



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date: February 12, 2026
Time: after 8:30 a.m.
Place: Los Angeles City Hall, Council Chambers
200 North Spring Street, Room 340
Los Angeles, CA 90012

This meeting may be available virtually, in a hybrid format. Please check the meeting agenda approximately 72 hours before the meeting for additional information at: <https://planning.lacity.org/about/commissionsboards-hearings> and/or by contacting cpc@lacity.org.

Public Hearing: December 15, 2025

Appeal Status: Not appealable

Expiration Date: February 12, 2026

Multiple Approval: No

Case No.: CPC-2025-215-DB-HCA

CEQA No.: ENV-2025-216-CE
Incidental Cases: N/A

Related Cases: N/A

Council No.: 8 – Harris-Dawson

Plan Area: South Los Angeles

Plan Overlay: South Los Angeles Community Implementation Overlay (CPIO), South Los Angeles Alcohol Sales, North University Park Neighborhood Stabilization Overlay (NSO)

Certified NC: Empowerment Congress North

GPLU Zone: Neighborhood Commercial C2-1VL-O-CPIO

Applicant: Kevin Tsai / KTSAI Investments LLC

Representative: Gary Benjamin / Alchemy Planning + Land Use

PROJECT LOCATION: **1433 – 1439 West Jefferson Boulevard, 90007**
(legally described as Lot 4 (Arb 2) and Lot FR3 (Arb 2), Block C, Poole and Jones Tract)

PROPOSED PROJECT: The proposed project consists of the construction of a new 6-story, approximately 69-foot and 8 and 1/4 inch, mixed-use apartment building, totaling 15 units (including 2 Very Low Income Units) and one (1) Accessory Dwelling Unit (ADU). The Project will be approximately 13,956 square-feet in Floor Area, including 423 square-feet of commercial, with a Floor Area Ratio (FAR) of 3.54:1. No (0) vehicular parking spaces will be provided. No (0) protected trees will be removed from the subject site. One (1) street tree exists along the public right-of-way which will be retained. The existing commercial building will be demolished.

REQUESTED ACTION:

1. Pursuant to California Environmental Quality Act (CEQA) Guidelines, an exemption from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.25, a Density Bonus/Affordable Housing Incentive Program Compliance Review to permit the construction of a Housing Development Project totaling 15 units, reserving 2 units for Very Low Income Household occupancy for a period of 55 years, with the following requested Incentives and Waiver of Development Standards:
 - a. An Off-Menu Incentive to allow an increase in Floor Area Ratio (FAR) to allow a 3.54:1 FAR in lieu of the maximum 1.5:1 FAR, as otherwise allowed in the C2-1VL-O-CPIO Zone;
 - b. An Off-Menu Incentive to allow a building height of 69-feet and 8 and 1/4-inches and 6 stories in lieu of 45-feet and 3-stories, as otherwise allowed in the C2-1VL-O-CPIO Zone;
 - c. An Off-Menu Incentive to allow an 11-foot Ground Floor Height in lieu of a 14-foot Ground Floor Height as measured from the finished floor to the underside of the structural floor above, as otherwise required by the South Los Angeles Community Plan Implementation Overlay ("CPIO") Section II-2 A.1(a);
 - d. An Off-Menu Incentive to allow an elimination of the loading space requirements, as otherwise required by LAMC 12.21 C.6(A);
 - e. A Waiver of Development Standards to allow zero (0) square feet of open space in lieu of 2,000 square-feet, as otherwise required by LAMC Section 12.21 G.2;
 - f. A Waiver of Development Standards to allow a zero-foot building line setback, in lieu of a 5-foot and 3-inch building line setback, as otherwise required by Ordinance No. 76187;
 - g. A Waiver of Development Standards to allow a 3-foot westerly side yard in lieu of the required 8-foot side yard, as otherwise required in the C2-1VL-O-CPIO Zone;
 - h. A Waiver of Development Standards to allow a 4-foot easterly side yard in lieu of the required 8-foot side yard, as otherwise required in the C2-1VL-O-CPIO Zone, and;
 - i. A Waiver of Development Standards to allow an 8-foot and 9-inch rear yard in lieu the required 18-feet, as otherwise required in the C2-1VL-O-CPIO Zone.

RECOMMENDED ACTIONS:

1. **DETERMINE** that based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32 - Infill Development), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. **Approve**, pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.25, a Density Bonus/Affordable Housing Incentive Program Compliance Review to permit the construction of a Housing Development Project totaling 15 units, reserving 2 units for Very Low Income Household occupancy for a period of 55 years, with the following requested Incentives and Waiver of Development Standards:
 - a. An Off-Menu Incentive to allow an increase in Floor Area Ratio (FAR) to allow a 3.54:1 FAR in lieu of the maximum 1.5:1 FAR, as otherwise allowed in the C2-1VL-O-CPIO Zone;
 - b. An Off-Menu Incentive to allow a building height of 69-feet and 8 and 1/4-inches and 6 stories in lieu of 45-feet and 3-stories, as otherwise allowed in the C2-1VL-O-CPIO Zone;

- required by the South Los Angeles Community Plan Implementation Overlay (“CPIO”) Section II-2 A.1(a);
- d. An Off-Menu Incentive to allow an elimination of the loading space requirements, as otherwise required by LAMC 12.21 C.6(A);
 - e. A Waiver of Development Standards to allow zero (0) square feet of open space in lieu of 2,000 square-feet, as otherwise required by LAMC Section 12.21 G.2;
 - f. A Waiver of Development Standards to allow a zero-foot building line setback, in lieu of a 5-foot and 3-inch building line setback, as otherwise required by Ordinance No. 76187;
 - g. A Waiver of Development Standards to allow a 3-foot westerly side yard in lieu of the required 8-foot side yard, as otherwise required in the C2-1VL-O-CPIO Zone;
 - h. A Waiver of Development Standards to allow a 4-foot easterly side yard in lieu of the required 8-foot side yard, as otherwise required in the C2-1VL-O-CPIO Zone, and;
 - i. A Waiver of Development Standards to allow an 8-foot and 9-inch rear yard in lieu the required 18-feet, as otherwise required in the C2-1VL-O-CPIO Zone.

VINCENT P. BERTONI, AICP
Director of Planning

Theodore L. Irving

Theodore L. Irving, AICP, Principal City Planner

Daisy Benicia

Daisy Benicia, City Planner

Maneri Roman

Maneri Roman, Planning Assistant

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 273, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission’s meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

TABLE OF CONTENTS

Project Analysis	A-1
Project Summary	
Background	
Requested Actions	
Issues	
Conclusion	
Conditions of Approval.....	C-1
Findings	F-1
Density Bonus / Affordable Housing Incentive Program Findings	
CEQA Findings	
Public Hearing and Communications.....	P-1
Exhibits:	
Exhibit A – Project Plans	
Exhibit B – Maps – Vicinity, Radius, ZIMAS	
Exhibit C – Site Photos	
Exhibit D – Agency Comments	
Exhibit E – Notice of Exemption	
Exhibit F – Public Correspondence	

PROJECT ANALYSIS

PROJECT SUMMARY

The project involves the demolition of a one-story commercial building and the construction, use, and maintenance of a new a six-story, approximately 69-foot and 8 and ¼ inch, mixed-use apartment building with 15 dwelling units (including 2 Very Low Income units) and one (1) Accessory Dwelling Unit (ADU). The project will have approximately 13,956 square feet in floor area, including 423 square-feet of commercial space, with a Floor Area Ratio (FAR) of 3.54:1. No (0) parking spaces will be provided.

The primary pedestrian entrance is located along Jefferson Boulevard that will provide direct access to the commercial restaurant space, lobby, bike parking room, and elevator/stairwell. The project provides additional stairwell access from the rear, near the alley. The project includes one (1) 384 square-foot one-bedroom unit, 13 two-bedroom units ranging from 597 to 776 square-feet, and one (1) 945 square-foot three-bedroom unit. Additionally, the project includes one (1) 353-square foot one-bedroom ADU, located on the first floor. Residential amenities are provided in the form of a recreation area on the first floor and private balconies. The project will provide 16 residential long-term, 2 residential short-term, 2 commercial long-term, and 2 commercial short-term bicycle parking spaces but zero (0) vehicular parking spaces. Proposed common open space consists of a 262 square-foot recreation room on the first floor, although it is not counted towards the open space requirement because it is less than the 400 square-foot minimum.

No (0) protected trees will be removed from the subject site. One (1) street tree exists along the public right-of-way which will be retained.

BACKGROUND

Subject Property

The project site is located along Jefferson Boulevard in the South Los Angeles Community Plan. The property is a relatively flat and rectangular site comprised of two (2) lots totaling approximately 3,949 square feet of lot area (4,249 square feet including one-half alley), with approximately 40 feet of frontage along Jefferson Boulevard, and a lot depth of approximately 99 feet, with a 15-foot wide alley to the rear. The site is currently improved with a one-story commercial building that will be demolished. The project site is located within 2.3 miles from the Puente Hills Blind Thrust Fault Zone, however it is not located within the Alquist-Priolo Fault Zone, Liquefaction Zone, Flood Zone, Landslide Area, or Very High Fire Severity Zone and BOE Special Grading Area. The property is within a Methane Zone.

Zoning and Land Use Designation

The project site is in the South Los Angeles Community Plan, and is designated for Neighborhood Commercial land uses, with corresponding zones of CR, C1, C1.5, C2, C4, RAS3, and R3. The site is zoned C2-1VL-O-CPIO and is therefore a corresponding zone. The C2-1VL-O-CPIO zone allows a base height of 45 feet, base FAR of 1.5:1, and a density of 400 square feet of lot area per dwelling unit. The site is within the South Los Angeles Community Implementation Overlay (CPIO), South Los Angeles Alcohol Sales Specific Plan, and the North University Park Neighborhood Stabilization Overlay (NSO).

Surrounding Uses

The subject site is in an urbanized area surrounded primarily by commercial and multi-family residential uses. Across the alley to the north are multi-family residential buildings zoned [Q]R3-1-O-CPIO, mostly two to three stories in height. The abutting properties to the east are zoned C2-1VL-O-CPIO and developed with a one-story restaurant and a two-story commercial building. To the west of the site is a C2-1VL-O-CPIO-zoned vacant lot and a one-story auto-repair shop. To the south across Jefferson Boulevard is a C2-1VL-O-CPIO-zoned lot with a one-story barber shop and vacant lots, which have recently been approved for redevelopment. On November 13, 2024, the Director of Planning approved a Density Bonus case for a new seven story, 123-unit apartment building at 1436 West Jefferson Boulevard through Case No. ADM-2024-2102-DB-VHCA-ED1.

Streets and Circulation

Jefferson Boulevard, abutting the property to the south, is designated by the Mobility Plan as a Modified Avenue I, with a designated right-of-way width of 90 feet and roadway width of 70 feet, and is currently dedicated to a varying right-of-way width of approximately 72 to 86 feet in this area, with curb, gutter, and sidewalk.

Alley, to the north, is 15 feet in width.

Public Transit

The subject site is within a half-mile of a Major Transit Stop at Normandie Avenue and Jefferson Boulevard with the Los Angeles County Metropolitan Transportation Authority (Metro) Local lines 206 and 35. The project is in a Transit Priority Area.

Relevant Cases and Building Permits

Subject Site:

Permit No. 24010-10000-03022: On July 22, 2024, a Building Permit for a new Apartment was submitted to Plan Check with the Department of Building and Safety, for a new 11,766 square-foot (2.98 FAR), six-story, 69-foot, eight-inch mixed-use building with 15 dwelling units, including one one-bedroom unit, 13 two-bedroom units, and one three-bedroom unit, with two Very Low Income units (18%), as well as 475 square feet of restaurant space on a 3,949 square-foot lot in the C2-1VL-O-CPIO zone and Neighborhood Commercial land use area of the South Los Angeles Community Plan and the General Corridor Subarea of the South Los Angeles Community Plan Implementation Overlay (CPIO) per 12.22 A25.

Surrounding Sites:

Case No. ADM-2024-2102-DB-VHCA-ED1: On November 13, 2024, the Director of Planning approved a Density Bonus case for a new seven story, 123-unit apartment building reserving one (1) Manager's Unit, three (3) units for Very Low Income, 95 units for Low Income, and 24 units for Moderate Income household occupancy, with 31 automobile parking spaces, for a project located at 1436 West Jefferson Boulevard.

Case No. CPC-2021-7188-DB-HCA-ABD: On June 20, 2023, the City Planning Commission approved a new six story, 54-unit apartment, for a project located at 1436 – 1450 West Jefferson Boulevard. April 24, 2025, an Abandonment of Approval letter was issued.

Case No. ADM-2023-8431-DB-VHCA-ED1: On June 11, 2024, the Director of Planning approved a Density Bonus case for a new seven-story, 69-unit apartment building

reserving one (1) Manager's Unit, one (1) Very Low Income unit, 53 Low Income units, and 14 Moderate Income units, with no automobile parking, for a project located at 1408 West Jefferson Boulevard.

Case No. DIR-2019-7297-TOC-ABD: On March 26, 2020, the Director of Planning approved a new six story, 9-unit apartment, for a project located at 1448 West Jefferson Boulevard. On May 14, 2025, an Abandonment of Approval letter was issued.

HOUSING REPLACEMENT

Pursuant to Government Code Section 65915(c)(3), applicants of Density Bonus projects filed as of January 1, 2015, must demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low-Income Households.

The subject property is currently improved with a one-story commercial building and ZIMAS records show the site has not been improved with any housing units within the last 5 years. Further, the site is not an Ellis Act Property. Los Angeles City Planning has determined that since the subject property is currently developed with only commercial uses and no existing housing dwelling units, a Senate 8 Bill Replacement Unit Determination would not be required. An SB 8 No Net Loss Declaration, signed by Kuo Huei Tsai, dated November 18, 2024, was submitted to the case file for the record verifying that the project will result in no net loss of housing pursuant to Government Code Section 66300.

REQUESTED ACTIONS

Density Bonus / Affordable Housing Incentives Program

In accordance with California State Law (including Senate Bill 1818, and Assembly Bills 2280, 2222, 2556, and 1287), the applicant is proposing to utilize LAMC Section 12.22 A.25 (Affordable Housing Incentives – Density Bonus) to set aside 2 dwelling units for Very Low Income Household occupancy for a period of 55 years. Because the applicant is providing 18 percent of base 11 dwelling units to be affordable for Very Low Income household occupancy, the project is eligible for four (4) Density Bonus Incentives.

Off-Menu Incentives

As a result of setting aside 18 percent (2 dwelling units) of the base 11 dwelling units as a Restricted Affordable Unit for Very Low Income Households, the applicant requests four (4) Off-Menu Density Bonus Incentives, as follows:

- a. An Off-Menu Incentive to allow an increase in Floor Area Ratio (FAR) to allow a 3.54:1 FAR in lieu of the maximum 1.5:1 FAR, as otherwise allowed in the C2-1VL-O-CPIO Zone;
- b. An Off-Menu Incentive to allow a building height of 69-feet and 8 and 1/4-inches and 6 stories in lieu of 45-feet and 3-stories, as otherwise allowed in the C2-1VL-O-CPIO Zone;
- c. An Off-Menu Incentive to allow a Ground Floor Height of 11 feet in lieu of 14 feet Ground Floor Height as measured from the finished floor to the underside of the

- structural floor above, as otherwise required by the South Los Angeles Community Plan Implementation Overlay Section II-2 A.1(a), and;
- d. An Off-Menu Incentive to allow an elimination of the loading space requirements, as otherwise required by LAMC 12.21 C.6(A).

Waivers of Development Standards

As mentioned above, a project that provides 18 percent of its base units for Very Low Income Households qualifies for four (4) Incentives, but may request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]” (Government Code Section 65915(e)(1)), in conjunction with a Density Bonus Project. Given that the project is utilizing all four (4) Density Bonus Incentives, the applicant requests five (5) Waivers of Development Standards, as follows:

- e. A Waiver of Development Standards to allow zero (0) square feet of open space in lieu of 2,000 square-feet, as otherwise required by LAMC Section 12.21 G.2;
- f. A Waiver of Development Standards to allow a zero-foot building line setback, in lieu of a 5-foot and 3-inch building line setback, as otherwise required by Ordinance No. 76187;
- g. A Waiver of Development Standards to allow a 3-foot westerly side yard in lieu of the required 8-foot side yard, as otherwise required in the C2-1VL-O-CPIO Zone;
- h. A Waiver of Development Standards to allow a 4-foot easterly side yard in lieu of the required 8-foot side yard, as otherwise required in the C2-1VL-O-CPIO Zone, and;
- i. A Waiver of Development Standards to allow an 8-foot and 9-inch rear yard in lieu the required 18-feet, as otherwise required in the C2-1VL-O-CPIO Zone.

CEQA

The Department of City Planning determined based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to California Environmental Quality Act (CEQA) Guidelines, an Exemption from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies. The Notice of Exemption and Justification for Environmental Case No. ENV-2025-216-CE is provided in the case file and attached as Exhibit E.

ISSUES

Waiver of Dedication and Improvement

The original project application submitted on January 14, 2025 contained a request for a Waiver of Dedication and Improvement (WDI) to provide a 0 foot dedication in lieu of 9 feet along Jefferson Boulevard. However, the Inter-Departmental Correspondence dated March 26, 2025 from the Bureau of Engineering (BOE) confirmed that no dedication was required along Jefferson Boulevard. The WDI request was removed from the application.

Public Hearing & Testimony

A public hearing was held by a Hearing Officer on behalf of the City Planning Commission on December 15, 2025. The public hearing was attended by the representative Gary Benjamin. No (0) members from the community attended.

Applicant Presentation: The applicant's representative described the site location, project description, requested entitlements, and community outreach, which had been completed.

There were no questions or comments from the community, neighborhood council, or Council Office raised during the hearing.

Public Comments

Staff received a letter of opposition for the project from a nearby neighbor citing concerns with the proposed height, lack of privacy, construction concerns relating to pests, and lack of parking.

Urban Design Studio

The proposed project was reviewed by the Department of City Planning's Urban Design Studio (UDS) on March 12, 2025. The resulting comments and suggestions focus primarily on the pedestrian experience, 360-degree design, and climate adaptive design. The following includes a discussion of UDS comments and suggestions and the applicant's response.

Pedestrian First:

- Appreciate the nicely sized lobby for a project of this scale and having the bike area accessible through a single door, open to the lobby and in the center of activity.

360° Design:

- Recommend engagement with LADWP, if not already in progress, to coordinate transformer placement in alley; better as design approach but are only approved on a case-by-case basis
- The use of the brick screen wall is an interesting detail, may even provide some degree of shading to the south-facing windows (counteracted by all that black plaster, though)

Climate-Adapted:

- Please consider providing open space, such as on the roof; two stairs are already indicated, the requirements are *not* that difficult to meet, and occupiable roof area can exempt project from requirement to *install* solar PV (if no LADBS permit application was submitted pre-2023)
- Providing no windows on west elevation may avoid the Chapter 12 requirement for minimum yard dimensions (as long as compliant with 4% min. percentage of operable openings to floor area); check whether a 4' side yard (normally 7'-wide) on the east meets this requirement
- Preserving the existing Ginkgo street tree along Jefferson is terrific; please prepare a plan to protect it during construction, as from damage from heavy equipment or materials lay-down

Other, Code-Related:

- Note that projects within North University Park – Exposition Park – West Adams Neighborhood Stabilization Overlay (NSO) require a Conditional Use Permit prior to issuance of building permit

In response to UDS comments, the Applicant acknowledged the positive comments regarding the lobby space, material, and the existing street tree. The Applicant confirmed compliance of the 4-foot side yard and engaged with LADWP regarding the location of the transformer. In regards to providing open space on the roof, the Applicant responded that this was considered, but the costs would make the project infeasible.

CONCLUSION

Based on the information submitted to the record, staff recommends that the City Planning Commission approve the construction of a 15-unit residential building with a Density Bonus Compliance Review, and determine based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Infill Development), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped "Exhibit A," with a date of November 21, 2025, and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Project Planning Bureau, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 15 multi-family residential dwelling units, including On-Site Restricted Affordable Units. In accordance with LAMC 12.22 A.33 (Ordinance No. 186,481), the project includes one (1) Accessory Dwelling Unit ("ADU") under separate review.
3. **On-site Restricted Affordable Units.** Two (2) units shall be reserved for Very Low Income Household, as defined by the California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.25.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make two (2) available to Very Low Income Households or equal to 18 percent of the project's total base residential density allowed, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD, and in consideration of the project's Replacement Unit Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD.
6. **SB 8 No Net Loss Declaration.** Pursuant to California Government Code Section 66300, as amended by Senate Bill (SB) 8 (2021), a Housing Development Project outside the Very High Fire Hazard Severity Zone must include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., "no net loss"). Projects subject to the Housing Crisis Act of 2019 (HCA) that result in a net loss of housing are prohibited. The applicant has submitted a No Net Loss Declaration dated November 18, 2024.
7. **Parking Per AB 2097.** The project shall be permitted to provide a minimum of zero parking spaces pursuant to California Government Code Section 65863.2 (AB 2097).
8. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC 12.21 A.16.

9. **Floor Area Ratio (FAR) (Incentive).** The project total Floor Area shall be limited to 13,956 square feet or 3.54:1 FAR per Exhibit "A".
10. **Height (Incentive).** The project shall be limited to a maximum height of 69-feet and 8 and 1/4-inches and 6 stories per Exhibit "A".
11. **Ground Floor Height (Incentive).** The project shall be allowed an 11-foot Ground Floor Height per "Exhibit A".
12. **Loading Space (Incentive).** The loading space requirements of LAMC Section 12.21 C.6 shall not apply.
13. **Open Space (Waiver).** A minimum of zero (0) square feet of open space shall be permitted per Exhibit "A". An additional 262 square feet of open space shall be provided, but shall not be required to meet the requirements of LAMC Section 12.21 G.
14. **Building Line Setback (Waiver).** A minimum zero-foot building line setback shall be permitted per Exhibit "A".
15. **Side Yard (Waiver).** The project shall have minimum 3-foot westerly side yard setback per Exhibit "A".
16. **Side Yard (Waiver).** The project shall have minimum 4-foot easterly side yard setback per Exhibit "A".
17. **Rear Yard (Waiver).** The project shall have minimum 8-foot and 9-inch rear yard setback per Exhibit "A".
18. **Landscape Plan.** The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
19. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A". There shall be a minimum of four (4) 24-inch box, or larger, trees onsite pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City-determined physical constraints.
20. **Street Trees.** Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Section 12.21 G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units).
21. **Community Plan Implementation Overlay.** Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the South Los Angeles Community Plan Implementation Overlay (CPIO) pursuant to Ordinance No. 185927.
 - a. **Articulation.** All exterior building walls shall provide a break in the plane, or a change in material, at least every 20 feet in horizontal length and every 15 feet in vertical length, created by an articulation or architectural detail per Section II-2 D.2.

- b. **Building Materials.** Projects shall utilize two or more high-quality building materials and treatments on building exteriors such as brushed aluminum, brick, finished wood, or “Santa Barbara” smooth finish stucco per Section II-2 D.6.

22. **Street Dedications and Improvements.**

Dedications

- a. Jefferson Boulevard (Modified Avenue I) – None.
- b. Alley (N/o Jefferson Boulevard) – A 2.5-foot wide strip of land along the property frontage to complete a 10-foot wide half alley standard.

Improvements

- c. Jefferson Boulevard – Repair and/or replace any broken, off-grade, or damaged concrete curb, gutter, sidewalk and roadway pavement. Close all unused driveways with full height concrete curb, gutter and sidewalk.
- d. Alley – Construct a new 17.5-foot wide alley pavement and a 2-foot wide longitudinal concrete gutter along the property frontage.

Notes: Broken curb and/or gutter includes segments within existing score lines that are depressed or upraised by more than ¼ inch from the surrounding concrete work or are separated from the main body of the concrete piece by a crack through the entire vertical segment and greater than 1/8 inch at the surface of the section.

Non-ADA compliant sidewalk shall include any sidewalk that has a cross slope that exceeds 2% and/or is depressed or upraised by more than ¼ inch from the surrounding concrete work or has full concrete depth cracks that have separations greater than 1/8 inch at the surface. The sidewalk also includes that portion of the pedestrian path of travel across a driveway.

All new sidewalk curb and gutter shall conform to the Bureau of Engineering Standard Plans S410-2, S440-4, S442-6 and S444-0.

Upgrade all existing curb ramps to comply with ADA requirements.

Install tree wells with root barriers and plant street trees satisfactory to the City Engineer and the Urban Forestry Division of the Bureau of Street Services. The applicant should contact the Urban Forestry Division for further information at <https://engpermits.lacity.org/public> or via <https://appointments.lacity.org/apptsys/Public/Account>.

Notes: Street lighting may be required satisfactory to the Bureau of Street Lighting at <https://lalights.lacity.org> or via <https://appointments.lacity.org/apptsys/Public/Account>.

Department of Transportation may have additional requirements for dedication and improvements.

Refer to the Department of Transportation regarding traffic signals, signs and equipment at (213) 485-1062 or via <https://appointments.lacity.org/apptsys/Public/Account>.

Regarding any conflicts with power pole matters, contact the Department of Water and Power at (213) 367-0562 or via <https://appointments.lacity.org/apptsys/Public/Account>.

Refer to the Fire Department Hydrants and Access Unit regarding fire hydrants at (213) 482-6543 or via <https://appointments.lacity.org/apptsys/Public/Account>.

- e. Provide proper drainage for street being improved and for the site being developed.
 - f. Sewer line exists in the alley. All Sewerage Facilities Charges and Bonded Sewer Fees are to be paid prior to obtaining a building permit.
 - g. Submit a request to the BOE Central District Office sewer counter to determine the capacity of the existing public sewer to accommodate the proposed development at <https://engpermits.lacity.org/public> or via <https://appointments.lacity.org/apptsys/Public/Account>.
 - h. Submit a parking area and driveway plan to the Central District Office of the Bureau of Engineering and the Department of Transportation for review and approval.
23. **Stormwater/irrigation.** The project shall implement on-site stormwater infiltration as feasible based on the site soils conditions, the geotechnical recommendations, and the City of Los Angeles Department of Building and Safety Guidelines for Storm Water Infiltration. If on-site infiltration is deemed infeasible, the project shall analyze the potential for stormwater capture and reuse for irrigation purposes based on the City Low Impact Development (LID) guidelines.
24. **Lighting Design.** Areas where nighttime uses are located shall be maintained to provide sufficient illumination of the immediate environment so as to render objects or persons clearly visible for the safety of the public and emergency response personnel. All pedestrian walkways, storefront entrances, and vehicular access ways shall be illuminated with lighting fixtures. Lighting fixtures shall be harmonious with the building design. Wall mounted lighting fixtures to accent and complement architectural details at night shall be installed on the building to provide illumination to pedestrians and motorists.
25. **Heat Island Effect.** To reduce the heat island effect, a minimum of 50% of the area of pathways, patios, driveways or other paved areas shall use materials with a minimum initial Solar Reflectance value of 0.35 in accordance with ASTM (American Society of Testing Materials) standards.
26. **Solar and Electric Generator.** Generators used during the construction process shall be electric or solar powered. Solar generator and electric generator equipment shall be located as far away from sensitive uses as feasible.
- Or: Where power poles are available, electricity from power poles and/or solar-powered generators rather than temporary diesel or gasoline generators shall be used during construction. (WL)
27. **Solar-ready Buildings.** The Project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
28. **Signage.** There shall be no off-site commercial signage on construction fencing during construction

Administrative Conditions

29. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City

Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.

30. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
31. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
32. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
33. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
34. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
35. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.

36. Indemnification and Reimbursement of Litigation Costs.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.

- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

DENSITY BONUS/AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS

1. **Government Code Section 65915 and LAMC Section 12.22 A.25 state that the Commission shall approve a density bonus and requested incentive(s) unless the Commission finds that:**
 - a. **The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.**

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested incentives do not result in actual and identifiable cost reductions to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for Very Low, Low, and Moderate Income Households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

The applicant proposes to construct a total of fifteen (15) dwelling units of which two (2) dwelling units will be set aside for Very Low Income Household Occupancy for a period of 55 years. Density Bonus projects are eligible for four (4) incentives if they reserve at least 16 percent of base dwelling units for Very Low Income Households. Based on the set-aside of 18 percent of base units for Very Low Income households, the applicant is entitled to four (4) Incentives under both the Government Code and LAMC. Therefore, the four (4) Off-Menu Incentive requests qualify as the proposed development's Incentives.

FAR: The subject property is zoned C2-1VL-O-CPIO which allows for a maximum FAR of 1.5:1. The applicant has requested an incentive to allow an increased FAR up to 3.54:1. The project is for the construction of 13,956 square feet of floor area across six stories and an average of 2,415 square feet of floor area for each floor. The requested Off-Menu Incentive for an increase in maximum floor area ratio is expressed in the LAMC as an allowable exception to zoning requirements that result in building design or construction efficiencies that facilitate the creation of affordable housing. Specifically, an eligible Density Bonus housing development project may seek an incentive for an increase in the allowable floor area ratio which enables the creation of additional usable residential floor area and residential units, including additional affordable units. Thus, the Incentive supports the applicant's decision to reserve 2 units for Very Low Income Households and facilitates the creation of affordable housing units.

FAR by-right	Buildable Lot Area (sf)	Base Floor Area (sf)
1.5:1	3,949	$3,949 \times 1.5 = \mathbf{5,923}$
FAR Requested	Requested Floor Area (sf)	Additional Floor Area (sf)
3.54:1	$3,949 \times 3.54 = 13,956$	$13,956 - 5,923 = \mathbf{8,033}$

Height: The subject site is zoned C2-1VL-O-CPIO which allows a maximum height of 45 feet and three-stories. The applicant has requested an incentive to allow an increase in building height to 69-feet and 8 and 1/4-inches and 6 stories. As proposed, the increased building height will allow the developer to expand the building envelope to allow for the construction of the affordable residential units and floor area, whose rents will provide for the operational costs of the affordable units.

Ground Floor Height: The South Los Angeles CPIO Section II-2 A.1(a) requires a minimum Ground Floor height of 14-feet measured from the finished floor to the underside of the structural floor or roof above be provided. The applicant has requested an Off-Menu Incentive to provide a Ground Floor Height of 11-feet as measured from the finished floor to the underside of the structural floor above in lieu of the required 14-feet. Granting of the incentive would result in a building design and construction efficiencies that provide for affordable housing costs; it enables the developer to be able to utilize the site's full potential so that additional affordable units can be constructed and the overall space dedicated to residential uses is increased. This Incentive supports the applicant's decision to set aside a minimum 2 dwelling units for Very Low Income Households for 55 years.

Loading Space: LAMC Section 12.21 C.6(A) requires a minimum loading space of 400 square feet. The project has requested to eliminate the imposed loading space requirements. The proposed project will provide 423 square feet of commercial ground floor space which does not anticipate needing a loading space as the goods could be handled through other access points in the proposed building. The requested incentive will allow for the construction of more affordable units and retail space within a zone that allows for such uses. Granting of the incentive would result in a building design and construction efficiencies that provide for affordable housing costs; it enables the developer to be able to utilize the site's full potential so that additional affordable units can be constructed and the overall space dedicated to residential uses is increased. This Incentive supports the applicant's decision to set aside a minimum 2 dwelling units for Very Low Income Households for 55 years.

- b. The Incentive will have specific adverse impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Government Code Section 65915(d)(1)(B) and 65589.5(d)).**

There is no evidence in the record indicating that the proposed density bonus incentive(s) will have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project is not located on a substandard street in a Hillside area or a Very High Fire Hazard Severity Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. There is also no substantial evidence that the project's proposed incentives will have a specific adverse impact on public health and safety, or on property listed in the California Register of Historic Resources. Based on the above, there is no basis to deny the requested incentives.

c. The incentives are contrary to state or federal laws.

There is no evidence in the record that the proposed incentives are contrary to state or federal law.

Following is a delineation of the findings related to the request for five (5) Waivers of Development Standards, pursuant to Government Code Section 65915.

2. Government Code Section 65915 and LAMC Section 12.22 A.25 state that the Commission shall approve a density bonus and requested Waiver of Development Standard(s) unless the Commission finds that:

a. The concession or incentive would be contrary to state or federal law.

There is no substantial evidence in the record indicating that the requested waivers are contrary to any State or federal laws.

A project that meets the requirements of Government Code Section 65915 may request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]” (Government Code Section 65915(e)(1)).

Therefore, the request for the following is recommended as Waivers of Development Standards. Without the below Waivers, the existing development standards would physically preclude development of the base units, build out of the incentives, and project amenities:

Open Space: LAMC Section 12.21 G requires 100 square feet of usable open space per dwelling unit with less than 3 habitable rooms, and 125 square feet of usable open space per dwelling unit with 3 habitable rooms. The project proposes 15 units with less than 3 habitable rooms and 1 unit with 3 habitable rooms. Therefore, 2,000 square feet are required per LAMC Section 12.21 G. Strict compliance with the open space requirements would have effect of physically precluding construction of the development proposing 15 dwelling units and 1 ADU, 2 of which will be set aside for Very Low Income Households. The applicant has requested a Waiver of Development Standards for a 100 percent reduction to allow zero square feet of open space. Without the waiver, the project would need to provide an additional 2,000 square feet of common or private open space on-site. Compliance with the minimum usable open space provision would require the removal of floor area that could otherwise be dedicated to the number, configuration, and livability of affordable housing units. Specifically, the project would not only need to comply with the total amount of usable open space requirements, but also the design, dimension, and area requirements set forth in LAMC Section 12.21 G. Common open space would need to be at least 15 feet in width on all sides, have a minimum area of 400 square feet, and be open to sky. The project would lose floor area of the development in order to meet all of these additional requirements for common open space. The requested waiver will allow the developer to expand the building envelope so the additional units can be constructed and the overall space dedicated to residential uses is increased. By waiving this development standard, the developer will not be physically precluded from constructing the proposed development with 15 dwelling units and 1 ADU, including 2 affordable units.

Building Line Setback: Pursuant to Ordinance No. 76187, a 5-foot and 3-inch building line setback is required. The applicant has requested a waiver to allow a zero-foot building line setback. The additional 5 feet and 3 inches of building depth allows the project to accommodate the requested density of 15 dwelling units with 2 units set aside for Very Income Households and the requested floor area. Adherence to the 5-foot and 3-inch building line setback would physically preclude the construction of the floor area granted in the incentives and prevent the construction of the units and floor area that currently encroach into the yard. Thus, the waiver supports the applicant's decision to provide 2 units as affordable housing units reserved for Very Low Income Households.

Side Yard Reductions: Pursuant to LAMC Section 12.14 C.2, the project is required to provide a 8-foot side yard setbacks. The applicant has requested a waiver to allow a 3-foot westerly side yard and a waiver to allow a 4-foot easterly side yard. The additional 5 and 4 feet of building depth allows the project to accommodate the requested density of 15 dwelling units with 2 units set aside for Very Income Households and the requested floor area. Adherence to the 8-foot side yard setbacks would physically preclude the construction of the floor area granted in the incentives and prevent the construction of the units and floor area that currently encroach into the yard. Thus, the waiver supports the applicant's decision to provide 2 units as affordable housing units reserved for Very Low Income Households.

Rear Yard: Pursuant to LAMC Section 12.14 C.3, the project is required to provide an 18-foot rear yard setback. The applicant has requested a waiver for a reduction of the required rear yard setback to allow a minimum setback of 8 feet and 9 inches. The additional 10 feet of building depth allows the project to accommodate the requested density of 15 dwelling units with 2 units set aside for Very Income Households and the requested floor area. Adherence to the 18-foot rear yard setbacks would physically preclude the construction of the floor area granted in the incentives and prevent the construction of the units and floor area that currently encroach into the yard. Thus, the waiver supports the applicant's decision to provide 2 units as affordable housing units reserved for Very Low Income Households.

- b. The waiver will have specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low-, Low- and Moderate-income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.**

There is no evidence that the proposed density bonus incentives will have a specific adverse impact upon public health and safety, or any real property that is listed in the California Register of Historical Resources. A "specific adverse impact" is defined as "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete."

The project does not involve a historic structure, is not located on a substandard street in a hillside area, a Very High Fire Hazard Severity Zone, or Alquist-Priolo Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. There is no substantial evidence in the

record that the proposed waivers will have a specific adverse impact on the physical environment, on public health and safety, and on property listed in the California Register of Historic Resources. Therefore, there is no substantial evidence that the proposed waivers will have a specific adverse impact on public health and safety or on any real property listed in the California Register of Historical Resources.

CEQA Determination – Class 32 Categorical Exemption Applies

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) **The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.**

The subject site is located within the South Los Angeles Community Plan and is designated for Neighborhood Commercial land uses. The site is zoned C2-1VL-O-CPIO and is consistent with the land use designation. The C2 Zone and Height District No. 1VL limits Floor Area Ratio (FAR) to 1.5:1 and building height to 45 feet. The project proposes a new 6-story, approximately 69-foot and 8 and 1/4 inch, mixed-use apartment building, with a Floor Area Ratio (FAR) of 3.54:1, through Off-Menu Incentives. The project is consistent with the General Plan, the applicable South Los Angeles Community Plan designation and policies, and all applicable zoning designations and regulations as permitted by Density Bonus law.

- (b) **The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.090 acres (3,949 square feet of lot area) surrounded by primarily by commercial and multi-family residential uses and some single-family dwellings. The subject site is within a half-mile of a Major Transit Stop at Normandie Avenue and Jefferson Boulevard with the Los Angeles County Metropolitan Transportation Authority (Metro) Local lines 206 and 35. The project is in a Transit Priority Area.

- (c) **The project site has no value as habitat for endangered, rare or threatened species.**

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. There are no native protected trees or protected shrubs on the site per the Tree Disclosure statement dated November 18, 2024 and the Arborist Report prepared by Tree Path dated July 29, 2024 and reviewed by the Urban Forestry Division on December 5, 2024. One (1) street tree exists along the public right-of-way which will be retained.

- (d) **Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

Regulatory Compliance Measures – The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations, and Best Management Practices for stormwater runoff.

Noise – The Project must comply with the adopted City of Los Angeles Noise Ordinances No. 144,331 and 161,574 and LAMC Section 41.40, LAMC Section 112.05, as well as any

subsequent Ordinances, which prohibit the emission or creation of noise beyond certain levels. These Ordinances cover both operational noise levels (i.e., post-construction), and any construction noise impacts. As a result of this mandatory compliance, the proposed Project will not result in any significant noise impacts.

Traffic - The Department of Transportation (LADOT) Referral Form dated January 6, 2026 and the VMT calculator indicated that the project will result in 101 daily trips which is under the threshold of 250 or more vehicles trips to require VMT analysis. Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic. Additionally, the subject property is within a half-mile of a Major Transit Stop at Normandie Avenue and Jefferson Boulevard with Metro Local line 206 and 34. As such, the project will not have any significant impacts to traffic.

Air Quality – Regarding Air Quality, Interim thresholds were developed by the Los Angeles Department of City Planning staff based on California Emissions Estimator Model (CalEEMod) runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

Geotechnical - The applicant has submitted a Geotechnical Investigation Report prepared by Geotechnical & Environmental Engineering Consultants dated September 18, 2024. RCMs also include the submittal of the Geology and Soils Report to the Department of Building and Safety (“DBS”), and compliance with a Soils Report Approval Letter (Log No. 132523, dated October 23, 2024) which details conditions of approval that must be followed. In addition, the RCMs require that design and construction of the building must conform to the California Building Code, and grading on site shall comply with the City’s Landform Grading Manual, as approved by the Department of Building and Safety Grading Division.

(e) The site can be adequately served by all required utilities and public services.

The subject site will be adequately served by all public utilities and services given that the construction of a six-story, approximately 69-foot and 8 and 1/4 inch tall residential development with 15 residential dwelling units and 1 ADU, is in a highly urbanized area with existing utilities and public services.

Therefore, the project meets all of the Criteria for the Class 32 Categorical Exemption.

CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

(a) Cumulative Impacts. *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

A review of similar projects within a 500 foot radius was conducted. On November 13, 2024, the Director of Planning approved a Density Bonus case for a new seven story, 123-unit apartment building reserving one (1) Manager’s Unit, three (3) units for Very Low Income, 95 units for Low Income, and 24 units for Moderate Income household occupancy, with 31 automobile parking spaces, through Case No. ADM-2024-2102-DB-VHCA-ED1. On June 11, 2024, the Director of Planning approved a Density Bonus case

for a new seven-story, 69-unit apartment building reserving one (1) Manager's Unit, one (1) Very Low Income unit, 53 Low Income units, and 14 Moderate Income units, with no automobile parking, through Case No. ADM-2023-8431-DB-VHCA-ED1.

While there could potentially be a succession of known projects of the same type and in the same place as the subject project, all projects are subject to the citywide Regulatory Compliance measures as noted above, which regulate impacts related to air quality, noise, and geology to a less than significant level. There is no evidence to conclude that significant impacts will occur based on past project approvals or that the proposed Project's impacts are cumulatively considerable when evaluating any cumulative impacts associated with construction noise and transportation/traffic in the surrounding area. Therefore, in conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

- (b) **Significant Effect Due to Unusual Circumstances.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

The proposed project is for the construction of a new six-story, 69-foot and 8 and 1/4 inch tall, mixed-use development with 15 residential dwelling units and 1 ADU, totaling 13,956 square feet of floor area in the C2-1VL-O-CPIO Zone. The project proposes a multi-family building in an area zoned and designated for such development. All adjacent and nearby lots are developed with multi-family and commercial uses, and the subject site is of a similar size and slope to nearby properties. The project is not unusual for the vicinity of the subject site and is similar in scope to other existing multi-family dwellings and proposed future projects in the area. Furthermore, there is no substantial evidence in the administrative record that this project will cause a significant impact. Thus, there are no unusual circumstances which may lead to a significant effect on the environment.

- (c) **Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The portion of State Route 27 which travels through the Los Angeles city limits is approximately 29 miles northwest of the subject site. Therefore, the subject site will not create any impacts within a highway designated as a state scenic highway.

- (d) **Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code*

According to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site within a 1,000-foot radius of the subject site, is identified as a hazardous waste site.

- (e) **Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site is not listed in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or

any local register, and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles.

ADDITIONAL MANDATORY FINDINGS

The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located outside of a flood zone.

PUBLIC HEARING AND COMMUNICATIONS

PUBLIC HEARING

The public hearing was held on December 15, 2025 at approximately 12:00 p.m. The Public Hearing was conducted in a virtual format. The hearing was conducted by the Hearing Officer, Maneri Roman, on behalf of the City Planning Commission in taking testimony for Case No. CPC-2025-215-DB-HCA and ENV-2025-216-CE. All interested parties were invited to attend the public hearing at which they could listen, ask questions, or present testimony regarding the project. The purpose of the hearing was to obtain testimony from affected and/or interested parties regarding this application. Interested parties are also invited to submit written comments regarding the request prior to the hearing. The hearing notice was mailed on November 21, 2025, published in the newspaper on November 21, 2025, and was posted on-site on December 5, 2025, in accordance with LAMC noticing requirements.

The public hearing was attended by the applicant's representatives Gary Benjamin, but no members from the community attended. There were no speakers who provided comments at the hearing.

Applicant Presentation. The applicant's representative described the site location, project description, requested entitlements, and community outreach. Specifically, the applicant noted the following:

- The project is mixed-use, including approximately 400 square footage of commercial space, 15 dwelling units and 1 ADU, with 2 VLI set aside.
- The ground floor will include a restaurant, lobby, bicycle parking, and recreation area.
- The unit breakdown is: 1 one-bedroom unit, 1 one-bedroom ADU, 13 two-bedroom units, and 1 three-bedroom unit.
- The existing office building will be demolished.
- There is an ED-1 project that was approved across the site.
- The existing street tree will remain.
- The project will meet the 57,000-housing per year need per the Regional Housing Needs Assessment (RHNA).
- The project is unique in that the applicant is the architect and the employees share equity.

Public Comments:

- No public comment.

Staff Questions:

- Has the applicant done any community outreach?
- Staff ask the applicant to respond to a letter of opposition from a neighbor, who cites concerns over lack of privacy due to the building height, no parking, and pest control problem due to construction.

Applicant's Response to Public Comments and Staff Questions:

- The project was taken to the Neighborhood Council, both the committee and the full board, during February – April 2025, but did not receive a formal letter of support.
- Met with the Board on April 3rd, recommended support if the project complies with the CPIO. Opposed 100% open space reduction and CPIO Ground Floor Height decrease.
- The concern regarding lack of privacy cannot be alleviated.
- The site is near a commercial corridor and is served by transit, there is street parking available.

- Unfamiliar with pest control practices, but there should not be a pest issue since there are no pests in the current building, therefore the demolition should not create this problem.

WRITTEN CORRESPONDENCE

Planning Staff has received one (1) written correspondence on the case, including one (1) letter in opposition from a neighbor. Their comments are included in Exhibit E and summarized as follows:

- There have been a number of apartments recently built in the area and the topography of the neighborhood has changed. Many residents have had to move out. A lot of the newly built units remain vacant as they are not affordable, which is affecting low income families.
- Privacy has been decreased, as the apartments overlook the yards. Feel suffocated by the nearby new projects.
- New construction has brought a wave of pests.
- There are already parking challenges in the area. Adding more residential units without assigned parking will increase congestion and parking issues.
- There is a shortage of street parking. The nearby auto shop and store on Kenwood use parking in front of their businesses. There is also a gallery that hosts events and takes up the parking.
- The neighborhood has not had any street lights in the surrounding area, can't see at night.

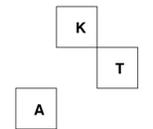


1439 JEFFERSON

1433-1439 W. JEFFERSON BLVD, LOS ANGELES CA 90007.

KEVIN TSAI ARCHITECTURE

1439 W. Jefferson Blvd. Los Angeles, CA 90007
T.310.486.9328 www.kevintsaichitecture.com



PROJECT DESCRIPTION		
PROJECT DESCRIPTION	NEW CONSTRUCTION 15 UNITS MIXED USED BUILDING WITH ACCESSORY DWELLING UNIT AND 423 SF RESTAURANT.	
OCCUPANCY	R-2 (DWELLING UNITS) & A-2 (RESTAURANT)	
FIRE SPRINKLER SYSTEM	FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13	
MISC. NOTES	1. THIS PROJECT IS 100% PRIVATELY FUNDED. THIS PROJECT IS NOT A PUBLIC HOUSING FACILITY OWNED AND/OR OPERATED BY FOR OR ON BEHALF OF A PUBLIC ENTITY. THIS PROJECT DOES NOT RECEIVE TAX CREDIT FROM STATE OR FEDERAL. THIS PROJECT IS NOT A TCAC FACILITY OR A SOCIAL SERVICE CENTER. 2. CAT-32 EXEMPT PROJECT	
PROJECT ADDRESS AND LEGAL DESCRIPTION		
SITE ADDRESS	1439 W JEFFERSON BLVD, LOS ANGELES, CA 90007	
ZONING	C2-1VL-O-CPIO	
ZONING INFORMATION	ZI-1231 SPECIFIC PLAN: SOUTH LOS ANGELES ALCOHOL SALES ZI-2574 STATE ENTERPRISE ZONE: LOS ANGELES ZI-2517 AL FRESCO ORDINANCE WITHIN PLANNING OVERLAY AND/OR THE COASTAL ZONE (ORDINANCE 188073) ZI-2397 NEIGHBORHOOD STABILIZATION ORDINANCE: NORTH UNIVERSITY PARK-EXPOSITION PARK-WEST ADAMS ZI-2498 LOCAL EMERGENCY TEMPORARY REGULATIONS - TIME LIMITS AND PARKING RELIEF - LAMC 16.02.1 ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES ZI-2484 COMMUNITY PLAN IMPLEMENTATION OVERLAY: SOUTH LOS ANGELES	
GENERAL PLAN USE	NEIGHBORHOOD COMMERCIAL	
LOT AREA	4,249 SQ. FT. (LOT AREA W/ ONE-HALF ALLEY)	
ASSESSOR PARCEL #	5040-002-004	
TRACT #	POOLE AND JONES TRACT	
MAP REFERENCE	M B 10-194	
BLOCK	C	
LOT(S)	4	
ARB	FR 3 (ARB 2) & 4 (ARB 2)	
FLOOD ZONE	NO	
METHANE HAZARD SITE	METHANE ZONE	
TCC	TIER 3	
APPLICABLE CODES		
2023 LOS ANGELES MUNICIPAL CODE 2023 LOS ANGELES BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. 2023 LOS ANGELES BUILDING CODE VOLUMES 1 & 2, PART 2, TITLE 24 C.C.R. 2023 LOS ANGELES ELECTRICAL CODE, PART 3, TITLE 24 C.C.R. 2023 LOS ANGELES MECHANICAL CODE, PART 4, TITLE 24 C.C.R. 2023 LOS ANGELES PLUMBING CODE, PART 5, TITLE 24 C.C.R. 2023 LOS ANGELES ENERGY CODE, PART 6, TITLE 24 C.C.R. 2023 LOS ANGELES FIRE CODE, PART 9, TITLE 24 C.C.R. 2023 LOS ANGELES GREEN BUILDING CODE, PART 11, TITLE 24 C.C.R. 2022 NFPA 13 - INSTALLATION OF FIRE SPRINKLERS		
TYPE OF CONSTRUCTION - I-A		
FIRE RESISTANCE RATING OF BUILDING ELEMENTS (CBC - TABLE 601)		
PRIMARY STRUCTURAL FRAMING	3 HR	
BEARING WALLS (EXTERIOR)	3 HR	
BEARING WALLS (INTERIOR)	3 HR	
FLOOR CONSTRUCTION	2 HR	
ROOF CONSTRUCTION	1 1/2 HR	
NONBEARING WALL (EXTERIOR / INTERIOR)	EXTERIOR = 1 HR. IF X < 30', 0 HR. IF X > 30', INTERIOR = 0 HR.	
FIRE RESISTANCE RATING OF EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.5)		
X < 5	1 HR	
5 ≤ X < 10	1 HR	
10 ≤ X < 30	1 HR	
X ≥ 30	0 HR	
TYPE OF CONSTRUCTION - III-A		
FIRE RESISTANCE RATING OF BUILDING ELEMENTS (CBC - TABLE 601)		
PRIMARY STRUCTURAL FRAMING	1 HR	
BEARING WALLS (EXTERIOR)	2 HR	
BEARING WALLS (INTERIOR)	1 HR	
FLOOR CONSTRUCTION	1 HR	
ROOF CONSTRUCTION	1 HR	
NONBEARING WALL (EXTERIOR / INTERIOR)	EXTERIOR = 1 HR. IF X < 30', 0 HR. IF X > 30', INTERIOR = 0 HR.	
FIRE RESISTANCE RATING OF EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.5)		
X < 5	1 HR	
5 ≤ X < 10	1 HR	
10 ≤ X < 30	1 HR	
X ≥ 30	0 HR	
BUILDABLE AREA / FLOOR AREA RATIO		
BUILDABLE AREA	3,949 SF	
ALLOWABLE F.A.R.	1.5:1	
ALLOWABLE AREA	5,923.5 SF	
FLOOR AREA PROPOSED	13,956 SF (REFER TO G200 SHEET SERIES FOR FLOOR AREA CALCULATIONS)	
F.A.R. PROPOSED	3.54:1	
*PROJECT SEEKS WAIVER OF DEVELOPMENT STANDARD FOR F.A.R.		
BUILDING DENSITY (PER LAMC SECTION 12.10.C4)		
LOT AREA	4,249 SQ. FT. (LOT AREA W/ ONE-HALF ALLEY)	
DENSITY RATIO (LAMC)	1 DWELLING UNIT / 400 SF	
ALLOWABLE DENSITY (BASE)	4,249 SF/400 SF = 10.62 (11 UNITS)	
PROPOSED DENSITY	15 UNITS (10 UNITS X 1.35 = 14.85 = 15 UNITS)	
SETBACKS FOR 6 STORIES (PER LAMC SECTION 12.10.C)		
	REQUIRED	PROVIDED
FRONT YARD	0'-0"	0'-0"
REAR YARD	18'-0"	8'-9" (DEDICATION + HALF OF ALLEY)
SIDE YARD (EAST)	8'-0"	4'-0"
SIDE YARD (WEST)	8'-0"	3'-0"
*PROJECT SEEKS OFF-MENU INCENTIVE FOR SETBACK REDUCTIONS		
ALLOWABLE NUMBER OF STORIES (PER LAMC 12.21.1)		
ALLOWABLE NUMBER OF STORIES (BY RIGHT)	3 STORIES	
NUMBER OF STORIES PROPOSED	6 STORIES	

BUILDING CODE ALLOWABLE NO. OF STORIES				
LEVEL	CONST. TYPE	OCCUP. GROUP	ALLOWABLE NO. OF STORIES	PROPOSED NO. OF STORIES
1ST	I-A	R-2, A-2	UNLIMITED	1 STORY
2ND - 6TH	III-A	R2 (2ND-6TH)	5-STORIES EQUIPPED W/ AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 903.3.1.1 (NFPA 13)	5 STORIES

BUILDING HEIGHT / GRADE PLANE CALCULATION			
LOCATION	PROPERTY LINE / 6'-0" OFFSET (PER CBC)	5'-0" BLDG OFFSET (PER ZONING)	
NW CORNER*	+170.20'	+170.20' LP	
SW CORNER*	+170.36'	+170.36'	
NE CORNER*	+171.79'	+171.79'	
SE CORNER*	+171.99'	+171.99'	
GRADE PLANE	+171.09'		
L.P. GRADE		+170.20' LP	

*REFER TO BUILDABLE AREA DIAGRAM ON THIS SHEET & G101 SURVEY & CIVIL GRADING PLAN

ALLOWABLE ZONING HEIGHT	45'-0"
PROPOSED ZONING HEIGHT	69'-10"
ALLOWABLE BUILDING CODE HEIGHT	85'-0" (WITHOUT AREA INCREASE)
PROPOSED BUILDING CODE HEIGHT	65' 4 1/2"

*PROJECT SEEKS WAIVER OF DEVELOPMENT STANDARD FOR ZONING HEIGHT INCREASE

ALLOWABLE AREA ANALYSIS							
LEVEL	CONST. TYPE	OCCUP. GROUP	AREA (SF)	TABULAR AREA (AI)	NON-SPRINKLERED FACTOR (NS)	(f)	Sa
1ST FL.	I-A	A-2, R-2, S-2	2,724 SF	UNLIMITED	UNLIMITED	0	1
TYPE I-A			TOTAL AREA = UNLIMITED SF*	2,724 SF			
* ALLOWABLE AREA IN ACCORDANCE WITH EQUATION 5-2 (CBC 506.2.1) Aa = [At + (NS x If)] X Sa Aa = [UNLIMITED SF + (UNLIMITED SF X 0)] X 1 = UNLIMITED SF							
2ND FL.	III-A	R-2	2,713 SF	24,000 SF	24,000 SF	0	1
3RD FL.	III-A	R-2	2,713 SF	24,000 SF	24,000 SF	0	1
4TH FL.	III-A	R-2	2,713 SF	24,000 SF	24,000 SF	0	1
5TH FL.	III-A	R-2	2,713 SF	24,000 SF	24,000 SF	0	1
6TH FL.	III-A	R-2	2,713 SF	24,000 SF	24,000 SF	0	1
ROOF	III-A	-	0 SF	24,000 SF	24,000 SF	0	1
TYPE III-A			TOTAL AREA < 48,000 SF*	13,565 SF			
* ALLOWABLE AREA IN ACCORDANCE WITH EQUATION 5-2 (CBC 506.2.1) Aa = [At + (NS x If)] X Sa Aa = [24,000 SF + (24,000 SF X 0)] X 1 = 24,000 SF; MAX. BUILDING IS 24,000 X 2 = 48,000 SF							

FLOOR AREA CALCULATIONS			
LOCATION	ZONING (REFER TO G200 SHEET SERIES)	CBC (REFER TO G210 SHEET SERIES)	SCHOOL FEE (REFER TO G260 SHEET SERIES)
1ST FLOOR	1,881 SF	2,724 SF	2,716 SF
2ND FLOOR	2,415 SF	2,713 SF	2,624 SF
3RD FLOOR	2,415 SF	2,713 SF	2,624 SF
4TH FLOOR	2,415 SF	2,713 SF	2,624 SF
5TH FLOOR	2,415 SF	2,713 SF	2,624 SF
6TH FLOOR	2,415 SF	2,713 SF	2,624 SF
ROOF	0 SF	0 SF	392 SF
TOTAL	13,956 SF	16,289 SF	16,228 SF

UNIT SCHEDULE		
UNIT TYPE	NUMBER OF BEDROOMS	COUNT
STUDIO	0	0
1-BR	1	2
2-BR	2	13
3-BR	3	1
TOTAL		16

SET ASIDE UNITS

VERY LOW INCOME	
UNIT TYPE	COUNT
2 UNITS	11 UNITS X 0.15 = 1.65 = 2 UNITS

PARKING REQUIREMENTS				
MINIMUM REQUIRED VEHICULAR PARKING (PER LAMC)				
UNIT TYPE	NO. OF HABITABLE ROOMS	UNIT COUNT	PARKING RATIO	PARKING STALLS
STUDIO	1	0	1 STALL @ <3 H.R.	0
1-BR	2	2	1.5 STALL @ >= 3 H.R.	3
2-BR	3	13	2 STALL @ >= 3 H.R.	26
3-BR	4	1	2 STALL @ >= 3 H.R.	2
TOTAL	-	16	-	31

COMMERCIAL PARKING (PER SPECIFIC PLAN)			
UNIT TYPE	COUNT	STANDARD	STALLS
1 STALL PER 500 SF (STATE ENTERPRISE ZONE PARKING STANDARD)	423 SF / 500 SF = 0.85 SF		1
TOTAL	-	-	1

REQUIRED VEHICULAR PARKING (WITHIN 1/2 MILE OF MAJOR TRANSIT STOP PER AB 2345)

PROVIDED VEHICULAR PARKING	
STALLS	COUNT
0 STALLS	0 STALLS

BICYCLE PARKING SUMMARY (PER LAMC)				
BICYCLE CLASSIFICATION	PARKING RATIO	SPACES REQUIRED	SPACES PROVIDED	
RESIDENTIAL - SHORT TERM	UNITS 1-25: 1 SPACE PER 10 UNITS UNITS 26-100: 1 SPACE PER 15 UNITS	2 SPACES	2 SPACES	
RESIDENTIAL - LONG TERM	UNITS 1-25: 1 SPACE PER UNIT UNITS 26-100: 1 SPACE FOR 1.5 UNITS	16 SPACES	16 SPACES	
COMMERCIAL - SHORT TERM	RESTAURANT SPACE < 1,000 SF 2 PER RESTAURANT	2 STALLS	2 STALLS	
COMMERCIAL - LONG TERM	RESTAURANT SPACE < 1,000 SF 2 PER RESTAURANT	2 STALLS	2 STALLS	

OPEN SPACE AREA CALCULATION				
TOTAL OPEN SPACE REQUIREMENTS PER LAMC 12.21G				
<3 HABITABLE ROOMS	100 SF / UNIT (STUDIO & 1-BR UNITS)			
=3 HABITABLE ROOMS	125 SF / UNIT (2-BR UNITS)			
>3 HABITABLE ROOMS	175 SF / UNIT (3-BR+ UNITS)			
OPEN SPACE REQUIRED				
UNIT TYPE	NUMBER OF BEDROOMS	NUMBER OF HABITABLE ROOMS	COUNT	REQ. AREA
STUDIO	0	0	0	0 SF
1-BR	1	2	2	200 SF
2-BR	2	3	13	1,625 SF
3-BR	3	4	1	175 SF
TOTAL				2,000 SF
COMMON OPEN SPACE PROVIDED (RECREATION AREA) = 262 SF				
TOTAL OPEN SPACE PROVIDED (NOT COUNTED TOWARDS REQUIRED OPEN SPACE) = 262 SF				
*PROJECT SEEKS OFF-MENU INCENTIVE FOR OPEN SPACE REDUCTION				

TREE PLANTING CALCULATION	
(1) TREE FOR EVERY (4) DWELLING UNITS	16 DWELLING UNITS / 4 = 4 TREES REQUIRED

RECYCLING AREA - PER LAMC SEC. 12.21 A 19 (C)	
REQUIRED AREA	30 SF (IF < 20 DWELLING UNITS)
PROPOSED AREA	30 SF

ENTITLEMENT REQUESTS

A. PURSUANT TO LAMC 12.22-A.25 AND 13B 2.3, THE APPLICANT PROPOSES A 35% DENSITY INCREASE FROM ELEVEN DWELLING UNITS TO 15 DWELLING UNITS AND THE FOLLOWING OFF-MENU DENSITY BONUS INCENTIVES AND WAIVERS OF DEVELOPMENT STANDARDS:

B. PURSUANT TO AB 2097, THE APPLICANT REQUESTS RELIEF FROM ALL PARKING REQUIREMENTS

INCENTIVES REQUESTS

OFF-MENU INCENTIVES

- OFF-MENU INCENTIVE FOR A 21% REDUCTION OF THE REQUIRED GROUND FLOOR HEIGHT, TO PERMIT 11', AS MEASURED FROM THE FINISHED FLOOR TO THE UNDERSIDE OF THE STRUCTURAL FLOOR ABOVE, IN LIEU OF 14', AS OTHERWISE REQUIRED BY CPIO SECTION 11.2.A.1.A.
- OFF-MENU INCENTIVE FOR A 100% REDUCTION OF REQUIRED OPEN SPACE, TO PERMIT 0 SF., IN LIEU OF 1,900 SF., AS OTHERWISE REQUIRED BY LAMC 12.21.G.2.
- OFF-MENU INCENTIVE FOR A 100% REDUCTION OF THE BUILDING LINE SETBACK, TO PERMIT 0', IN LIEU OF 5'-3", AS OTHERWISE REQUIRED BY ORDINANCE NO. 76,187.
- OFF-MENU INCENTIVE FOR A 50% REDUCTION OF THE EAST SIDE YARD, TO PERMIT 4', IN LIEU OF 8', AS OTHERWISE REQUIRED BY LAMC 12.14-C.2.

WAIVERS OF DEVELOPMENT STANDARDS

- WAIVER OF DEVELOPMENT STANDARD FOR A 136% F.A.R. INCREASE, TO PERMIT 3.54, IN LIEU OF 1.5, AS OTHERWISE REQUIRED BY LAMC 12.21-A.1.
- WAIVER OF DEVELOPMENT STANDARD FOR A 24'-10" AND THREE-STORY HEIGHT INCREASE, TO PERMIT 69'-10" AND SIX STORIES, IN LIEU OF 45' AND THREE STORIES, AS OTHERWISE REQUIRED BY LAMC 12.21-A.1.
- WAIVER OF DEVELOPMENT STANDARD FOR A 62.5% REDUCTION OF THE WEST SIDE YARD, TO PERMIT 3', IN LIEU OF 8', AS OTHERWISE REQUIRED BY LAMC 12.14-C.2.
- WAIVER OF DEVELOPMENT STANDARD FOR A 100% REDUCTION OF THE LOADING ZONING REQUIREMENT, TO PERMIT 0 SF., IN LIEU OF 400 SF., AS OTHERWISE REQUIRED BY LAMC 12.21-C.6(A).
- WAIVER OF DEVELOPMENT STANDARD FOR A 51.4% REAR YARD REDUCTION, TO PERMIT 8'-9", IN LIEU OF 18', AS OTHERWISE REQUIRED BY LAMC 12.14-C.3.

PLUMBING FIXTURE (PER CPC TABLE 422.1)				
LEVEL	OCCUPANCY	AREA	OCC. LOAD FACTOR	OCC. NUMBER
1ST FLOOR	A-2 (RESTAURANT)	418 SF	30 SF	16 (8M 8F)

WATER CLOSETS			
	MALE	1-50 OCCUPANTS = 1 FIXTURE	1 FIXTURE
	FEMALE	1-25 OCCUPANTS = 1 FIXTURE	1 FIXTURE

URINALS			
	MALE	1-200 OCCUPANTS = 0 FIXTURE	0 FIXTURE
	FEMALE	1-150 OCCUPANTS = 1 FIXTURE	1 FIXTURE

LAVATORIES			
	MALE	1-150 OCCUPANTS = 1 FIXTURE	1 FIXTURE
	FEMALE	1-150 OCCUPANTS = 1 FIXTURE	1 FIXTURE

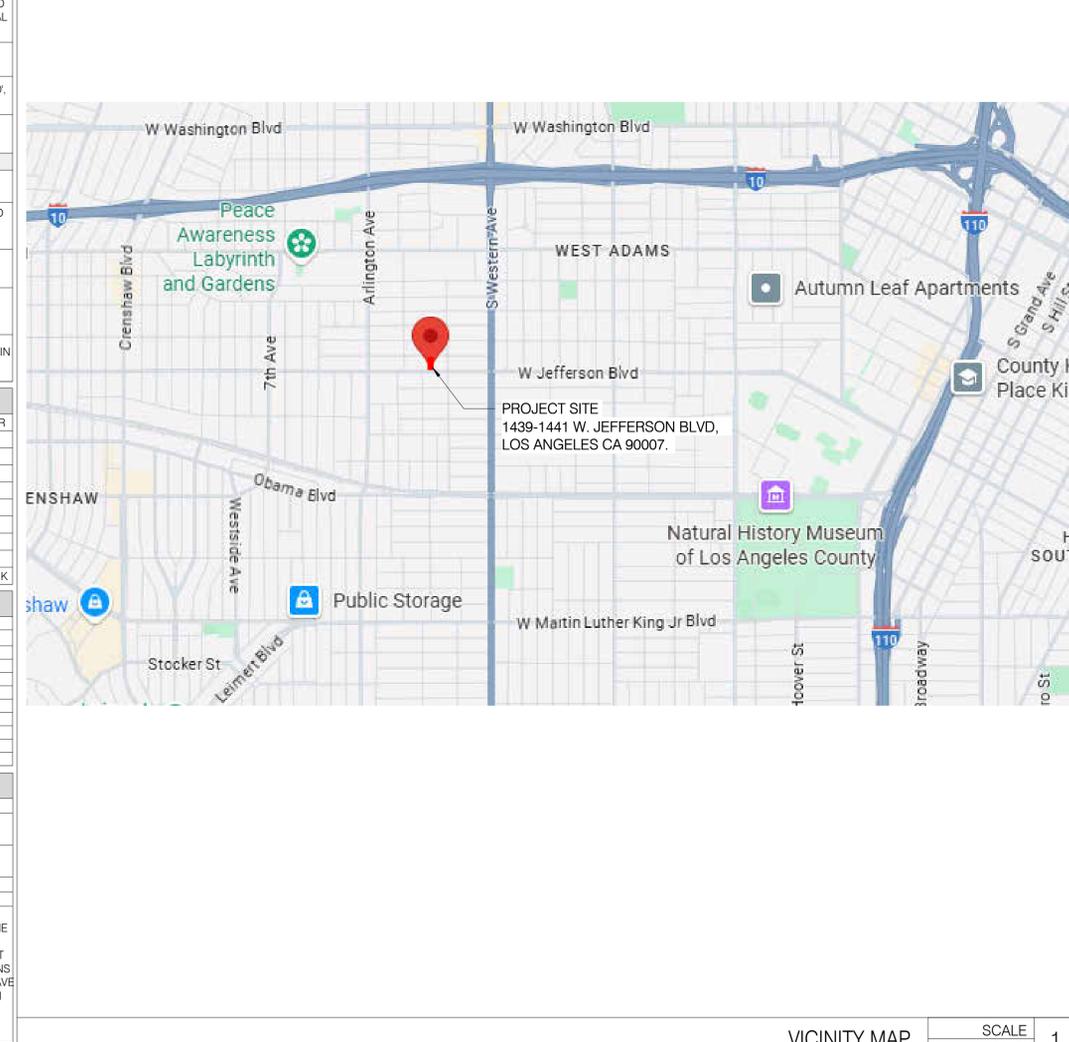
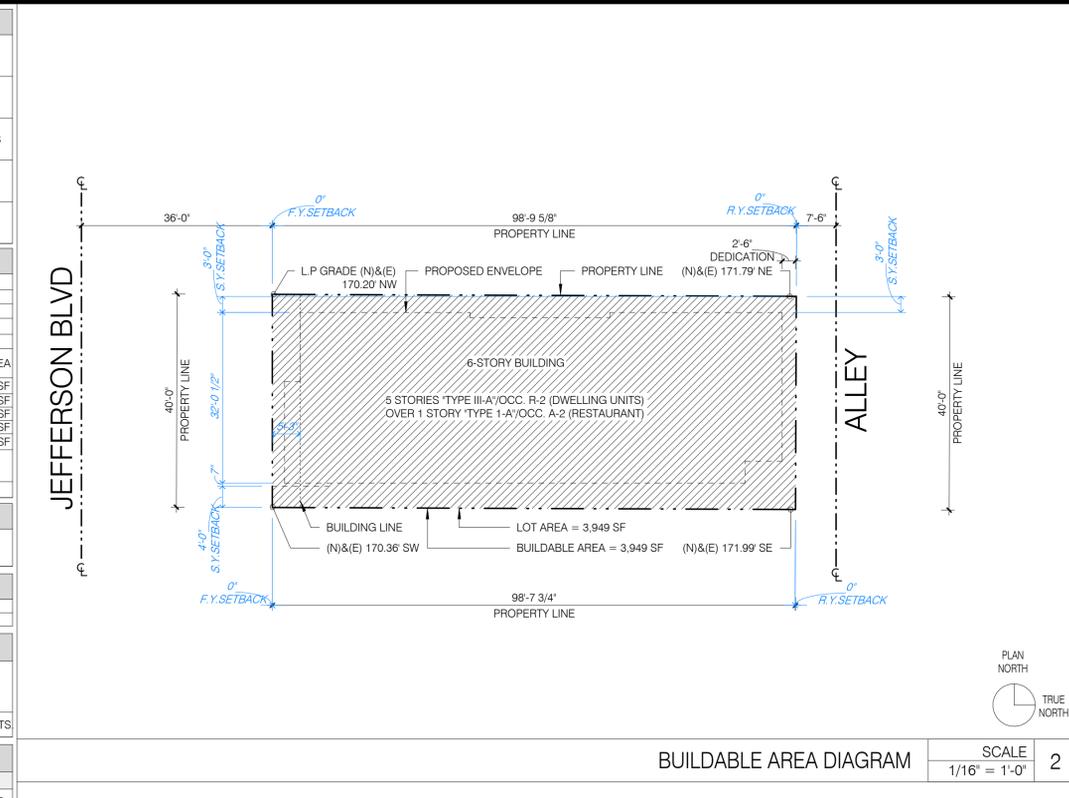
DRINKING FOUNTAINS / FACILITIES			
	1-250 OCCUPANTS = 1 FIXTURE	1 FIXTURE	
OTHER	1 SERVICE SINK OR LAUNDRY TRAY	1 SERVICE SINK	

SEPARATE APPLICATION	
1	MECHANICAL, ELECTRICAL AND PLUMBING WORK
2	DEMOLITION
3	RETAINING WALLS (N/A)
4	GRADING WORK
5	BLOCK FENCE WALLS (N/A)
6	FIRE SPRINKLER SYSTEMS
7	SIGNS
8	SWIMMING POOLS (N/A)
9	SEPARATE STRUCTURES (N/A)
10	SHORING (N/A)

A SEPARATE APPLICATION IS REQUIRED FOR THE ABOVE WORK.

DEFERRED SUBMITTALS	
1	ELEVATORS
2	AUTOMATIC FIRE PROTECTION (PUMPS, WATER TANK, AND FIRE SUPPRESSION)
3	MANUAL FIRE ALARM SYSTEM PER 907.2.9.1-907.2.23 (SMOKE DETECTORS)
4	EMERGENCY RESPONDER RADIO COVERAGE
5	STOREFRONT

ALL DEFERRED SUBMITTAL ITEMS SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE ARCHITECT AND/OR ENGINEER OF RECORD SHALL LIST THE DEFERRED ITEMS ON THE PLANS. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD WHO SHALL REVIEW THEM AND PROVIDE A NOTATION ON THE PLANS AND ANY SUPPORTING CALCULATIONS INDICATING THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. PLANS SHALL THEN BE FORWARDED TO THE LOS ANGELES BUILDING AND SAFETY DIVISION FOR REVIEW AND ADDITIONAL PLAN CHECK AND PERMIT FEES SHALL APPLY.



Kevin Tsai Architecture

1439 W. Jefferson Blvd
Los Angeles, CA 90007
T.310.486.9328 www.kevin-tsai.com



architect's stamp

consultant

ahj stamp

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the ARCHITECT and shall neither be used nor any other work not be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

#	DATE	ISSUE RECORD
1	18/09/2025	PLAN CHECK #1

PLAN CHECK

PROJECT TITLE:
1439 JEFFERSON

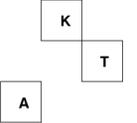
1433-1439 W. JEFFERSON BLVD,
LOS ANGELES CA 90007.

PC/PM:
DRAWN BY: STAFF
JOB NO.: 24-01

DRAWING TITLE:
PROJECT INFORMATION

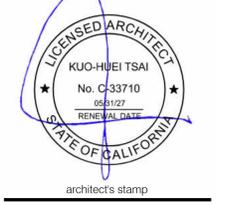
SHEET NO.:
G003

9/21/2025 2:51:54 PM



Kevin Tsai Architecture

1439 W. Jefferson Blvd
Los Angeles, CA 90007
T.310.486.9328 www.kevin-tsai.com



consultant

ahj stamp

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the ARCHITECT and shall neither be used nor any other work not be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

Table with 3 columns: #, DATE, ISSUE RECORD

DRAFT NOT FOR CONSTRUCTION

PROJECT TITLE:
1439 JEFFERSON

1433-1439 W. JEFFERSON BLVD.
LOS ANGELES CA 90007.

PC/PM:
DRAWN BY: STAFF
JOB NO.: 24-01

DRAWING TITLE:
TOPOGRAPHIC SURVEY

SHEET NO.:
G101

NOTES

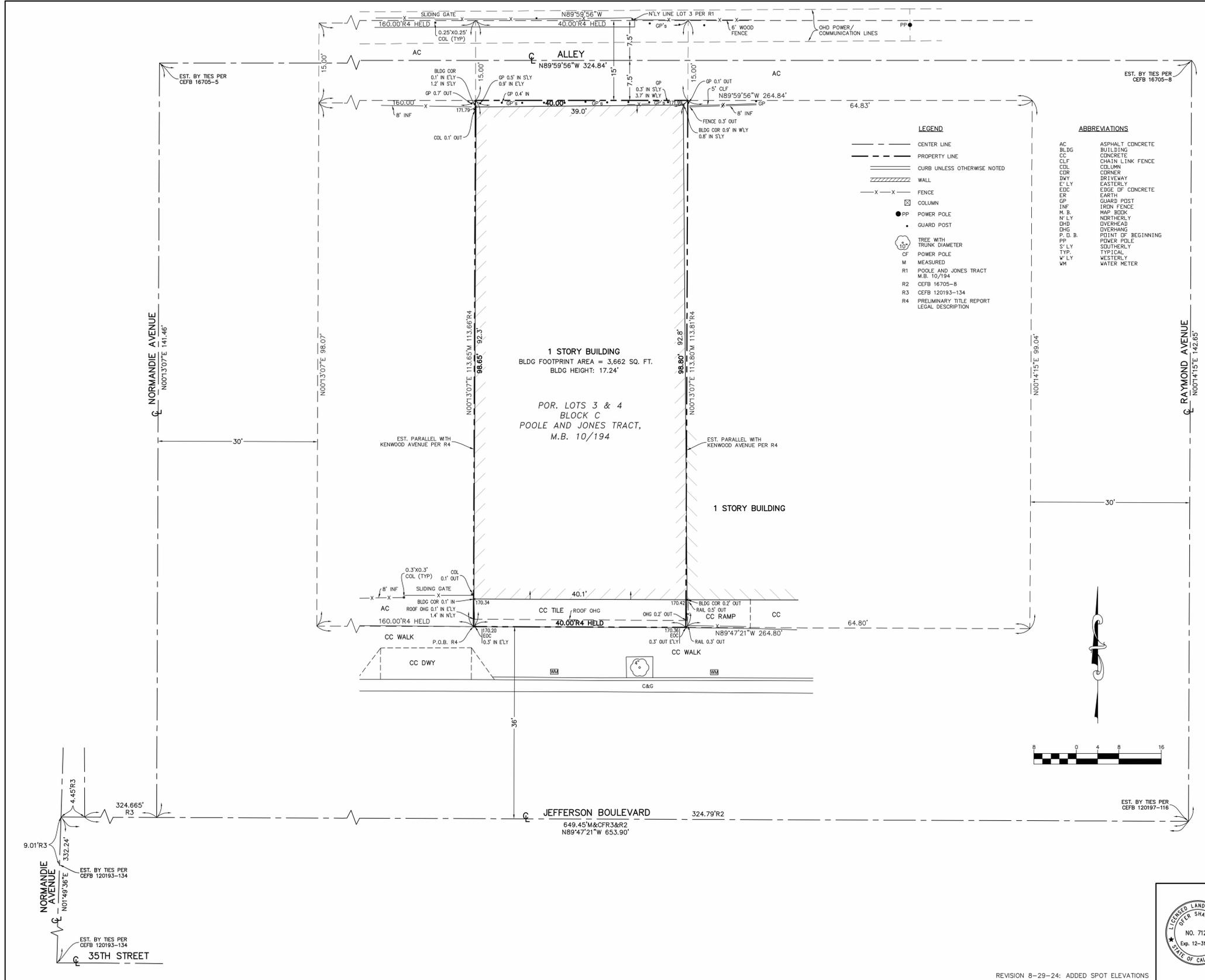
- 1. REFERENCE DOCUMENT FOR LEGAL DESCRIPTION AND EASEMENTS: STEWART TITLE PRELIMINARY REPORT ORDER NO. CAD310-2109028-38, DATED NOVEMBER 5, 2021.
2. SITE ADDRESS: 1439-1441 W. JEFFERSON BLVD, LOS ANGELES CA 90007.
3. ASSESSOR'S PARCEL NUMBER: APN 5040-002-004.
4. LAND AREA: 3,949 SQ. FT. 0.091 ACRE
5. EXISTING PARKING SPACES: NONE OBSERVED
6. CURRENT ZONING: C2-1VL-O-CPIO (COMMERCIAL)
7. BUILDING RESTRICTIONS PER ZONE:
SETBACKS:
FRONT: NONE
SIDE (COMMERCIAL USE): NONE
SIDE (RESIDENTIAL USE): 10% LOT WIDTH <50 FT; 3 FT MINIMUM; 5 FT; + 1 FT FOR EACH STORY OVER 2nd; NOT TO EXCEED 16 FT.
REAR (COMMERCIAL): NONE;
REAR (RESIDENTIAL USE): 15 FT; + 1 FT FOR EACH STORY OVER 3RD; 20 FT MAX.
HEIGHT LIMIT: 45 FEET
FLOOR AREA RATIO: 1.5:1 FAR
8. FLOOD ZONE NOTE:
THE PROPERTY SHOWN ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THE PROPERTY LIES WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) PER FLOOD INSURANCE RATE MAP OF LOS ANGELES COUNTY AND INCORPORATED AREAS AS COMMUNITY PANEL NO. 06037C16186 DATED DECEMBER 21, 2018.
9. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
LEGAL DESCRIPTION
THE LAND HEREINAFTER REFERRED TO IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THAT PORTIONS OF LOTS 3 AND 4 IN BLOCK "C" OF THE POOLE AND JONES TRACT, IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10 PAGE 194 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE NORTHERLY LINE OF JEFFERSON STREET DISTANT 160 FEET EASTERLY FROM THE EASTERLY LINE OF KENWOOD AVENUE RUNNING EASTERLY ALONG JEFFERSON STREET 40 FEET; THENCE NORTHERLY PARALLEL WITH KENWOOD AVENUE 113.81 FEET, MORE OR LESS, TO THE NORTH LINE OF LOT 3; THENCE WESTERLY ALONG THE NORTHERLY LINE OF LOT 40 FEET TO A POINT DISTANT 160 FEET EASTERLY FROM THE EASTERLY LINE OF KENWOOD AVENUE; THENCE SOUTHERLY PARALLEL WITH KENWOOD AVENUE 113.66 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.
EXCEPT THE NORTH 15 FEET THEREOF, RESERVED FOR ALLEY PURPOSES, IN DEED FROM MAY IONE SOUTH TO WALTER G. HOPKINS DATED OCTOBER 22, 1907, RECORDED IN BOOK 3229, PAGE 177 OF DEEDS.
TOGETHER WITH ALL RIGHT, TITLE AND INTEREST OF THE GRANTORS HEREIN AND TO THAT PORTION OF JEFFERSON STREET IMMEDIATELY ADJOINING AND ADJACENT TO SAID PREMISES.
TITLE REPORT SCHEDULE B ITEMS
1. TAXES, NOT PLOTTABLE.
2. TAXES AND ASSESSMENTS, NOT PLOTTABLE.
3. LIEN OF SUPPLEMENTAL TAXES, NOT PLOTTABLE.
4. LIEN OF SUPPLEMENTAL TAXES, NOT PLOTTABLE.
5. WATER RIGHTS, CLAIMS OR TITLE TO WATER, NOT PLOTTABLE.
6. COVENANTS, CONDITIONS AND RESTRICTIONS AND RIGHTS OF UTILITY COMPANIES TO CONSTRUCT, MAINTAIN AND REPAIR TELEPHONE, TELEGRAPH AND ELECTRIC LINES ON THE NORTH LINE OF LOT 3, IN A DOCUMENT RECORDED IN BOOK 3147, PAGE 149 OF DEEDS, NORTH LINE OF SAID LOT IS AN EXISTING ALLEY, SPECIFIC LOCATION NOT DESCRIBED, NOT PLOTTED.
7. INTENTIONALLY DELETED.
8. MATTERS CONTAINED IN A LEASE ENTITLED AN OIL AND GAS LEASE OF ALL THAT PORTION OF THE LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE, DATED SEPTEMBER 9, 1958, RECORDED FEBRUARY 4, 1959 AS INSTRUMENT NO. 2547 OF OFFICIAL RECORDS, NOT PLOTTABLE.
9. MATTERS CONTAINED IN A DOCUMENT ENTITLED NOTICE OF BUILDINGS WITHIN THE SCOPE OF DIVISION 88 EARTHQUAKE HAZARD REDUCTION IN EXISTING BUILDINGS RECORDED SEPTEMBER 29, 1986 AS INSTRUMENT NO. 96-1297658 OF OFFICIAL RECORDS, NOT PLOTTABLE.
10. DEED OF TRUST, NOT PLOTTABLE.
11. ASSIGNMENT OF RENTS AND LEASES, NOT PLOTTABLE.
12. RIGHTS OF TENANTS IN POSSESSION, NOT PLOTTABLE.
13. TITLE COMPANY NOTE, NOT PLOTTABLE.
14. ANY FACTS, RIGHTS, INTEREST OR CLAIMS WHICH WOULD BE DISCLOSED BY AN INSPECTION OF THE LAND, NOT PLOTTABLE.
15. TITLE COMPANY NOTE, NOT PLOTTABLE.
16. TITLE COMPANY NOTE, NOT PLOTTABLE.
BASIS OF BEARINGS
THE CENTERLINE OF RAYMOND AVE., BEING S 00°14'15" W PER POOLE AND JONES TRACT, M.B. 10/194.
BENCH MARK
CITY OF LOS ANGELES BENCH MARK NO. 12-09148
ELEVATION: 168.881
DATUM: NAVD 1988
YEAR OF ADJUSTMENT: 2000
DESCRIPTION: PBM DISK *STMPD 12-09148; 1980* 3.1FT S/O S CURB JEFFERSON BLVD; 11.5FT E/O BCR NORMANDIE AVE SE CORNER CB.
SURVEY CERTIFICATION
TO: STEWART TITLE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(b)(2), 7(c), 8, 9, 11, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON DECEMBER 22, 2021.
Offer Slapira 9-9-24
DATE
OFFER SLAPIRA L.S. 7123
EXPIRES: 12/31/2022
Surveying & Drafting Services, Inc.
901 Seward Street, Los Angeles, CA 90038
Tel: (323) 366-2882 Email: mailbox@surveyinganddrafting.com www.surveyinganddrafting.com
ALTA/NSPS LAND TITLE SURVEY
1439-1441 W. JEFFERSON BLVD
LOS ANGELES, CALIFORNIA 90007
DATE: 9-9-24 DRAWN BY: J.T., V.L.
DATE OF SURVEYS: 12-22-21, 8-29-24 CHECKED BY: O.S.
JOB NAME: TSAI/JEFFERSON SHEET: 1 OF 1

LEGEND

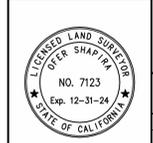
- CENTER LINE
PROPERTY LINE
CURB UNLESS OTHERWISE NOTED
WALL
FENCE
COLUMN
POWER POLE
GUARD POST
TREE WITH TRUNK DIAMETER
POWER POLE
MEASURED
R1 POOLE AND JONES TRACT M.B. 10/194
R2 CEFB 16705-8
R3 CEFB 120193-134
R4 PRELIMINARY TITLE REPORT LEGAL DESCRIPTION

ABBREVIATIONS

- AC ASPHALT CONCRETE
BLDG BUILDING
CC CONCRETE
CLF CHAIN LINK FENCE
CDL COLUMN
CDR CORNER
DWC DRIVEWAY
E'LY EASTERLY
EDC EDGE OF CONCRETE
ER EARTH
GP GUARD POST
INF IRON FENCE
M.B. MAP BOOK
N'LY NORTHERLY
DHD OVERHEAD
DHG OVERHANG
P.D.B. POINT OF BEGINNING
PP POWER POLE
S'LY SOUTHERLY
TYP TYPICAL
W'LY WESTERLY
WM WATER METER



EST. BY TIES PER CEFB 120197-116



Surveying & Drafting Services, Inc.
901 Seward Street, Los Angeles, CA 90038
Tel: (323) 366-2882 Email: mailbox@surveyinganddrafting.com www.surveyinganddrafting.com
ALTA/NSPS LAND TITLE SURVEY
1439-1441 W. JEFFERSON BLVD
LOS ANGELES, CALIFORNIA 90007
DATE: 9-9-24 DRAWN BY: J.T., V.L.
DATE OF SURVEYS: 12-22-21, 8-29-24 CHECKED BY: O.S.
JOB NAME: TSAI/JEFFERSON SHEET: 1 OF 1

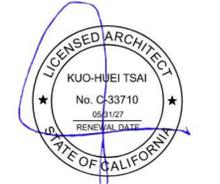
REVISION 8-29-24: ADDED SPOT ELEVATIONS

9/2/2025 1:02:32 PM

K
T
A

Kevin Tsai Architecture

1439 W. Jefferson Blvd
Los Angeles, CA 90007
T.310.486.9328 www.kevin-tsai.com



architect's stamp

consultant

ahj stamp

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the ARCHITECT and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

#	DATE	ISSUE RECORD
1	09/23/2025	PLAN CHECK #1

DRAFT
NOT FOR CONSTRUCTION

PROJECT TITLE:
1439 JEFFERSON

1433-1439 W. JEFFERSON BLVD,
LOS ANGELES CA 90007.

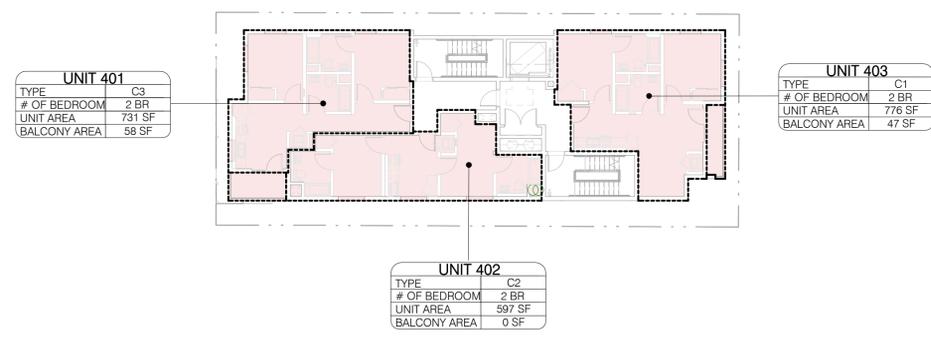
PO/PM:
DRAWN BY: STAFF
JOB NO.: 24-01

DRAWING TITLE:
**DWELLING UNIT
FLOOR AREA
CALCULATION**

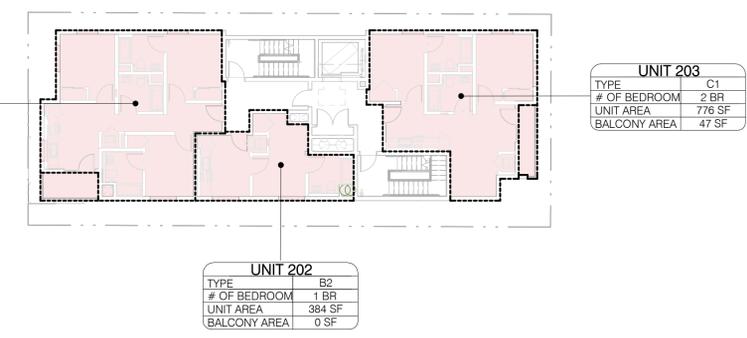
SHEET NO.:

G250

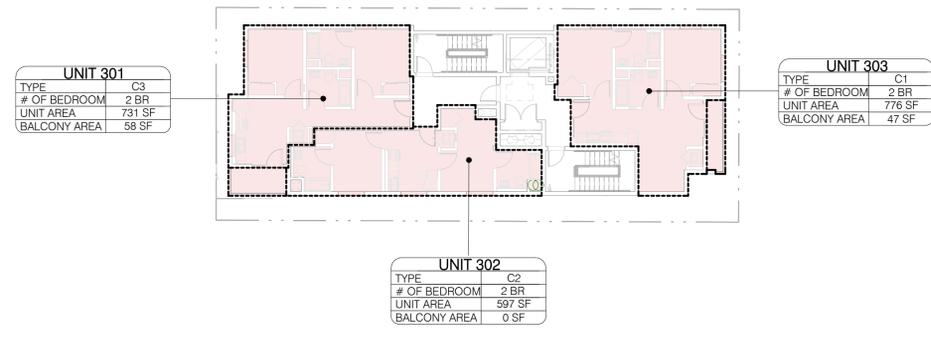
DWELLING UNIT MATRIX				
UNIT	TYPE	# OF BEDROOM	UNIT AREA	BALCONY AREA
1ST FLOOR				
ADU UNIT	B1	1 BR	353 SF	0 SF
			353 SF	0 SF
2ND FLOOR				
UNIT 201	D1	3 BR	945 SF	58 SF
UNIT 202	B2	1 BR	384 SF	0 SF
UNIT 203	C1	2 BR	776 SF	47 SF
			2105 SF	105 SF
3RD FLOOR				
UNIT 301	C3	2 BR	731 SF	58 SF
UNIT 302	C2	2 BR	597 SF	0 SF
UNIT 303	C1	2 BR	776 SF	47 SF
			2104 SF	105 SF
4TH FLOOR				
UNIT 401	C3	2 BR	731 SF	58 SF
UNIT 402	C2	2 BR	597 SF	0 SF
UNIT 403	C1	2 BR	776 SF	47 SF
			2104 SF	105 SF
5TH FLOOR				
UNIT 501	C3	2 BR	731 SF	58 SF
UNIT 502	C2	2 BR	597 SF	0 SF
UNIT 503	C1	2 BR	776 SF	47 SF
			2104 SF	105 SF
6TH FLOOR				
UNIT 601	C3	2 BR	731 SF	58 SF
UNIT 602	C2	2 BR	597 SF	0 SF
UNIT 603	C1	2 BR	776 SF	47 SF
			2104 SF	105 SF
TOTAL:	16		10874 SF	525 SF



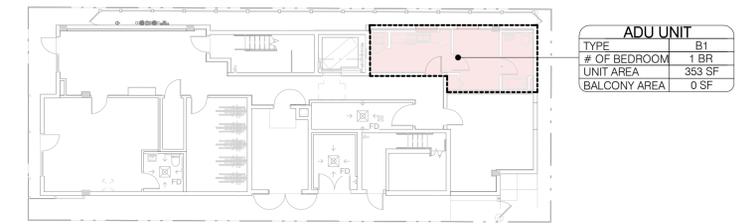
4TH FLOOR
SCALE 1/16" = 1'-0" 4



2ND FLOOR
SCALE 1/16" = 1'-0" 2



3RD FLOOR
SCALE 1/16" = 1'-0" 3



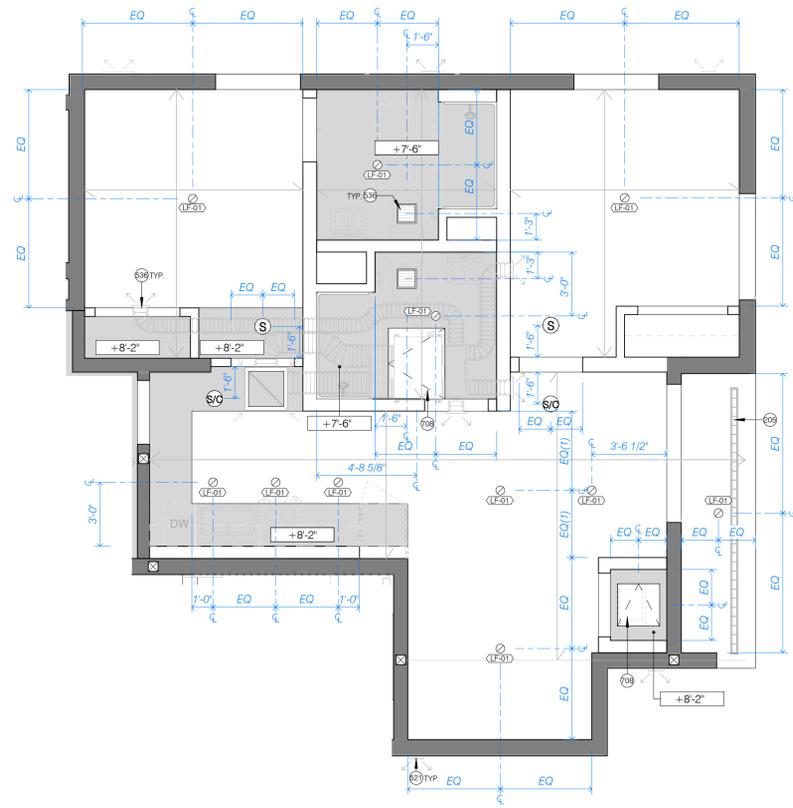
1ST FLOOR
SCALE 1/16" = 1'-0" 1

12/16/2025 1:56:36 PM

12/12/2025 5:47:52 PM

NOT USED

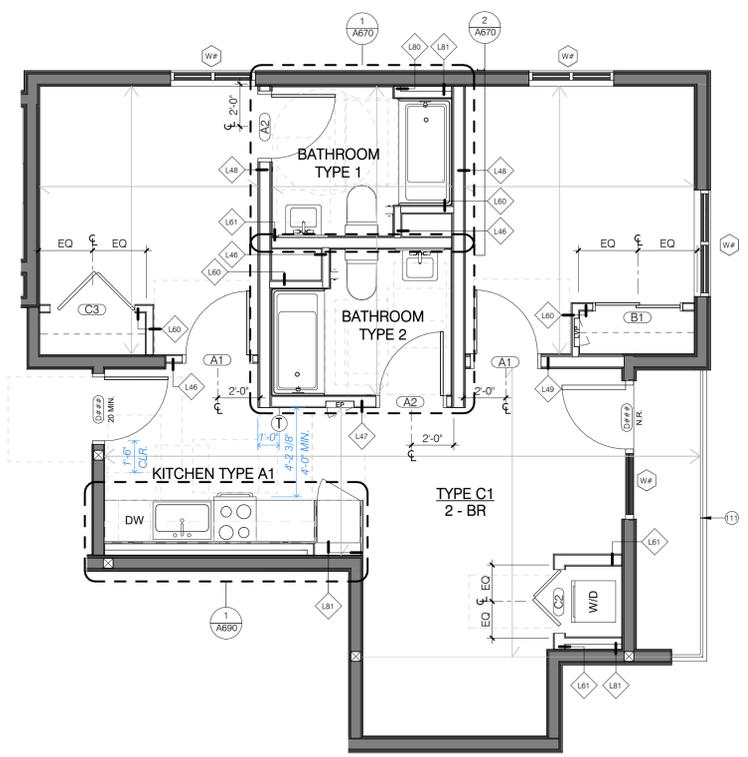
NOT USED



UNIT 203, 303, 403, 503, 603

ENLARGED RCP - UNIT TYPE C1: 2BR

SCALE	2
1/4" = 1'-0"	



UNIT 203, 303, 403, 503, 603

ENLARGED PLAN - UNIT TYPE C1: 2BR

SCALE	1
1/4" = 1'-0"	

NOTES

1. REFER TO SHEET A600 FOR GENERAL UNIT PLAN NOTES.

KEYNOTES

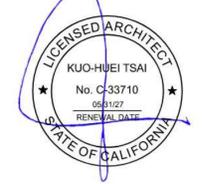
- 111 42-INCH MIN. HIGH A.F.F. GUARDRAIL - PAINTED
- 205 JOIST INSPECTION ACCESS VENT
- 521 DRAINABLE EXHAUST LOUVER
- 536 SUPPLY REGISTER - REFER TO MECH.
- 708 HINGED/REMOVABLE INLAY CEILING ACCESS PANEL - PAINTED TO MATCH ADJ. CEILING

UNIT PLAN LEGEND

- KEYNOTE
- WALL TAG
- WINDOW TAG (REFER TO OVERALL PLAN)
- DOOR TAG (RATING BELOW) (UNIT ENTRY DOOR TAG - REFER TO OVERALL PLAN)
- FLOOR DRAIN/AREA DRAIN
- THERMOSTAT
- LOW VOLTAGE PANEL
- ELECTRICAL PANEL
- STACKED WASHER AND DRYER
- DISHWASHER
- CEILING AT UNDERSIDE OF FRAMING - REFER TO FINISH SCHEDULE
- DROPPED CEILING - REFER TO FINISH SCHEDULE
- DROPPED CEILING ALIGNED TO BOTTOM OF DEPRESSED BALCONY CEILING - REFER TO FINISH SCHEDULE
- EXT. DROPPED SOFFIT - REFER TO FINISH SCHEDULE
- REGISTER - REFER TO MECH.
- SMOKE DETECTOR / ALARM
- CARBON MONOXIDE / SMOKE DETECTOR / ALARM
- CEILING MOUNTED LIGHT
- LINEAR LIGHT
- WALL SCONCE (AT CIRCULATION PATHS: 4" MAX. PROJECTION OFF FINISHED F.O. WALL OR B.O. LIGHT AT +6'-8" MIN. A.F.F. IF PROJECTION IS >4")
- J-BOX
- JOIST FRAMING DIRECTION ABOVE (SHOWN FOR REF. ONLY - REFER TO STRUCTURAL DWGS)
- BEAM ABOVE (SHOWN FOR REF. ONLY - REFER TO STRUCTURAL DWGS)
- LIGHT FIXTURE TAG - REFER TO LIGHT FIXTURE SCHEDULE
- BOTTOM OF CEILING FINISH ELEVATION A.F.F.
- DIMENSION FROM / TO FACE OF CONCRETE, C.M.U., OR STUD
- FINISHED CLEAR DIMENSION OR DIMENSION FROM / TO FACE OF FINISH

K
T
A

Kevin Tsai Architecture
 1439 W. Jefferson Blvd
 Los Angeles, CA 90007
 T.310.486.9328 www.kevin-tsai.com



architect's stamp

consultant

ahj stamp

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the ARCHITECT and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

#	DATE	ISSUE RECORD
D1	11/04/2025	DAS BACKCHECK #1

DRAFT
 NOT FOR CONSTRUCTION

PROJECT TITLE:
1439 JEFFERSON

1433-1439 W. JEFFERSON BLVD,
 LOS ANGELES CA 90007.

PO/PI:
 DRAWN BY: STAFF
 JOB NO.: 24-01

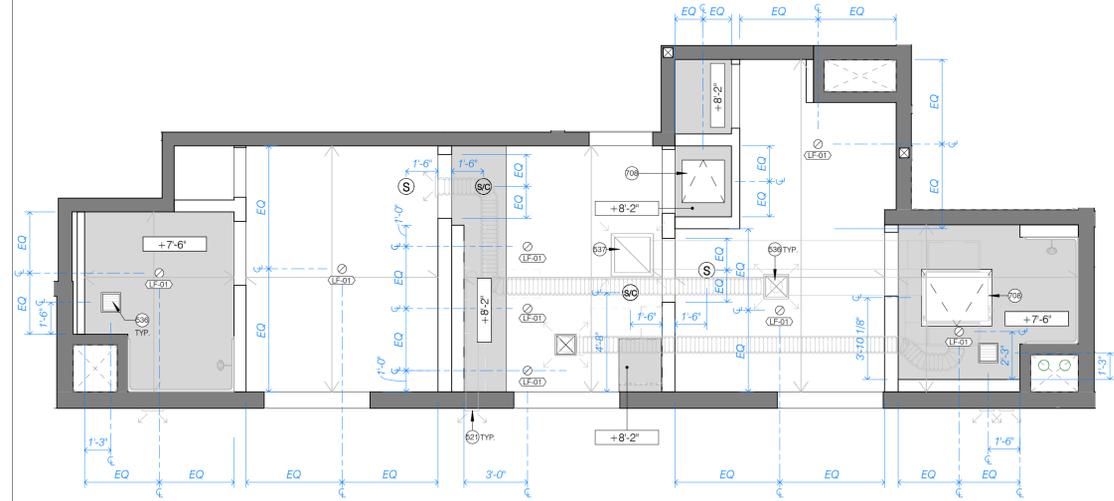
DRAWING TITLE:
ENLARGED UNIT PLANS - TYPE C1 - 2 BR

SHEET NO.:
A620

12/12/2025 5:47:53 PM

NOT USED

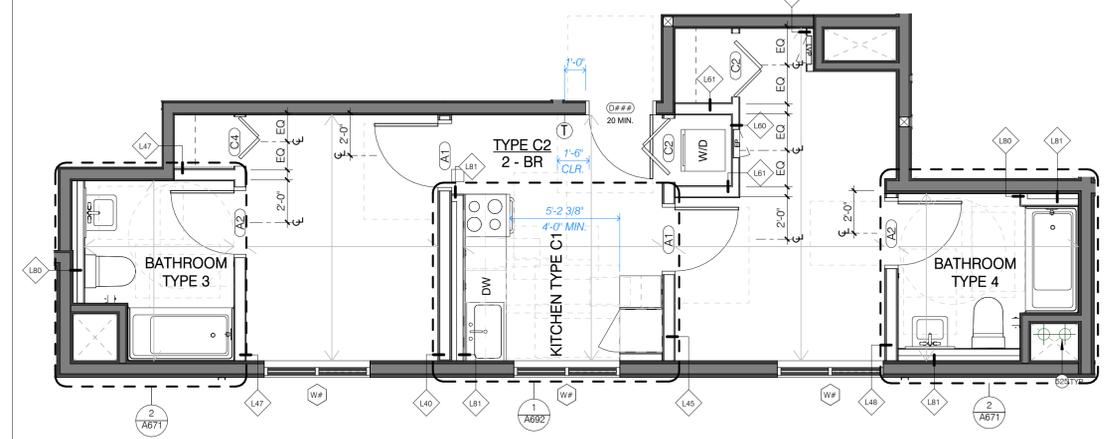
NOT USED



UNIT 302, 402, 502, 602

ENLARGED RCP - UNIT TYPE C2: 2BR

SCALE	2
1/4" = 1'-0"	



UNIT 302, 402, 502, 602

ENLARGED PLAN - UNIT TYPE C2: 2BR

SCALE	1
1/4" = 1'-0"	

NOTES

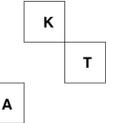
- 1. REFER TO SHEET A600 FOR GENERAL UNIT PLAN NOTES.

KEYNOTES

- 521 DRAINABLE EXHAUST LOUVER
- 525 EXHAUST DUCT - REFER TO MECH.
- 536 SUPPLY REGISTER - REFER TO MECH.
- 537 RETURN REGISTER - REFER TO MECH.
- 708 HINGED/REMOVABLE INLAY CEILING ACCESS PANEL - PAINTED TO MATCH ADJ. CEILING

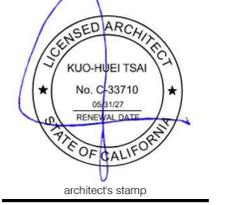
UNIT PLAN LEGEND

- KEYNOTE
- WALL TAG
- WINDOW TAG (REFER TO OVERALL PLAN)
- DOOR TAG (RATING BELOW) (UNIT ENTRY DOOR TAG - REFER TO OVERALL PLAN)
- FLOOR DRAIN/AREA DRAIN
- THERMOSTAT
- LOW VOLTAGE PANEL
- ELECTRICAL PANEL
- STACKED WASHER AND DRYER
- DISHWASHER
- CEILING AT UNDERSIDE OF FRAMING - REFER TO FINISH SCHEDULE
- DROPPED CEILING - REFER TO FINISH SCHEDULE
- DROPPED CEILING ALIGNED TO BOTTOM OF DEPRESSED BALCONY CEILING - REFER TO FINISH SCHEDULE
- EXT. DROPPED SOFFIT - REFER TO FINISH SCHEDULE
- REGISTER - REFER TO MECH.
- SMOKE DETECTOR / ALARM
- CARBON MONOXIDE / SMOKE DETECTOR / ALARM
- CEILING MOUNTED LIGHT
- LINEAR LIGHT
- WALL SCONCE (AT CIRCULATION PATHS: 4" MAX. PROJECTION OFF FINISHED F.O. WALL OR B.O. LIGHT AT +6'-8" MIN. A.F.F. IF PROJECTION IS >4")
- J-BOX
- JOIST FRAMING DIRECTION ABOVE (SHOWN FOR REF. ONLY - REFER TO STRUCTURAL DWGS)
- BEAM ABOVE (SHOWN FOR REF. ONLY - REFER TO STRUCTURAL DWGS)
- LIGHT FIXTURE TAG - REFER TO LIGHT FIXTURE SCHEDULE
- BOTTOM OF CEILING FINISH ELEVATION A.F.F.
- DIMENSION FROM / TO FACE OF CONCRETE, C.M.U., OR STUD
- FINISHED CLEAR DIMENSION OR DIMENSION FROM / TO FACE OF FINISH



Kevin Tsai Architecture

1439 W. Jefferson Blvd
 Los Angeles, CA 90007
 T.310.486.9328 www.kevin-tsai.com



architect's stamp

consultant

ahj stamp

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the ARCHITECT and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

#	DATE	ISSUE RECORD
D1	11/04/2025	DAS BACKCHECK #1

DRAFT
 NOT FOR CONSTRUCTION

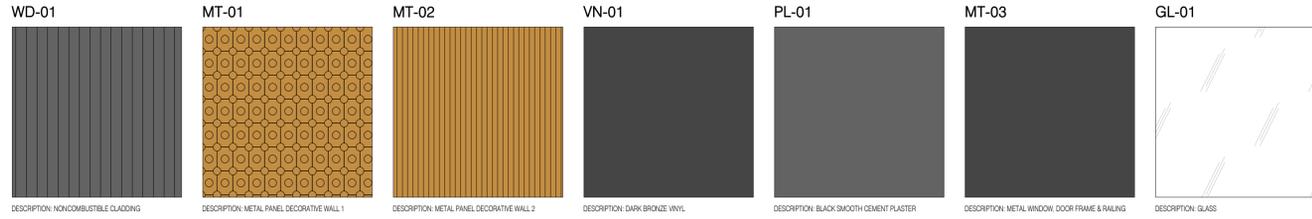
PROJECT TITLE:
1439 JEFFERSON

1433-1439 W. JEFFERSON BLVD,
 LOS ANGELES CA 90007.

PO/PM:
 DRAWN BY: STAFF
 JOB NO.: 24-01

DRAWING TITLE:
ENLARGED UNIT PLANS - TYPE C2 - 2 BR

SHEET NO.:
A621



KEYNOTES

- (E) PROPERTY LINE
 - (N) PROPERTY LINE
 - FIRE DEPARTMENT CONNECTION (FDC)
 - (N) GAS METERS
 - FIRE WATER BACKFLOW PREVENTER
 - DOMESTIC WATER BACKFLOW PREVENTER - REFER TO PLUMBING
 - IRRIGATION BACKFLOW PREVENTER - REFER TO LANDSCAPE
 - 42-INCH MIN. HIGH A.F.F. OSHA COMPLIANT GUARDRAIL - BONDERIZED AND PAINTED
 - 18" MIN. TO 24" MAX. SELF-CLOSING GATE AT OSHA RAILING
 - CANOPY
 - PLASTER CONTROL JOINT - PAINT TO MATCH ADJ. PLASTER
 - SCUPPER - PAINT TO MATCH ADJ. WALL FINISH
 - OVERFLOW SCUPPER - PAINT TO MATCH ADJ. WALL FINISH
 - DOWNSPOUT - PAINT TO MATCH ADJ. WALL FINISH
 - CONDUCTOR HEAD - PAINT TO MATCH ADJ. WALL FINISH
 - ROOF ACCESS LADDER
 - EXHAUST DUCT - REFER TO MECH.
 - DECORATIVE PANEL
 - MAINTENANCE-ONLY ACCESS GATE
 - WALL-MOUNT FIRE WATER BACKFLOW PREVENTER
 - POST - REFER TO STRUCTURAL
- ELEVATION NOTES**
- REFER TO SHEETS G004 AND G005 FOR GENERAL NOTES.
 - REFER TO G002 FOR SYMBOLS AND ABBREVIATIONS.
 - REFER TO A800 SHEET SERIES FOR WINDOW SCHEDULE.
 - REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT. U.N.O. INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL PER ASTM C1063. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.
 - ALL WEEP SCREED LINES SHALL BE LEVEL AND / OR STEPPED AS SHOWN WITH ADJACENT GRADE. THE BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1-INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. THE NOSE OF THE SCREED SHALL BE PLACED 4-INCHES MINIMUM ABOVE UNPAVED SURFACES OR 2-INCHES MINIMUM ABOVE PAVED SURFACES.
 - ALL WINDOW HEAD HEIGHTS TO BE UNIFORMLY ALIGNED ABOVE FINISH FLOOR, U.N.O. REFER TO A800 SHEET SERIES FOR WINDOW SCHEDULE.
 - ALL EXTERIOR WALL CLADDING SHALL COMPLY WITH BUILDING CODE SECTION 1403 AND 1404.
 - THE CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED.
 - FACADE ACCESS PLAN (OPOS) SHALL BE PROVIDED BY FACADE ACCESS DESIGNER OR OWNER TO COMPLY WITH OSHA REGULATIONS.
 - PAINT ALL LOUVERS, VENTS, SCUPPERS, AND CONDUCTORS, DOWNSPOUTS, GUTTERS, HORIZONTAL LEADERS (PIPING, RECTANGULAR, AND SQUARE) TO MATCH ADJACENT EXTERIOR WALL FINISH.
 - OUTDOOR LIGHTING SHALL BE DESIGNED AND INSTALLED WITH SHIELDING, SUCH THAT THE LIGHT SOURCE CANNOT BE SEEN FROM ADJACENT RESIDENTIAL PROPERTIES OR THE PUBLIC RIGHT-OF-WAY, NOR FROM ABOVE.
 - FOR PROJECTS LOCATED IN CITY OF LOS ANGELES, PROVIDE ANTI-GRAFFITI FINISH TO FIRST 9 FEET OF EXTERIOR WALL AND DOORS (SEC 91.6306).
 - CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND / OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.

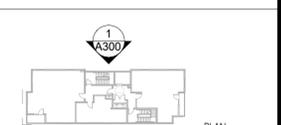
CPIO NOTE:

- WINDOWS AND ENTRY DOOR ARE RECESSED 2" OR MORE FROM THE FACE OF BUILDING FOR HORIZONTAL AND VERTICAL BREAK IN THE PLANE.

LEGEND

- KEYNOTE
- WINDOW TAG (REFER TO A830 SHEET SERIES)
- DOOR TAG (RATING BELOW) (REFER TO A810 SHEET SERIES)
- GATE TAG (REFER TO A810 SHEET SERIES)
- FINISH TAG - REFER TO FINISH SCHEDULE
- LIGHT FIXTURE TAG - REFER TO LIGHT FIXTURE SCHEDULE
- EXTERIOR GRILLE / LOUVER, FLUSH WITH FINISH AND PAINTED TO MATCH ADJ. FINISH
- WALL SCONCE (AT CIRCULATION PATHS: 4" MAX. PROJECTION OFF FINISHED F.O. WALL OR B.O. LIGHT AT +6'-8" MIN. A.F.F. IF PROJECTION IS > 4")

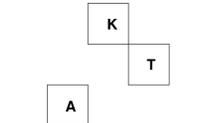
KEY PLAN



EXTERIOR ELEVATIONS - WEST

SCALE
3/16" = 1'-0"

1



Kevin Tsai Architecture

1439 W. Jefferson Blvd
Los Angeles, CA 90007
T.310.486.9328 www.kevin-tsai.com



architect's stamp

consultant

ahj stamp

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the ARCHITECT and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

#	DATE	ISSUE RECORD
1	09/23/2025	PLAN CHECK #1

PLAN CHECK

PROJECT TITLE:
1439 JEFFERSON

1433-1439 W. JEFFERSON BLVD,
LOS ANGELES CA 90007.

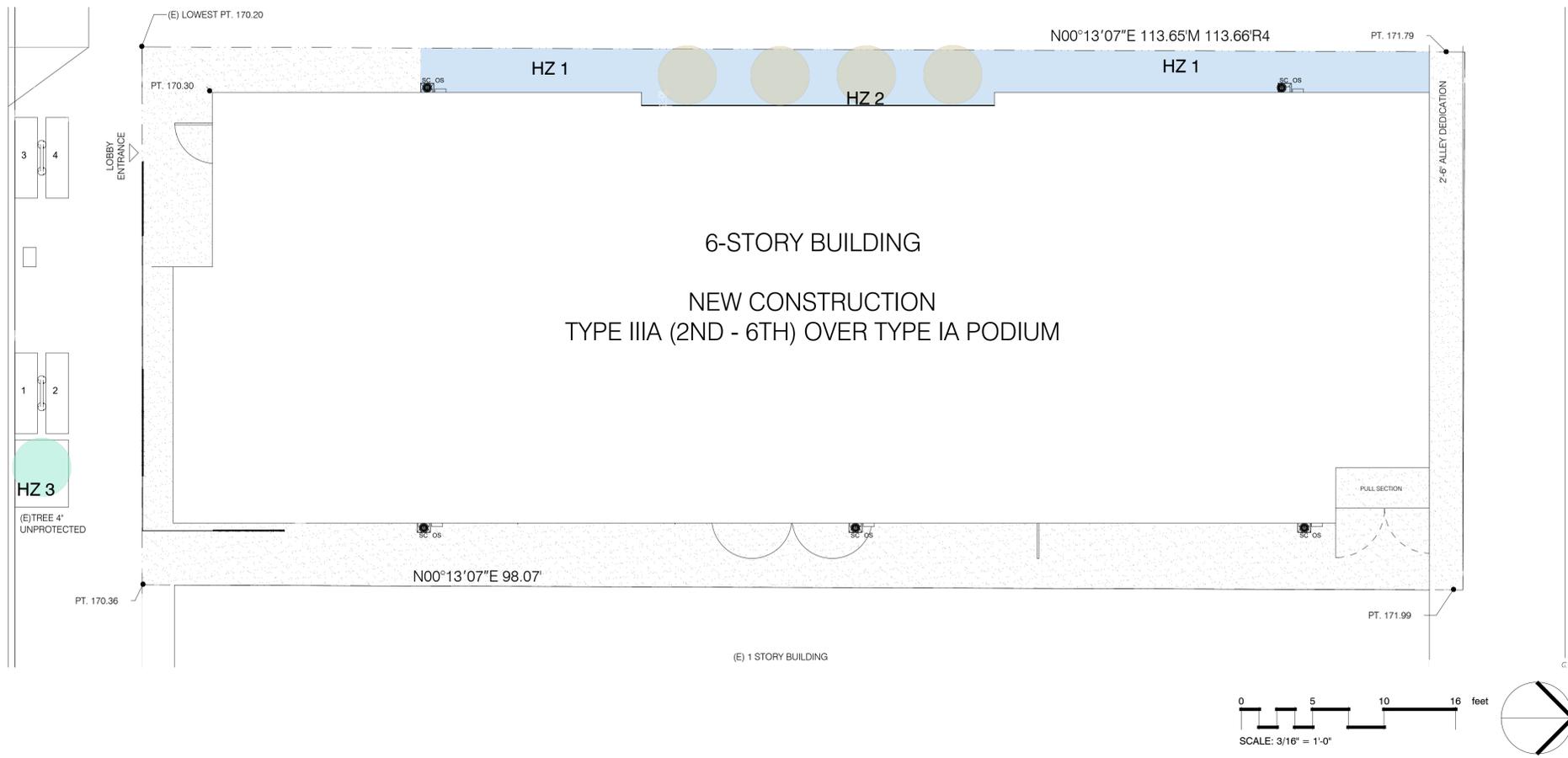
PO/PI:
DRAWN BY: STAFF
JOB NO.: 24-01

DRAWING TITLE:
EXTERIOR ELEVATIONS - WEST

SHEET NO.:

A300

11/21/2025 1:06:04 PM



General Notes

1. ALL LANDSCAPE AREAS WILL BE IRRIGATED W/ A HIGH-EFFICIENCY IRRIGATION W/ SMART IRRIGATION CONTROLS.
2. ALL PLANTING AND IRRIGATION SHALL COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS.
3. IRRIGATION DESIGN WILL INCORPORATE EPA WATERSENSE SPECIFICATIONS.
4. STREET TREES SHALL BE SELECTED AND INSTALLED PER CITY OF LOS ANGELES DEPARTMENT OF URBAN FORESTRY.
5. ALL NEW PLANTED AREAS TO BE HEAVILY MULCHED FOR WATER CONSERVATION.
6. THERE ARE NO SIGNIFICANT TREES TO BE REMOVED ON THE SITE.
7. THERE ARE NO PROTECTED TREES ON THE SITE.

WATER CONSERVATION STATEMENT:

ALL LANDSCAPE WILL BE SPECIFIED, PLANTED, AND IRRIGATED ACCORDING TO XERISCAPE DESIGN PRINCIPLES, WHICH INCLUDE THE PREDOMINANT USE OF DROUGHT-TOLERANT PLANT MATERIALS; THE PRACTICE OF HYDROZONING OR GROUPING PLANTS WITH SIMILAR WATER REQUIREMENTS; MINIMIZING TURF AREAS; AND THE EFFICIENT APPLICATION OF WATER BY USING MATCH- PRECIPITATION HEADS, DRIPLINE, SEPARATE VALVES FOR TURF AND GROUND COVER AREAS, AND RAIN SHUT-OFF DEVICES.

THIS PROJECT WILL COMPLY WITH THE STATE WATER CONSERVATION ORDINANCE, EFFECTIVE JANUARY 1, 2010.

LEGAL DESCRIPTION
 PIN: 120B197 591
 APN: 504002004
 Tract: POOLE AND JONES TRACT
 Map Ref: M B 10-194
 Block: C; Lot: FR 3 & 4

No.	DESCRIPTION	YYYY/MM/DD

HARMONY GARDENS
 LANDSCAPE ARCHITECTURE
 818-505-9783 harmonygardens.net



Project/Client:
 1439 W. JEFFERSON BLVD.
 LOS ANGELES, CA 90007

KEVIN TSAI ARCHITECTURE
 1439 W. JEFFERSON BLVD.
 LOS ANGELES, CA 90007

Project 1439 W. Jefferson Bl.	Sheet LANDSCAPE COVER & CALCULATIONS L100
Date 2025/09/19	Scale 3/16" = 1'-0"

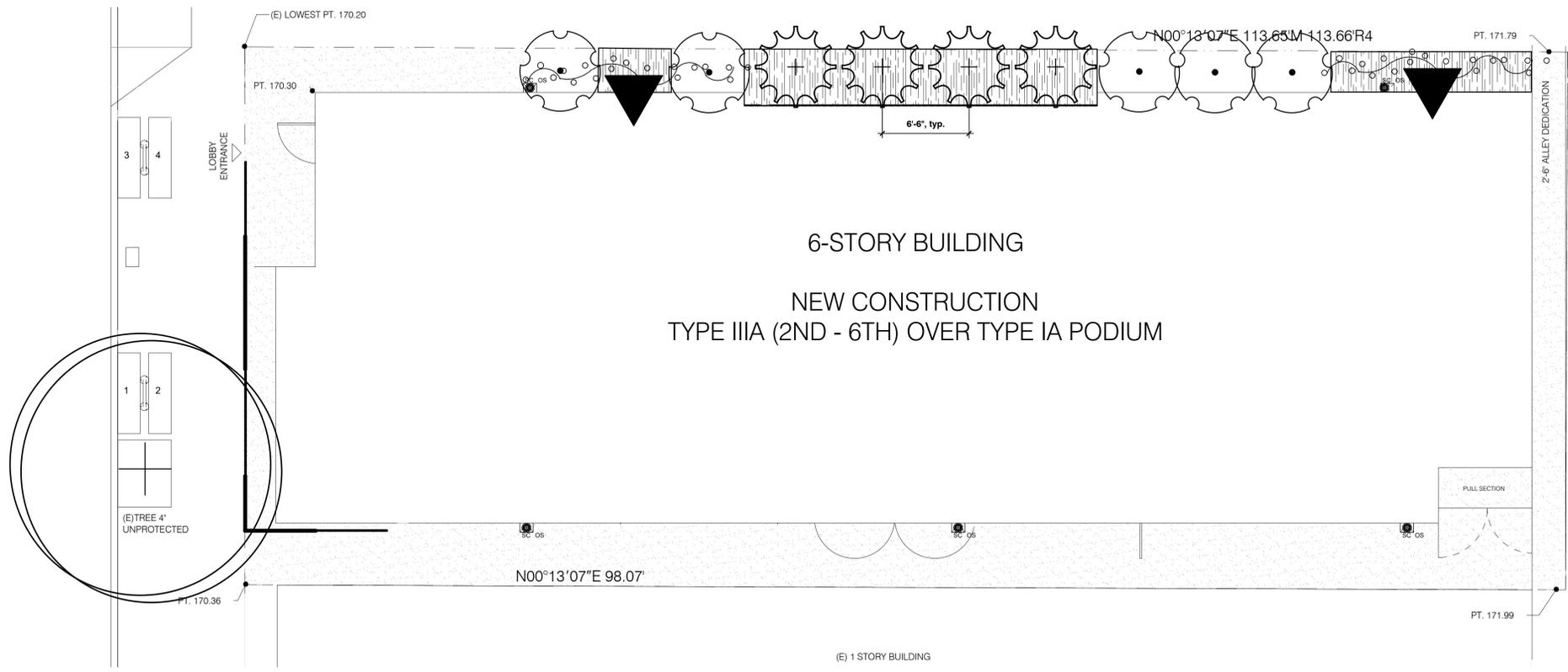
HYDROZONES

SYMBOL	NOTES	SQ. FT.
	HZ 1 Grass, shrubs, vines	184
	HZ 2 Trees	80
	HZ 3 Street Tree	20
	Impermeable Paving	772

MWELC CALCULATIONS								
Maximum Applied Water Allowance (MAWA)								
MAWA = (Eto) x 0.62 x [0.55 x LA + 1 x SLA]								
(Eto)	REGULAR LANDSCAPE AREA (RLA)	ETAF	SPECIAL LANDSCAPE AREA (SLA)	MAWA		ETWU		
50.0	284	0.55	0.00	4,842.20	GAL/YR	3,873.09	GAL/YR	
Hydrozone Table for Calculating Estimate Total Water Use (ETWU)								
EWU = ETAF x HA x ETo x 0.62								
Zone	Planting Description	Water Needs	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (HA)	Estimated Water Use (EWU)
REGULAR LANDSCAPE AREA (RLA)								
1	GR/SH/VN	Low	0.3	Drip	0.81	0.37	184	2,112.59
2	TR	Moderate	0.5	Drip	0.81	0.62	80	1,530.86
3	TR	Low	0.3	Drip	0.81	0.37	20	229.63
RLA SUM							284	3,873.09
SPECIAL LANDSCAPE AREA (SLA)								
SLA 1						1.00		0.00
SLA 2						1.00		0.00
SLA 3						1.00		0.00
SUM							0	0.00
ETWU TOTAL							3,873.09	

GC = Groundcover, GR = Grasses, LA = Lawn, SH = Shrubs, SU = Succulents, TR = Trees, VN = Vines

CITY POINTS			
Potential Landscape Area (Lot Area minus Building Footprint)			
LOT AREA	3,949 SF		
BUILDING FOOTPRINT:	2,913 SF		
TOTAL POTENTIAL LANDSCAPE AREA:	1,036 SF		
Open Space Required			
UNITS W/2 HABITABLE ROOMS @100 SF:	2	200 SF	
UNITS W/2 HABITABLE ROOMS @125 SF:	13	1,625 SF	
UNITS W/3 HABITABLE ROOMS @175 SF:	1	175 SF	
TOTAL:	16	2,000 SF	
Exterior Open Space Provided			
PRIVATE OPEN SPACE (50 SF/UNIT)	0	0 SF	
TOTAL:	0 SF		
Total points required per Guidelines O: 10 (Lot area 3,961 SF)			
DETAIL OF POINTS PROVIDED			
Soil amended w Class I TOPGRO compost	5	1	5 Note A- L201
Trees shading east and west exposure	2/25 lf	1	2 B- L201
Vines on walls/fences (bonus points)	5	1	5 C- L201
GUIDELINES O PROVIDED POINTS TOTAL:			12
Total points required for Guidelines AA: 100 (Lot area 3,961 SF)			
Landscape meter (25% of required points)	25%	1	25 D- L201
Sensor for rain	1	1	1 E- L301
Automatic irrigation controller	5	1	5 F- L301
Drip irrigation	5/circuit	3	15
No lawn	10	1	10 Legend L201
Plants requiring monthly summer water after established for 3 years	2/pl	53	106 Legend L201
GUIDELINES AA PROVIDED POINTS TOTAL:			162
The subdivider shall record a covenant and agreement satisfactory to the Advisory Agency guaranteeing that			
a. The planting and irrigation system shall be completed by the developer/builder prior to the close of escrow of 50 percent of the units of the project or phase.			
b. Sixty days after landscape and irrigation installation, the landscape professional shall submit to the homeowners / property owners association a Certified of Substantial Completion (12.40 G LAMC).			
c. The developer / builder shall maintain the landscaping and irrigation for 60 days after completion of the landscape and irrigation installation.			
d. The developer builder shall guarantee all trees and irrigation for a period of six months and all other plants for a period of 60 days after landscape and irrigation installation.			



6-STORY BUILDING
NEW CONSTRUCTION
TYPE IIIA (2ND - 6TH) OVER TYPE IA PODIUM

PLANT SCHEDULE

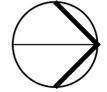
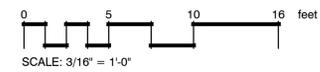
A: Soil in planting areas to be amended with Class I TOPGRO compost

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE @ MATURITY	WUCOLS	SPACING
TREES						
	4	Podocarpus gracilior Fern Pine	24"-box	20-50' H x 10-20'	Moderate	
	1	Street Tree (exist) species TBD by Urban Forestry	---	20-30' H x W	Moderate	
SHRUBS						
	5	Frangula californica California Coffeeberry	5 gal.	6-8' H x W	Low	
	2	Mascagnia macroptera Yellow Orchid Vine	5 gal.	vine to 15'-20'	Low	
GRASSES						
	46	Festuca californica California Fescue	1 gal.	2-3' H x 1-2' W	Low	24" o.c.

REQUIRED AND PROVIDED TREES TABLE

TREES	NUMBER	RATIO	REQ.
EXISTING TO BE REMOVED	0	1 to 1	0
EXISTING PARKWAY TREES TO BE REMOVED*	0	2 to 1	0
TOTAL ON SITE TREES TO BE REPLACED			0
PER UNIT	16	1 TREE/4 UNITS	4
MIN. NO. TREES REQ.			4
*NOTE: Parkway tree removal must be permitted by Los Angeles Urban Forestry Division			
TREES PROVIDED			
LOCATION	SHEET	SIZE	QTY.
PLANTING AREAS	L2.1	24" BOX	4
PLANTING AREAS (EXTG)			0
PARKWAY		24" BOX	0
PARKWAY (EXTG)	L2.1		1
TOTAL TREES			5
Guideline C: 1(a) tree/500 SF landscape area in the project			
Planted area:		264 SF	
Required shade tree(s):		1/500 SF	1
Provided shade tree(s):			4

- NOTES:**
1. Refer to LID plans for LID and drainage systems.
 2. If plant availability requires changes to the plant palette, please contact landscape architect for substitutions.
 3. For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of 4 cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of 6 inches into the soil.
 4. A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project.



General Notes

Green Building Notes
Prescriptive Approach

A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas, except turf areas, creeping or rooting groundcovers, or direct-seeding applications when mulch is contraindicated.

Unless contradicted by a soils test, compost at a minimum rate of 4 cubic yards per 1,000 square feet of permeable area, shall be incorporated to a depth of 6 inches into the soil.

For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881, 5.304.1)

I agree to comply with the requirements of the prescriptive compliance option of the MWEL0.

Signed: see stamp
 Date 09/19/2025

No.	Revision/Issue	Date
1	DESCRIPTION	YYYY/MM/DD

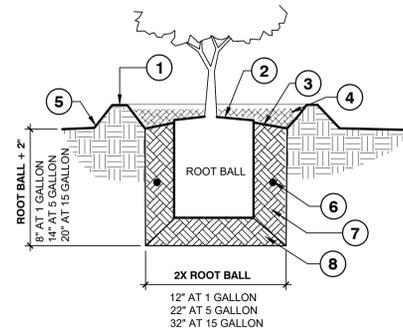
HARMONY GARDENS
 LANDSCAPE ARCHITECTURE
 818-505-9783 harmonygardens.net

CALL BEFORE YOU DIG

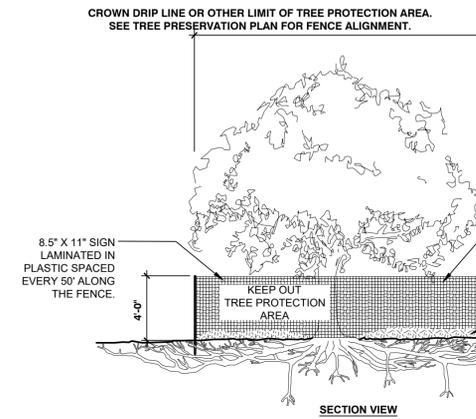
Project/Client:
 1439 W. JEFFERSON BLVD.
 LOS ANGELES, CA 90007

KEVIN TSAI ARCHITECTURE
 1439 W. JEFFERSON BLVD.
 LOS ANGELES, CA 90007

Project 1439 W. Jefferson Bl.	Sheet PLANTING PLAN
Date 2025/09/19	L201
Scale 3/16" = 1'-0"	

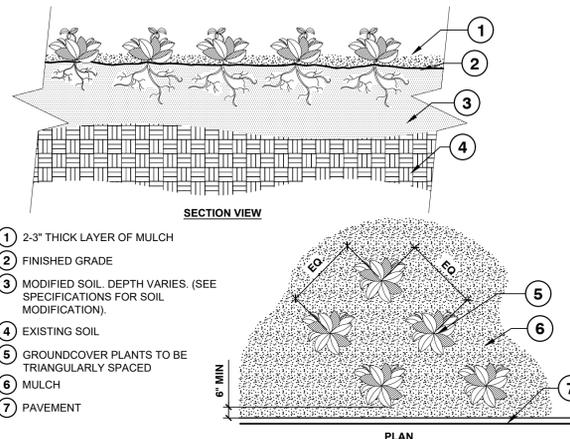


- 1 WATER WELL: 4" HIGH AT SHRUB, NO WATER WELL AT LAWN AREA.
- 2 SET ROOT BALL CROWN 1" HIGHER THAN SURROUNDING FINISHED GRADE.
- 3 SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOT BALL.
- 4 MULCH TO 2" DEPTH AT WATER WELL.
- 5 FINISHED GRADE.
- 6 PLANT TABLETS AS NOTED OR SPECIFIED.
- 7 BACKFILL MIX, SEE NOTES AND SPECIFICATIONS.
- 8 NATIVE SOIL MIX FIRMLY COMPACTED.



- NOTES:
- 1- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - 2- IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - 3- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - 4- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - 5- SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.
- TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5" X 1.5" OPENINGS; COLOR-ORANGE. STEEL POSTS INSTALLED AT 8' O.C.
- 2" X 6" STEEL POSTS OR APPROVED EQUAL.
- 5" THICK LAYER OF MULCH.
- MAINTAIN EXISTING GRADE WITH THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS.

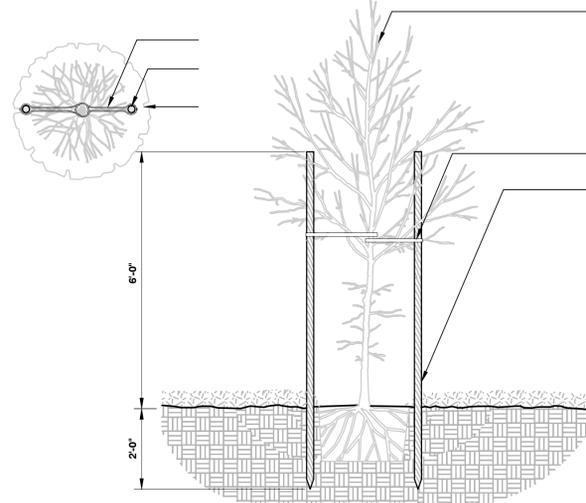
4 SHRUB PLANTING
1" = 1'-0" FX-PLNT-FX-SHRB-07



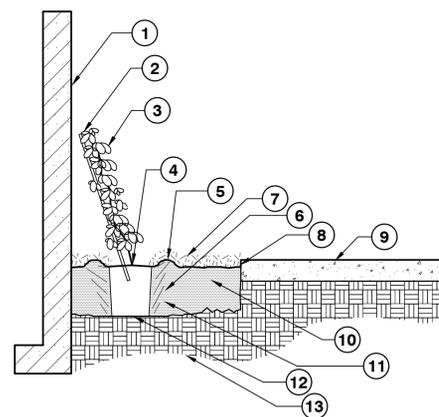
- 1 2-3" THICK LAYER OF MULCH
- 2 FINISHED GRADE
- 3 MODIFIED SOIL, DEPTH VARIES. (SEE SPECIFICATIONS FOR SOIL MODIFICATION).
- 4 EXISTING SOIL
- 5 GROUNDCOVER PLANTS TO BE TRIANGULARLY SPACED
- 6 MULCH
- 7 PAVEMENT

5 GROUNDCOVER
3/4" = 1'-0" FX-PLNT-FX-GROU-01

1 STREET TREE PROTECTION
3/16" = 1'-0" FX-PL-FX-TRMT-02



2 TREE STAKING - LODGE POLES (2)
1/2" = 1'-0" FX-PLNT-FX-TREE-27



- 1 FACE OF WALL OR BUILDING.
- 2 LEAN NURSERY STAKE AGAINST THE WALL. STAKE TO BE REMOVED AT THE END OF THE MAINTENANCE (WARRANTY) PERIOD AFTER THE VINE HAS ATTACHED TO THE WALL.
- 3 VINE.
- 4 ROOT BALL.
- 5 4" X 8" WIDE ROUND - TOPPED SOIL BERM ABOVE ROOT BALL SURFACE SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY.
- 6 PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- 7 4" LAYER OF MULCH. NO MORE THAN 1" OF MULCH ON THE TOP OF THE ROOT BALL. (SEE SPECIFICATIONS FOR MULCH).
- 8 FINISHED GRADE.
- 9 PAVEMENT.
- 10 MODIFIED SOIL, DEPTH VARIES. (SEE SPECIFICATIONS FOR SOIL MODIFICATION).
- 11 LOOSENED SOIL DIG AND TURN THE SOIL TO REDUCE THE COMPACT TO THE AREA AND DEPTH SHOWN.
- 12 ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL.
- 13 EXISTING SOIL.

- NOTES:
- 1- VINES SHALL BE OF QUALITY AS PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
 - 2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

3 VINE - MODIFIED SOIL
1/2" = 1'-0" FX-PLNT-FX-SHRB-06

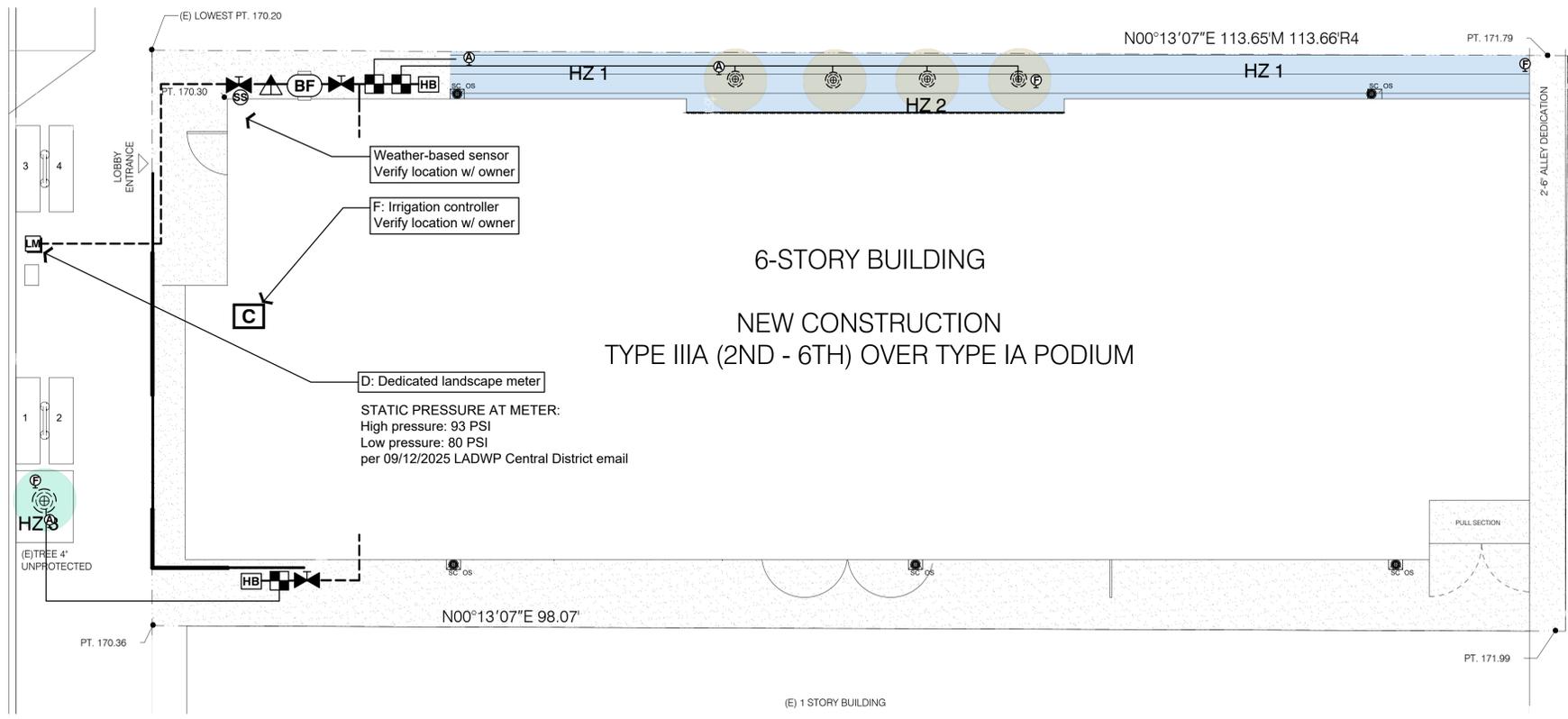
General Notes		
1	DESCRIPTION	YYYY/MM/DD
No.	Revision/Issue	Date

HARMONY GARDENS
LANDSCAPE ARCHITECTURE
818-505-9783 harmonygardens.net

Project/Client:
1439 W. JEFFERSON BLVD.
LOS ANGELES, CA 90007

KEVIN TSAI ARCHITECTURE
1439 W. JEFFERSON BLVD.
LOS ANGELES, CA 90007

Project 1439 W. Jefferson Bl.	Sheet PLANTING DETAILS
Date 2025/09/19	L202
Scale PER DETAIL	



IRRIGATION SCHEDULING

WATER DURING PLANT ESTABLISHMENT:
 SHRUB AND GROUND COVER SYSTEMS:
10 MIN., 1X PER DAY, FOR FIRST 10 DAYS

SPRING WATERING AFTER PLANT ESTABLISHMENT:
 TREE, SHRUB AND GROUND COVER SYSTEMS:
6 MIN., 3X PER WEEK

SUMMER WATERING AFTER PLANT ESTABLISHMENT:
 SHRUB AND GROUND COVER SYSTEMS:
10 MIN., 3X PER WEEK

FALL WATERING AFTER PLANT ESTABLISHMENT:
 TREE, SHRUB, AND GROUND COVER SYSTEMS:
6 MIN., 3X PER WEEK

WINTER WATERING AFTER PLANT ESTABLISHMENT:
 SHRUB AND GROUND COVER SYSTEMS:
10 MIN., 2X PER WEEK

ALL IRRIGATION SYSTEMS TO BE OPERATED IN EARLY MORNING OR IN THE EVENING.

1. AUTOMATIC CONTROLLERS SHALL BE SET TO WATER BETWEEN 5 PM AND 10 AM TO REDUCE EVAPORATION.
2. A MINIMUM OF PVC SCHEDULE 40 OR EQUIVALENT SHALL BE USED FOR MAIN LINES AND UNDER DRIVEWAY AREAS, AND A MINIMUM OF PVC SCHEDULE 200 OR EQUIVALENT SHALL BE USED FOR LATERAL LINES.
3. THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
4. CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF "AS-BUILT" PLANS.
5. IT IS THE INTENT OF THE DRAWINGS TO SHOW A COMPLETE AND OPERATIONAL IRRIGATION SYSTEM. THE SYSTEM WAS DESIGNED BASED ON LANDSCAPE AND GRADING DRAWING IN EFFECT AT THIS TIME. ANY DISCREPANCIES, OMISSIONS, ERRORS, ETC., OR ON-SITE CHANGES DOES NOT RELIEVE THE IRRIGATION INSTALLER OF HIS RESPONSIBILITY TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
6. IRRIGATION LINES, VALVES AND OTHER EQUIPMENT SHOWN IN PAVED OR PUBLIC AREAS ARE SCHEMATIC AND ARE FOR DIAGRAMATIC PURPOSES ONLY. LINES, VALVES, AND OTHER EQUIPMENT SHOWN IN PAVED OR PUBLIC AREAS ARE INTENDED TO BE LOCATED IN ADJACENT PLANTING AREAS.
7. ALL LINES TRAVERSING HARDSCAPE TO BE PLACED IN CONDUIT UNDER PAVING.

NOTES:

1. Pressure-regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
2. Check valves or anti-drain valves are required on all sprinkler heads where low-point drainage could occur.
3. Recirculating water systems shall be used for water features.
4. Locks shall be installed on all publicly accessible exterior faucets and hose bibs.
5. Plumbing contractor to install stub line for rooftop irrigation.
6. Refer to LID plans for LID and drainage systems.
7. Irrigation equipment locations shown on this plan are approximate and schematic. See architectural, mechanical, plumbing, and civil plans to verify placement on site.

General Notes

Green Building Notes Prescriptive Approach

A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.

At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and irrigation maintenance.

An irrigation audit report shall be completed at the time of final inspection.

Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation device.

For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881, 5.304.1)

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Signed: see stamp

Date: 09/19/2025

No.	Revision/Issue	Date
1	DESCRIPTION	YYYY/MM/DD

HARMONY GARDENS
 LANDSCAPE ARCHITECTURE
 818-505-9783 harmonygardens.net

Project/Client:
 1439 W. JEFFERSON BLVD.
 LOS ANGELES, CA 90007

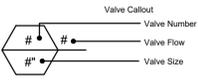
KEVIN TSAI ARCHITECTURE
 1439 W. JEFFERSON BLVD.
 LOS ANGELES, CA 90007

Project 1439 W. Jefferson Bl.	Sheet IRRIGATION PLAN
Date 2025/09/19	L301
Scale 3/16" = 1'-0"	

IRRIGATION SCHEDULE

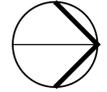
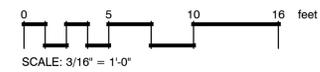
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter ICZ-101-25-LF 1" Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 25 psi. Flow Range: 5 GPM - 15 GPM. 150 mesh stainless steel screen.	3
	Hunter AFV-B 1/2in. automatic flush valve with 3/4in. barb connection. Removable top for diaphragm maintenance.	3
	Hunter PLD-AVR 3/4" PLD-AVR allows for air to escape a RESIDENTIAL drip irrigation system to prevent blockage and water hammering. 1/2in. MPT connection with 80 PSI maximum rating.	3
	Hunter HDL-06-12-CV Drip Ring	5
	Area to Receive Dripline Hunter HDL-06-12-CV HDL-06-12-CV: Hunter Dripline w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 16" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.	198.2 lf

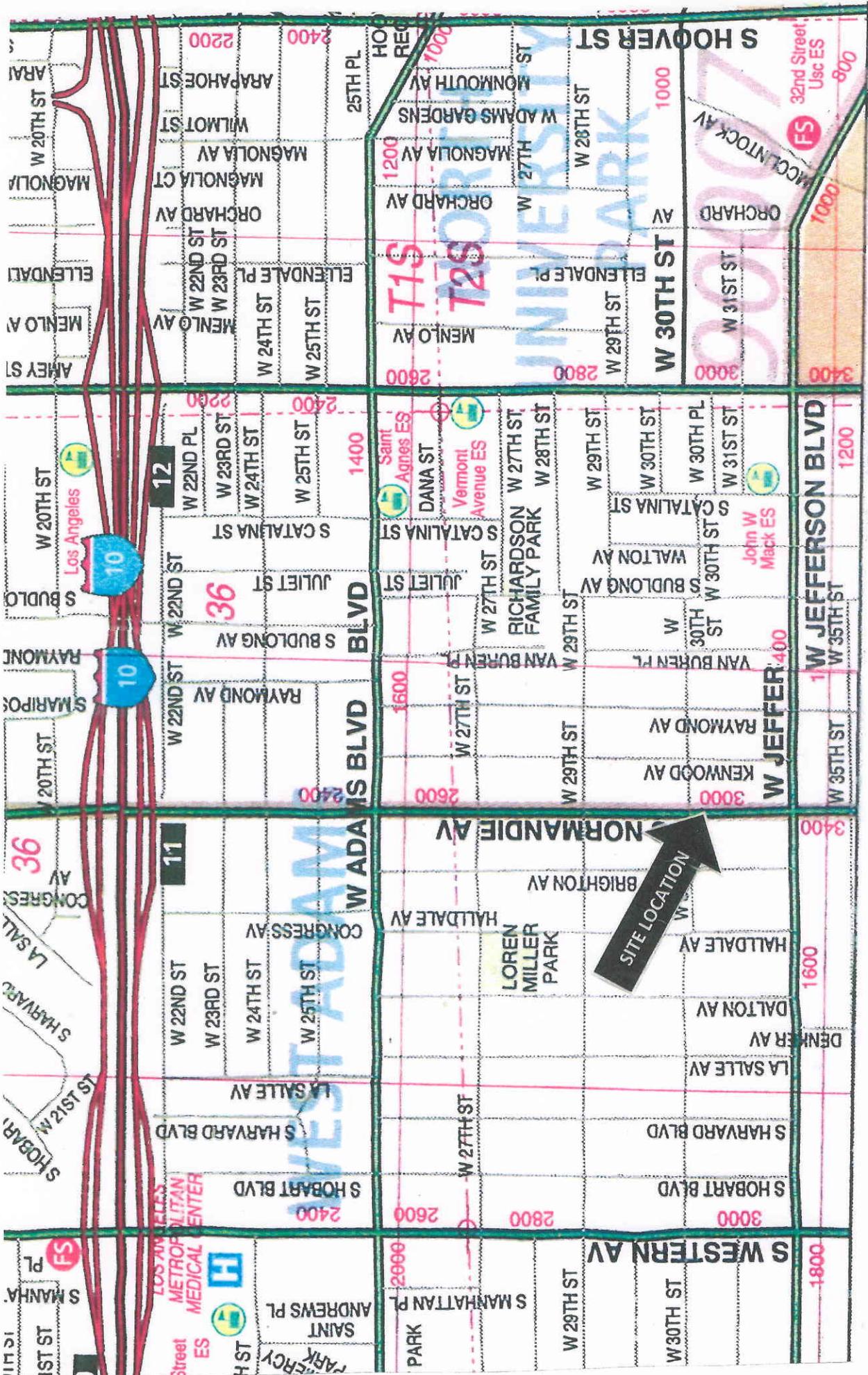
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hose Bibb owner to select location(s)	2
	Nibco Gate Valve Size per line	3
	Wilkins 600 Pressure Reducing Valve	1
	Febco 825Y 1" Reduced Pressure Backflow Preventer	1
	Hunter I2C-0800-M 8 Station Outdoor Modular Controller. No Module Required. Commercial Use. Metal Cabinet.	1
	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.	1
	Water Meter 1"	1
	Irrigation Lateral Line: PVC Schedule 40	80.3 lf
	Irrigation Mainline: PVC Schedule 40	80.8 lf



IRRIGATION EQUIPMENT LOCATIONS shown on the plan are approximate and schematic. See architectural, mechanical, plumbing, and civil plans to verify placement on site.

IRRIGATION VALVE LEGEND						
VALVE NO.	PRESSURE	GPM	APP. IN./HR.	QTY.	SPACING	SUBTOTAL
1	30	0.01	0.72	138	16"	1.38
2	30	0.01	0.72	60	16"	0.60
3	30	0.01	0.72	15	16"	0.15
TOTAL GPM						2.13





CASE NO:

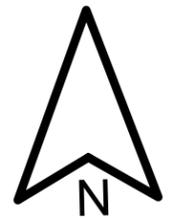
SITE LOCATION:
 1439 W. JEFFERSON BOULEVARD
 LOS ANGELES, CA 90007

T.B. PAGE: 633 GRID: J-7

VICINITY MAP



C.D. 08
 C.T. 2221.00
 P.A. SOUTH LOS ANGELES
 N.C. EMPOWERMENT CONGRESS NORTH



NET AC. 0.090

OFF-MENU DENSITY BONUS

RADIUS MAPS ETC

3544 PORTOLA AVENUE
 LOS ANGELES CA 90032
 OFF/FAX:(323) 221-4555
 radiusmapsetc@yahoo.com

SITE LOCATION:

1439 W. JEFFERSON BOULEVARD
 LOS ANGELES, CA 90007

LEGAL DESCRIPTION:

POR. LOT 3 AND 4 (ARB 2), BLOCK C,
 POOLE & JONES TRACT, M.B. 10-94.
 (SEE APPLICATION)

CASE NO.:

DATE: 07 - 25 - 2024
 SCALE: 1" = 100'
 D.M.: 120 B 197
 T.B.PAGE: 633 GRID: J-7
 APN: 5040-002-004



City of Los Angeles Department of City Planning

7/25/2024 PARCEL PROFILE REPORT (modified version)

PROPERTY ADDRESSES

None

ZIP CODES

None

RECENT ACTIVITY

None

CASE NUMBERS

- CPC-2010-2278-GPA
- CPC-2008-1552-CPU
- CPC-2007-3827-ICO
- CPC-2005-5848-CA
- CPC-2004-2394-ICO
- CPC-2004-2391-ICO
- CPC-19XX-18002
- CPC-1990-346-CA
- CPC-1986-603-GPC
- CPC-1986-447-GPC
- CPC-1983-506
- ORD-185927
- ORD-185926-SA2056
- ORD-180218
- ORD-180103
- ORD-171682
- ORD-171681
- ORD-167121-SA1184
- ORD-162128
- ORD-129760
- ENV-2010-2279-CE
- ENV-2008-1781-EIR
- ENV-2007-3828-CE
- ENV-2005-6078-ND
- ENV-2004-2410-CE-ICO
- ENV-2004-2409-CE-ICO

Address/Legal Information

PIN Number	120B197 591
Lot/Parcel Area (Calculated)	1,400.0 (sq ft)
Thomas Brothers Grid	PAGE 633 - GRID J7
Assessor Parcel No. (APN)	5040002004
Tract	POOLE AND JONES TRACT
Map Reference	M B 10-194
Block	C
Lot	FR 3
Arb (Lot Cut Reference)	2
Map Sheet	120B197

Jurisdictional Information

Community Plan Area	South Los Angeles
Area Planning Commission	South Los Angeles
Neighborhood Council	Empowerment Congress North
Council District	CD 8 - Marqueece Harris-Dawson
Census Tract #	2221.00
LADBS District Office	Los Angeles Metro

Permitting and Zoning Compliance Information

Administrative Review	None
-----------------------	------

Planning and Zoning Information

Special Notes	None
Zoning	C2-1VL-O-CPIO
Zoning Information (ZI)	ZI-1231 Specific Plan: South Los Angeles Alcohol Sales
	ZI-2374 State Enterprise Zone: Los Angeles
	ZI-2498 Local Emergency Temporary Regulations - Time Limits and Parking Relief - LAMC 16.02.1
	ZI-2397 Neighborhood Stabilization Ordinance: North University Park-Exposition Park-West Adams
	ZI-2517 Al Fresco Ordinance within Planning Overlay and/or the Coastal Zone (Ordinance 188073)
	ZI-2452 Transit Priority Area in the City of Los Angeles
	ZI-2484 Community Plan Implementation Overlay: South Los Angeles

General Plan Land Use	Neighborhood Commercial
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	SOUTH LOS ANGELES ALCOHOL SALES
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	South Los Angeles
Subarea	General Corridor
CUGU: Clean Up-Green Up	None

HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	North University Park-Exposition Park-West Adams
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	None
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No
AB 2334: Very Low VMT	Yes
AB 2097: Reduced Parking Areas	Yes
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Low
Non-Residential Market Area	Low
Transit Oriented Communities (TOC)	Tier 2
ED 1 Eligibility	Review Eligibility
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	5040002004
APN Area (Co. Public Works)*	0.090 (ac)
Use Code	1100 - Commercial - Store - One Story
Assessed Land Val.	\$119,629
Assessed Improvement Val.	\$171,666
Last Owner Change	02/02/2022
Last Sale Amount	\$965,009
Tax Rate Area	210
Deed Ref No. (City Clerk)	996250
	854243-4
	801779
	518672
	24761
	2010696
	1379800
	1364363
	1112969

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.



City of Los Angeles Department of City Planning

7/25/2024 PARCEL PROFILE REPORT (modified version)

Building 1	
Year Built	1926
Building Class	C5A
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	2,400.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 5040002004]
Additional Information	
Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None
Environmental	
Santa Monica Mountains Zone	No
Biological Resource Potential	None
Mountain Lion Potential	None
Seismic Hazards	
Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	2.35744512
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000

Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Hazard Area	No
Economic Development Areas	
Business Improvement District	None
Hubzone	Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
Housing	
Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 5040002004]
Ellis Act Property	No
AB 1482: Tenant Protection Act	No
Housing Crisis Act Replacement Review	Yes
Housing Element Sites	
HE Replacement Required	N/A
SB 166 Units	N/A
Housing Use within Prior 5 Years	No
Public Safety	
Police Information	
Bureau	South
Division / Station	Southwest
Reporting District	337
Fire Information	
Bureau	South
Battalion	13
District / Fire Station	15
Red Flag Restricted Parking	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2010-2278-GPA
Required Action(s):	GPA-GENERAL PLAN AMENDMENT
Project Descriptions(s):	GENERAL PLAN AMENDMENT FOR EXISTING FAST FOOD INTERIM CONTROL ORDINANCE (ICO) TO CREATE A GENERAL PLANT FOOTNOTE FOR THE PROHIBITION OF CERTAIN PROJECTS.
Case Number:	CPC-2008-1552-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	SOUTH LOS ANGELES NEW COMMUNITY PLAN PROGRAM
Case Number:	CPC-2007-3827-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	ESTABLISHMENT OF AN ICO TO TEMPORARILY PROHIBIT THE ISSUANCE OF ALL PERMITS RELATED TO THE ESTABLISHMENT OF NEW FAST-FOOD RESTAURANTS LOCATED IN WHOLE OR IN PART WITHIN THE PROPOSED ICO BOUNDARY.
Case Number:	CPC-2005-5848-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	PROPOSED ORDINANCE TO ESTABLISH THE UNIVERSITY OFF-CAMPUS OVERLAY DISTRICT IN THE AREA BOUNDED BY 10FWY TO NORTH, 110 FWY TO EAST, MLK BLVD TO THE SOUTH AND NORMANDIE AVE TO THE WEST
Case Number:	CPC-2004-2394-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	MARTIN LUTHER KING, JR./29TH STREET/NORMANDIE/VERMONT/INTERIM CONTROL ORDINANCE
Case Number:	CPC-2004-2391-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	INTERIM CONTROL ORDINANCE/ AUTOMOTIVE RELATED USES
Case Number:	CPC-19XX-18002
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	CPC-1990-346-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	AMENDMENT TO THE L.A.M.C. TO - DRAFT AN ORDINANCE TO PROHIBIT THE GRANTING OF A CONDITIONAL USE PERMIT FOR THE OFF-SITE SALE OF ALCOHOLIC BEVERAGES (LOURDES GREEN/KAREN HOO)
Case Number:	CPC-1986-603-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	GENERAL PLAN/ZONING CONSISTENCY PROGRAM
Case Number:	CPC-1986-447-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	PLAN AND ZONE CONSISTENCY - SOUTH CENTRAL LOS ANGELES (HERB GLASCOW)
Case Number:	CPC-1983-506
Required Action(s):	Data Not Available
Project Descriptions(s):	SPECIFIC PLN ORD FOR INTERIM CONDITIONAL USE APPRVL FOR ESTABLISHMENTS FOR THE SALE OF ALCOHOL WHICH ARE GENERALLY LOCATED INTHE SOUTH CENTRAL AREA OF THE CITY
Case Number:	ENV-2010-2279-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	GENERAL PLAN AMENDMENT FOR EXISTING FAST FOOD INTERIM CONTROL ORDINANCE (ICO) TO CREATE A GENERAL PLANT FOOTNOTE FOR THE PROHIBITION OF CERTAIN PROJECTS.
Case Number:	ENV-2008-1781-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	SOUTH LOS ANGELES NEW COMMUNITY PLAN PROGRAM
Case Number:	ENV-2007-3828-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	ESTABLISHMENT OF AN ICO TO TEMPORARILY PROHIBIT THE ISSUANCE OF ALL PERMITS RELATED TO THE ESTABLISHMENT OF NEW FAST-FOOD RESTAURANTS LOCATED IN WHOLE OR IN PART WITHIN THE PROPOSED ICO BOUNDARY.
Case Number:	ENV-2005-6078-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	PROPOSED ORDINANCE TO ESTABLISH THE UNIVERSITY OFF-CAMPUS OVERLAY DISTRICT IN THE AREA BOUNDED BY 10FWY TO NORTH, 110 FWY TO EAST, MLK BLVD TO THE SOUTH AND NORMANDIE AVE TO THE WEST
Case Number:	ENV-2004-2410-CE-ICO

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Required Action(s): CE-CATEGORICAL EXEMPTION
ICO-INTERIM CONTROL ORDINANCE

Project Descriptions(s): MARTIN LUTHER KING, JR./29TH STREET/NORMANDIE/VERMONT/INTERIM CONTROL ORDINANCE

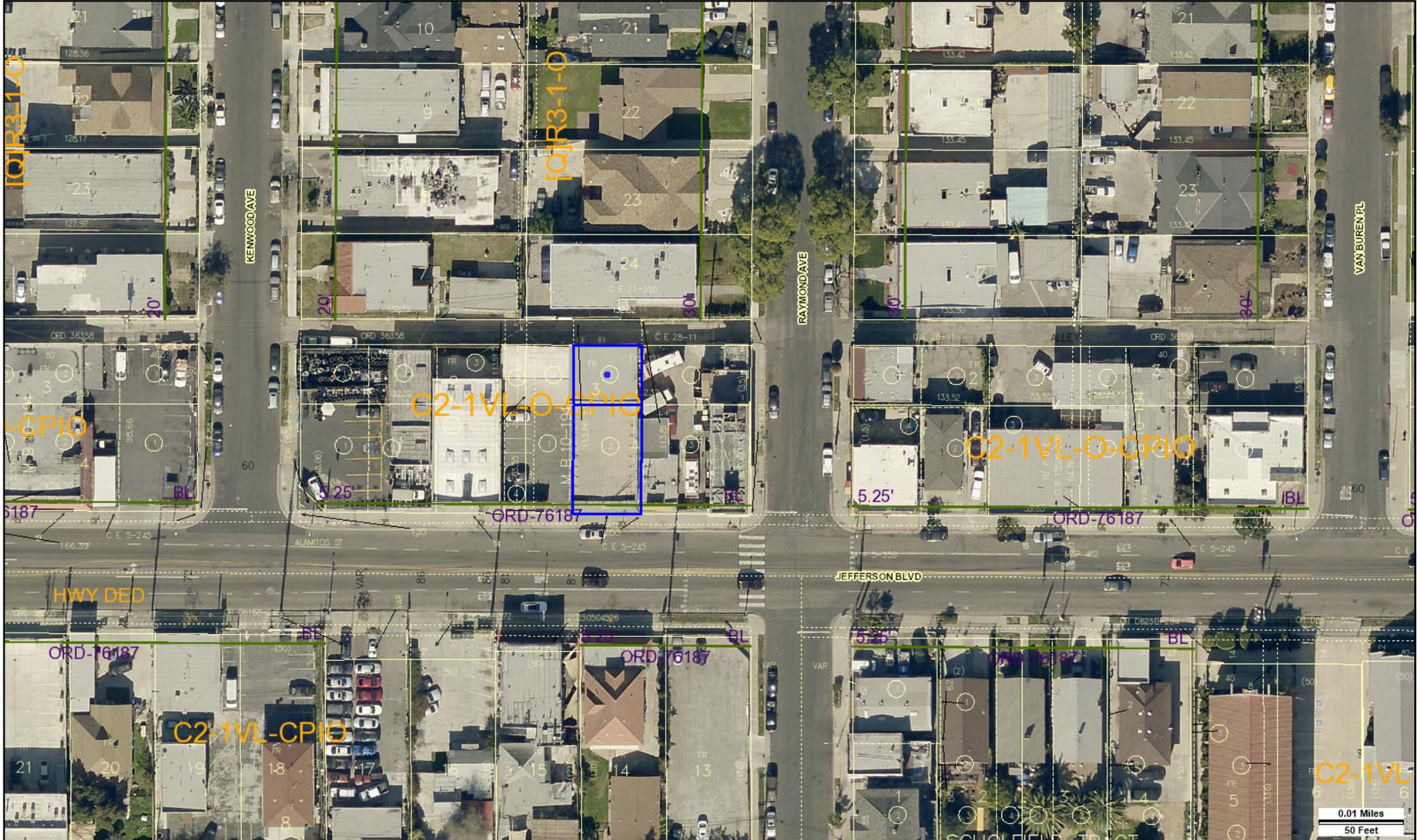
Case Number: ENV-2004-2409-CE-ICO

Required Action(s): CE-CATEGORICAL EXEMPTION
ICO-INTERIM CONTROL ORDINANCE

Project Descriptions(s): INTERIM CONTROL ORDINANCE/ AUTOMOTIVE RELATED USES

DATA NOT AVAILABLE

ORD-185927
ORD-185926-SA2056
ORD-180218
ORD-180103
ORD-171682
ORD-171681
ORD-167121-SA1184
ORD-162128
ORD-129760



Address: undefined
 APN: 5040002004
 PIN #: 120B197 591

Tract: POOLE AND JONES TRACT
 Block: C
 Lot: FR 3
 Arb: 2

Zoning: C2-1VL-O-CPIO
 General Plan: Neighborhood Commercial



LEGEND

GENERALIZED ZONING

	OS, GW
	A, RA
	RE, RS, R1, RU, RZ, RW1
	R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
	CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
	CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
	P, PB
	PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL

	Minimum Residential
	Very Low / Very Low I Residential
	Very Low II Residential
	Low / Low I Residential
	Low II Residential
	Low Medium / Low Medium I Residential
	Low Medium II Residential
	Medium Residential
	High Medium Residential
	High Density Residential
	Very High Medium Residential

COMMERCIAL

	Limited Commercial
	Limited Commercial - Mixed Medium Residential
	Highway Oriented Commercial
	Highway Oriented and Limited Commercial
	Highway Oriented Commercial - Mixed Medium Residential
	Neighborhood Office Commercial
	Community Commercial
	Community Commercial - Mixed High Residential
	Regional Center Commercial

FRAMEWORK

COMMERCIAL

	Neighborhood Commercial
	General Commercial
	Community Commercial
	Regional Mixed Commercial

INDUSTRIAL

	Commercial Manufacturing
	Limited Manufacturing
	Light Manufacturing
	Heavy Manufacturing
	Hybrid Industrial

PARKING

	Parking Buffer
---	----------------

PORT OF LOS ANGELES

	General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
	General / Bulk Cargo - Hazard
	Commercial Fishing
	Recreation and Commercial
	Intermodal Container Transfer Facility Site

LOS ANGELES INTERNATIONAL AIRPORT

	Airport Landside / Airport Landside Support
	Airport Airside
	LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES

	Open Space
	Public / Open Space
	Public / Quasi-Public Open Space
	Other Public Open Space
	Public Facilities

INDUSTRIAL

	Limited Industrial
	Light Industrial

CIRCULATION

STREET

-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway

MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

COASTAL ZONE

 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)

 Tier 1	 Tier 3
 Tier 2	 Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells - Active
 Building Outlines 2020	 Tract Map	 Wells - Inactive
 Building Outlines 2017	 Parcel Map	

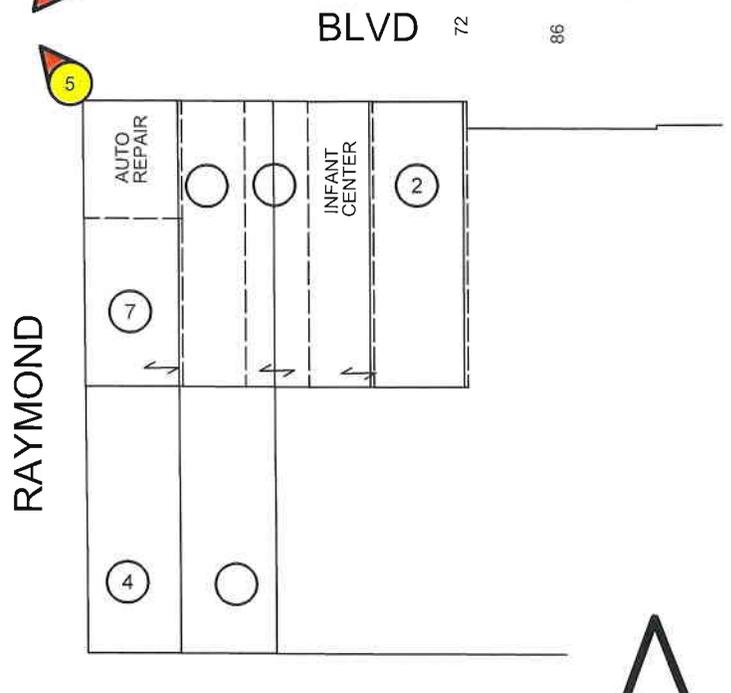
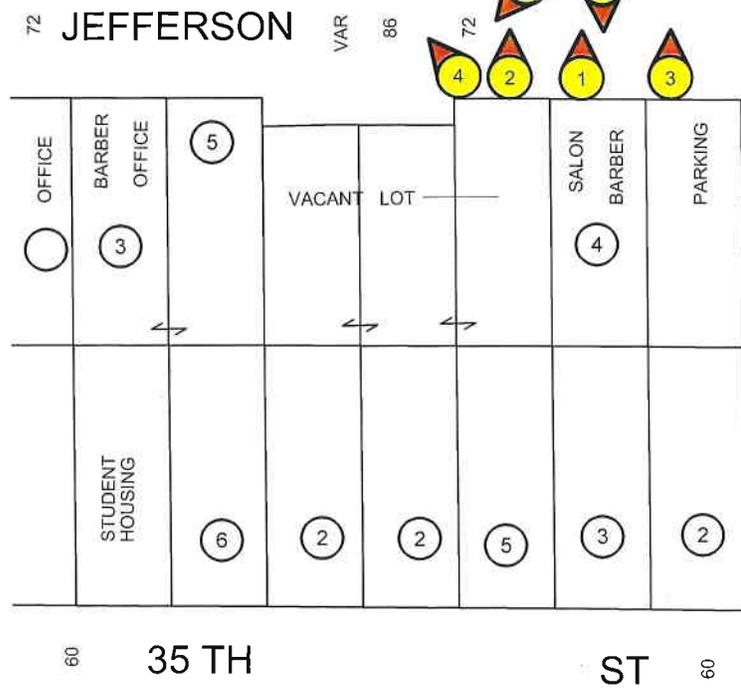
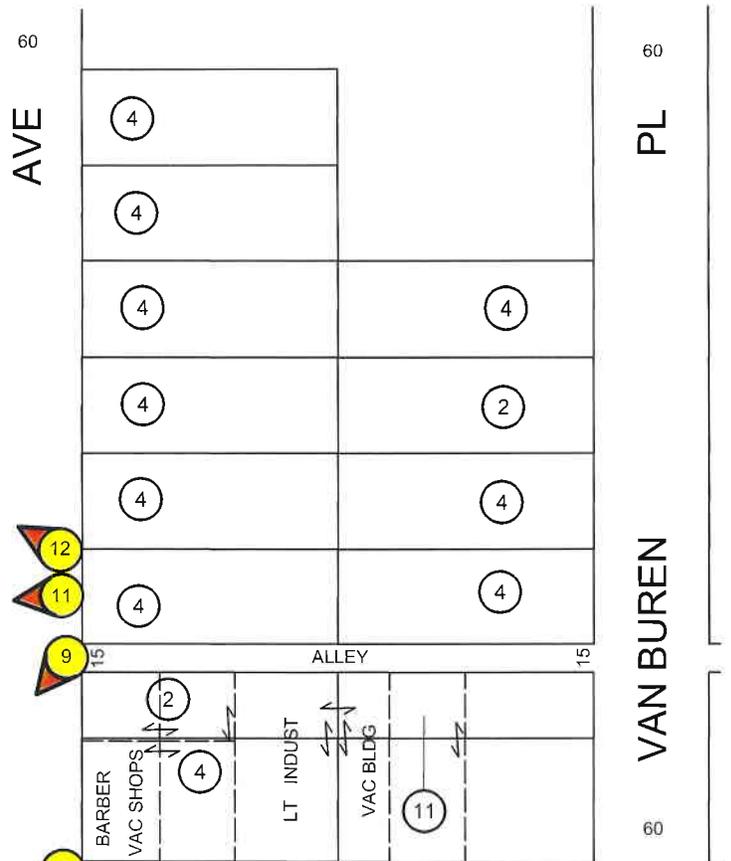
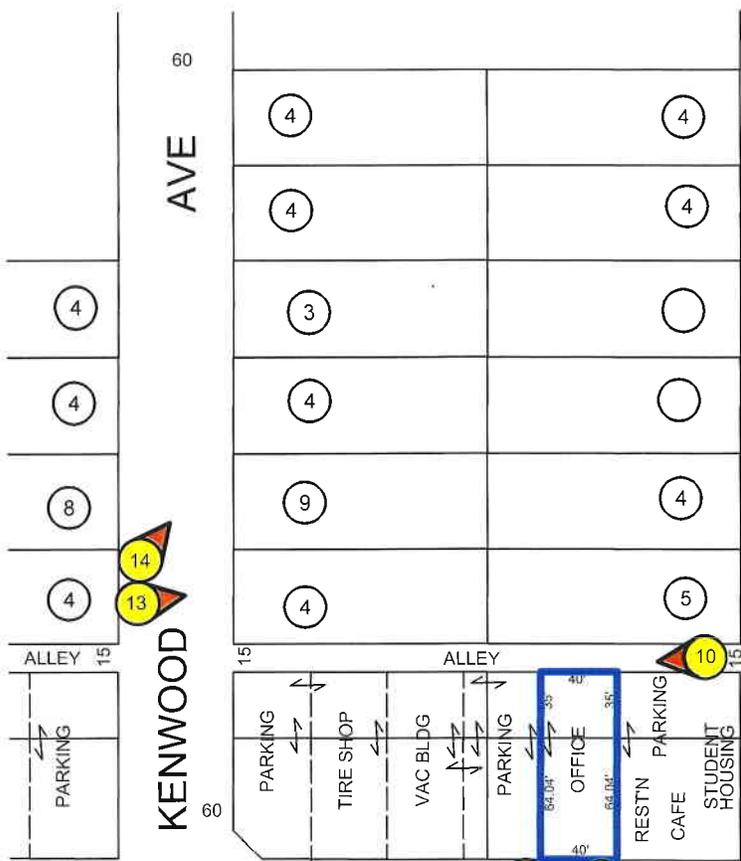
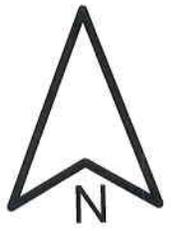


PHOTO BROCHURE



RADIUS MAPS ETC

3544 PORTOLA AVENUE
 LOS ANGELES CA 90032
 OFF/FAX (323) 221-4555
 RADIUSMAPSETC@YAHOO.COM

SITE LOCATION:

1439 W. JEFFERSON BOULEVARD
 LOS ANGELES CA 90007

CASE NO.

DATE: 07 - 25 - 2024
 D.M.: 120 B 197
 T.B.PAGE: 633 GRID: J-4
 APN: 5040-002-004



1.



2.



3.



4.



5.



6.



7.



8.



9.



10.



11.



12.



13.



14.



**CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE**

Date: March 26, 2025

To: Vincent P. Bertoni, Director
Department of City Planning
Attn: Daisy Benicia (City Planner)

From: Hui M. Huang, Principal Civil Engineer
Permit Case Management Division
Bureau of Engineering (BOE)

Subject: **Case No. CPC-2025-0215-DB-WDI-HCA (1433-1439 West Jefferson Boulevard)**

The following recommendations identifying the infrastructure deficiencies adjacent to the above-referenced site. The recommendations are respectfully submitted for your consideration in the approval of a Density Bonus, Waiver of Dedication and Improvements, and Housing Crisis Act application:

1. Dedication Required:

Jefferson Boulevard (Modified Avenue I) – None.

Alley (N/o Jefferson Boulevard) – A 2.5-foot wide strip of land along the property frontage to complete a 10-foot wide half alley standard.

2. Improvements Required:

Jefferson Boulevard – Repair and/or replace any broken, off-grade, or damaged concrete curb, gutter, sidewalk and roadway pavement. Close all unused driveways with full height concrete curb, gutter and sidewalk.

Alley – Construct a new 17.5-foot wide alley pavement and a 2-foot wide longitudinal concrete gutter along the property frontage.

Notes: Broken curb and/or gutter includes segments within existing score lines that are depressed or upraised by more than ¼ inch from the surrounding concrete work or are separated from the main body of the concrete piece by a crack through the entire vertical segment and greater than 1/8 inch at the surface of the section.

Non-ADA compliant sidewalk shall include any sidewalk that has a cross slope that exceeds 2% and/or is depressed or upraised by more than ¼ inch from the surrounding concrete work or has full concrete depth cracks that have separations greater than 1/8 inch at the surface. The sidewalk also includes that portion of the pedestrian path of travel across a driveway.

All new sidewalk curb and gutter shall conform to the Bureau of Engineering Standard Plans S410-2, S440-4, S442-6 and S444-0.

Upgrade all existing curb ramps to comply with ADA requirements.

Install tree wells with root barriers and plant street trees satisfactory to the City Engineer and the Urban Forestry Division of the Bureau of Street Services. The applicant should contact the Urban Forestry Division for further information at <https://engpermits.lacity.org/public> or via <https://appointments.lacity.org/apptsys/Public/Account>.

Notes: Street lighting may be required satisfactory to the Bureau of Street Lighting at <https://lalights.lacity.org> or via <https://appointments.lacity.org/apptsys/Public/Account>.

Department of Transportation may have additional requirements for dedication and improvements.

Refer to the Department of Transportation regarding traffic signals, signs and equipment at (213) 485-1062 or via <https://appointments.lacity.org/apptsys/Public/Account>.

Regarding any conflicts with power pole matters, contact the Department of Water and Power at (213) 367-0562 or via <https://appointments.lacity.org/apptsys/Public/Account>.

Refer to the Fire Department Hydrants and Access Unit regarding fire hydrants at (213) 482-6543 or via <https://appointments.lacity.org/apptsys/Public/Account>.

3. Provide proper drainage for street being improved and for the site being developed.
4. Sewer line exists in the alley. All Sewerage Facilities Charges and Bonded Sewer Fees are to be paid prior to obtaining a building permit.
5. Submit a request to the BOE Central District Office sewer counter to determine the capacity of the existing public sewer to accommodate the proposed development at <https://engpermits.lacity.org/public> or via <https://appointments.lacity.org/apptsys/Public/Account>.
6. Submit a parking area and driveway plan to the Central District Office of the Bureau of Engineering and the Department of Transportation for review and approval.

Any questions regarding this report may be directed to my staff Quyen Phan via quyen.phan@lacity.org.

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

Date: 2/18/2025
To: Charlie Rausch, Senior City Planner
Department of City Planning
200 N. Spring St., 6th Floor MS-395

Richard Tom for

From: Jay Wong, Manager
Private Development Division
Bureau of Street Lighting

SUBJECT: STREET LIGHTING REQUIREMENTS FOR DISCRETIONARY ACTIONS
CITY PLANNING CASE No.: CPC 2025-215 DB WDI HCA
1439 W JEFFERSON BLVD

The Bureau of Street Lighting's recommended condition of approval for the subject city planning case is as follows: (Improvement condition added to S-3 (c) where applicable.)

IMPROVEMENT CONDITION: No street lighting improvements if no street widening per BOE improvement conditions . Otherwise, remove and reinstall 50' of existing conduit behind new curb and gutter on Jefferson Blvd.

NOTES:

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3) by other legal instrument excluding the Bureau of Engineering conditions, requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

CC: Land Development Group MS 901
Engineering District Office: CEN

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

1439 W Jefferson Bl.

Date: February 11, 2025

To: Deputy Advisory Agency
Department of City Planning



From: Segal Ismael, Transportation Engineering Associate
Department of Transportation

Subject: **PARCEL MAP NO. 2025-215**

Reference is made to your request for review of this case regarding potential traffic access problems. Based upon our review, it is recommended that:

1. A minimum of 20-foot reservoir space be provided between any security gate(s) and the property line when driveway is serving less than 100 parking spaces. Reservoir space will increase to 40-feet and 60-feet when driveway is serving more than 100 and 300 parking spaces respectively or as shall be determined to the satisfaction of the Los Angeles Department of Transportation (LADOT).
2. Parking stalls shall be designed so that a vehicle is not required to back into or out of any public street or sidewalk (not applicable when driveways serve not more than two dwelling units and where the driveway access is to a street other than a major or secondary highway), LAMC 12.21 A.
3. Driveway(s) and vehicular access for residential component of any development should be limited to the street with lowest classification or as shall be determined to the satisfaction of the Department of Transportation.
4. Driveway(s) should be located as far from the intersection as possible. At a minimum, driveways on Arterial Streets should not be placed within 150 feet (or to the extent feasible) from the prolongation of the curb line of the intersecting street. Driveways on Collector or Local Streets should not be placed within 75 feet from the prolongation of the curb line of the intersecting street (or to the extent feasible) or as shall be determined to the satisfaction of the Department of Transportation.
5. Driveway(s) or depressed curbs that are abandoned and no longer in use, shall be removed and replaced with full curb-height.
6. A parking area and driveway plan be submitted to the Citywide Planning Coordination Section of the Department of Transportation for approval prior to submittal of building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 201 N. Figueroa Street Room 550. For an appointment,

contact LADOT's One Stop email at: ladot.onestop@lacity.org

7. That a fee in the amount of \$205 be paid to LADOT as required per Ordinance No. 180542 and LAMC Section 19.15 prior to recordation of the final map. Note: the applicant may be required to comply with any other applicable fees per this new ordinance.

Please contact this section at ladot.onestop@lacity.org for any questions regarding the above.

Attachment

H:\Letters\2025\CEN24-58343_1439 W Jefferson Blvd_CPC-2025-215-DB-WDI-HCA.docx

c: Joanne Kim, Council District 8
Quan Tran, LADOT Southern District

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

DATE: October 28, 2025

TO: Shana M.M. Bonstin
Arthi L. Varma
Lisa M. Webber
Haydee Urita-Lopez
Deputy Director of Planning
Department of City Planning

FROM: Kwasi Berko, Division Manager
Clean Water North Conveyance Division
LA Sanitation & Environment



SUBJECT: ADM-2025-1138-PMUL-HCA
ADM-2024-7876-PMUL
AA-2024-7366-PMUL-HCA

ADM-2024-8220-PMUL-HCA

AA-2024-2692-PM-CN-HCA
AA-2024-8279-PMUL

ADM-2025-59-PMUL
AA-2025-41-PM
AA-2024-7755-PM-HCA
AA-2025-121-VPM-SL-HCA
AA-2025-350-VPM-SL-HCA
ADM-2025-371-PMUL
ADM-2025-477-PMUL
AA-2025-604-PM-CC
CPC-2025-215-DB-WDI-HCA
APCW-2024-8091-ZC
ADM-2025-862-PMUL
CPC-2025-63-DB-CU3-HCA
VTT-83570-HCA
AA-2025-971-PM

1923 North Upperton Place
9787 West Blantyre Drive
13185 - 13199 North De Garmo Ave
14843 & 14845 West Ryan Street
7711 West Forsythe Street
7710 West Wentworth Street
1612 West 206th Street
1963 North Curson Place
1962 North Wattles Drive
6006 - 6010 North Melvin Avenue
15449 - 15457 West Camarillo Street
17719 West Kingsbury Street
806 North Waterloo Street
316 North San Pascual Avenue
10433 North Whitegate Avenue
14951 & 14953 West Lanark Street
1211 South Sherbourne Drive
1433 & 1439 West Jefferson Blvd
8946 South Sepulveda Eastway
18163 - 18169 West Arminta Street
5048 - 5056 West Jefferson Blvd
17540 West Kingsbury Street
17216 West Parthenia Street

Our office has reviewed the sewer/storm drain lines serving the subject tracts/areas, and found no potential problems to our structures and/or potential maintenance issues, with the exception of ADM-2025-1138-PMUL-HCA (1923 North Upperton Place).

There is an easement contained within the aforementioned property. Any proposed development in close proximity to the easement must secure Department of Public Works approval.

Note: This Approval is for the Tract Map only and represents the office of LA Sanitation/CWCDs. The applicant may be required to obtain other necessary Clearances/Permits from LA Sanitation and appropriate District office of the Bureau of Engineering.

If you have any questions, please contact Dean Taylor at (323) 342-1550.

KB/dt/mt

CITY OF LOS ANGELES

CALIFORNIA

BOARD OF
BUILDING AND SAFETY
COMMISSIONERS

JACOB STEVENS
PRESIDENT

NANCY YAP
VICE PRESIDENT

CORISSA HERNANDEZ
JAVIER NUNEZ
MOISES ROSALES



KAREN BASS
MAYOR

DEPARTMENT OF
BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

SOILS REPORT APPROVAL LETTER

October 23, 2024

LOG # 132523
SOILS/GEOLOGY FILE - 2

Kevin Tsai Architecture
1439 W Jefferson Blvd.
Los Angeles, CA 90007

TRACT: POOLE AND JONES TRACT (M B 10-194)
BLOCK: C
LOT(S): 3 (Arb.2) / 4 (Arb.2)
LOCATION: 1433 (aka 1439) W Jefferson Blvd.

<u>CURRENT REFERENCE</u> <u>REPORT/LETTER(S)</u>	<u>REPORT</u> <u>No.</u>	<u>DATE OF</u> <u>DOCUMENT</u>	<u>PREPARED BY</u>
Soils Report	24-431-02	09/18/2024	Applied Earth Sciences

The Grading Division of the Department of Building and Safety has reviewed the referenced report that provides recommendations for the proposed construction of a 6-story, at grade, student housing building.

The project site is relatively level, includes two lots and is currently occupied by a commercial building. The earth materials at the subsurface exploration locations consist of up to 5 feet of uncertified fill underlain by native soils.

The consultants recommend to support the proposed structure on conventional foundations bearing on a blanket of properly placed fill.

The referenced report is acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis () refer to applicable sections of the 2023 City of LA Building Code. P/BC numbers refer to the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

1. The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans that clearly indicates the soils engineer has reviewed the plans prepared by the design engineer; and, that the plans included the recommendations contained in their reports (7006.1).

2. All recommendations of the report that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
3. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans (7006.1). Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit.
4. A grading permit shall be obtained for all structural fill and retaining wall backfill (106.1.2).
5. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.
6. If import soils are used, no footings shall be poured until the soils engineer has submitted a compaction report containing in-place shear test data and settlement data to the Grading Division of the Department; and, obtained approval (7008.2).
7. Compacted fill shall extend beyond the footings a minimum distance equal to the depth of the fill below ground surface, except at locations. Where lateral over excavation is not possible (i.e., foundations near property lines or structures), slot cuts are recommended to extend the overexcavation beyond the foundation perimeter (7011.3). In the event uncertified fill/unsuitable earth materials will still remain below a 1H:1V plane projected downwards from the bottom of the proposed footing, a supplemental report providing recommendations for deepened foundations or additional grading shall be submitted to Grading Division for review and approval.
8. Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
9. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
10. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).
11. Temporary excavations that remove lateral support to the public way, adjacent property, or adjacent structures shall be constructed using ABC slot cuts. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
12. Where any excavation, not addressed in the approved reports, would remove lateral support (as defined in 3307.3.1) from a public way, adjacent property or structures, a supplemental report shall be submitted to the Grading Division of the Department containing recommendations for shoring, underpinning, and sequence of construction.

13. Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).
14. Unsurcharged temporary excavation may be cut vertical up to 3 feet. For excavations over 3 feet, the portion of the excavation above the vertical cut shall be trimmed back at a uniform gradient not exceeding 1:1 (horizontal to vertical), as recommended.
15. Surcharged ABC slot-cut method may be used for temporary excavations with each slot-cut not exceeding 5 feet in height and not exceeding 6 feet in width, as recommended. The surcharge load shall not exceed the value given in the report. The soils engineer shall determine the clearance between the excavation and the existing foundation. The soils engineer shall verify in the field if the existing earth materials are stable in the slot-cut excavation. Each slot shall be inspected by the soils engineer and approved in writing prior to any worker access.
16. All foundations shall derive entire support from a blanket of properly placed fill, as recommended (and approved by the geologist and soils engineer by inspection).
17. Footings supported on approved compacted fill or expansive soil shall be reinforced with a minimum of four (4), ½-inch diameter (#4) deformed reinforcing bars. Two (2) bars shall be placed near the bottom and two (2) bars placed near the top of the footing.
18. Slabs placed on approved compacted fill shall be at least 4½ inches thick and shall be reinforced with ½-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
19. For moisture sensitive floor covering, concrete floor slabs shall be placed on a moisture barrier membrane covered with 2 inches of clean sand.
20. The seismic design shall be based on a Site Class D, as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check. According to ASCE 7-16 Section 11.4.8, for structures on Site Class D sites with S1 greater than or equal to 0.2, the parameter SM1 determined by EQ. (11.4-2) shall be increased by 50%. Alternatively, a supplemental report containing a site-specific ground motion hazard analysis in accordance with ASCE 7-16 Section 21.2 shall be submitted for review.
21. The structure shall be connected to the public sewer system per P/BC 2023-027.
22. All roof, pad and deck drainage shall be conducted to the street in an acceptable manner in non-erosive devices or other approved location in a manner that is acceptable to the LADBS and the Department of Public Works (7013.10).
23. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS (7013.10).
24. The soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading (7008, 1705.6 & 1705.8).

25. Prior to pouring concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the work inspected meets the conditions of the report. No concrete shall be poured until the LADBS Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division upon completion of the work. (108.9 & 7008.2)
26. Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; ABC slot cuts; protection fences; and, dust and traffic control will be scheduled (108.9.1).
27. Slot cutting shall be performed under the inspection and approval of the soils engineer and deputy grading inspector (1705.6, 1705.8).
28. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. An Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included (7011.3).
29. No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.
30. A supplemental report shall be provided in the event any deviation to the currently proposed project configuration, as presented and as shown in the plans and cross sections included in the approved reports, is made. This shall include but not limited to: relocation, change in any dimension, change in the number of stories above or below grade of any of the proposed structures; addition of any structure(s), such as retaining walls, decks, swimming pools, driveways, access roads, living quarters, etc.; or, additional permanent grading or temporary grading for construction purposes that are not described and not shown in the plans and cross sections included in the approved reports.



DAN L. STOICA
Geotechnical Engineer I

DLS/dls
Log No. 132523
213-482-0480

cc: Lilian Avak, Applicant
Applied Earth Sciences, Project Consultant
LA District Office



TRANSPORTATION STUDY ASSESSMENT Department of Transportation

PURPOSE

The Department of Transportation (LADOT) Referral Form (hereafter referred to as Referral Form) serves as an initial assessment to determine whether a project requires a Transportation Assessment. A Planning case must be filed with Los Angeles City Planning prior to submitting this Referral Form to LADOT.

GENERAL INFORMATION

- All new school projects, including by-right projects, must contact LADOT for an assessment of the school's proposed drop-off/pick-up scheme and to determine if any traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones are needed.
- Unless exempted, projects located within a Transportation Specific Plan area may be required to pay a traffic impact assessment fee, regardless of the need to prepare a Transportation Assessment.
- Pursuant to LAMC Section 19.15 of Chapter 1 or LAMC Section 15.9.2. of Chapter 1A, as applicable, a review fee payable to LADOT may be required to process this form. The applicant should contact the appropriate [LADOT Development Services Office](#) to arrange payment.
- LADOT's Vehicle Miles Traveled (VMT), VMT Calculator, and VMT Calculator User Guide can be found at <http://ladot.lacity.org>.
- A transportation study is not needed for the following project applications:
 - Ministerial / by-right projects
 - Discretionary projects limited to a request for change in hours of operation
 - Tenant improvements within an existing shopping center for change of tenants
 - Any project only installing a parking lot or parking structure
 - Time extension
 - Single-family home (unless part of a subdivision)
- This Referral Form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, and other issues. These items require separate review and approval by LADOT.

SUBMITTAL REQUIREMENTS

When submitting this Referral Form to LADOT, complete and include a copy of the documents listed below:

- City Planning Application ([CP13-7771.1](#))
- A fully dimensioned Site Plan showing all existing and proposed structures, parking and loading areas, driveways, as well as on-site and off-site circulation
- If filing for purposes of Project Review, the Project Review Supplemental Application ([CP13-2150](#))
- Project-specific VMT Calculator analysis results
- Route this Referral Form for processing to the appropriate [LADOT Development Services Office](#) as follows (see this [map](#) for geographical reference):

LADOT DEVELOPMENT SERVICES DIVISION OFFICES

Central	West LA	Valley
100 S. Main St, 9th Floor Los Angeles, CA 90012 ladot.devreview.cen@lacity.org	7166 W. Manchester Blvd Los Angeles, CA 90045 ladot.devreview.wla@lacity.org	6262 Van Nuys Blvd, 3rd Floor Van Nuys, CA 91401 ladot.devreview.sfv@lacity.org

THIS SECTION TO BE COMPLETED BY APPLICANT

PROJECT INFORMATION

Case Number: CPC-2025-215-DB-WDI-HCA

Address: 1433-1439 W. Jefferson Blvd., Los Angeles, CA 90007

Project Description: Demo of 2,400 sf. office and construction of a 15-unit apartment building w/2 VLI units and 468 sf. of restaurant space.

Seeking Existing Use Credit (will be calculated by LADOT): YES NO UNSURE

Applicant Name: Gary Benjamin, Alchemy Planning + Land Use

Email: gary@alchemyplanning.com

Phone: (213) 479-7521

PROJECT REFERRAL TABLE

	Land Use (list all)	Size/Unit	Daily Trips ¹
Proposed ¹	High Turnover Sit-Down Restaurant	468 SF	
	Multifamily Housing	13	
	Affordable Housing - Family	2	
	Total Trips ¹ :		

THIS SECTION TO BE COMPLETED BY PLANNING STAFF ONLY

Planning Staff Name: Maneri Roman

Phone: (213) 682-6366

Signature: *Maneri Roman* Date: 1/6/2025

- a. Does the proposed project involve a discretionary action? YES NO
- b. Would the proposed project generate 250 or more daily vehicle trips²? YES NO
- c. If the project is replacing an existing number of residential units with a smaller number of residential units, is the proposed project located within one-half mile of a heavy rail, light rail, or bus rapid transit station³? YES NO

If **YES** to **a.** and **b.** or **c.**, or to **all** of the above, the Project must be referred to LADOT for further assessment.

¹ Qualifying Existing Use to be determined by LADOT staff on following page, per LADOT's TAG.

² To calculate the project's total daily trips, use the VMT Calculator. Under "Project Information", enter the project address, land use type, and intensity of all proposed land uses. Select the '+' icon to enter each land use. After you enter the information, copy the 'Daily Vehicle Trips' number into the total trips in this table. Do not consider any existing use information for screening purposes. For additional questions, consult LADOT's [VMT Calculator User Guide](#) and the LADOT TAG (available on the LADOT website).

³ Relevant transit lines include Metro A, B, C, D, E, G, J, and K line stations, and Metrolink stations.

THIS SECTION TO BE COMPLETED BY LADOT

PROJECT COMPONENTS

	Land Use (list all)	Size/Unit	Daily Trips
Proposed			
	Total Trips:		
Existing			
	Total Trips:		
	Net Increase / Decrease (+ or -)		

- a. Is the project a single retail use that is less than 50,000 square feet? **YES** **NO**
- b. Would the project generate a net increase of 250 or more daily vehicle trips? **YES** **NO**
- c. Would the project generate a net increase of 500 or more daily vehicle trips, as determined by the ITE Trip Generation Manual, 11th Edition? **YES** **NO**
- d. Would the project result in a net increase in daily VMT? **YES** **NO**
- e. If the project is replacing an existing number of residential units with a smaller number of residential units, is the proposed project located within one-half mile of a heavy rail, light rail, or bus rapid transit station? **YES** **NO**
- f. Does the project trigger Project Review (LAMC Section 16.05 of Chapter 1 or LAMC Section 4C.14.1.C. (Development Review Threshold Packages) of Chapter 1A, depending on a property's applied zoning)? **YES** **NO**
- g. Project size:
 - i. Would the project generate a net increase of 1,000 or more daily vehicle trips? **YES** **NO**

ii. Is the project's frontage 250 linear feet or more along a street classified as an Avenue or Boulevard per the City's General Plan? YES NO

iii. Is the project's building frontage encompassing an entire block along a street classified as an Avenue or Boulevard per the City's General Plan? YES NO

VMT ANALYSIS (CEQA REVIEW)

If **YES** to a. and **NO** to e. a VMT analysis is **NOT** required.

If **YES** to both b. and d.; or to e. a VMT analysis **is** required.

ACCESS, SAFETY, AND CIRCULATION ASSESSMENT (CORRECTIVE CONDITIONS)

If **YES** to c., a Vehicle Safety and Access Evaluation may be required.

If **YES** to f. and either g.i., g.ii., or g.iii., a Pedestrian, Bicycle, and Transit Access Assessment may be required.

LADOT COMMENTS:

Please note that this form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, and other issues. These items require separate review and approval by LADOT. Qualifying Existing Use to be determined per LADOT's TAG.

LADOT ASSESSMENT QUESTIONS

Specific Plan with Trip Fee or TDM Requirements: YES NO

Fee Calculation Estimate: _____

VMT Analysis Required: YES NO

Vehicle Safety and Access Evaluation: YES NO

Pedestrian, Bicycle, and Transit Access Assessment: YES NO

Prepared by DOT Staff Name: _____ Phone: _____

Signature: _____ Date: _____

CITY OF LOS ANGELES VMT CALCULATOR Version 1.5



Project Screening Criteria: Is this project required to conduct a vehicle miles traveled analysis?

Project Information

Project: Jefferson
Scenario: [www](#)
Address: 1439 W JEFFERSON BLVD, 90007

[www](#)



Is the project replacing an existing number of residential units with a smaller number of residential units AND is located within one-half mile of a fixed-rail or fixed-guideway transit station?

Yes No

Existing Land Use

Land Use Type	Value	Unit
Office General Office	2400	ksf
Office General Office	2.4	ksf

[Click here to add a single custom land use type \(will be included in the above list\)](#)

Proposed Project Land Use

Land Use Type	Value	Unit
Retail High-Turnover Sit-Down Restaurant	468	ksf
Housing Multi-Family	13	DU
Housing Affordable Housing - Family	2	DU
Retail High-Turnover Sit-Down Restaurant	0.468	ksf

[Click here to add a single custom land use type \(will be included in the above list\)](#)

Project Screening Summary

Existing Land Use	Proposed Project
22 Daily Vehicle Trips	101 Daily Vehicle Trips
207 Daily VMT	671 Daily VMT
Tier 1 Screening Criteria	
Project will have less residential units compared to existing residential units & is within one-half mile of a fixed-rail station. <input type="checkbox"/>	
Tier 2 Screening Criteria	
The net increase in daily trips < 250 trips	79 Net Daily Trips
The net increase in daily VMT ≤ 0	464 Net Daily VMT
The proposed project consists of only retail land uses ≤ 50,000 square feet total.	0.468 ksf
The proposed project is not required to perform VMT analysis.	





URBAN FORESTRY REFERRAL – PILOT PROGRAM

Pre-Filing Requirement

This form shall be required if there are any protected trees or protected shrubs on the project site and/or or any trees within the adjacent public right-of-way that may be impacted or removed as a result of the project (e.g., any changes to the building footprint, including construction, demolition, or grading), and the project meets one or more of the following criteria:

- Located within the Mt. Washington/Glassell Park Specific Plan
- SB 9 Urban Lot Split, Preliminary Parcel Map, or Tentative Tract Map, located within the Valley geography
- Qualifies for the Executive Directive 1 (ED 1) Ministerial Approval Process¹
- Utilizes the Transit Oriented Communities (TOC) Affordable Housing Incentive Program²
- Other projects as determined by City Planning,

If required, the applicant shall complete the following **PRIOR TO FILING AN APPLICATION:**

1. Complete the Tree Disclosure Statement ([CP-4067](#)).
2. Prepare a Tree Report in accordance with the Tree Report Template ([CP-4068](#)). If using an existing Tree Report, it must be prepared within 12 months of submission.
3. Submit the Urban Forestry Referral Form (Referral Form), Tree Disclosure Statement, and Tree Report to the [Customer Service Request Portal for Urban Forestry Division Clearances](#). An Angeleno Account will be required.

The completed Referral Form signed by Urban Forestry staff shall be submitted with case filing materials.

Post-Filing Requirement

If a project is identified as requiring this form after a case has been filed, in addition to the above materials, provide the following information:

Case Number: _____

Planning Staff Name: _____

Planning Staff Email: _____

¹ Refer to the [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria

² For more information, refer to the [TOC Guidelines](#)

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Project Site Address: 1433-1439 W. Jefferson Blvd., Los Angeles, 90007

Description of Proposed Project: Demolition of existing office building and
construction of a new 11,943 sf., 6-story, 69'-8"
mixed-use building with 15 dwelling units.

THIS SECTION TO BE COMPLETED BY CITY STAFF ONLY

URBAN FORESTRY PRELIMINARY EVALUATION

Protected Trees and Protected Shrubs

- Ready to File.** No changes required at this time.
- Ready to File with Modifications.** See attached **Tree Protection Plan** (if applicable, include any Notices to Comply [NTCs]).
- Not Ready to File.** See Urban Forestry Comments below. Note that filing with this box checked will result in delays in case processing.

Trees within the Public Right-of-Way

- Ready to File.** No changes required at this time.
- Ready to File with Modifications.** See attached **Tree Protection Plan** (if applicable, include any NTCs or Street Tree Notices [STNs]).
- Not Ready to File.** See Urban Forestry Comments below. Note that filing with this box checked will result in delays in case processing.

Urban Forestry Comments

Existing street tree shall remain protected in place.

Urban Forestry Staff Signature: 

Print Name: Richard Sanchez

Review Date: 12/5/2024

- Additional Documents Attached
- Additional Consultation required by:
 - Bureau of Engineering
 - Department of Transportation

1439 W Jefferson Blvd

7.29.24 Arborist Report

SUBMITTED TO:

Gary Benjamin
Alchemy Planning + Land Use

REVIEWED BY

Falco
12/5/24
Bryan Ramirez, St. Tree Superintendent
Urban Forestry Division
Reviewing Tree Report Only
Review of report does not
indicate UFD approval for
any tree removal

PREPARED BY:

Cris Falco
Board Certified Master Arborist WE-7490B
Registered Consulting Arborist #557
Pest Control Adviser #128017
Qualified Tree Risk Assessor

 **RCA #557**
Registered Consulting Arborist®



July 29, 2024

Table of Contents

Background and Assignment	1
Findings.....	2
Tree Data	3
Property Boundary Map	4
Tree Map	5
Tree Photos.....	6
Assumptions & Limiting Conditions	7
Verification of Arborist Credentials	9

BACKGROUND AND ASSIGNMENT

In July of 2024, Alchemy Planning + Land Use contracted Tree Path for the following consulting assignment at 1439 W Jefferson Blvd, Los Angeles, CA 90007:

Perform a site visit and submit a report that includes an inventory of all on-site trees and adjacent street trees. The report will include a photo of each tree and a tree map with each tree numbered on a satellite image of the property using ArgGIS. Per the City's requirements, the Protected Tree Ordinance 186,873 will be referenced in the report, which will be emailed as the final deliverable.

This report is not a formal tree risk assessment, and I do not guarantee the safety, health, or condition of the subject trees or any other tree on or in the vicinity of the subject property. There is no warranty or guarantee, expressed or implied, that problems or deficiencies in the subject trees may not arise in the future. My expertise in this matter is limited to arboriculture, and this report is not intended to be legal advice. This report is intended to be used by Alchemy Planning + Land Use for development purposes.

FINDINGS

The City of Los Angeles Protected Tree Ordinance 186,873 protects the following tree and shrub species: all California native oaks (*Quercus*), Western sycamore (*Platanus racemosa*), Southern California black walnut (*Juglans californica*), California bay (*Umbellularia californica*), Mexican elderberry (*Sambucus mexicana*) and Toyon (*Heteromeles arbutifolia*).

On July 25, 2024, I visited 1439 W Jefferson Blvd, Los Angeles, CA 90007, to collect data for this report. I did not observe any protected trees or shrubs of the abovementioned species on-site or on abutting properties. I did observe one ginkgo street tree along W Jefferson Blvd. The collected tree data can be seen below.

TREE DATA

Tree #	Common Name	Scientific Name	Location
1	Ginkgo	<i>Ginkgo biloba</i>	Street tree in front of subject property

PROPERTY BOUNDARY MAP



TREE MAP



The red border indicates the rough property lines.

TREE PHOTOS



Tree 1

ASSUMPTIONS AND LIMITING CONDITIONS

1. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the Consultant can neither guarantee nor be responsible for the accuracy of information provided by others. Standard of Care has been met with regards to this project within reasonable and normal conditions.
2. The Consultant will not be required to give testimony or to attend court by reason of this report unless subsequent contractual agreements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
3. Loss or alteration of any part of this report invalidates the entire report.
4. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written consent of the Consultant.
5. This report and any values expressed herein represent the opinion of the Consultant, and the Consultant's fee is in no way contingent upon the reporting of a stipulated result, a specified value, the occurrence of a subsequent event, nor upon any finding to be reported.
6. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, or coring, unless otherwise stated. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the tree(s) or property in question may not arise in the future.
7. Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. It is highly recommended that you follow the arborist recommendations; however, you may choose to accept or disregard the recommendations and/or seek additional advice.
8. Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period of time.



9. Any recommendation and/or performed treatments (including, but not limited to, pruning or removal) of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, site lines, disputes between neighbors, and any other related issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist can then be expected to consider and reasonably rely on the completeness and accuracy of the information provided.
10. The author has no personal interest or bias with respect to the subject matter of this report or the parties involved. He/she has inspected the subject tree(s) and to the best of their knowledge and belief, all statements and information presented in the report are true and correct.
11. Unless otherwise stated, trees were examined using the risk assessment criteria detailed by the International Society of Arboriculture's publications *Best Management Practices – Tree Risk Assessment* and the *Tree Risk Assessment Manual (Second Edition)*.

VERIFICATION OF ARBORIST CREDENTIALS



The International Society of Arboriculture

Hereby Announces That

Cristan Angelo Falco

Has Earned the Credential

ISA Board Certified Master Arborist®

By successfully meeting ISA Board Certified Master Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council


Caitlyn Polihan
CEO & Executive Director

26 October 2015	31 December 2024	WE-7490B
Issue Date	Expiration Date	Certification Number



*The American Society
of
Consulting Arborists*

*in recognition of fulfillment of the requirements for
Registered Consulting Arborist® status
confers upon*

Cris Falco, RCA #557

*Registered Membership
August 21, 2014*


 Jeremy Chancey, RCA #646
 President


 Kristen Phillips, CAE
 Executive Director



PRELIMINARY LAND USE REPORT
(PLANNING CASE REFERRAL FORM (PCRF))

The City of Los Angeles, Bureau of Engineering (BOE) / Department of City Planning (DCP)

This is a Preliminary Land Use Report to provide the applicant with a general understanding of what may be required by BOE for a City Planning Case if, after filing, it is referred to BOE; and what may otherwise be required by BOE per Los Angeles Municipal Code Section 12.37 (Highway and Collector Street Dedication) if the City Planning Case is not referred to BOE.

Part I: To be completed by Applicant

DCP Case Number (If Available): _____

Applicant: Gary Benjamin

Address: 4470 W. Sunset Blvd., #547

Los Angeles

Phone: 213-479-7521

Email: gary@alchemyplanning.com

Owner: KTSAI Investments LLC

Address: 1439 W. Jefferson Blvd.

Project Address: 1433-1439 W. Jefferson Blvd.

APN: 5040-002-004

Engineering District: CENTRAL

Project Description (attach ZIMAS Map with highlighted Parcel(s)):

New mixed-use building.

Is there a Tract or Parcel Map being filed in conjunction with this:

If yes; provide Map No. _____

Has the Tract / Parcel report been prepared and submitted to DCP by BOE:

Will new building(s)/structure(s) be constructed as part of this project:

The Preliminary Land Use Report may be voluntarily filed to provide a general understanding of potential required dedication and improvements on existing streets but is not intended to provide preliminary requirements for a Subdivision (Tract or Parcel Map), Private Street Case, or Street/Alley Vacation. If a Tract/Parcel report has been prepared and submitted to DCP by BOE, please refer to the Tract/Parcel map conditions.

Part II: To be Completed by BOE Staff:

Is property within the Hillside Ordinance area (Sections 12.21A17 & 12.21 C10 of LAMC)?:

Is the property subject to Section 12.37 of the LAMC? :

Is the project in the Historic Overlay Preservation Zone? :

Does the project adjoin a State Highway?

Is the project within 100' of the intersection of the intersection of the building lines of a corner lot?

(Per Section 91.106.4.7.1 of LAMC)

Is the project within a streetscape area?

The Preliminary Land Use Report does not provide preliminary information for projects subject to the Baseline Hillside Ordinance. (Obtain a Hillside Referral Form from BOE for Hillside Ordinance project requirements.)

DEDICATIONS

Street/Alley	Classification	Ex Full R/W	Req Full R/W	Ex Adj. Half R/W	Req Adj. Half R/W	Adjacent Dedication Required	Required under 12.37	Required under a DCP Referred Planning Action
JEFFERSON BLVD	Modified Avenue I	72 FT	90 FT	36 FT	45 FT	9 FT	YES	YES
ALLEY	Alley	15 FT	20 FT	7.5 FT	10 FT	2.5 FT	NO	YES
							SELECT	SELECT
							SELECT	SELECT
							SELECT	SELECT

Corner	Classification	Dimensions	Required under 12.37	Required under a DCP Referred Planning Action
			SELECT	SELECT

ADDITIONAL NOTES:

IMPROVEMENTS

Street/Alley	Classification	Ex Full Roadway	Req Full Roadway	Ex adjacent half Roadway	Required adjacent Half Roadway	Missing Improvements	Exist. Trees	Exist. CB	Potential Widening	Required under 12.37	Required under a DCP Referred Planning Action
JEFFERSON BLVD	Modified Avenue I	50 FT	70 FT	25 FT	35 FT		1	NA	10 FT	NO	YES
ALLEY	Alley	15 FT	20 FT	7.5 FT	10 FT		NA	NA	2.5 FT	NO	YES
										SELECT	SELECT
										SELECT	SELECT
										SELECT	SELECT

Corner	Classification	Provide/ Upgrade Corner Ramp	Required under 12.37	Required under a DCP Referred Planning Action
		SELECT	SELECT	SELECT
		SELECT	SELECT	SELECT
		SELECT	SELECT	SELECT
		SELECT	SELECT	SELECT

Street Trees: If the recommendation for Street Widening is marked “Yes”, street tree removals may be required. Street Tree removals must be approved by the Board of Public Works. Applicants shall contact the Urban Forestry Division (UFD) of StreetsLA at (213)-847-3077 before proceeding with the Master Land Use Application. Applicants are also advised to contact Urban Forestry Division (UFD) of Streets LA for proposed driveway location impacting existing street trees.

ADDITIONAL NOTES:

REPAIR DAMAGED, CRACKED, OFF-GRADE SIDEWALK, AND ROADWAY PAVEMENT ALONG JEFFERSON BLVD PER LA CITY STANDARDS. FILL IN NEWLY DEDICATED AREA WITH CONCRETE SIDEWALK PER STANDARD PLAN NO. S-442-6. CLOSE ANY UNUSED, NON-STANDARD DRIVEWAY APPROACHES AND CONSTRUCT NEW APPROACHES PER LA CITY STANDARD PLAN NO. S-440-4.

Removal/Replacement of Existing Improvements: In all cases, applicants may be required to close any unused driveways; remove and replace sidewalks not compliant with ADA requirements; and install/replace public improvements such as driveway aprons and access ramps to meet ADA requirements. In cases referred to BOE by DCP, applicants may also be required to remove and replace broken, off-grade, or bad order curb, gutter, driveways, sidewalks, or alley/street pavement.

Newly Dedicated Areas: In all cases referred by DCP to BOE, applicant may be required to fill in newly dedicated areas with concrete sidewalk, and will be required to remove or obtain Revocable Permit for any encroachments. In cases not referred but subject to L.A.M.C. Section 12.37, where there is existing sidewalk, applicant will have the option to either: fill in newly dedicated areas with concrete sidewalk, obtain revocable permit for existing or new encroachments, or install/retain standard plant materials such as grass.

Other Public Improvements: Planning Cases may also have requirements for Public Improvements determined by Bureau of Street Lighting (BSL), Urban Forestry Division (UFD) of StreetsLA, and Los Angeles Department of Transportation (LADOT)

SEWERS

Does the lot have a legal connection to the sewer?

Distance from subject lot to the nearest mainline sewer?

50 Ft.

Sewers Exist in the following Rights-of-Way	Street/R/W	Street/R/W	Street/R/W	Street/R/W
Enter street names (select from options provided above)	Jefferson Blvd			

Sewer easement within the project site?

Sewer facilities within easements?

ADDITIONAL NOTES:

STORM DRAINS

Are there storm drain catch basins existing in the right-of-way adjacent to the project site?

NA (Number)

Storm Drain easement within the project site?

Storm Drain facilities within easements?

ADDITIONAL NOTES:

ADDITIONAL NOTES (cont.):

NOTE: This is a Preliminary Land Use Report to provide the applicant with a general understanding of what may be required by BOE for a City Planning Case if, after filing, it is referred to BOE; and what may otherwise be required by BOE per Los Angeles Municipal Code Section (LAMC) 12.37 (Highway and Collector Street Dedication) if the City Planning Case is not referred to BOE.

For City Planning Cases, a formal investigation and engineering report may be required, if so determined by the City Planning Department. If so, the Engineering Report will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the Engineering Report.

For cases not referred by City Planning to BOE, requirements of LAMC Section 12.37 may be applicable. To determine requirements of LAMC Section Section 12.37, a formal investigation and engineering report may be required during the Building Permit Plan Check clearance process as applicable. If so, the Highway Dedication (“R3”) letter will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the Highway Dedication (“R3”) letter. [LAMC Section 12.37 provides for minimum dedication and improvement requirements which do not preclude conditions established by City Planning actions]

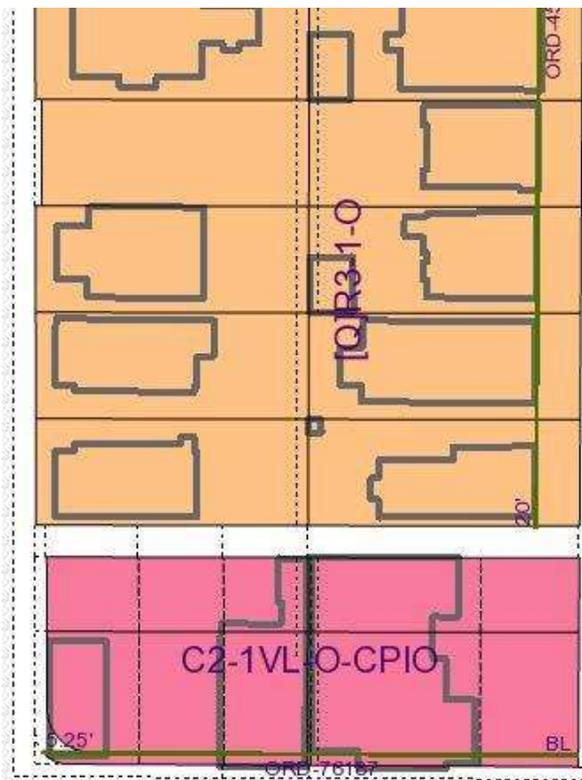
Prepared by: Armen Mherabian

Date: 11/26/2024

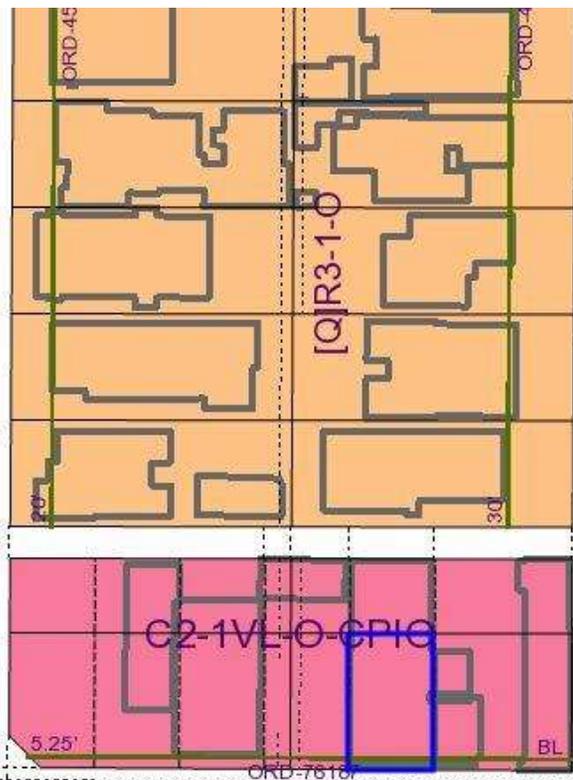
Reviewed by: Terry Phan

Date: 11/26/2024

NORMANDIE AVE



KENWOOD AVE



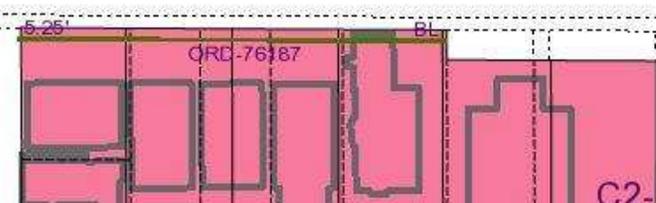
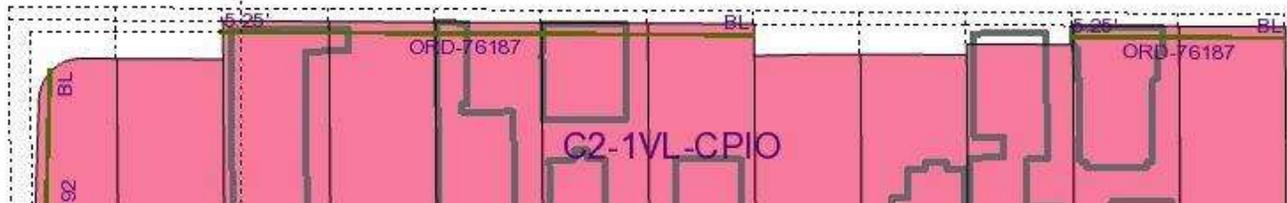
RAYMOND AVE



VAN BUREN DR

HWY DED

JEFFERSON BLVD



City Planning Case Referral



Project Information

LA Sanitation Case Referral #: 1907

Date: 11/22/2024

<p>Site Information</p> <p>Project Address: <u>1439 W Jefferson BL</u></p> <p>APN: <u>5040002004</u></p> <p>Type of Project: <input checked="" type="checkbox"/> New / <input type="checkbox"/> Redevelopment</p> <p>• <input type="checkbox"/> Res <input type="checkbox"/> Comm <input type="checkbox"/> Indus. <input checked="" type="checkbox"/> Mixed Use</p> <p>• Other: _____</p> <p>Hillside Grading: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N ESA: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p> <p>Liquefaction: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p> <p>Percolation test done: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p>	<p>Applicant Information</p> <p>Name: <u>Gary Benjamin</u></p> <p>Email: <u>gary@alchemyplanning.com</u></p> <p>Phone: <u>(213) 479-7521</u></p> <p>Address: <u>1110 N. Virgil Ave., #187</u></p> <p><u>Los Angeles, 90029</u></p>
<p>Project Information</p> <p>Total site area (Ac): <u>0.091</u> Design Storm (85th Percentile): <u>1.1 inch</u></p> <p>Approx Impervious area (Ac): <u>0.083</u> Approx Pervious Area (Ac): <u>0.008</u></p>	
<p>Note:</p> <p>The information on this City Planning Case Referral Form is only a “preliminary review” by LA Sanitation. It informs the applicant of the stormwater requirements that will need to be implemented on the project in order to satisfy Low Impact Development (LID) requirements.</p>	
<p>Possible BMP (Subject to Soils testing and Site conditions)</p> <p>Infiltration: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Capture & Use: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p> <p>Bio-Filtration: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p>	<p>Sanitation Plan Checker</p> <p>Reviewer: <u>M. Patel</u></p> <p>Date Reviewed: <u>11/22/2024</u></p>
<p>Comment(s):</p> <p><u>Under the current ordinance #188125 LID is not required if building or grading permit has a LADBS payment date of</u></p> <p><u>April 2nd 2024 or after.</u></p>	

REFERRAL FORM



PRELIMINARY ZONING ASSESSMENT

This form is to serve as an inter-agency referral for City Planning applications associated with a project creating two or more residential units. As a part of a City Planning application, a completed Preliminary Zoning Assessment (PZA) form, accompanied by architectural plans, shall be submitted to Plan Check staff at the Department of Building and Safety (LADBS). LADBS Plan Check staff will sign the PZA form and the architectural plans once the informational Zoning Plan Check verifications are completed. Following the completion of the PZA process, a City Planning application may be filed along with all other applicable filing requirements.

Review of the referral form by City staff is intended to determine compliance with City zoning and land use requirements necessary to achieve the proposed project and to identify any zoning issues or necessary approvals that would need to be resolved through a City Planning application. The informational Zoning Plan Check done through the PZA process does not constitute a zoning approval and does not require compliance with development standards to be completed.

To check if a project type qualifies for and requires the PZA form, see the [Housing Development Project Applicability Matrix](#) available on the City Planning Forms [webpage](#).

CONTACT INFORMATION

Department of Building and Safety, Affordable Housing Section

201 N. Figueroa St., Ste 830

Los Angeles, CA 90012

Phone: (213) 482-0455

Web: <https://ladbs.org/services/special-assistance/affordable-housing>

Email: LADBS.AHS@lacity.org

Department of City Planning, Development Services Center

For locations and hours:

<https://planning.lacity.org/contact/locations-hours>

THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF ONLY

LADBS Plan Check Staff Name and Title Amir Nakhla - Architectural Associate I	LADBS Plan Check Staff Signature¹ Amir Nakhla <small>Digitally signed by Amir Nakhla DN: C=US, E=amir.nakhla@lacity.org, O=City of LA, OU=Zoning Department, CN=Amir Nakhla Date: 2024.11.21 10:05:55-08'00'</small>
Plan Check Application No.² 24010-10000-03022	Date 11-21-2024
Notes	<input type="checkbox"/> ED 1 Eligible

¹ LADBS Plan Check staff will sign the Preliminary Zoning Assessment Form once the Zoning Plan Check verifications are complete.

² This completed form shall be accompanied by plans signed by a DBS Plan Check staff following the completion of a Zoning Plan Check.

THIS SECTION TO BE COMPLETED BY THE APPLICANT³

PROJECT INFORMATION

I. PROJECT LOCATION, ZONING & LAND USE JURISDICTION

Project Address: 1433-1439 W. Jefferson Blvd., Los Angeles, CA 90007

Project Name (if applicable): _____

Assessor Parcel Number(s): 5040-002-004

Legal Description (Lot, Block, Tract): Lots FR 3 (Arb 2) & 4 (Arb 2), Block C, Poole and Jones Tr.

Community Plan: South Los Angeles **Number of Parcels:** 2 **Site Area:** 3,949 sq. ft.

Current Zone(s) & Height District(s): C2-1VL-O-CPIO **Land Use Designation:** Neigh. Com.

- | | | | |
|---|----------------------------------|---|--|
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | ED 1 Eligible⁴ | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Site Contains Historical Features |
| <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | Alley in Rear | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Downtown Design Guide Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Coastal Zone | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Special Grading Area (BOE) Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Hillside Area (Zoning) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Very High Fire Hazard Severity Zone |
| <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | Enterprise Zone | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Greater Downtown Housing Incentive Area |

Specific Plan: _____

Historic Preservation Overlay Zone (HPOZ): _____

Design Review Board (DRB): _____

Redevelopment Project Area: _____

Overlay Zone (CPIO/CDO/POD/NSO/RIO/CUGU/etc.): South Los Angeles CPIO

Q Condition/ D Limitation/ T Classification (Ordinance No. and Subarea): _____

Description of Condition: _____

Legal (Lot Cut Date) _____

Related City Planning Cases _____

³ All fields in this form must be completed. If an item is not applicable, write N/A.
⁴ Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

Z.I.(s) _____

Affidavits _____

Easements _____

TOC Tier⁵ (if applicable to project) _____

II. PROJECT DESCRIPTION

Project Description/Proposed Use Construction of a new 11,943 sf. (3.03 FAR), six-story, 69'-8" mixed-use building with 15 dwelling units, including 1 one-bedroom unit, 13 two-bedroom units, and 1 three-bedroom unit, with two Very Low Income units (18%), as well as 471 sf. of restaurant space.

No. of Stories: 6 **No. of Dwelling Units:** 15 **Floor Area (Zoning):** 11,933 sf.

Present Use/No. of Units: 2,400 sf. commercial building (c. 1926).

III. CITY PLANNING ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request to City Planning and (if applicable) the Section in the LAMC or the Specific Plan/Overlay from which relief is sought; follow with a description of the requested action.

Authorizing Code Section: LAMC 12.22-A,25 & 13B.2.3

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: Density Bonus Off-Menu Incentives & Waivers

Authorizing Code Section: LAMC 12.37-I,3

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: Waiver of Dedication and Improvement Requirements

Additional Requests Attached YES NO

⁵ Must be verified by the City Planning Affordable Housing Services Section. A Tier Verification for projects using the TOC guidelines is required to initiate a Preliminary Zoning Assessment with LADBS. Contact Planning.PriorityHousing@lacity.org.

IV. APPLICANT INFORMATION⁶

Name: Kevin Tsai, KTSAI Investments, LLC

Phone: (310) 968-2892

Email: kt@kevin-tsai.com

V. REPRESENTATIVE INFORMATION

Name: Gary Benjamin, Alchemy Planning + Land Use

Phone: (213) 479-7521

Email: gary@alchemyplanning.com

⁶ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing a case on behalf of a client (i.e. usually not the agent/representative).

**VI. PRELIMINARY ZONING ASSESSMENT SUMMARY
THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF⁷**

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable LAMC Section No. ⁸	Comments and Additional Information
1	Use	APARTMENT HOUSE; CAFE	APARTMENT HOUSE; CAFE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	12.14.A.	<input type="checkbox"/> Conditional Use (LAMC Section 12.24) for _____ -
2	Height	69' 8"	45'	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1.	<input checked="" type="checkbox"/> Transitional Height applies (LAMC Section 12.21.1 A.10) <input type="checkbox"/> Commercial Corner Development/Mini-Shopping Center height applies (LAMC Section 12.22 A.23(a)(1)) -APPLICANT IS SEEKING OFF-MENU INCENTIVE - 24'-8" HEIGHT INCREASE FROM 45' TO 69'-8". -OFF-MENU INCENTIVE TO PERMIT A 21% REDUCTION OF THE REQUIRED GROUND FLOOR HEIGHT FROM 14' TO 11'.

⁷ LADBS Plan Check staff will sign Section IV of the Preliminary Zoning Assessment (PZA) form and provide signed architectural plans once the Zoning Plan Check verifications are complete.

⁸ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ⁹	Comments and Additional Information
3	No. of Stories	6 STORIES	3 STORIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21.1 (if code prevails)	-APPLICANT IS SEEKING OFF-MENU INCENTIVE - INCREASE No. of STORIES FROM THREE STORIES TO SIX STORIES.
4	FAR (Floor Area Ratio)	11933 SF - 3.03:1	1.5:1 T=3949 X 1.5 = 5923.50 SF	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1.	APPLICANT IS SEEKING OFF-MENU INCENTIVE - INCREASE FAR 102% FROM 1.5 TO 3.03.

⁹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁰	Comments and Additional Information
5	RFAR (Residential Floor Area Ratio)	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	N/A	N/A
6	Density	15 UNITS	*1/400 SF *4249.00/400=10.62 UNITS; 11 UNITS (ROUNDED UP) 11 UNITS X 1.35 = 14.85 UNITS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.14.C.3 12.22 A.25.F.4	Density Ratio: <input type="checkbox"/> Site Plan Review (16.05) / Major Project CUP (12.24 U.14) -APPLICANT IS SEEKING ON-MENU INCENTIVE -INCREASE DENSITY "DENSITY BONUS" 35% - BASE INCENTIVE. 12.22 A25

¹⁰ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹¹	Comments and Additional Information
7	Setback (Front)	0'	0'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	12.14.C.1.	Lot Line Location (Street Name): W JEFFERSON BLVD Lot Line Location (Street Name):
8	Setback (Side)	3' ;4;	4'; 4' FOR EACH STORY ABOVE THE 2ND STORY =8'	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.14.C.2.	Offset/plane break met: <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A -APPLICANT IS SEEKING WAIVER OF DEVELOPMENT STANDARD TO PERMIT A 62.5% REDUCTION OF THE WEST SIDE YARD FROM 8' TO 3'. APPLICANT IS SEEKING OFF-MENU INCENTIVE TO PERMIT A 50% REDUCTION OF THE EAST SIDE YARD FROM 8' TO 4'.

¹¹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹²	Comments and Additional Information
9	Setback (Rear)	0'	0'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.14.C.2 & 10.22 C.10.	12.22 A.3.C. mixed use & abuts Alley
10	Building Line	2' 4"	5' 3"	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	Ordinance No.: 76187	APPLICANT IS SEEKING OFF-MENU INCENTIVE TO PERMIT A 55.5% REDUCTION OF THE BUILDING LINE SETBACK FROM 5'-3" TO 2'-4" .

¹² Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹³	Comments and Additional Information
11	Parking (automobile)	Residential: 0 SPACES Non-Residential: Residential: 0 SPACES	Residential: 0 SPACES Non-Residential: 0 SPACES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 A.4 (if code prevails) AB2097	Design standards met(12.21 A5): <input type="checkbox"/> YES <input type="checkbox"/> NO Improvement standards met (12.21 A.6 (except landscaping, to be determined by City Planning)): <input type="checkbox"/> YES <input type="checkbox"/> NO
12	Bicycle Parking (residential)	Long-term: 15 SPACES Short-term: 2 SPACES	Long-term: 15 SPACES Short-term: 2 SPACES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 A.16 (if code prevails)	Facility standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Design standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

¹³ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁴	Comments and Additional Information
13	Bicycle Parking (non-residential)	Long-term: 2 SPACES Short-term: 2 SPACES	Long-term: 2 SPACES Short-term: 2 SPACES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 A.16 (if code prevails) -	Facility standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Design standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
14	Open Space	Total (sq. ft.): 0 SF Common (sq. ft.): 0 SF Private (sq. ft.): 0 SF	Total: 1900 SF Common: MIN: 950 SF MAX IN: 475 SF Private: MAX: 950 SF	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 G (if code prevails) -	Units/Habitable Room <3: 1 UNITS @ 100 SF =3: 13 UNITS @ 125 SF >3: 1 UNITS @ 175 SF Dimensions met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO OFF-MENU INCENTIVE TO PERMIT A 100% REDUCTION OF REQUIRED OPEN SPACE FROM 1,900 SF. TO 0 SF

¹⁴ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁵	Comments and Additional Information
15	Retaining Walls in Special Grading Areas	Max Height: N/A Max Quantity: N/A	Max Height: N/A Max Quantity: N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.8 (if code prevails) N/A	N/A
16	Grading (Zoning and Planning Limitations)	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	N/A	N/A

¹⁵ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁶	Comments and Additional Information
17	Lot Coverage	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	N/A	N/A
18	Lot Width	Existing 40'	50'	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.14.C.3	-

¹⁶ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁷	Comments and Additional Information
19	Space between Buildings	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.2(a) (if code prevails) N/A	N/A
20	Passageway	DIRECT ACCESS TO RIGHT OF WAY	10'; 8' FOR 2' / EACH STORY ABOVE THE 2ND STORY =18 OR DIRECT ACCESS TO RIGHT OF WAY	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 C.2(b) (if code prevails) -	-

¹⁷ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁸	Comments and Additional Information
21	Location of Accessory Buildings	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.5 (if code prevails) N/A	N/A
22	Loading Area	0 SF	400 SF	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.21 C.6.a.	-APPLICANT IS SEEKING WAIVER OF DEVELOPMENT STANDARD TO PERMIT RELIEF FROM THE 400 SF. LOADING ZONING REQUIREMENT.

¹⁸ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁹	Comments and Additional Information
23	Trash & Recycling	70 SF RESIDENTIAL 30 SF COMMERCIAL	30 SF RESIDENTIAL 30 SF COMMERCIAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21 A19.c.2.i	-
24	Landscape	Conformance determined by Los Angeles City Planning			N/A	N/A

¹⁹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ²⁰	Comments and Additional Information
25	Private Street	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	N/A	N/A
	Other (e.g., ground floor transparency, lighting, utilities, signage, walls, lot area, minimum frontage, etc.)	See additional sheets, if applicable				Additional Sheet(s) attached: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

²⁰ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

AN _____ (LADBS Staff Initials)

ADDITIONAL ZONING AND LAND USE STANDARDS REVIEWED
to be completed by LADBS Plan Check Staff

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No.	Comments and Additional Information
N/A	N/A	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO	N/A	N/A
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		

AN _____ (LADBS Staff Initials)

REFERRAL FORM

Adjustments made by DCP
Staff Maneri Roman (MR)
01/06/2026



AFFORDABLE HOUSING REFERRAL FORM

This form is to serve as a referral to the Los Angeles City Planning’s Development Services Center (DSC) for Affordable Housing case filing purposes (in addition to the required City Planning Application and any other necessary documentation); and to the City of Los Angeles Housing Department (LAHD), Department of Building and Safety (LADBS), or other City agency for project status and entitlement need purposes. All Applicants are required to provide a complete set of architectural plans at the time that this form is submitted for review. Any application submitted that is missing any required materials will be considered incomplete and will not be reviewed until all materials are submitted.

This form shall be completed by the Applicant and reviewed and signed by City Planning DSC Affordable Housing Services Section (AHSS) Staff prior to filing an application for an entitlement, administrative review, or building permit. Any modifications to the content(s) of this form after its authorization by AHSS Staff is prohibited. City Planning reserves the right to require an updated Referral Form for the project if more than 180 days have transpired since the referral date, or as necessary, to reflect project modifications, policy changes, bus route changes, bus schedule changes, and/or amendments to the Los Angeles Municipal Code (LAMC), local laws, and State laws.

Note: This Referral Form does not constitute a City Planning application. See the Forms webpage for City Planning Application ([CP13-7771.1](#)) and the City Planning Application Filing Instructions ([CP13-7810](#)). If the project is located within a Specific Plan or Overlay Zone, check with the assigned planner prior to preparing these plans, as some have additional or different requirements. An [Assignment List](#) can be found on the City Planning website at <http://planning.lacity.org> under the “About” tab, under “Staff Directory.”

THIS SECTION TO BE COMPLETED BY AHSS STAFF ONLY

Planning Staff Name & Title: Katherine Rice, Planning Assistant

Planning Staff Signature: Katherine Rice Digitally signed by Katherine Rice
Date: 2025.01.07 11:03:04 -08'00'

Referral Date: 1-7-25 **Expiration Date:** 7-6-25

Case Number: PAR- 2024-4632-AHRF

TRANSPORTATION QUALIFIERS (if applicable)

Major Transit Stop Paratransit / Fixed Bus Route Very Low Vehicle Travel Areas

Other: _____

Location of Transit: Normandie Ave and Jefferson Bl

Qualifier #1: Metro Local line 206

Service Interval #1: NB: 420/28=15 **Service Interval #2:** N/A

Qualifier #2: Metro Line line 35 (per planned 2024 SCAG RTP)

Service Interval #1: N/A **Service Interval #2:** N/A

Service Intervals are calculated by dividing 420 (the total number of minutes during the peak hours of 6 am to 9 am and 3 pm to 7 pm by the number of eligible trips.

Notes:

Per LAMC section 12.37 I , the Waiver of Dedication and Improvement (WDI) application must be filed at the Department of City Planning's (DCP) Public Counters. Project Planner to review compliance with NSO and South Los Angeles CPIO. The lot to the north of the project site is zoned [Q]R3-1-O-CPIO, therefore CPIO transitional height requirements do not apply. Applicants to provide detailed roof plans, and consider providing OS on the roof as required and permitted per LAMC Section 12.21 G.

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Applicant Requesting:

- 100% Affordable per AB 2345¹ / AB 2334 SB 35 / SB 423 SB 4 ED 1
 Measure JJJ AB 2011 AB 682 AB 2162 AB 1287
 Other: AB2097

APPLICANT INFORMATION

Applicant Name: Gary Benjamin, Alchemy Planning + Land Use

Phone Number: (213) 479-7521

Email: gary@alchemyplanning.com

¹ AB 1763 incentives were amended by AB 2345 (2020) per Government Code Section 65915(b)(1)(G).

I. PROPOSED PROJECT

1. PROJECT LOCATION/ZONING

Project Address(es): 1433-1439 W. Jefferson Blvd., Los Angeles, CA 90007

Assessor Parcel Number(s): 5040-002-004

Community Plan: South Los Angeles

Existing Zone: C2-1VL-O-CPIO

Land Use Designation: Neighborhood Commercial

Corresponding Zones: CR,C1, C1.5, C2, C4, RAS3, R3

Number of Parcels: 2

Project Site Area (sf)²: 3,961 sf

ED 1 Eligible³

Specific Plan

DRB/CDO

HPOZ

Enterprise Zone

Redevelopment Project Area

If applicable, specify Specific Plan/Overlay: South Los Angeles CPIO

Q Condition/D Limitation (Ordinance No. and provide a copy): _____

Other Pertinent Zoning Information (specify): ORD – 76187 & ZI-2397.

2. DETAILED DESCRIPTION OF PROPOSED PROJECT

The applicant proposes to demolish a 2,400 square-foot commercial building (c. 1926) and to construct a new 11,943 square-foot (3.03 FAR), six-story, 69-foot, eight-inch mixed-use building with 15 dwelling units, including one one-bedroom unit, 13 two-bedroom units, and one three-bedroom unit, with two Very Low Income units (18%), as well as 471 square feet of restaurant space on a 3,949 square-foot lot in the C2-1VL-O-CPIO zone and Neighborhood Commercial land use area of the South Los Angeles Community Plan and the General Corridor Subarea of the South Los Angeles Community Plan Implementation Overlay (CPIO).

3. DETAILED DESCRIPTION OF EXISTING SITE AND DEVELOPMENT

2,400 square-foot commercial building (c. 1926).

² Applicant should use official survey site area, if survey is provided.

³ Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

Existing Uses Dwelling Unit (DU) Square Footage (SF)	Existing No. of DUs or Non-Residential SF	Existing No. of DUs or Non-Residential SF to be Demolished	Proposed⁴ No. of DUs, Shared Housing Units (SHU) or Non-Residential SF
Guest Rooms / SHUs			
Studio			
One Bedroom			1
Two Bedrooms			13
Three Bedrooms			1
_____ Bedrooms			
Non-Residential SF	2400 sf	2400 sf	471 sf
Other			

⁴ Per AB 2556, replacement units shall be equivalent to the number of units and number of bedrooms of the existing development.

4. APPLICATION TYPE

Indicate the percentage increase or decrease requested, total required per LAMC or overlay, and total proposed. Include LAMC or Overlay Section of requirement when applicable.

A 10% decrease in the total open space to allow for 1,800 sf in lieu of the otherwise required 2,000 sf. per LAMC Section 12.21 G.2.

Density Bonus with **On-Menu Incentives** (specify):

- 1) _____
- 2) _____
- 3) _____
- 4) _____
- 5) _____

Density Bonus with **Off-Menu Incentives** (specify):

- 1) 21% reduction of the required Ground Floor height, to permit 11' as measures from the finished floor to the underside of the structural floor above, in lieu of 14', as otherwise required by CPIO Section II-2.A.1.a. _____
- 2) ~~100% reduction of required open space, to permit 0 sf., in lieu of 1,900 sf., as otherwise required by LAMC 12.21-G,2.~~ _____
- 3) ~~55.5% reduction of the building line setback, to permit 2'-4", in lieu of 5'-25, as otherwise required by Ordinance No. 76,187.~~ _____
- 4) ~~50% reduction of the east side yard, to permit 4', in lieu of 8', as otherwise required by LAMC 12.14-C,2.~~ _____
The elimination of the loading space requirements (MR)
- 5) ~~An increase in FAR to allow a 3.54:1 FAR in lieu of the maximum 1.5:1 FAR (MR)~~ _____
A building height of 69-feet and 8 and 1/4-inches and 6 stories in lieu of 45-feet and 3-stories (MR)

Density Bonus with **Waivers of Development Standards** (specify):

- 1) ~~102% FAR increase, to permit 3.03, in lieu of 1.5, as otherwise required by LAMC 12.21.1 A,1.~~ _____
- 2) ~~24'-8" and 3-story height increase, to permit 69'-8" and six stories, in lieu of 45' and 3 stories, as otherwise required by LAMC 12.21.1-A,1~~ _____
- 3) 62.5% reduction of the west side yard, to permit 3', in lieu of 8', as otherwise required by LAMC 12.14-C,2. _____
- 4) ~~100% reduction of the loading zoning requirement, to permit 0 sf., in lieu of 400 sf., as otherwise required by LAMC 12.21-C,6(a).~~ _____
A zero-foot building line setback, in lieu of a 5-foot and 3-inch building line setback (MR)
- 5) ~~Zero (0) square feet of open space in lieu of 2,000 square-feet (MR)~~ _____
A 4-foot easterly side yard in lieu of the required 8-foot side yard (MR)
An 8-foot and 9-inch rear yard in lieu the required 18-feet (MR)

Greater Downtown Housing Incentive Area per LAMC Section 12.22 A.29 of Chapter 1

Affordable Housing per LAMC Section 11.5.11 (Measure JJJ) of Chapter 1
(properties subject to zoning established by Chapter 1 of the LAMC only)

Public Benefit Project per LAMC Section 14.00 A.2 of Chapter 1
(properties subject to zoning established by Chapter 1 of the LAMC only)

General Plan Amendment per LAMC Section 13B.1.1. of Chapter 1A

Request: _____

- Zone/Height District Change per LAMC Section 12.32 of Chapter 1 or LAMC Section 13B.1.4. of Chapter 1A, as applicable

Request: _____

- Conditional Use per LAMC Section 12.24 U.26 of Chapter 1, LAMC Section 9.2.1.F.4. of Chapter 1A, or LAMC Section 9.2.1.G. of Chapter 1A, as applicable
- Project Compliance per LAMC Sections 13B.4.2. and 13B.4.3. of Chapter 1A
- Community Design Overlay per LAMC Section 13.08 of Chapter 1 or LAMC Section 8.2.5.D.4. of Chapter 1A, as applicable
- Coastal Development Permit per LAMC Sections 13B.9.1. or 13B.9.2. of Chapter 1A
- Tract or Parcel Map per LAMC Section 13B.7.3. or 13B.7.5. of Chapter 1A
- Other (specify): Waiver of Dedication and Improvement

5. ENVIRONMENTAL REVIEW

- Project is Exempt⁵
- Not Yet Filed
- Filed (Case No.): _____

6. HOUSING DEVELOPMENT PROJECT TYPE

CHECK ALL THAT APPLY:

- For Rent For Sale Mixed-Use Project Residential Hotel
- Extremely Low Income Very Low Income Low Income Moderate Income
- Market Rate Supportive Housing Senior
- Shared Housing Building per AB 682
- Special Needs (describe): _____
- Other Category (describe): _____

⁵ Project may be exempt from CEQA review if it qualifies for a CEQA Exemption or is a Ministerial Project (aka, "By Right").

7. DENSITY CALCULATION

A. Base Density: Maximum allowable residential density⁶

Lot size (including any 1/2 of alleys) ⁷	<u>4,249</u> SF (a)	$3,961 + 1/2 \text{ of alley } 33,84 = 3995.19$
Density allowed by Zone (includes Qs and Overlays)	<u>400</u> SF of lot area per DU (b)	
Land Use: Density allowed by General Plan Land Use Corresponding Zone	<u>400</u> SF of lot area per DU (c)	
No. of DUs allowed by right (based on most permissive lot area per DU)	<u>10</u> DUs (d) [d=a/(b or c), round down to whole number]	
No. of Shared Housing Units allowed per AB 682	<u> </u>	
Base Density (per highest density allowed)	<u>11</u> DUs (e) [e = a/b, round up to whole number]	

B. Maximum Allowable Primary Density Bonus (DB)^{8, 9}

15 DUs (f) [f = ex1.35 or ex1.5 (if using AB 1287)]

AB 2345 / AB 2334 - Unlimited Density

⁶ As defined by Government Code Section 65915(o)(7), which states that “maximum allowable residential density” or “base density” means the maximum number of units allowed under the zoning ordinance, specific plan, or land use element of the general plan, or, if a range of density is permitted applicable to the project. If the density allowed under the zoning ordinance is inconsistent with the density allowed under the land use element of the general plan or specific plan, the greater shall prevail.

⁷ If there is a related subdivision case, the lot area shall be calculated based on the site area after a dedication of land has been provided.

⁸ Per AB 2345, 100% affordable housing developments may request an 80% density increase or unlimited density if the project site is within 0.5 miles of a Major Transit Stop or in a Very Low Vehicle Travel Area (see ZIMAS). In addition, a property located in the Hollywood Redevelopment Plan Area is eligible for a 50% density bonus pursuant to Government Code Section 65915(f), as described in the November 2, 2022 AB 2345 Memo.

⁹ Per AB 2334, a Very Low Vehicle Travel Area are defined by Government Code Section 65915(o)(4), as an urbanized area “where the existing residential development generates vehicle miles traveled (VMT) per capita that is below 85 percent of either regional vehicle miles traveled per capita or city vehicle miles traveled per capita.

C. AB 1287¹⁰ - Additional Density:

Check this box if utilizing AB 1287. If you are not utilizing AB 1287, please skip to Section D. Proposed Project

AB 1287

Please indicate the number of additional DUs pursuant to AB 1287. In order to qualify for the additional AB 1287 Density Bonus, the project must meet the minimum set aside requirements as noted below. This set aside required shall be derived from the base (d).

Step 1 Initial Affordability set aside needed for base 50% increase (select one)	Step 2 <u>Additional % of Affordability set aside needed for stackable density¹¹</u> (VLI = 5-10%, or MI = 5-15%) [fill in one]	Step 3 <u>Stackable Density Bonus % Increase allowed¹¹ per set aside (in Step 2)</u> (VLI = 20-38.75%, or MI = 20-50%)	Step 4 Total Density Bonus % Increase Allowed
<input type="checkbox"/> 15% Very Low Income	_____% Very Low Income		
<input type="checkbox"/> 24% Low Income		_____%	50% + _____% (in Step 3)
<input type="checkbox"/> 44% Moderate Income (for sale only)	_____% Moderate Income		= _____%

TOTAL No. of Affordable Housing DUs needed to be set aside for initial density _____ VLI LI MI
 (h) [h = e x (Step 1), round up to whole number]

TOTAL No. of Affordable Housing DUs needed to be set aside for additional density _____ VLI MI
 (i) [i = e x (Step 2), round up to whole number]

TOTAL No. of Additional DUs allowed per additional set aside _____ (j) [j = e x (Step 3), round up to whole number]

TOTAL No. of DUs allowed per Stackable Density _____ (k) [k = f + j]

¹⁰ Per AB 1287, Projects which meet or exceed the set-aside requirements to receive the initial 50% Density Bonus may request an additional Density Bonus of up to 50%.

¹¹ Refer to IMPLEMENTATION OF 2023 STATE DENSITY BONUS LAW-AB 1287 Memo, page 3, dated May 16, 2024, and Gov. Code Section 65915(v)(2).

D. Proposed Project: Please indicate total number of DUs requested and break down by levels of affordability set by each category (California Department of Housing and Community Development [HCD] or United States Department of Housing and Urban Development [HUD]). For information on HCD and HUD levels of affordability please contact LAHD at <https://housing.lacity.org/partners/land-use-rent-income-schedules>.

Note: Rent schedules will be determined by LAHD.

	Total	HCD (State)	HUD (TCAC)
Market Rate	13	N/A	N/A
Managers Unit(s) — Market Rate ¹²		N/A	N/A
Extremely Low Income (ELI)			
Very Low Income (VLI)	2	2	N/A
Low Income (LI)			
Moderate Income			
Permanent Supportive Housing — ELI			
Permanent Supportive Housing — VLI			
Permanent Supportive Housing — LI			
Seniors — Market Rate		N/A	N/A
No. of SHUs allowed per AB 682			
Other _____			
TOTAL No. of DUs Proposed	15	(l)	
TOTAL No. of Affordable Housing DUs	2	(m)	
No. of Density Bonus DUs	5	(n) If l>d, then n=l-d; if l<d, then n= 0]	
Percent of Density Bonus Requested	35	(o) o = 100 x [(l/e) – 1] (round down) ¹³	
Percent of Affordable Set Aside^{14, 15}	18	(p) [m/e, round down to a whole number]	
Percent for PHP qualification¹⁶	7	(q) [m/l, round down to a whole number]	

¹² Properties proposing 16 units or more need to provide a manager's unit per 25 CCR § 42.

¹³ Formulas provided for guidance, do not account for previous rounding of decimals.

¹⁴ 100% affordable projects using State Density Bonus law for unlimited density and/or ED 1 processing must remain affordable throughout the duration of the project and permit process

¹⁵ All units including proposed or future proposed ADUs shall be subject to affordability requirements as determined by LAHD.

¹⁶ Per ED 7, the housing development project must propose five or more units that contain at least 20% of all units at lower income restricted affordable housing units (Extremely Low Income, Very Low Income, or Low Income) or 40% of all units at Moderate Income restricted affordable housing units.

8. PROJECT REVIEW CALCULATION

An application for Project Review may be required for projects that meet any of the Project Review thresholds as outlined in LAMC Section 16.05 C of Chapter 1 or LAMC Section 4C.14.1.C. of Chapter 1A, as applicable, unless otherwise exempted per LAMC Section 16.05 D of Chapter 1 or LAMC Section 4C.14.1.E. of Chapter 1A, as applicable. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the Project Review threshold for unit count. If the project meets the threshold(s) but qualifies under the exemption criteria, please confirm the exemption with City Planning's DSC AHSS.

10 units allowed by right (permitted by Maximum Allowable Residential Density (d)) – 2
(existing units + affordable units)¹⁷ = 8 units

YES, Project Review is required.

Proposed by-right (c) units minus existing units is equal to or greater than 50¹⁸ for projects with zoning established by Chapter 1 or with zoning established by Chapter 1A **and** Development Review Threshold Package 1; or, greater than 500 for projects with zoning established by Chapter 1A **and** Development Review Threshold Package 2

NO, Project Review is not required.

By-right (c) Density units minus existing units is less than 50 for projects with zoning established by Chapter 1 or with zoning established by Chapter 1A **and** Development Review Threshold Package 1; or, greater than 500 for projects with zoning established by Chapter 1A **and** Development Review Threshold Package 2

Exempt.

Specify reason: _____

¹⁷ For projects zoned with districts pursuant to Chapter 1 of the LAMC, per 16.05 D.8, no restricted affordable unit shall be counted towards the dwelling unit or guest room thresholds described in Section 16.05 C.1(b). Any affordable units can be deducted from the number of units allowed by right.

¹⁸ Project Review may also be required if other characteristics of the project exceeds the thresholds listed in the relevant section of the LAMC.

II. DENSITY BONUS (LAMC SECTION 12.22 A.25 OF CHAPTER 1, ORDINANCE NO. 179,681; OR, LAMC SECTION 9.2.1. OF CHAPTER 1A, ORDINANCE NO. TBD)

9. PARKING OPTIONS

CHECK ALL THAT APPLY:

- Automobile Parking Reductions via Bicycle Parking for Residential Uses¹⁹. Choose only one of the options, if applicable:**
 - 10%
 - 15% (*Only for residential projects or buildings located within 1,500 feet of a Major Transit Stop*)
 - 30% (*If selecting the 30% parking reduction, the project will be ineligible for any of the Parking Options listed below*)

If selecting the 30% parking reduction, provide the following information:

Required Parking per LAMC: _____

Required Parking after the 30% reduction: _____

- Automobile Parking for Residential Uses (choose only one of the following options):**

Note: Any fractional numbers are rounded up.

- Parking Option 1.** Based on # of bedrooms, inclusive of Handicapped and Guest parking.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
0-1 Bedroom		1		
2-3 Bedrooms		1.5		
4 or more Bedrooms		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

¹⁹ Any project utilizing Parking Option 3 may not further reduce automobile parking via bicycle parking.

- Parking Option 2.** Reduced only for Restricted Affordable Units and up to 40% of required parking for Restricted Affordable Units may be compact stalls.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
Market Rate (Including Senior Market Rate)		Per Code		
Restricted Affordable		1		
VLI/LI Senior or Disabled		0.5		
Restricted Affordable in Residential Hotel		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

- Parking Option 3 (AB 2345 [2020]).** Applies to two types of projects:

- 100% affordable housing developments consisting solely of affordable units, exclusive of a manager’s unit(s), with an affordable housing cost to lower income families; or
- Mixed-income developments consisting of 11% VLI or 20% LI units.

- 100% Affordable Housing Developments.**²⁰ There is no minimum parking requirement for any of the following 100% affordable housing developments described below. Check all that apply:

- A housing development located within 0.5 miles of a Major Transit Stop.
- A housing development for individuals who are 55 years of age or older with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.²¹

- Special Needs Housing Development**, as defined in Section 51312 of the Health and Safety Code (H&SC), with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.

- Supportive Housing Development**

- Mixed-Income Developments** consisting of 11% VLI or 20% LI units.

	Spaces/Unit	Parking Required	Parking Provided
Located within 0.5 miles of Major Transit Stop with unobstructed access to project	0.5		

²⁰ As defined by Government Code Section 65915(b)(1)(G)

²¹ AB 2334 aligned the resident age requirement from 62 years of age to 55 years of age for 100 percent affordable housing developments seeking a parking waiver under Section 65915(p)(3)(B).

Major Transit Stop is defined as a site containing an existing rail or bus rapid transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

Bus Rapid Transit is defined as public mass transit service provided by a public agency or by a public-private partnership that includes all of the following features:

- 1) Full-time dedicated bus lanes or operation in a separate right-of-way dedicated for public transportation with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods
- 2) Transit signal priority
- 3) All-door boarding
- 4) Fare collection system that promotes efficiency
- 5) Defined stations

Parking Option 4 (AB 2097 [2022]). No minimum automobile parking requirement on any residential, commercial, or other development project that is within one-half mile of a Major Transit Stop.²²

10. INCENTIVES

A. Qualification for Incentives

Below is the minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

Incentives	% Very Low Income	% Low Income	% Moderate Income
One	<input type="checkbox"/> 5% to <10%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 10% to <20%
Two	<input type="checkbox"/> 10% to <15%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 20% to <30%
Three	<input type="checkbox"/> 15% to <16%	<input type="checkbox"/> 30% or greater	<input type="checkbox"/> 30% to <45%
Four	<input checked="" type="checkbox"/> 16% or greater	<input type="checkbox"/> N/A	<input type="checkbox"/> 45%

Note: To utilize AB 682, at least 10% Low or 5% Very Low Income of the base units shall be provided.

11 Base Density x 16 % required for No. of incentives requested = 2 Affordable DUs.

100% Affordable Housing Developments may request up to five incentives. Check this box if this applies to the project.

²² Parking reductions do not apply to a hotel, motel, bed and breakfast inn or other transient lodging except where a portion of a housing development project is designated for use as a residential hotel, as defined in Section 50519 of the H&SC. Moreover, reductions do not apply to an event center or commercial parking in a contractual agreement executed before January 1, 2023.

B. Project Zoning Compliance & Incentives (Only for projects requesting a Density Bonus with Incentives/Waivers)

	Permitted w/o Incentives	Proposed per Incentives	On-Menu	Off-Menu	Waivers
<input checked="" type="checkbox"/> Yard/Setback (each yard counts as one incentive) ²³					
<input checked="" type="checkbox"/> Front (1)	<u>5'3"</u>	<u>2'4"</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Front (2)			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Side (1)	<u>8</u>	<u>4</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Side (2)	<u>8</u>	<u>3"</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Rear	<u>18 (MR)</u>	<u>8-foot & 9-inch (MR)</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Lot Coverage			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Width			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Floor Area Ratio ²⁴	<u>1.5:1</u>	<u>3.1</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Overall Height/Stories ²⁵	<u>45f/3 stories</u>	<u>69'8"/ 6 stories</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Transitional Height(s)			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Open Space or Lot/Residential Amenity Space	<u>1900 sf</u>	<u>0 sf</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Density Calculation			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Averaging (all count as one incentive — check all that are needed)					
<input type="checkbox"/> FAR	<input type="checkbox"/> Density	<input type="checkbox"/> Parking	<input type="checkbox"/> Open Space	<input type="checkbox"/> Vehicular Access	
<input type="checkbox"/> 100% Affordable Housing Development shall receive a height increase of three additional stories up to 33 additional feet. Check the box if this applies to your project.					
<input checked="" type="checkbox"/> Other Off-Menu Incentives (specify): <u>21% reduction of the Ground Floor height, as measured from the finished floor to the underside of the structural floor above, to permit 11' in lieu of 14'.</u>					
<input checked="" type="checkbox"/> Waiver of Development Standards (specify): <u>Off-Menu Incentive (MR) 100% reduction of the loading zoning requirement, to permit 0 sf., in lieu of 400 sf., as otherwise required by LAMC 12.21-C,6(a).</u>					
TOTAL No. of Incentives Requested:			On-Menu <u>0</u>	Off-Menu <u>4</u>	
TOTAL No. of Waivers Requested:			4 <u>5 (MR)</u>		

²³ Qualifying ED 1 projects within a Residential Land Use designation are allowed to count all yard reductions as one off-menu incentive.

²⁴ See LAMC Section 12.22 A.25(f)(4) of Chapter 1, or LAMC Section 9.2.1.D.4. of Chapter 1A, as applicable, for additional requirements.

²⁵ See LAMC Section 12.22 A.25(f)(5) of Chapter 1, or LAMC Section 9.2.1.D.4. of Chapter 1A, as applicable, for additional requirements.

11. COVENANT

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the LAHD's Occupancy Monitoring Unit **before** a building permit can be issued. For more information, please contact the LAHD at lahd-landuse@lacity.org.

III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SECTION 12.22 A.29 OF CHAPTER 1, ORDINANCE NO. 179,076)

12. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

A. Eligibility for Floor Area Bonus

NOTE: The affordability levels required are set by the HUD/TCAC. For information on HCD and HUD levels of affordability please contact the LAHD at lahd-landuse@lacity.org.

- 5% of the total number of DUs provided for VLI households; and
- One of the following shall be provided:
 - 10% of the total number of DUs for LI households; or
 - 15% of the total number of DUs for Moderate Income households; or
 - 20% of the total number of DUs for Workforce Income households, and
- Any DU or Guest Room occupied by a household earning less than 50% of the Area Median Income (AMI) that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan area in which it is located

B. INCENTIVES

NOTE: Must meet all three eligibility requirements from 12.A above and provide a Covenant & Agreement (See #11 above).

CHECK ALL THAT APPLY:

- A 35% increase in total floor area
- Open Space requirement pursuant to LAMC Section 12.21 G of Chapter 1 reduced by one-half, provided that a fee equivalent to amount of the relevant Park Fee, pursuant to LAMC Section 19.17 of Chapter 1, shall be paid for all dwelling units. See LAMC Section 12.29 A.29(c) of Chapter 1 for exceptions
- No parking required for units for households earning less than 50% AMI
- No more than one parking space required for each dwelling unit

C. Additional Incentives to Produce Housing in the GDHIA

- No yard requirements except as required by the Urban Design Standards and Guidelines
- Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)
- Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions, as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units
- No prescribed percentage of the required open space that must be provided as either common open space or private open space

IV. MEASURE JJJ^{26, 27} (LAMC Section 11.5.11 of Chapter 1, Ordinance No. 184, 745)

13. AFFORDABLE REQUIREMENTS

A certain percentage of affordable units is required based on the total number of units in the project. Fill out either A or B below:

A. Rental Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____ % VLI (where residential is allowed) **OR** _____ % LI
- For projects (where residential is allowed) requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 6% VLI **OR** 15% LI
- For projects (where residential is not allowed) requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 11% VLI **OR** 20% LI

Required Number of Affordable Units

ELI _____ VLI _____ LI _____

²⁶ All fractional amounts in Sections 13 and 14 shall be rounded up to the next whole number.

²⁷ Applies only to properties zoned with districts established in Chapter 1 of the LAMC.

B. For Sale Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
- _____% VLI **OR** _____% LI **OR** _____% Moderate Income
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35% or allows a residential use where not previously allowed:
- 11% VLI **OR** 20% LI **OR** 40% Moderate Income

Required Number of Affordable Units

VLI _____ LI _____ Moderate Income _____

14. ALTERNATIVE COMPLIANCE OPTIONS

In lieu of providing the affordable units onsite, there are three other options available to comply with Measure JJJ Affordable Requirements. Select one, if applicable; otherwise leave this section blank.

A. Off-Site Construction – Construction of affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 3 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

B. Off-Site Acquisition – Acquisition of property that will provide affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 1 mile of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

C. In-Lieu Fee – From the Affordability Gaps Study published by the Los Angeles City Planning

Total In-Lieu Fee _____ (Note: Final fee TBD if/when the project is approved)

15. DEVELOPER INCENTIVES

Please describe up to a maximum of three incentives:

- 1) _____

- 2) _____

- 3) _____

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with LADBS.



SB 8 NO NET LOSS DECLARATION Supplemental Application

PROPERTY OWNER DECLARATION TO NO NET LOSS OF HOUSING UNITS PURSUANT TO THE HOUSING CRISIS ACT OF 2019

NOTICE TO OWNER

Pursuant to California Government Code Section 66300, a Housing Development Project¹, must include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., “no net loss”). Projects subject to the Housing Crisis Act of 2019 (HCA) that result in a net loss of housing are prohibited.

Before a City Planning application can be accepted or a building permit issued, the owner of each property involved must provide a signature to verify the No Net Loss Declaration is being filed with their knowledge.

All new Housing Development Projects¹ meeting the following criteria may qualify to use this declaration:

- (1) a residential unit that does not involve the removal of more than one unit;**
- (2) new Accessory Dwelling Units (ADU), Junior ADUs (JADU), or Movable Tiny Homes (MTH) that do not involve the removal of any number of units;**
- (3) a new SB 9 Two Unit Development pursuant to Government Code Section 65852.21 that does not involve the alteration or removal of any number of units; or**
- (4) a new SB 9 Urban Lot Split, pursuant to Government Code Section 66411.7, that does not involve the alteration or removal of any units, and is not on a site that has removed any units within the past five years.**
- (5) A Housing Development Project that does not involve the removal of any number of units, is not on a site that has removed any units within the past five years², and where no units were subject to an Ellis Act withdrawal within the past 10 years.³**

If the Housing Development Project results in fewer legal units than existed in the past five years, then the project must provide additional units so as not to result in a net loss (e.g., a duplex must be replaced by at least two units), and an SB 8 Replacement Unit Determination (RUD) letter must be obtained from the Los Angeles Housing Department (LAHD).

Where residential dwelling units were withdrawn from rent or lease in accordance with Government Code Chapter 12.75 (commencing with Section 7060) of Division 7 of Title 1 (the “Ellis Act”) within the past 10

¹ Housing Development Projects within a Very High Fire Hazard Severity Zone (VHFHSZ), as determined by the State Fire Marshal, are not subject to HCA housing replacement review. For additional housing replacement information on specific sites, go to the “Housing” tab on www.zimas.lacity.org.

² For site specific information on whether any units have been removed within the past five years go to the “Housing Use Within Prior 5 Years” tab on www.zimas.lacity.org.

³ For site specific information on whether dwelling units were withdrawn from rent or lease within the past 10 years go to the “Ellis Act Property” tab on www.zimas.lacity.org.

years, a Housing Development Project must obtain an SB 8 RUD letter from LAHD.

The project must also be in compliance with Government Code Sections 66300(d)(2)(C) and 66300(d)(2)(D) (i), which require the developer to allow existing occupants to occupy their units until six months before the start of construction activities and to provide relocation benefits to lower income occupants of those affordable residential rental units.

In lieu of signing this declaration, an SB 8 RUD letter may be obtained from LAHD.

CITY CONTACTS

For specific questions regarding replacement requirements and occupant protections or the RUD process, contact LAHD at LAHD-Landuse@lacity.org.

For general questions regarding the implementation of no net loss procedures related to Housing Development Projects that are not associated with a City Planning application, contact the Department of Building and Safety at LADBS.AHS@lacity.org.

For general questions regarding the implementation of no net loss procedures related to Housing Development Projects associated with a City Planning application, contact Los Angeles City Planning at planning.HCA@lacity.org.

PROJECT INFORMATION

Permit Application or Case No.: _____

Street Address: 1433-1439 W. Jefferson Blvd., Los Angeles, CA 90007

Legal Description (Lot, Block, Tract): Lots FR 3 (Arb 2) & 4 (Arb 2), Block C, Poole and Jones Tr.

Assessor's Parcel Number: 5040-002-004

Site Zoning: C2-1VL-O-CPIO

Project Description: Demo of office and construction of a new restaurant and multifamily dwelling building.

Maximum number of housing units that existed on the site within the past five years: 0

Maximum number of housing units subject to an Ellis Act withdrawal within the past 10 years: 0

Number of housing units proposed to be removed: 0

Number of housing units proposed to be constructed: 15

Net number of housing units created⁴: 15

Attach proof of existing units, uses, or vacant land within the past five years, such as Certificates of Occupancy, building permits and demolition permits. If the foregoing documentation is not available, other legal documentation may be submitted for review. On a separate sheet, please list and describe the documentation provided.

⁴ To calculate the net number of housing units created, subtract the total units proposed to be constructed and the maximum number of units that existed on the site within the past five years.

PROPERTY OWNER DECLARATION

PROPERTY OWNER DECLARATION. Before a City Planning application can be accepted or a building permit issued, the owner of each property involved must provide a signature to verify the no net loss declaration is being filed with their knowledge. Staff will confirm ownership based on the records from the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts an officer of the ownership entity so authorized may sign as stipulated below.

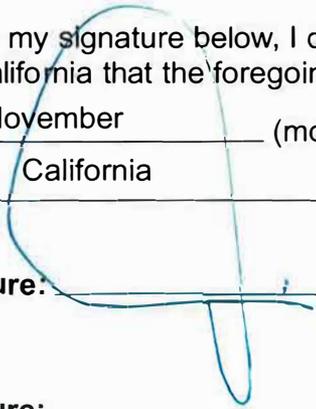
- Ownership Disclosure. If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
 - Letter of Authorization (LOA). An LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items a-e below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
 - Grant Deed. Provide a Copy of the Grant Deed if the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
 - Multiple Owners. If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) signatures are required of all owners.
- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this development proposal or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. The proposed Housing Development Project consist of (1) one residential unit; (2) one or more new Accessory Dwelling Units (ADU), Junior ADUs (JADU), or Movable Tiny Homes (MTH) that do not involve the removal of any number of units; (3) a new SB 9 Two-Unit Development pursuant to Government Code Section 65852.21 that does not involve the alteration or removal of any number of units; (4) a new SB 9 Urban Lot Split, pursuant to Government Code Section 66411.7, that does not involve the alteration or removal of any units; or 5) A Housing Development Project that does not involve the removal of any number of units, is not on a site that has removed any units within the past five years, and where no units were subject to an Ellis Act withdrawal within the past 10 years.

 (initials)

Continued on Next Page

- c. The proposed project will not result in fewer units than existed in the past five years. Nor have residential dwelling units been withdrawn from rent or lease in accordance with Government Code Chapter 12.75 (commencing with Section 7060) of Division 7 of Title 1 (the "Ellis Act") within the past 10 years.
- d. I acknowledge and understand that the project must include at least as many units as the maximum number or units that existed on the site in the past five years and that any Protected Units withdrawn from rent or lease in accordance with Government Code Chapter 12.75 (commencing with Section 7060) of Division 7 of Title 1 (the "Ellis Act") within the past 10 years must also be replaced.
- e. The project is in compliance with Government Code Section 66300(d)(2)(C) and 66300(d)(2)(D) (i), which require the developer to allow existing occupants to occupy their units until six months before the start of construction activities and to provide relocation benefits to lower income occupants of those affordable residential rental units.
- f. Violations of this Declaration may result in a revocation or denial (including Parcel Maps and building permits) as well as any other penalties that may be applicable. I have read the above "Notice to Property Owner" and declare that the information provided in section III "Project Information" is true and correct.

g. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct. Executed on the 18th (day) November (month), 2024 (year) at Los Angeles (city), California (state/province), United States of America (country).

Signature:  _____

Print Name: Kuo Huei Tsai _____

Signature: _____

Print Name: _____

COUNTY CLERK'S USE

CITY OF LOS ANGELES
 OFFICE OF THE CITY CLERK
 200 NORTH SPRING STREET, ROOM 395
 LOS ANGELES, CALIFORNIA 90012
CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION
 (PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS
 CPC-2025-215-DB-HCA

LEAD CITY AGENCY City of Los Angeles (Department of City Planning)	CASE NUMBER ENV-2025-216-CE
--	--------------------------------

PROJECT TITLE 1439 Jefferson	COUNCIL DISTRICT CD 8 – Harris-Dawson
---------------------------------	--

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map) 1433 – 1439 West Jefferson Boulevard Los Angeles, CA 90007	<input type="checkbox"/> Map attached.
--	--

PROJECT DESCRIPTION: Additional page(s) attached.
 The proposed project consists of the construction of a new 6-story, approximately 69-foot and 8 and 1/4 inch, mixed-use apartment building, totaling 15 units (including 2 Very Low Income Units) and one (1) Accessory Dwelling Unit (ADU). The Project will be approximately 13,956 square-feet in Floor Area, including 423 square-feet of commercial, with a Floor Area Ratio (FAR) of 3.54:1. No (0) vehicular parking spaces will be provided. No (0) protected trees will be removed from the subject site. One (1) street tree exists along the public right-of-way which will be retained. The existing commercial building will be demolished.

NAME OF APPLICANT / OWNER:
 Kevin Tsai / K TSAI Investments LLC

CONTACT PERSON (If different from Applicant/Owner above) Gary Benjamin / Alchemy Planning + Land Use	(AREA CODE) TELEPHONE NUMBER EXT. (213) 479-7521
---	---

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

STATUTORY EXEMPTION(S)
 Public Resources Code Section(s) _____

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)
 CEQA Guideline Section(s) / Class(es) CEQA Guidelines Section 15332 / Class 32

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b)

JUSTIFICATION FOR PROJECT EXEMPTION:

Additional page(s) attached

The Project qualifies for a Class 32 Categorical Exemption as it is developed on an infill site and meets the conditions as follows:

(a) The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a Project Site of no more than five acres substantially surrounded by urban uses; (c) The Project Site has no value as habitat for endangered, rare or threatened species; (d) Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The Site can be adequately served by all required utilities and public services.

None of the exceptions to the Categorical Exemption Under CEQA Guidelines Section 15300.2 applies to the proposed project. (a) Location: The project is not located within a hillside area or within the Santa Monica Mountains Zone, as analyzed in the Justification for Project Exemption (dated January 2026), the subject site does not contain an officially mapped environmental resource of hazardous or critical concern. (b) Cumulative Impact: Per ZIMAS, there are two (2) concurrent approved or pending projects within the same place of the project site. However, no foreseeable cumulative impacts are expected, as analyzed in the Justification for Project Exemption (dated January 2026). (c) Significant Effect: The project will not have a significant effect on the environment due to unusual circumstances. All adjacent and nearby lots are developed with multi-family and commercial uses, and the subject site is of a similar size and slope to nearby properties. The project site is located in a typical urbanized area of the South Los Angeles Community Plan, and the project would be consistent with the designated zoning and would adhere to all requirements of the LAMC, with the approval of the Density Bonus incentives and waivers. The project is not unusual for the vicinity of the subject site and is similar in scope to other existing multi-family dwellings and proposed future projects in the area. Furthermore, there is no substantial evidence in the administrative record that this project will cause a significant impact. (d) Scenic Highways: The project is not in the vicinity of a state scenic highway and will not damage scenic resources in a state scenic highway. (e) Hazardous Waste Sites: The project site is not on a list compiled pursuant to Government Code Section 65962.5 related to hazardous waste sites. (f) Historical Resources: Per ZIMAS, SurveyLA, and/or Historic Places LA, the project site is not identified or eligible as a historical resource. The project will not cause a substantial adverse change in the significance of a historical resource.

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project; no unusual circumstance is found.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Maneri Roman *Maneri Roman*

STAFF TITLE

Planning Assistant

ENTITLEMENTS APPROVED

Density Bonus

DISTRIBUTION: County Clerk, Agency Record Rev. 9-17-2025



JUSTIFICATION FOR PROJECT EXEMPTION ENV-2025-216-CE

The Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the CEQA Guidelines designate the subject project as Categorically Exempt under State CEQA Guidelines, Article 19, Section 15332 (Class 32), Case No. ENV-2025-216-CE.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

Project

The proposed project consists of the construction of a new 6-story, approximately 69-foot and 8 and 1/4 inch, mixed-use apartment building, totaling 15 units (including 2 Very Low Income Units) and one (1) Accessory Dwelling Unit (ADU). The Project will be approximately 13,956 square-feet in Floor Area, including 423 square-feet of commercial, with a Floor Area Ratio (FAR) of 3.54:1. No (0) vehicular parking spaces will be provided. No (0) protected trees will be removed from the subject site. One (1) street tree exists along the public right-of-way which will be retained. The existing commercial building will be demolished.

Exceptions Narrative for Class 32 Categorical Exemption

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources. Planning staff evaluated all the potential exceptions to the use of Categorical Exemptions for the proposed project and determined that none of these exceptions apply as explained below:

- (a) **Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

A review of similar projects within a 500 foot radius was conducted. On November 13, 2024, the Director of Planning approved a Density Bonus case for a new seven story, 123-unit apartment building reserving one (1) Manager's Unit, three (3) units for Very Low Income, 95 units for Low Income, and 24 units for Moderate Income household occupancy, with 31 automobile parking spaces, through Case No. ADM-2024-2102-DB-VHCA-ED1. On June 11, 2024, the Director of Planning approved a Density Bonus case for a new seven-story, 69-unit apartment building reserving one (1) Manager's Unit, one (1) Very Low Income unit, 53 Low Income units, and 14 Moderate Income units, with no automobile parking, through Case No. ADM-2023-8431-DB-VHCA-ED1.

While there could potentially be a succession of known projects of the same type and in the same place as the subject project, all projects are subject to the citywide Regulatory Compliance measures as noted above, which regulate impacts related to air quality, noise, and geology to a less than significant level. There is no evidence to conclude that significant impacts will occur based on past project approvals or that the proposed Project's impacts are cumulatively considerable when evaluating any cumulative impacts associates with construction noise and transportation/traffic in the surrounding area. Therefore, in conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

- (b) **Significant Effect Due to Unusual Circumstances.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

The proposed project is for the construction of a new six-story, 69-foot and 8 and 1/4 inch tall, mixed-use development with 15 residential dwelling units and 1 ADU, totaling 13,956 square feet of floor area in the C2-1VL-O-CPIO Zone. The project proposes a multi-family building in an area zoned and designated for such development. All adjacent and nearby lots are developed with multi-family and commercial uses, and the subject site is of a similar size and slope to nearby properties. The project is not unusual for the vicinity of the subject site and is similar in scope to other existing multi-family dwellings and proposed future projects in the area. Furthermore, there is no substantial evidence in the administrative record that this project will cause a significant impact. Thus, there are no unusual circumstances which may lead to a significant effect on the environment.

- (c) **Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The portion of State Route 27 which travels through the Los Angeles city limits is approximately 29 miles northwest of the subject site. Therefore, the subject site will not create any impacts within a highway designated as a state scenic highway.

- (d) **Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code*

According to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site within a 1,000-foot radius of the subject site, is identified as a hazardous waste site.

- (e) **Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site is not listed in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register, and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles.



Maneri Roman <maneri.roman@lacity.org>

Regarding Case #CPC-2025-215-DB-HCA, Apartment Proposal on West Jefferson Boulevard

1 message

Reiana Requena <rr.requena14@gmail.com>
To: "maneri.roman@lacity.org" <maneri.roman@lacity.org>

Mon, Dec 15, 2025 at 8:55 AM

To Whom It May Concern,

I am writing this in relation to the proposal of the new apartment building on [1433-14349 West Jefferson Boulevard](#).

Case# CPC-2025-215-DB-HCA
Environmental Case# ENV-2025-216-CE

My name is Reiana Requena and my family has lived in this neighborhood since the 80s. I am not only sending this on behalf of not only myself but also for my neighbors, who have jobs at the proposed time of this meeting, who may or not be tech advanced, or able to convey what building this apartment means.

Simply put it feels like a slap in the face. In the past few years there have been a number of apartments built in our area, and we have watched the topography of our neighborhood change with it. Many of our neighbors have moved as a result of being priced out. I've seen some of the newly built apartment units in the area remain vacant as well because it is unaffordable and thus unattainable, which disenfranchises low income families and individuals.

My mother has expressed to me that the proposal of this apartment on Jefferson makes her feel suffocated. There have been 2 other apartment units erected near our apartment and I honestly feel like our privacy has increasingly decreased, because now the apartments overlook our yards.

All the construction in the area has brought about a new wave of pests and as residents we've had to deal with it. I've bought a number of traps to maintain my sanity, because they have been aggressive.

There are some major issues that should be dealt with as well. First of all it has been increasingly difficult to find parking on these streets, sometimes the inhabitants have to circle the block more than once to luck into finding one nearby.

We just had new owners take over the auto shop nearby and they have taken all the parking in front of their business as well as in front of the store on Kenwood. We also have a neighbor with a towing service and he often will take up 4-5 parking places himself.

Essentially there's hardly any parking and building the 15 unit apartment would strain that issue further. Sometimes the gallery nearby hosts events and they will take whatever little parking is available as well.

Another major issue, we have not had street lights turned on the surrounding streets in my neighborhood for almost 2 years. It's not exactly a safe environment to come into since we can't see at night.

Please consider this letter in its entirety. What I have shared is not all encompassing but these are some of the dealing we've had to grapple with over the last few years.

Thank you,

Reiana Requena