- 12. "RENTER" is any person in a Preservation Zone who has rented or leased a dwelling unit or other structure within the district for a continuous time period of at least three (3) years.

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T.D. William Co. Park

Whenever the City Council shall establish, add land to, eliminate land from or repeal in its entirety a Preservation Zone, the provisions of this Section shall not be construed as an intent to abrogate any other provision of this Code. When it appears that there is a conflict therewith, the most restrictive requirements of this Code shall apply.

Description ASSOCIATION Francisco Control Cont

- 1. Establishment and Composition There is hereby established within each Preservation Zone a Historic Preservation Association. Each Association shall have, as part of its name, words linking it to its area of administration and distinguishing it from other similar associations. An Association shall be composed of five (5) members. At least three (3) members shall be renters or owners who reside in the Preservation Zone.
 - 2. Term of Membership Members of the Association shall serve for a term of five (5) years, except that initial appointments of members shall be staggered as provided in subsection 3 below.

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- 3. Appointment of Members To the maximum extent practicable, members shall be appointed as follows:
 - (a) One (1) member having extensive real estate experience shall be appointed by the Mayor. The initial appointee shall serve a one-year term.
- (b) One (1) member having extensive construction industry experience shall be appointed by the City Council. The initial appointee shall serve a two-year term.
 - (c) Two (2) members, one (1) member being an architect licensed by the State of California, shall be appointed by the Cultural Heritage Board with the concurrence of the Municipal Arts Commission. In the event that neither appointment under (a) nor (b) above is of a renter or owner residing in the Preservation Zone, then both of such appointees shall be renters or owners residing in the Preservation Zone.
 - (d) In the event only one appointment under (a) or (b) above is of a renter or owner residing in the Preservation Zone, then at least one of such appointees shall be a renter or owner residing in the Preservation Zone. The initial architect appointee shall serve a three-year term. The other initial appointee shall serve a four-year term.
 - (e) One (1) member at large selected by a majority vote of the previously listed four (4) members. Such member shall be a renter or owner residing in the Preservation Zone unless at least three of the other four members are renters or owners residing in the Preservation Zone. The initial appointee shall serve a five-year term.

All members shall have demonstrated a knowledge of, and interest in, the culture, structures, sites and features of the area encompassed by the Preservation Zone.

- Vacancies In the event of a vacancy occurring during the term of a member of the Association, the same body or official who appointed such member shall make an interim appointment of a person to fill out the unexpired term of such member. Where such member is required to have specified qualifications, such vacancy shall be filled for the unexpired term of such member by interim appointment of a person having such qualifications.
- 5. Expiration of Term Upon expiration of a term for any member of the Association, the appointment for the next succeeding term shall be made by the same body or official which made the previous appointment.
- 6. Organization Each Association shall hold regular meetings and establish such rules as it may deem necessary to properly exercise its function. The Association shall elect a Chairperson and Vice-Chairperson who shall serve for a one (1) year period. The Association shall designate a Secretary and Treasurer who shall serve at the Association's pleasure. Three (3) members shall constitute a quorum. Decisions shall be determined by majority vote of the Association. Public minutes and records shall be kept of all meetings and proceedings showing the attendance, resolutions, findings, determinations and decisions, including the vote of each member. To the extent possible, the staffs of the Department of City Planning and Municipal Arts Department may assist the Association in performing its duties and functions.

্রা ^{প্রতি}র দেশনারীলান্ত্র (১৯৮৮) ১৮৮৮ সম্প্রতির হিচাপের 7. Power and Dutton - Whon considering any matter under its jurisdiction, the Association shall have the following power and duties: Sympton a

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- Employ an am Propertion formation of the con-(a) To evaluate any proposed changes of the Preservation Zone it administers. and make recommendations thereon to the Planning Commission, Cultural to de the common Heritage Board and City Council.
- en large attacks a strong to the tree and the The little deline will have (b) To evaluate any architectural/historical survey undertaken within the Preservation Zone it administers and make recommendations thereon to the Planning Commission, Cultural Heritage Board and City Council.
- (c) To study, review and evaluate any proposals for the designation of Landmarks within the Preservation Zone it administers and make recommendations thereon, to the Cultural Heritage Board.
 - Transfer to the space of (d) To evaluate all applications for a Certificate of Appropriateness within its Preservation Zone and make recommendations thereon to the Planning Commission, Cultural Heritage Board or City Council on appeal.
 - (e) To encourage understanding of and participation in historic preservation by residents, private business, private organizations and governmental र्वा काम के उने के कि अपने भाग भाग के हैं। अने agencies.
 - (f) In pursuit of the purposes of this Section, to render guidance and advice to any owner or occupant on a proposed change in occupancy, construction, demolition, alteration, removal or relocation of any Landmark or any structure, natural feature or site within the Preservation Zone it administers. in Belain s
 - (g) To tour the Preservation Zone it represents on a regular basis to promote the purposes of this Section and to report to appropriate City agencies matters which may require enforcement action.
 - (h) In cooperation with the Cultural Héritage Board, to adopt criteria for the timely and comprehensive updating of the Architectural/Historical Survey for the Preservation Zone it administers.
 - (1) To make recommendations to the City Council concerning the transfer of development rights, facade easements, covenants, and the imposition of · other restrictions for the purposes of historic preservation. The second second
 - ्रेड स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स्ट्राइट स्टब्स् (j) To make recommendations to the City Council concerning the utilization of grants and budget appropriations to promote historic preservation.
 - (k) To employ staff or hire such consultants as may be required in the performance of its duties using available Association funds.
- (1) To: accept donations from outside sources to be utilized for historic O WANT TO BE STORY preservation efforts.
- E. PROCEDURE FOR ESTABLISHMENT, CHANGE OR REPEAL OF A PRESERVATION ZONE
 - ARCHITECTURAL/HISTORICAL SURVEY

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Proceedings to establish, change boundaries of, or repeal a Preservation Zone may be initiated by the City Council, Planning Commission or Cultural

Heritage Board or by the filing of an application by any owner of property located, or renter residing, within the boundaries of said proposed or existing Preservation Zone. Such application shall be filed in the public office of the Department of City Planning upon a form prescribed for that purpose. Upon receipt of such application, a copy will be sent to the Cultural Heritage Board for evaluation. As a part of the evaluation of an application for establishment or change of boundaries of a Preservation Zone, the Cultural Heritage Board shall cause to be prepared an architectural/historical survey of the involved area identifying all significant and non-significant structures and all significant natural features or sites. For purposes of the architectural/historical survey, no structure, natural feature or site, unless of exceptional importance, shall be considered historic unless it is at least 40 years of age.

The Cultural Heritage Board shall consider and comment upon the appropriateness of the boundaries of the proposed or existing Preservation Zone.

2. Finding of Significance

The architectural/historical survey shall also include a factual statement, supporting or opposing a finding that structures, natural features and sites, within the involved area or the area as a whole are significant. To be significant such structures, natural features or sites within the involved area or the area as a whole shall meet one or more of the following criteria:

- (a) has substantial value as part of the development, heritage or cultural characteristics of, or is associated with the life of a person important in the history of, the City, State or Nation; or
- (b) is associated with an event that has made a substantial contribution to the broad patterns of our history;
- -(c) is constructed in a distinctive architectural style characteristic of an era of history;
- (d) embodies those distinguishing characteristics of an architectural type or engineering specimen;
- (e) is the work of an architect or designer who has substantially influenced the development of the City;
 - (f) contains elements of design, detail, materials or craftmanship which represent an important innovation;
- (g) is part of or related to a square, park or other distinctive area and should be developed or preserved according to a plan based on a historic, cultural, architectural or aesthetic motif;
 - (h) owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or City.
 - (i) retaining the structure would help preserve and protect an historic place or area of historic interest in the City.

Cultural Heritage Board Determination

Approve or conditionally approve the establishment of or change in boundaries of a Preservation Zone only (1) upon a majority vote and (2) a written finding that structures, natural features and sites within the involved area or the area as a whole meet one or more of criteria (a) through (1), inclusive, hereinabove.

In the event that the Cultural Herifage Board cannot reasonably complete the architectural/historical survey within the 45 day time period, the Board shall notify the Planning Commission in writing and the time period may be extended for a specified further time period. In the event that the Cultural Heritage Egard does not respond within the aforementioned time period, said board will be decard to have forfeited all jurisdiction in the matter.

4. Planning Commission Determination

Heritage Board within the aforementioned, time, the application if any; architectural/historical survey; comments, if any, regarding the proposed Preservation Zone boundary's appropriateness; and any file related thereto shell be transmitted to the Planning Commission for action. The Planning and the Commission shall proceed to approve, approve with changes or disapprove the on the property application as filed. The page to the district of the second of

and that the other states of the control of the con The Planning Commission in its deliberations shall carefully consider the survey and factual statement, if any, of the Cultural Heritage Board.

As the second of the concept Determination of the second o

The processing of an application for, or the initiation of, the establishment, change in boundaries or repeal of a Preservation Zone and its accompanying architectural/historical survey shall conform with all requirements of Section 12.32-C,D and E of this Code.

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way: 12 1 14 Monthly specifing any other provisions of this Code, in the event that the Cultural Haritage Poard has requested and received an extension of time from the Planning Commission in order to complete an architectural/historica survey, the mandatory time 1 mit of 75 days for Planning Commission action under Section 12.32-D,1 of this Code shall be suspended and extended to incorporate such time extension.

F. CERTIFICATE OF APPROPRIATENESS.

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Market grouped to the No person shall change in occupancy, construct, alter, demolish, relocate or remove any structure, natural feature or site within or from a 2 Preservation Zone unless a Certificate of Appropriateness shall have been approved by the Planning Commission for such action pursuant to this Section No Certificate of Appropriateness shall be approved unless the plans for said changes in occupancy, construction, demolition, alteration, relocation, or removal conform with the provisions of this faction. Any approval or denial shall include written findings in support thereof.

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Procedures for Obtaining A Certificate of Appropriateness

Excepting demolition of a structure, any plans for a change in occupancy, construction, alteration, relocation or removal of a structure, natural feature or site, or any combination thereof, within a Preservation Zone shall first be submitted, in conjunction with an application, to the public counter of the Department of City Planning upon a form provided for that purpose. Upon receipt of such application, copies of the application and plans shall be sent by the Department of City Planning to the Cultural Heritage Board and the Association for that Preservation Zone for evaluation. Within thirty (30) days of the receipt of such application, the Cultural Heritage Board and Association shall submit to the Planning Commission for final determination their respective recommendations that said Commission approve, conditionally approve or disapprove the certificate. In the event that the Cultural Heritage Board or Association does not submit their recommendations within the subject time period, said board or association will be deemed to have forfeited all jurisdiction in the matter, and the Planning Commission shall proceed to approve conditionally approve or disapprove said certificate as filed. No Certificate of Appropriateness shall be approved, conditionally approved, disapproved or issued until the appeal period, as set forth in Subsection G, has expired or until any appeal has been resolved.

- 3. Standards for Issuance of Certificate of Appropriateness
 - (a) in making a determination on any Certificate of Appropriateness, the Planning Commission shall not approve any such certificate unless it finds the plans consistent with the following:
 - ALL TO THE REST OF THE PARTY OF (1) the Purpose statement of this Section (12.20.3-A), ting the second of the second
 - (2) the protection and preservation of those structures, natural features or sites specified as complying with one or more of the criteria set forth in subsections E-2 (a) through (1) hereof and set forth in the architectural/historical survey.

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- (b) Such determination may include, but not be limited to, a consideration of the following factors: a charles in the contract of
 - (1) Architectural design
- the second of the second of the second (2) Color and texture of surface materials
 - *i* (3) Construction materials $\mathcal{L}_{ij} = \{ 1, \dots, n_i \in \mathcal{L}_{ij} \mid i \in \mathcal{L}_{ij} \}$
 - provided the (4) Development density
 - (5) Grading and site development
 - THE REST OF THE CONTRACT OF THE PARTY OF THE (6) Height and bulk of buildings

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(7) Landscaping (4.1%) (8) Land use including accessory uses

- (9) Lot area and dimensions
- (10) Lot coverage
- (11) Off-and on-street parking
- (12) Orientation of buildings

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- (15) Landscaping
 - (16) Street furniture
- 25t. (17) Light fixtures
- (19) Fences
 - (20) Steps
 - (21) Yards and setbacks

4. Demolition

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(a) Any person proposing to demolish any structure within a Preservation Zone shall apply for a Certificate of Appropriateness. However, no certificate of appropriateness shall be required with respect to any structure within a Preservation Zone which has not been designated as having significance in the current architectural/historical survey and whose demolition is being undertaken with the prior written approval of the Association.

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- (b) Upon receipt of an application for a Certificate of Appropriateness for demolition, the Planning Commission shall as soon as possible make a determination, supported by written findings, whether one or more of the following criteria are met:
 - The structure is of such interest or quality that it would reasonably meet national, state or local criteria for designation as an historic or architectural landmark.
 - The structure is of such unusual or uncommon design texture or materials that it could not be reproduced or be reproduced only with great difficulty and expense.
 - (3) Retention of the structure would aid substantially in preserving an protecting a structure which meets criteria (1) or (2) hereinabove.

Where the Planning Commission determines that one or more of these criteria are met, no Certificate of Appropriateness shall be issued and the application shall be denied.

- to believe (c) alpon a determination by the Planning Commission that one or more of the entry restriction of the criteria, in subsection (b) are not met with respect to a structure, to . The Mile of the Planning of the Application the applicant shall file with the Planning Devision and approximent a recent certification of the fair market value of the sub-Wilself thought of the ject land and improvements by the Bureau of Right of Way and Land. For the the value of the Land and improvements as certified by the Bureau of Right of Way and Land.
 - (d) No Certificate of Appropriateness for such demolition shall be 2 approved by the Planning Commission unless it finds that the applicant has, for a time period prescribed in the schedule below, made a good faith effort to sell or otherwise dispose of such structure at or below fair market value to any public or private person or agency which gives a reasonable assurance of its willingness to preserve and restore such structure and the land perand the two printaining thereto. The time periods in the schedule below shall commence with the date of the filing of the certification of fair market value to subsection Boldsman Bourd Ada (a) sabovey of an order to the process of the same of the same

There is some bases of the secondaries with Section 12.20.3-H of this Code, the time schedule for efforts to sell shall be as follows:

- i. (1) One (1) month when the fair market value is less than twenty-five who have to make the thousand dollars (\$25,000).
 - s degree of $p_1 = (2) \cdot q_1^2 \text{Two}_1(2)$ months when the fair market value is twenty-five thousand STLTSS? 'FRUIE, S FR dollars (\$25,000) or more but less than fifty-thousand dollars 50.5 To grave year (\$50,000). The grave years
- (3) Three (3) months when the fair market value is fifty-thousand dollars (\$50,000) or more but less than seventy-five thousand amphas in which many the dollars (\$75,000).
 - (4) Four (4) months when the fair market value is seventy-five thousand dollars (\$75,000) or more but less than one hundred thousand dollars (\$100,000).
 - Five (5) months when the fair market value is more than one hundred thousand dollars (\$100,000).

- 5. Notice and Public Hearing in making its recommendation to approve, conditionally approve, or disapprove any Certificate of Appropriateness, the Association shall hold a public hearing and shall notify all property owners and occupants within 300 feet of the property involved at least five (5) days prior to the date of the hearing. A copy of the final determination of such proceedings shall be mailed to the applicant and other interested parties.
 - 6. Nothwithstanding any provision of this Section, nothing herein shall be construed as superseding or overriding the Cultural Heritage Board's authority as provided in Section 22.136 and 22.137 of the Los Angeles Administrative SaCode.

G. APPEALS

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For any application for a Certificate of Appropriateness as defined in this ection, the action of the Planning Commission shall be deemed to be final unless appealed.

Barrier Commences No Certificate of Appropriateness shall be deemed approved nor issued until the time period for appeal has expired. 'An action of the Planning Commission may be appealed to the City Council by the applicant, member of the Cultural Heritage Board, member of the Association or any interests owner or renter residing within the Preservation Zone. Such appeal shall be filed at the publi counter of the Planning Department within twenty (20) days of the date of mailing the notification of approval, conditional approval or disapproval to the applicant and set forth specifical] where the petitioner believes the Planning Commission findings and decision to be in error. Su appeal shall be filed in triplicate and the Planning Department shall forward a copy thereof to the Association and the Cultural Heritage Board. On appeal the City Council may grant or deny the appeal, conditionally grant the appeal, or rafer the matter to the Planning Commission for further consideration. Wo action shall be taken by the Council on any approval, conditional approval or disapproval unless an appeal therefrom is filed within the specified time. Safet Fortherman (Charles Fortherman)

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H. EXCEPTIONS

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- Mr. Bosh - Wissenson - Proceedings (1997) - 1995 - **te** The provisions of Subsection F hereof shall not apply to the following conditions: ****

- (a) Where the structure, natural feature or site within the Preservation Zone is being restored to its original appearance and such restora-" tion is being undertaken with prior written approval of the Associa-THE SECTION OF THE SECTION OF THE BOOK OF THE
- (b) Where a structure, natural feature or site within a Preservation Zone has been damaged by fire, earthquake or other act of God to the extent that it cannot be repaired or restored with reasonable diligence, and where demolition of such structure, natural feature or site is being undertaken with prior written approval of the Association.
- 1,8000 (c) Where emergency or hazardous conditions exist as determined by the Department of Building and Safety; and said emergency or hazardous conditions must be corrected in the interest of the public health, safety and welfare. The same of the safety and welfare. 47 JB S The second of the second consequence
 - (d) Where ordinary maintenance or repair work is undertaken in respect + any structure, natural feature or site, and such work does not requ the issuance of a building permit.
- (e) Where a proposed Public Works Improvement to be carried out, in whole or in part, within a Preservation Zone is submitted to the Cultural Heritage Board for a determination whether there exist historic, architectural or cultural properties within the Preservation Zone of potential environmental impact" that meet the criteria for an serve is evaluation of eligibility for inclusion in the National Register of Historic Places, pursuant to Title 36 of the Code of Federal Regulations. to compate the

PUBLICLY OWNED PROPERTY PUBLICATION TROUBLET

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21.37 3 200 3 200 The provisions of this Section shall apply to any structure, natural feature or site within a Preservation Zone which is owned or leased by a public entity to the extent permitted by law.

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ENFORCEMENT :

The Department of Building and Safety shall make all inspections of any property shich are necessary for the enforcement of this Section. Any person violating or failing to comply with the provisions of this Section shall be subject to the provisions of Section 11.00(m) of this Code.

Κ. INJUNCTIVE RELIEF

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Where it appears that the owner, occupant or person in charge of a structure, natural feature, site or area within a Preservation Zone threatens, permits, is about to do or is doing any work or activity in violation of this Section, the City Afforney may forthwith apply to an appropriate court for a temporary restraining order, preliminary or permanent Injunction, or such other or further relief as appears appropriate.

L. TERMINATION

Any Certificate of Appropriateness which has been approved under the provisions this Section shall expire twenty-four (24) months from the date of issuance if the work authorized is not commenced within this time period. Further, such Certificate will expire if the work authorized is not completed within five (5) years of the date of issuance.

Μ. FEE CHART

The fee chart contained in Subsection 1 of Section 19.01 of the Los Angeles Municipal Code is hereby amended by adding the following types of applications and fees thereto:

FILING FEE

"vpe of	Flat Fee	For First Block or Portion Thereof	For Each Additional Block or Portion Thereof	Appeal To	Each Appeal
istoric reservation Zone		\$680.00	\$450 .00	City Council	One-balf filing fee

ertificate One-half City filing of

\$200.00 None None Council fee <u>Appropriateness</u>

2131 E.

N. SEVERABILITY

If any provision of the Section or the application thereof to any person or circumstances is held invalid, the remainder of this Section and the application of such provision to other persons or circumstances shall not be affected thereby, and to this end the provisions of this Section are hereby declared severable. Attack the provisions of this Section are hereby declared severable.

'I hereby tertify that the foregoing ordinance was passed by the Council of the City of Los Angeles, at its meeting of May'9, 1979:

REX E. LAYTON, City Clerk

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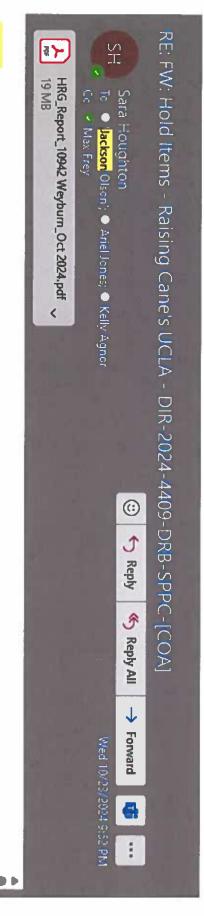
File No. 72-4167

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Jackson,

Please see attached historic report.

Please let me know if you have questions or require additional information at this time.

Thanks, Sara

three6ixty •

Sara Houghton, AIA 11287 W. Washington Boulevard Culver City, California 90230 T (310) 204.3500 x312 F 204.3505 M (310) 310.4032 sara@three6ixty.net

Exhibit F Correspondence